

BUSH FIRE ASSESSMENT REPORT

INFILL SPECIAL FIRE PROTECTION PURPOSE (SFPP) DEVELOPMENT

Lot 21 DP 626953

74-78 Bangalow Road Byron Bay

Alterations & Additions to Existing Building (s4.55 EP&A Act 1979)

Prepared for: iMedicine Holdings Pty Ltd

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Ref: 23/023

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1.0 EXECUTIVE SUMMARY

This report has been prepared to provide supporting information to enable the NSW Rural Fire Service to assess the proposed modification of bushfire conditions DA 10.2020.58.1 under the provisions of Section 4.55(2) of the EP&A Act 1979. A Bush Fire Safety Authority (BFSA) was issued by the NSW Rural Fire Service on 8 July 2020 for alterations and additions to the existing building at Lot 21 DP 626953, 74-78 Bangalow Road Byron Bay being known as 'The Health Lodge'.

A description of the proposed development is provided in Section 3, it being noted that the proposed alterations and additions constitute a minor change only to the approved development which was granted development consent on 12 December 2020 (DA 10.2020.58.1) and will be located no closer to the hazard than previously assessed in that development application. It is noted that the previously staged nature of the development will now be a single stage.

The development is classified as infill Special Fire Protection Purpose (SFPP) development as defined by PBP2019.

The report addresses the requirements of Planning for Bushfire Protection 2019 (PBP2019) considering the bushfire conditions in the 2020 BFSA. The report is to accompany a referral from the Consent Authority to NSW Rural Fire Service for assessment and issue of a Bush Fire Safety Authority (BFSA), it being noted a BFSA must be obtained to ensure compliance with the National Construction Code for infill SFPP development.

The report establishes the proposed development is capable of complying with the infill SFPP objectives of PBP2019, with the following recommendations for asset protection zones, Bushfire Attack Level (BAL), water, gas and electricity supply, landscaping and emergency management which have been provided vis-à-vis the bushfire conditions in the Bush Fire Safety Authority issued on 8 July 2020.

1.1 SUMMARY OF RECOMMENDATIONS

1. ASSET PROTECTION ZONES

BFSA Condition (8 July 2020)

1. *From the start of building works, and in perpetuity to ensure ongoing protection from the impact of bush fires, the entire property must be managed as an inner protection area (IPA). The IPA must comprise:*

- *minimal fine fuel at ground level;*
- *grass mowed or grazed;*
- *tree, and shrubs retained as clumps or islands and do not take up more than 20% of the area;*

- *trees and shrubs located far enough from buildings so that they will not ignite the building;*
- *garden beds with flammable shrubs not located under trees or within 10 metres of any windows or doors;*
- *minimal plant species that keep dead material or drop large quantities of ground fuel;*
- *tree canopy cover not more than 15%;*
- *tree canopies not located within 2 metres of the building;*
- *trees separated by 2-5 metres and do not provide a continuous canopy from the hazard to the building;*
and
- *lower limbs of trees removed up to a height of 2 metres above the ground.*

Report Recommendation

No change to BFSA Condition No.1 regarding asset protection zones.

2. CONSTRUCTION STANDARDS

BFSA Condition (8 July 2020)

2. Stage 1 construction must comply with Sections 3 and 5 (BAL 12.5) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 12.5 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 12.5 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
3. Stage 2 construction must comply with Sections 3 and 7 (BAL 29) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 29 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 29 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
4. Stage 3 and 4 construction must comply with Sections 3 and 6 (BAL 19) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 19 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 19 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
5. The existing building must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draft excluders.

Report Recommendation

Retain BFSA Condition No.5 relating to the existing building to be upgraded for ember protection. Delete BFSA Condition No.s 2, 3 and 4 and replace with the following.

The proposed alterations and additions to the building are to be constructed as follows: Construction specifications detailing compliance shall be shown on the construction plans for consideration by the appropriate authority.

- *BAL 29 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 for the entirety of Units 6 – 9 including the roof shown in Figures 7 and 8.*
- *BAL 29 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 is required for the entire roof of Units 6 – 9, the courtyard, laundry and WCs/showers as shown in Figure 8.*
- *BAL 19 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 to all elevations of Units 1 – 5, laundry and WCs/showers (excluding the roof) as shown in Figure 7.*
- *BAL 12.5 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 to the pool equipment room, saunas, showers and locker rooms, and the pool including the roof and any associated components as shown in Figure 7 and Figure 8.*

In addition, the following condition is to be added:

- *New fences and gates within the APZ are to be made of either hardwood or non-combustible material. Where a new fence or gate is constructed within 6m of the building it is to be made of non-combustible material only.*

3. WATER, ELECTRICITY AND GAS SERVICES

BFSA Condition (8 July 2020)

6. The provision of water, electricity and gas must comply with Table 6.8c of Planning for Bush Fire Protection 2019.

Report Recommendation

No changes required.

4. EMERGENCY AND EVACUATION PLANNING

BFSA Condition (8 July 2020)

7. A Bush Fire Emergency Management and Evacuation Plan must be prepared and be consistent with the NSW RFS document: A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan. The Bush Fire Emergency Management and Evacuation Plan should include planning for the early relocation of occupants.

Note: A copy of the Bush Fire Emergency Management and Evacuation Plan should be provided to the Local Emergency Management Committee for its information prior to occupation of the development.

General Advice – Consent Authority to Note

- It is noted that a Bush Fire Emergency Management and Evacuation Plan has been submitted for the development. The Applicant and Consent Authority are advised that the NSW RFS does not specifically approve or certify such plans.

Report Recommendation

No change to BFSA Condition No.7 regarding Bush Fire Emergency Management and Evacuation Plan.

5. LANDSCAPING

BFSA Condition (8 July 2020)

No BFSA condition.

Report Recommendation

Insert the following condition:

- *Existing and proposed landscaping within the site is to be managed in accordance with Appendix 4 of Planning for Bushfire Protection 2019.*

2.0 INTRODUCTION

2.1 GENERAL

The purpose of this report is to establish suitable bushfire mitigation measures for the proposed alterations and additions to the existing building at Lot 21 DP 626953, 74-78 Bangalow Road Byron Bay being known as 'The Health Lodge' for Council to make determination of the proposed development pursuant.

The recommendations within this report address the aims and objectives of Planning for Bushfire Protection 2019 to reduce the risk of ignition of the building in a bushfire event. It is noted however that bushfire is a natural phenomenon and there can never be any guarantee that a building or occupants will not be adversely affected by bushfire.

2.1 CONSENT HISTORY

The subject site has had several development consents with the most recent granted on 12 December 2020 (No. 10.2020.58.1) being most applicable to the bushfire assessment and recommendations contained in this report regarding the assessment of the hazard to the west and the required constriction standards and asset protection zones for the proposed alterations and additions.

A chronology of the bushfire assessment by Chris Lonergan, Byron Bay Planning & Property Consultants and Alan Bawden of the NSW Rural Fire Service is as follows:

- Development Application (10.2020.58.1) made to Council for 'Alterations and Additions to Existing Health Consulting Rooms, Backpackers and Caretaker Dwelling and New Swimming Pool and Saunas - Construction in Four (4) Stages'.
- Statement of Environmental Effects (amended) part of DA (Chris Lonergan - Byron Bay Planning and Property Consultants, dated 6 January 2020).
- NSW Rural Fire Service issues a request for further information on 13 May 2020 (**attached** in Appendix A) pertaining to the following issues:
 - *Further details are required to establish whether or not the proposal is special fire protection purpose infill development in accordance with section 4.2.5 of 'Planning for Bush Fire Protection 2006'. If so, the matters outlined in section 4.2.5 must be addressed.*
 - *Part of the identified asset protection zone to the west is located on the adjoining land. The Applicant is required to address section 3.3(b) of 'Planning for Bush Fire Protection 2006'.*
- Chris Lonergan (Byron Bay Planning and Property Consultants), provides NSW RFS a response dated 15 May 2020 (**attached** in Appendix A), which in regard to the primary bushfire hazard to the west, states:
 - *The proposal maintains the developments spatial separation from the distant fire threat to the southwest.*
 - *The site is in general unlikely to come under severe bush fire risk due to the cleared and mostly managed nature of the central and southern areas of the site, and due to the managed nature of the surrounding urban managed lands. The exception to this is the Forested Wetlands 22m to the west.*
 - *The site sits within an FDI 80 Fire Area, and is mapped as being within a Bushfire Buffer. On this basis the proposal is assessed under Table A2.6 of the Planning for Bushfire*

Protection Regulations, as the Tourist and Visitor Accommodation component of the Development is classed as "Special Fire Protection Development" under PBP 2006.

- The development predates PBP2006, and as such it enjoys "Existing Use Rights". The intent of this report is therefore to achieve an improved Fire Safety outcome, rather than compliance.
- "Coastal Wetlands" are located 20m to the west. To this end the proposal totally satisfies the protection requirements of PBP2006 as this "Infill" Development has a large defensible space to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW. And the building is to be upgraded to improve fire safety, and achieve safe evacuation to the east, onto a large public road, within a managed urban area.
- On this basis no easement over adjoining land is needed, and the Wetlands at 22m from the building, are sufficiently removed to enable the building to achieve a safe performance rating with just the addition of metal screens to windows, gutter guards to gutters, maintenance of the existing defensible space as an Inner APZ, and adherence to the Emergency Evacuation Plan provided with the DA.

Mapped Bushfire Constraints.

Bushfire Threat from Western Forested Wetland Area

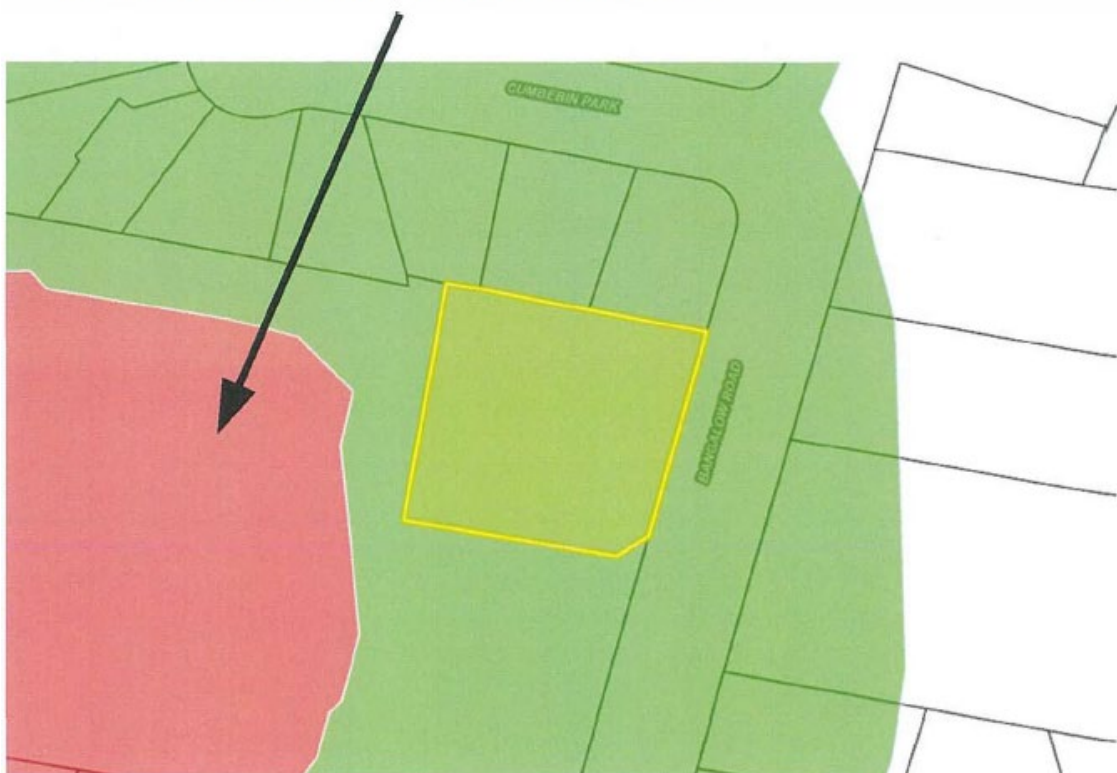


Figure 5: Extract from Byron Bay Planning and Property Consultants), 15.05.2020

- NSW Rural Fire Service accepts the off-site management (adjoining land) and distance to hazard and issues a Bush Fire Safety Authority on 8 July 2020 (**attached** in Appendix A).

- The recommended BAL construction requirements for each (former) stage of the development is understood to be as shown below in Figure 6.

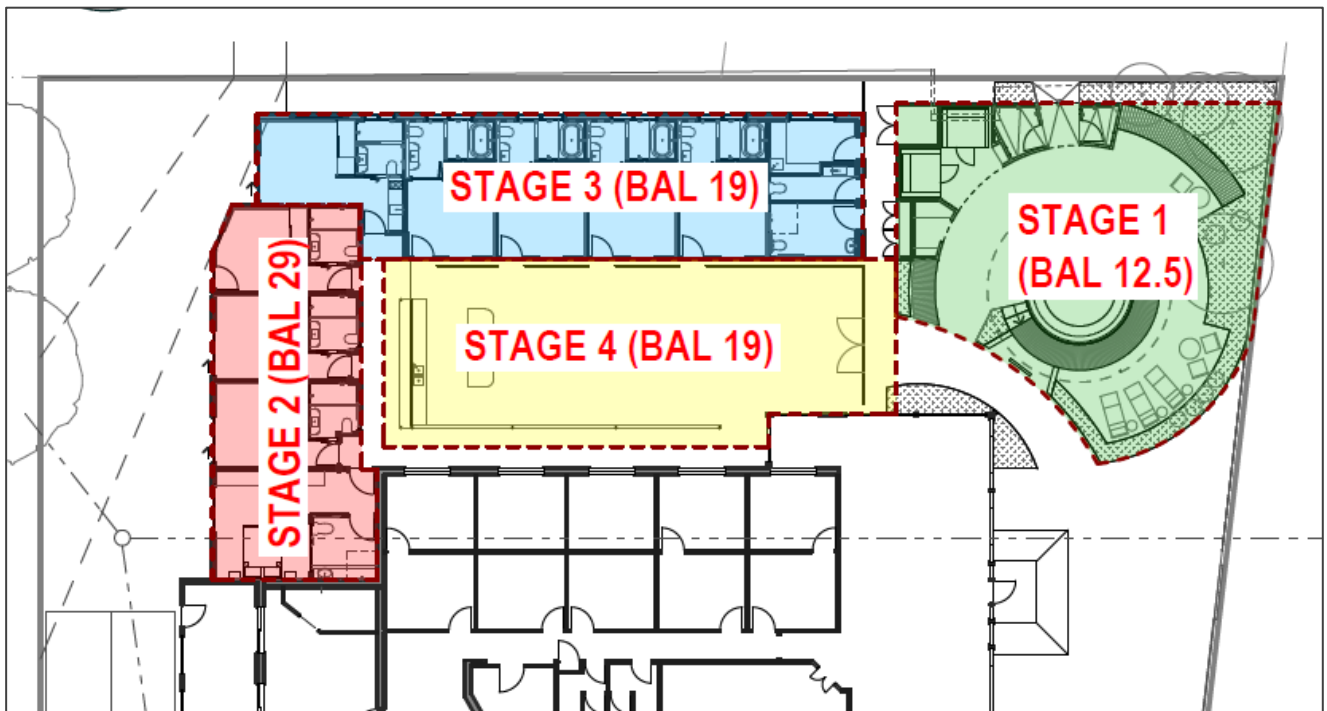


Figure 6: Architects detail of the BAL construction consistent with DA consent No. 10.2020.58.1 and the current BFSA, prior to application to modify.

2.3 SIGNIFICANT ENVIRONMENTAL FEATURES

An assessment is to be undertaken, if applicable, regarding:

- SEPP (Biodiversity and Conservation) 2021
- SEPP (Resilience and Hazards) 2021
- Biodiversity Conservation Act 2016 (NSW)
- Local Land Services Act 2013 (NSW)
- Land Management (Native Vegetation) Code 2017 (NSW)
- National Parks and Wildlife Act 1974 (NSW)
- Environmental Protection and Biodiversity Conservation Act 1999 (Cwlth)

This report does not consider the above legislation and in this regard this report should be read in conjunction with the Statement of Environmental Effects submitted with the development application.

2.4 REPORT DETAILS

Report Reference No.:	23/023
Property Address:	Lot 21 DP 626953, 74-78 Bangalow Road Byron Bay
Local Government Area:	Byron Shire Council
Proposal:	S4.55 amendment to approved development
Drawings:	See attached in Appendix D

3.0 PROPOSED DEVELOPMENT

The applicant is proposing alterations and additions to the existing building at Lot 21 DP 626953, 74-78 Bangalow Road Byron Bay being known as 'The Health Lodge' as shown on the site plan in Figure 2 and the floor and roof plans attached in Appendix A.

A description of the proposed development is provided¹ as follows, it being noted that the proposed alterations and additions constitute a minor change only to the approved development which was granted development consent on 12 December 2020 (DA 10.2020.58.1) and will be located no closer to the hazard than previously assessed in that development application.

It is noted that the previous staged nature of the development will now be a single stage.

- *Stage 1, 2, 3 + 4 will all be constructed at the same time. Refer to updated Bushfire + Staging Plan for bushfire BAL locations + Unit numbers (revision to Unit numbers as outlined in DA Schedule 1 Condition 4 to match current proposed plans)*
- *Water tanks removed*
- *Remaining clumps of trees to be removed, mixture of Bangalow Palms + Melaleucas*
- *2 x covered H+C showers, and 1 x cold outdoor shower to Spa Courtyard (instead of 3 x H+C covered showers)*
- *Shower + Saunas relocated slightly, and structure revised in design to incorporate pool equipment + storage*
- *Pool to remain the same in size and location, roof over changed slightly in design from square to circular.*
- *New water feature*
- *General landscaping changes to suit new Spa Courtyard design (ie. seating, paving, planting)*
- *Pool fence changed location + height to match boundary fence height and to suit new Spa Courtyard design to comply with Swimming Pool Act 1992*
- *Damaged section of front fence removed and replaced with new to match in with existing design.*

¹ Ardill Payne & Partners, 'Section 4.55(2) application' dated 20.01.2023

- Northern boundary fence to Spa Courtyard to be replaced on correct boundary line
- Bike racks relocated.
- Disabled carpark + shared space mirrored in location.
- Reception to be removed from DA as not on approved plans (outlined in DA Schedule1 Clause 4 - Stage 1). Existing Reception retained for this purpose
- Existing Covered Roofed area to east of Courtyard to be demolished + new Courtyard Roof to extend over this area.
- Proposed Courtyard Roof changed from polycarbonate to match existing roofs.
- New diving wall to Courtyard to create visual barrier from Courtyard to consulting rooms.
- New timber screening + gates to Courtyard to create visual barrier from Courtyard to Units + provide secure access for guests.
- New Outdoor Kitchen to Courtyard, including sink, dishwasher, ovens, cooktop
- Unit 1-4 windows to Courtyard changed in size (area remains the same) - W17-20
- Unit 6 wall changed slightly to suit correct line of easement.
- Unit 6 windows to west W08 + W09 revised to suit new wall location.
- W12 to Unit 9 reduced in height.
- Kitchenette added to Unit 5, including sink, dishwasher, cooktop, rangehood.
- Kitchenette added to Unit 9, including sink, dishwasher, cooktop, rangehood (to suit Adaptable Housing Code AS4299-1995)
- Ensuites to Unit 1-9 general revisions to plumbing fitting locations.
- New baths added to Units 1-4 and Unit 10
- Eastern wall of Units 6-8 moved slightly to allow for new bathroom design + disabled access to Unit 9
- Laundry added to Storage Room, 1 x sink, 2 x Washing Machines + Dryers.
- General redesign of Laundry / Disabled Wc / Ambulant Wc, including relocation of doorways + windows
- Addition of H+C shower to Disabled WC to meet AS 1428.1



Figure 1: Location of subject property and proposed additions (red dashed line) *BSC online mapping*

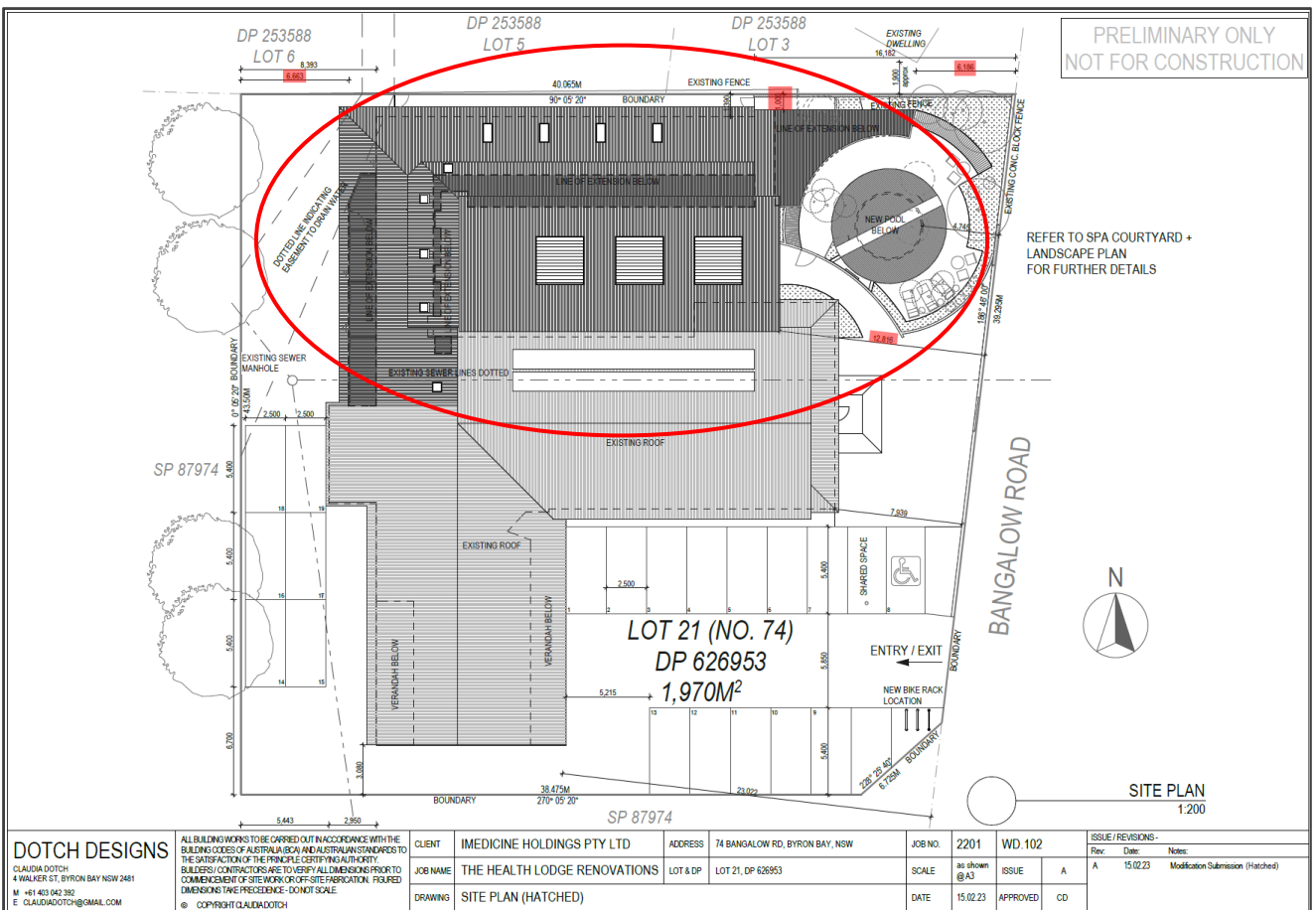


Figure 2: Site plan with location of proposed development (larger image in Appendix D)

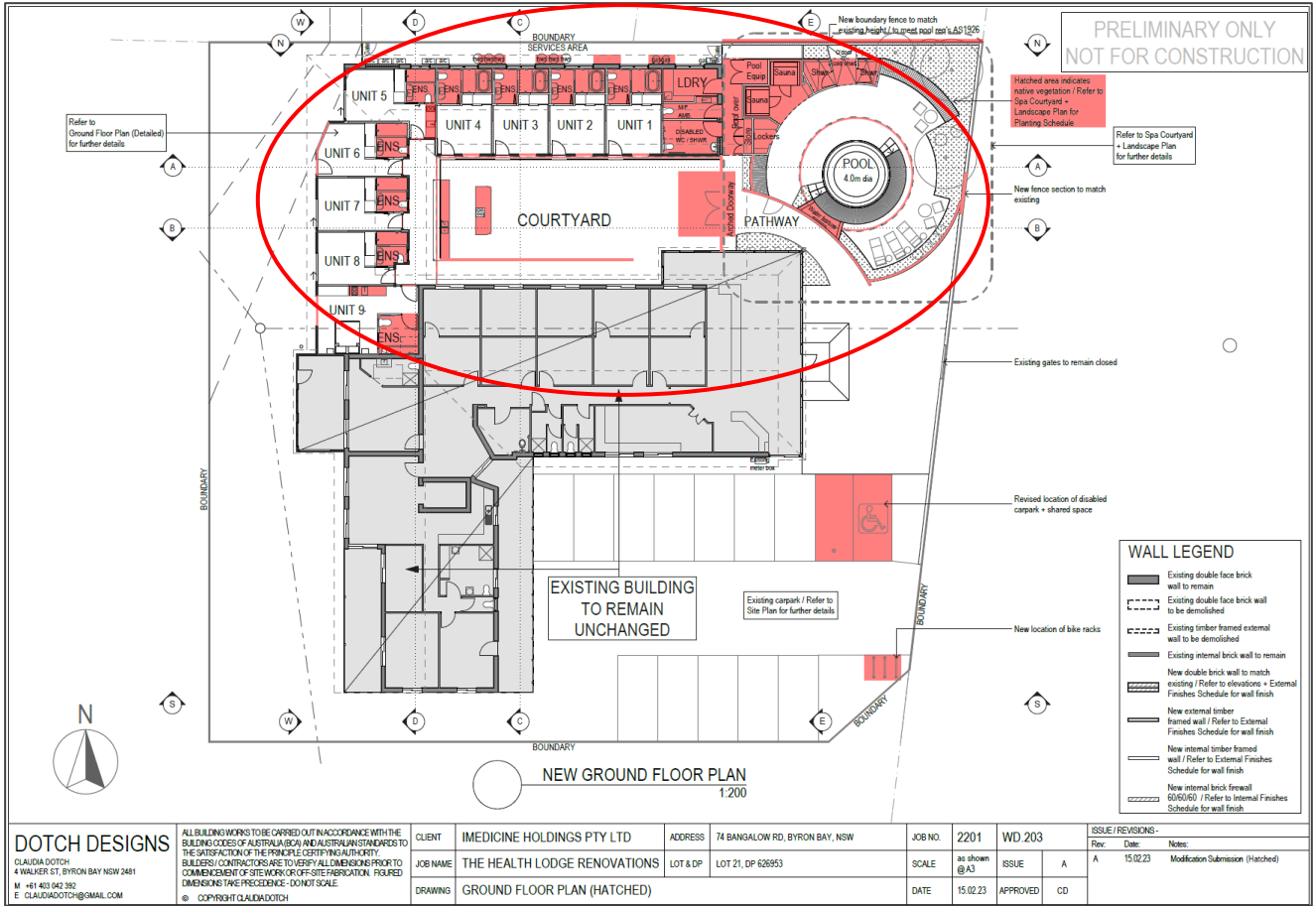


Figure 3: Proposed floor plan with location of proposed development (larger image in Appendix D)

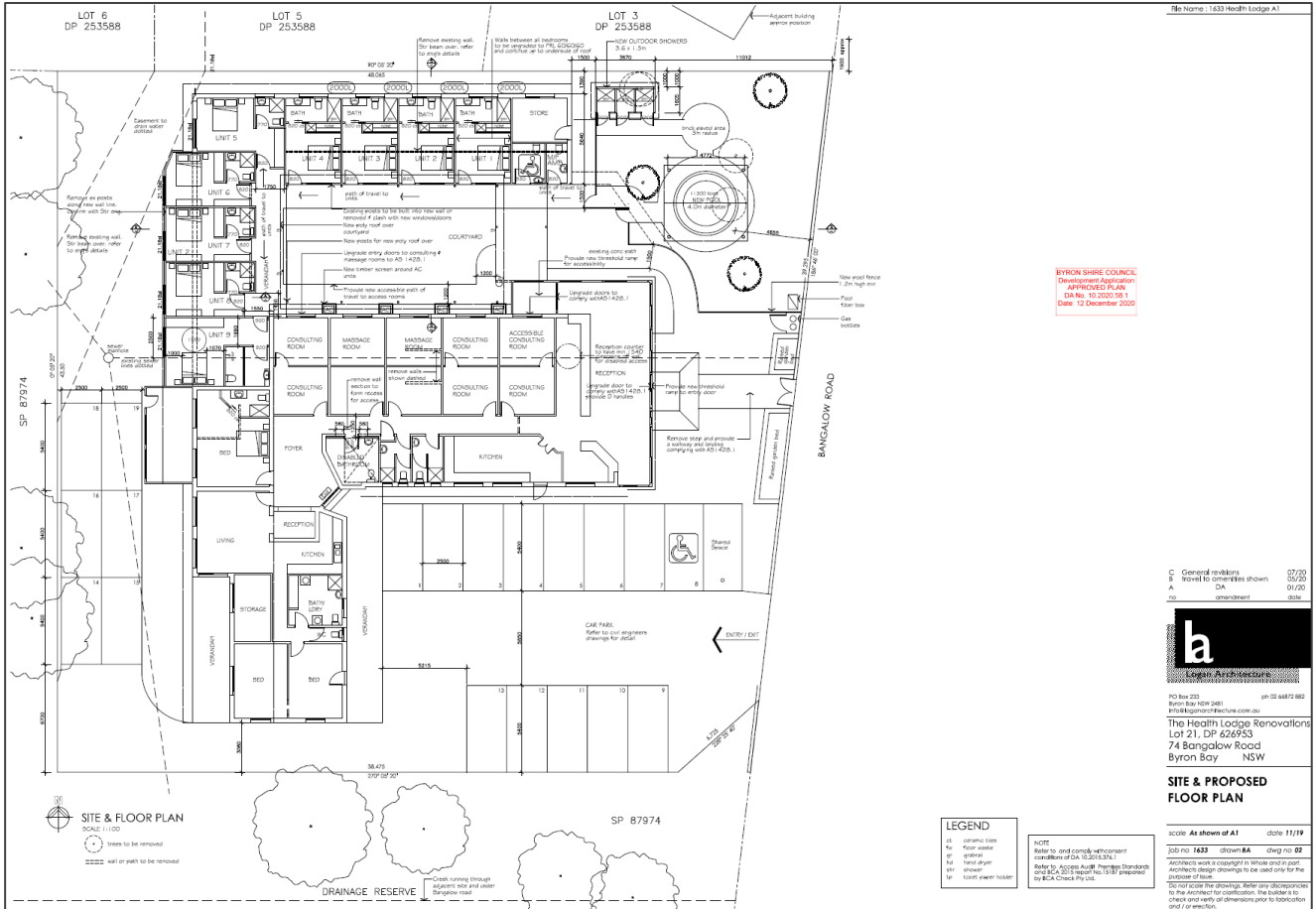


Figure 4: Approved stamped floor plan for Consent No. 10.2020.58.1 (larger image in Appendix A)

4.0 BUSHFIRE THREAT ASSESSMENT

4.1 BUSHFIRE PRONE LAND MAP

The bushfire prone mapping identifies the subject allotment as being within the buffer zone of Category 1 vegetation to the west and southwest. Aerial mapping and inspection of the site reveals that the bushfire prone land map is considered reasonably accurate with respect to the current bushfire hazard.



Figure 5: Bushfire prone land map

Source: BSC online mapping

4.2 BUSHFIRE THREAT ANALYSIS

The bushfire hazard is located to the west and southwest of the proposed development being forested wetland located on relatively flat ground.

To the north, east and south is managed land.



Coastal Swamp Forest to the west on relatively flat land.



Figure 6: Vegetation Communities 2021

Source: BSC online mapping

5.0 INFILL DEVELOPMENT OBJECTIVES INCLUDING ASSET PROTECTION ZONES AND CONSTRUCTION STANDARDS

5.1 Objectives that apply to existing SFPP development

PBP2019 Section 6.4 details objectives that apply to the existing SFPP development. The proposed development is considered to meet the objectives as follows:

5.3.1 Provide an appropriate defensible space

As stated in Section 2.1 of this report, Chris Lonergan (Byron Bay Planning and Property Consultants) provided NSW RFS a response on 15 May 2020 (**attached** in Appendix A) which included reference to defensible space on the subject property as follows.

- *"Coastal Wetlands" are located 20m to the west. To this end the proposal totally satisfies the protection requirements of PBP2006 as this "Infill" Development has a large defensible space to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW. And the building is to be upgraded to improve fire safety, and achieve safe evacuation to the east, onto a large public road, within a managed urban area.*

In this regard, the proposed amendment to the approved development is no closer to the hazard to the west than previously approved and the defensible space is the same as previously approved which is considered adequate.

5.3.2 Site the building in a location which ensures appropriate separation from the hazard to minimise potential for material ignition

Asset Protection Zones

Asset Protection Zones are areas established and maintained to ensure that bushfire fuels are progressively reduced between the development and the bushfire hazard. The asset protection zone incorporates an Inner Protection Area (IPA) having reduced fuel loadings.

The proposed development, as infill development, is required to comply with Section 6.4 Development of existing SFPP facilities of PBP2019. Areas of off-site 'managed land' and distance to the bushfire hazard have previously been established by NSW RFS with the issue of the Bush Fire Safety Authority (BFSA) dated 8 May 2020.

The proposed amendments will be no closer to the bushfire hazard than previously assessed and therefore the asset protection zone required (entire property) by the Bush Fire Safety Authority (BFSA) dated 8 May 2020 will not require amending and should be reflected in an updated BFSA.



Managed areas onsite



Managed areas onsite and off-site to the west.

5.3.3 Provide a better bush fire protection outcome for existing buildings

The current BFSAs permits a monolithic roof over the units to be divided into two Bushfire Attack Levels which is not desirable or easily certified. This report provides a better bushfire outcome for the amended development by requiring the entire roof of units 1- 9 and the courtyard roof to be constructed to BAL 29 as shown in Figure 8.

This recommendation replaces the previous consent condition only requiring Units 6 – 9 to have the roof constructed to BAL 29.

The current BFSAs does not have a landscaping requirement, it being noted new landscaping is proposed. This report includes a recommendation in this regard which will provide a better bushfire outcome than previously approved.

In turn, fencing and landscape condition has also been recommended as follows.

- *New fences and gates within the APZ are to be made of either hardwood or non-combustible material. Where a new fence or gate is constructed within 6m of the building it is to be made of non-combustible material only.*
- *Existing and proposed landscaping within the site is to be managed in accordance with Appendix 4 of Planning for Bushfire Protection 2019.*

5.3.4 *New buildings should be located as far from the hazard as possible and should not be extended towards or situated closer to the hazard than the existing buildings (unless they can comply with section 6.8)*

The proposed amended development will be located no closer to the hazard than previously approved in Consent No. 10.2020.58.1.

5.3.5 *Ensure there is no increase in bush fire management and maintenance responsibility on adjoining landowners without their written confirmation*

The proposed development will not result in any increase in bushfire management and maintenance responsibility on adjoining landowners.

5.3.6 *Ensure building design and construction enhances the chances of occupant and building survival.*

Construction

The Bush Fire Safety Authority dated 8 July 2020 contained the following conditions for BAL construction for the proposed development.

2. Stage 1 construction must comply with Sections 3 and 5 (BAL 12.5) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 12.5 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 12.5 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
3. Stage 2 construction must comply with Sections 3 and 7 (BAL 29) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 29 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 29 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
4. Stage 3 and 4 construction must comply with Sections 3 and 6 (BAL 19) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 19 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 19 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
5. The existing building must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draft excluders.

The proposed alterations and additions are recommended to be constructed as follows. Construction specifications detailing compliance shall be shown on the construction plans for consideration by the appropriate authority.

- *BAL 29 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 for the entirety of Units 6 – 9 including the roof shown in Figures 7 and 8.*
- *BAL 29 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 is required for the entire roof of Units 6 – 9, the courtyard, laundry and WCs/showers as shown in Figure 8.*
- *BAL 19 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 to all elevations of Units 1 – 5, laundry and WCs/showers (excluding the roof) as shown in Figure 7.*
- *BAL 12.5 AS 3959-2018 plus Section 7.5 Planning for Bushfire Protection 2019 to the pool equipment room, saunas, showers and locker rooms, and the pool including the roof and any associated components as shown in Figure 7 and Figure 8.*

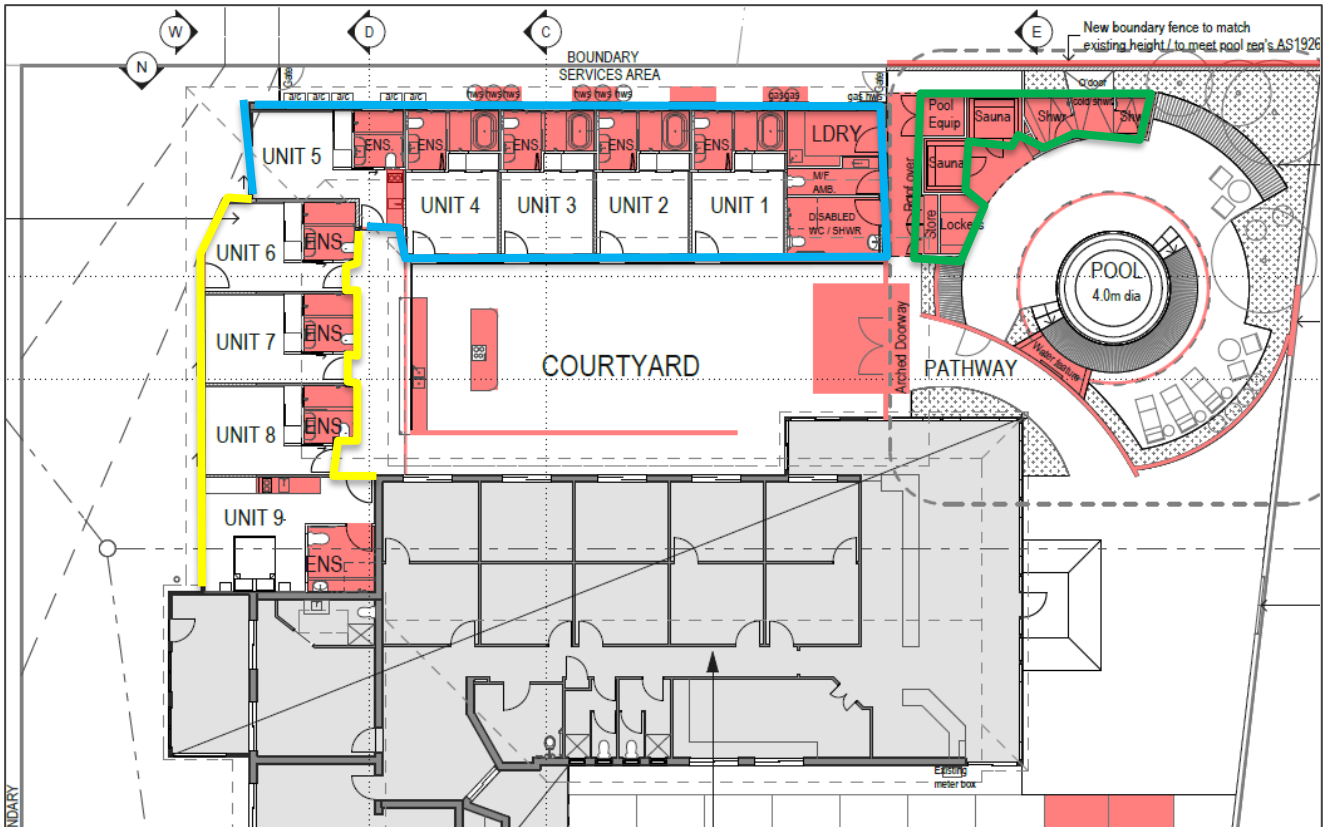


Figure 7: **BAL building components (elevations)** (BAL 29 = yellow, BAL 19 = blue, BAL 12.5 =green)

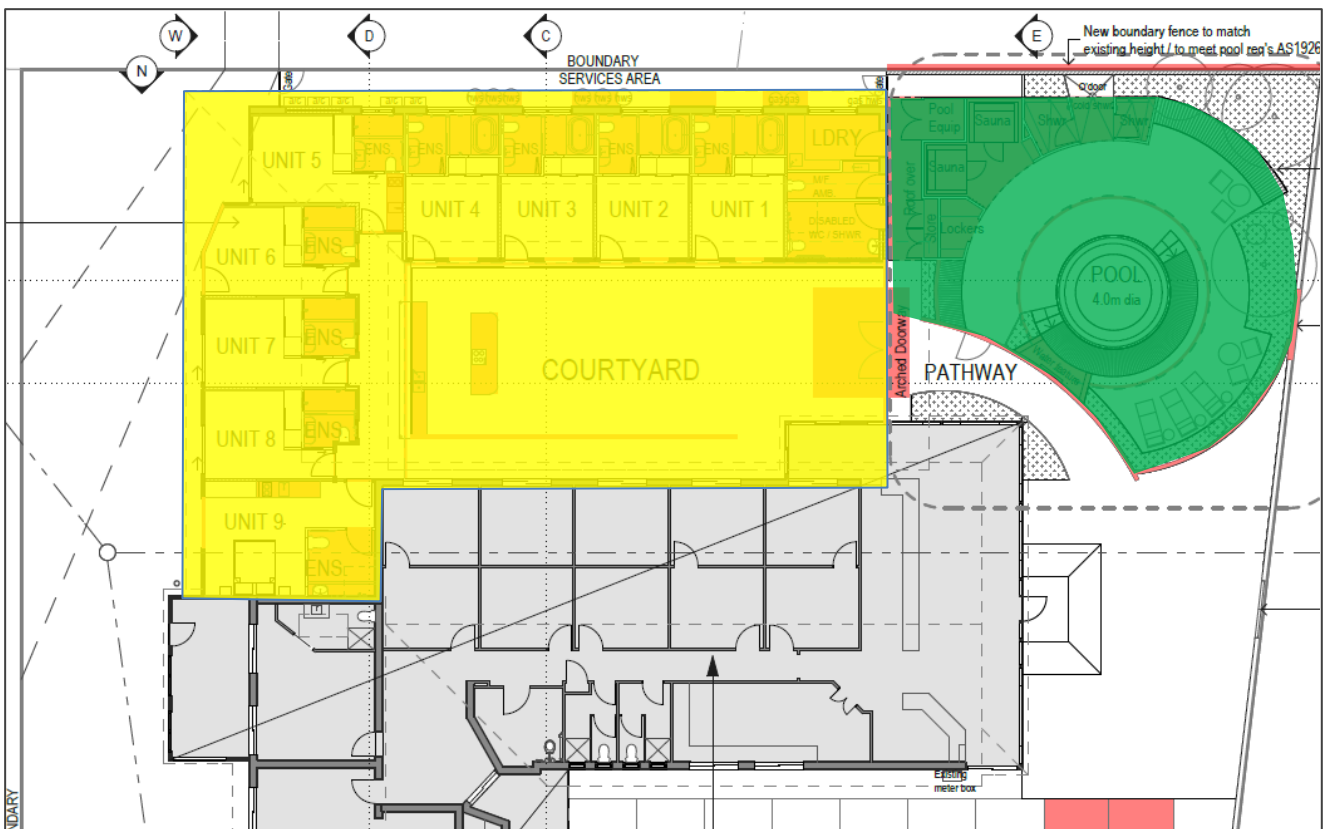


Figure 8: **BAL required for roofs** (BAL 29 = yellow; BAL 12.5 = green)

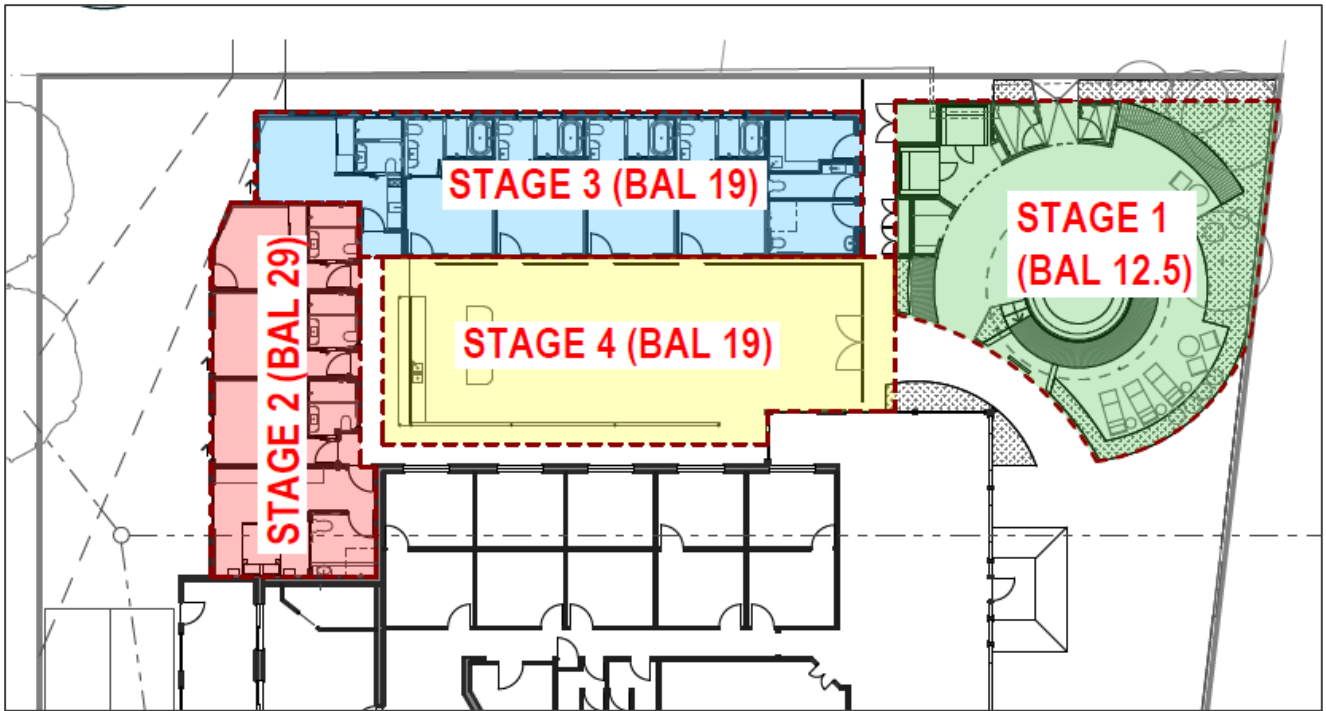


Figure 9: Previous required BAL construction (DA 10.2020.58.1)

New fences and gates within the APZ are to be made of either hardwood or non-combustible material. Where a new fence or gate is constructed within 6m of the building it is to be made of non-combustible material only.

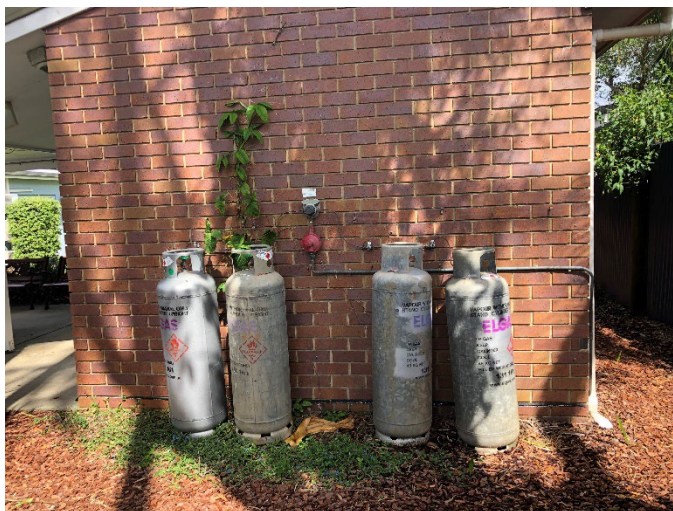
A specific review of plans relating to construction details and materials for compliance with AS 3959-2018 plus Section 7.5 of PBP2019 has not been undertaken and does not form part of the scope of this report.

Water, Electricity and Gas

BFSA Condition No.6 regarding water, electricity, and gas services states:

6. The provision of water, electricity and gas must comply with Table 6.8c of Planning for Bushfire Protection 2019.

It is noted hydrant pressures and flows have not been tested as part of this report.



Gas bottles onsite on the non-hazard side of the building.

Access

The property access is provided by way of Bangalow Road providing access from the public road system giving fire fighters access to the building.

The application for the alterations and additions to the building does not involve any alterations to the current access. Notwithstanding, a fire appliance will not be required access onsite given the hydrant is in the street.

Landscaping

Most buildings adversely impacted upon in a bushfire event happen through ember attack and in this regard combustible material surrounding the building e.g. landscaping can play a significant part during the event. Adequate management of landscaping is critical to the survivability of an asset and for occupant safety during a bushfire.

It is recommended that landscaping is undertaken in accordance with Appendix 4 of PBP2019 (see attached Appendix B).

Fencing is to be constructed in accordance with Section 7.6 of PBP2019 with the following to apply:

- New fences and gates within the APZ are to be made of either hardwood or non-combustible material. Where a new fence or gate is constructed within 6m of the proposed building it is to be made of non-combustible material only.

This office has not specifically assessed landscape plans. In this regard it is recommended the landscaping plans be accompanied by a design statement of compliance from the landscape designer, relevant to the recommendations in this report and to be assessed by the consent authority for compliance.

It is noted, however, that some landscaping appears to be proposed against the building and this will require modification to meet the requirements of PBP2019.

5.3.7 Provide for safe emergency evacuation procedures including capacity of existing infrastructure (such as roads)

Emergency evacuation planning

The current consent condition (BFSA) is as follows which provides for safe emergency evacuation procedures. No change to the current consent condition.

7. A Bush Fire Emergency Management and Evacuation Plan must be prepared and be consistent with the NSW RFS document: A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan. The Bush Fire Emergency Management and Evacuation Plan should include planning for the early relocation of occupants.

Note: A copy of the Bush Fire Emergency Management and Evacuation Plan should be provided to the Local Emergency Management Committee for its information prior to occupation of the development.

General Advice - Consent Authority to Note

- It is noted that a Bush Fire Emergency Management and Evacuation Plan has been submitted for the development. The Applicant and Consent Authority are advised that the NSW RFS does not specifically approve or certify such plans.

6.0 CONCLUSION

This assessment provides recommendations consistent with the acceptable solutions of Planning for Bushfire Protection 2019 as contained in Section 1 of this report. Further details of compliance with the recommendations will be required with the application for construction certificate and approved by a registered building certifier.

DISCLAIMER

This report was prepared for the purposes and exclusive use of the stated client to accompany an application to Byron Shire Council specifically relating to the proposed building alterations and additions on the subject property, and is not to be used for any other purpose or by any other person or Corporation. BCA Check Pty Ltd accepts no responsibility for any loss or damage suffered howsoever arising to any person or Corporation who may use or rely on this report in contravention of the terms of this clause. This report is not intended for or to be used where aluminium composite panels or intumescent paints are proposed. The report is not to be construed as an assessment of the building materials or compliance with the recommended bushfire attack level/s.

As identified in Planning for Bushfire Protection 2019 and the Building Code of Australia the report is to provide recommendations to reduce the risk of ignition and does not guarantee the complete protection of the building in the event of bush fire or that the building will not be adversely impacted upon.

Reporting has been based on the relevant Council and Rural Fire Service Guidelines however recommendations or suggestions given in this report are based on our site investigation at the time of reporting. In some cases site conditions may change dramatically within a few years due to rapid vegetation re-growth and invading weed species.

REFERENCES

Keith, D.A. (2004). *'Ocean Shores to Desert Dunes: The Native Vegetation of New South Wales and the ACT'*. NSW Department of Environment and Conservation.

NSW Rural Fire Service (2019), *Planning for bushfire protection, A guide for councils, planners, fire authorities and developers'*. November 2019, NSW Government.

Standards Australia, (2018), *AS3959 Construction of buildings in bushfire prone areas*, Australian Standards, Sydney.

LEGISLATION

Environmental Planning and Assessment Act 1979 and Regulations 2000. *New South Wales*. Parliamentary Counsel's Office, NSW Government Information Service.

Rural Fires Act 1997. *New South Wales*. Parliamentary Counsel's Office, NSW Government Information Service.

Rural Fires Regulation. *New South Wales*. Parliamentary Counsel's Office, NSW Government Information Service.

APPENDIX A: * NSW Rural Fire Service correspondence, 13.05.2020

*** Byron Bay Planning & Property Consultants correspondence, 15.05.2020**

*** Development Consent No. 10.2020.58.1, 12.12.2020 (selected pages)**



NSW RURAL FIRE SERVICE

Byron Shire Council
PO Box 219
MULLUMBIMBY NSW 2482

Your reference: (CNR-4517) 10.2020.58.1
Our reference: DA20200215000548-Original-1

ATTENTION: Patricia Docherty

Date: Wednesday 13 May 2020

Dear Sir/Madam,

Integrated Development Application
s100B – SFPP – Other Tourist Accommodation
74 Bangalow Rd Byron Bay NSW 2481 AUS, 21//DP626953

I refer to your correspondence dated 12/02/2020 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has reviewed the information provided and advises the following:

- Further details are required to establish whether or not the proposal is special fire protection purpose infill development in accordance with section 4.2.5 of 'Planning for Bush Fire Protection 2006'. If so, the matters outlined in section 4.2.5 must be addressed.
- Part of the identified asset protection zone to the west is located on the adjoining land. The Applicant is required to address section 3.3(b) of 'Planning for Bush Fire Protection 2006'.

If additional information is not received within 100 days the application will be refused on the basis of Requested Information not provided. A formal request for re-assessment would be required after this time.

For any queries regarding this correspondence, please contact Paul Creenaune on 1300 NSW RFS.

Yours sincerely,

Alan Bawden
Team Leader, Dev. Assessment & Planning
Planning and Environment Services

1

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
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Manentia Ubicumque

BYRON BAY PLANNING and PROPERTY CONSULTANTS

Chris Lonergan – Principal Town Planner
Planning Reports, BASIX, Landscaping, Ecology, Bushfire Assessment, Development and
Subdivision Design
chris@byronbayplanning.com.au

5/130 Jonson Street, P.O. Box 2585 Byron Bay NSW 2481 Australia
Ph. (02) 66 809 255
www.byronbayplanning.com.au

NSW Rural Fire Service
4 Murray Rose Ave Sydney Olympic Park 2127
Ph 02 8741 555
email - webmaster@rfs.nsw.gov.au
Dear Paul Creenaune

DEVELOPMENT APPLICATION 10.2020.58.1 (RFS DA20200215000584- Orig-1)
Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel /
Backpackers.
Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay

I refer to the above and your letter of the 13th. May 2020.
The existing building has a floor space of 519.7m².
Existing Consent 10.2015.376.1 dated 20/11/2015 - Health Consulting Rooms, Dwelling and
Hostel / Backpackers.

The development proposed is to occur in four (4) stages.

The development proposes as **Stage 1** to construct a Showers, Saunas, a pool and a Reception
in the north east garden area of the site. This will add 21.2m² to the floor area of the development
on site.

For **Stage 2** it is proposed that ensuite bathrooms be added to existing Accommodation Units 1, 2
and 3, which adds 18m² to the developments floor area.

For **Stage 3** it is proposed to construct ensuite bathroom additions within the northern section of
each of accommodation units 4 to 8, with a compensatory 2m added to the south of these units to
maintain bedroom space. This will add 34.8m² to the total floor area.

Finally **Stage 4** will be the construction of a poly roof over the central courtyard, with timber
decking about its perimeter. This does not increase floor area.

The nett result is to **no increase in Accommodation Capacity results, and the proposal
maintains the developments spatial separation from the distant fire threat to the south
west.**

The site is in general unlikely to come under severe bush fire risk due to the cleared and mostly
managed nature of the central and southern areas of the site, and due to the managed nature of
the surrounding urban managed lands. The exception to this is the Forested Wetlands 22m to the
west.

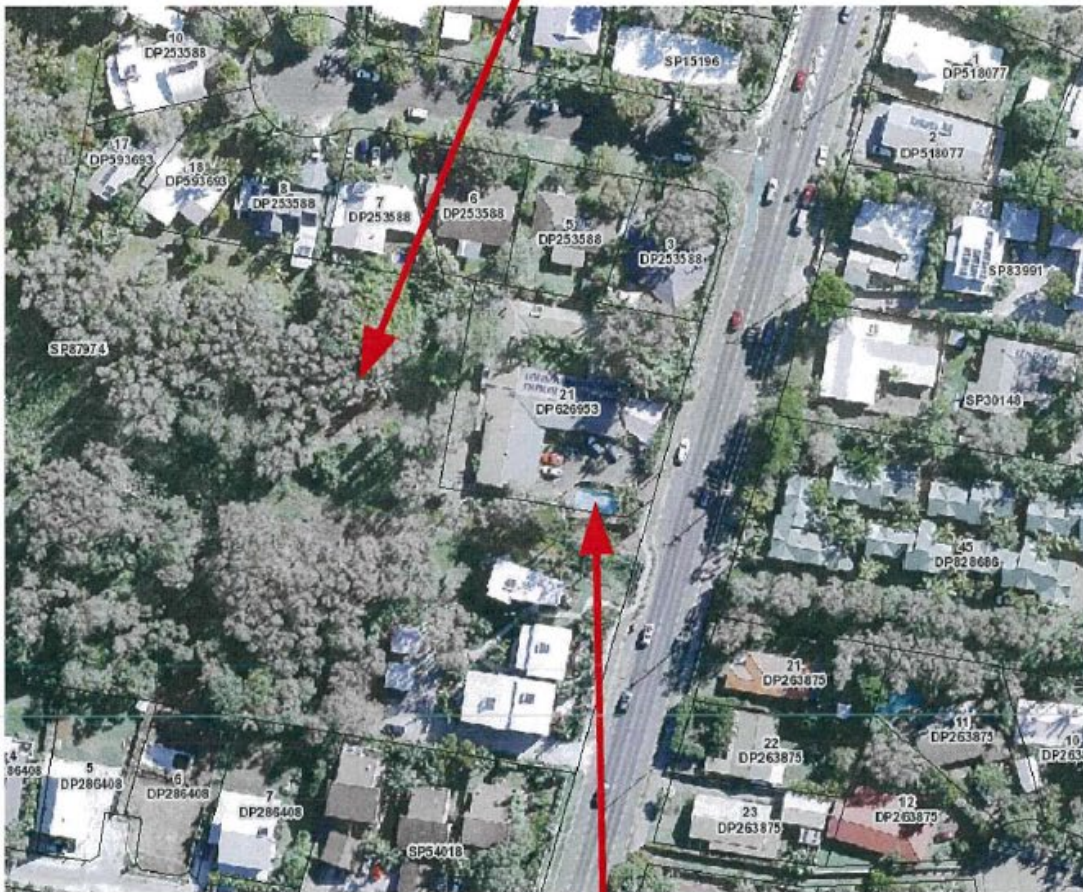
The site sits within an FDI 80 Fire Area, and is mapped as being within a Bushfire Buffer. On this
basis the proposal is assessed under Table A2.6 of the Planning for Bushfire Protection
Regulations, as the Tourist and Visitor Accommodation component of the Development is classed
as "Special Fire Protection Development" under PBP 2006.

The development predates PBP2006, and as such it enjoys "Existing Use Rights". The intent of
this report is therefore to achieve an improved Fire Safety outcome, rather than compliance.

See Following Building Materials requirements, and the Evacuation Plan.



Forested Wetland 22m to the west.



Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay

PBP2006 – Section 4.2.5 SFPPs as infill

In this section, where alterations or additions to existing SFPP's facilities are proposed, the RFS requires an appropriate combination of bush fire protection measures and compliance with the intent and performance criteria of each measure within section 4.3.5. It is also acknowledged that existing circumstances may make the preferred standards difficult to achieve. In such cases, the specific objectives in Section 4.2.3 are to be followed.

The specific Section 4.2.3 Objectives for SFPP developments are to :

- provide for the special characteristics and needs of occupants. Unlike residential subdivisions, which can be built to a construction standard to withstand the fire event, enabling occupants and firefighters to provide property protection after the passage of fire, occupants of SFPP developments may not be able to assist in property protection. They are more likely to be adversely affected by smoke or heat while being evacuated.

Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel / Backpackers.
Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay



In this instance, no increase in occupant numbers is proposed, the egress point from the building is to the east, away from the fire threat (west), to a Cleared Carpark in the S.E. of the site adjacent to Bangalow Road. This carpark is shielded from the radiant heat impacts of a fire to the west by a brick building.

An Evacuation Plan accompanies the DA as submitted.

As such the proposal meets this objective.

• provide for safe emergency evacuation procedures. SFPP Developments are highly dependent on suitable emergency evacuation arrangements, which require greater separation from bush fire threats. During emergencies, the risk to firefighters and other emergency services personnel can be high through prolonged exposure, where door-to-door warnings are being given and exposure to the bush fire is imminent.

Again, in this instance, no increase in occupant numbers is proposed, the egress point from the building is to the east, away from the fire threat (west), to a Cleared Carpark in the S.E. of the site adjacent to Bangalow Road. This carpark is shielded from the radiant heat impacts of a fire to the west by a brick building.

An Evacuation Plan accompanies the DA as submitted.

As such the proposal meets this objective.



Section 4.3.5 Specifications and Requirements for Bush Fire Protection Measures for Infill Development

Performance Criteria	Acceptable solutions	Proposed Outcome
The intent may be achieved where :		
in relation to Asset Protection Zones: <ul style="list-style-type: none"> • a defensible space is provided onsite. • an asset protection zone is provided and maintained for the life of the development 	<ul style="list-style-type: none"> • APZ determined in accordance with Appendix 2. 	Managed lands 22m then Forested Wetland. Across Slope. 50m APZ requirement. 20m Provided. Despite this a large defendable space exists to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW.
in relation to siting and design: <ul style="list-style-type: none"> • buildings are sited and designed to minimise the risk of bush fire attack. 	<ul style="list-style-type: none"> • buildings are designed and sited in accordance with the siting and design principles in this section (see also figure 4.7). 	The recommendation is that metal screens be placed on all windows and that gutter guard be added to all gutters on this brick and cement sheet building constructed on a concrete slab. This combined with the maintenance of the existing western defensible space, ensures compliance with Fig. 4.7 objectives.
in relation to construction standards: <ul style="list-style-type: none"> • it is demonstrated that the proposed building can withstand bush fire attack in the form of wind, smoke, embers, radiant heat and flame contact. 	<ul style="list-style-type: none"> • construction determined in accordance with Appendix 3 and the Requirements for attached garages and others structures in this section. Note: provisions in relation to Class 10a buildings may also apply.	As stated, a defendable space exists to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW. recommendation is that metal screens be placed on all windows and that gutter guard be added to all gutters on this brick and cement sheet building constructed on a concrete slab. This combined with the maintenance of the existing western defensible space, ensures compliance with Infill Development Construction Standards.
in relation to access requirements: <ul style="list-style-type: none"> • safe, operational access is provided (and maintained) for emergency services personnel in suppressing a bush fire while residents are seeking to relocate, in advance of a bush 	<ul style="list-style-type: none"> * compliance with section 4.1.3 for property access roads. • compliance with section 4.2.7 for access standards for internal roads. 	no increase in occupant numbers is proposed, the egress point from the building is to the east, away from the fire threat (west), to a Cleared Carpark in the S.E. of the site adjacent to Bangalow Road. This carpark is shielded from the radiant heat impacts of a fire to the

Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel / Backpackers.
 Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay



<p>fire, (satisfying the intent and performance criteria for access roads in sections 4.1.3 and 4.2.7).</p>		<p>west by a brick building. As such safe assembly and evacuation to Bangalow Road, being a managed urban area, is achieved An Evacuation Plan accompanies the DA as submitted.</p>
<p>in relation to water and utility services:</p> <ul style="list-style-type: none"> • adequate water and electricity services are provided for firefighting operations • gas and electricity services are located so as not to contribute to the risk of fire to a building. 	<ul style="list-style-type: none"> • compliance with section 4.1.3 for services - water, electricity and gas. 	<p>Electricity Supply - It is preferable that transmission lines providing power to the proposed development should be installed underground. Satisfactory provisions are available, however, if this is not possible.</p> <p>Gas - Reticulated or bottled gas shall be installed and maintained in accordance with AS/NZS 1596-2002: <i>Storage and Handling of LP Gas</i> and the requirements of the relevant authorities. If gas cylinders are to be kept close to buildings, the release valve must be directed away from the building and away from any hazardous materials such as firewood, so that it does not act as a catalyst to combustion.</p> <p>Water Supply – Town Water with a proximate Hydrant.</p>
<p>in relation to landscaping:</p> <ul style="list-style-type: none"> • it is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind driven embers to cause ignitions. 	<ul style="list-style-type: none"> • compliance with Appendix 5. 	<p>The landscaping in the western area of the site comprises lawn in the north and a sealed carpark in the south, as such maintenance of the defendable space as an inner APZ is guaranteed.</p>

Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel / Backpackers.
Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay



Section 3.3(b) PBP2006.

3.3 Exceptional circumstances for APZs

(b) APZs on adjoining lands

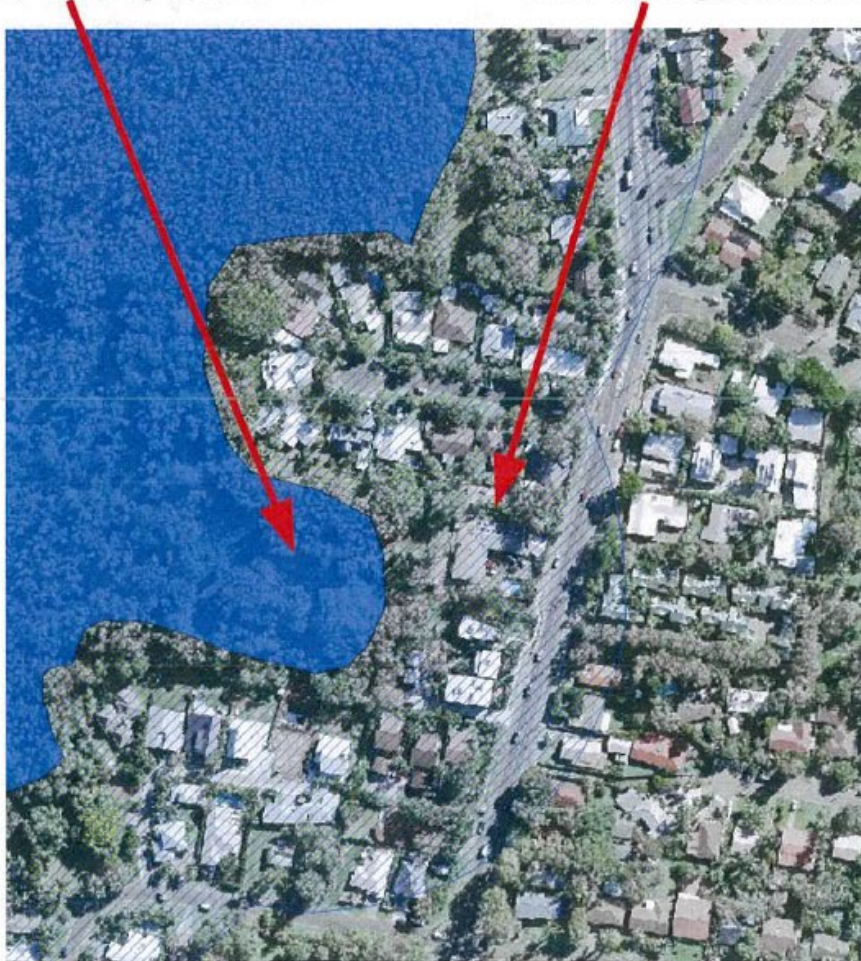
Neither the RFS nor a council has the power to impose an APZ on an adjoining landowner. It is therefore the developer's responsibility to negotiate with adjoining land owner/s as part of the development application process.

Easements should not be considered where the adjoining land is used for a public purpose, where vegetation management is not likely or cannot be legally granted (eg National Park, council bushland reserve, SEPP 14 or SEPP 26, critical habitat). Existing easements for power and other services will be considered on their merits.

S.E.P.P. Coastal Management (Wetlands – Formerly SEPP 14)

Wetlands – Formerly SEPP 14

Nos 74-78 Bangalow Road Byron Bay.



“Coastal Wetlands” are located 20m to the west. To this end the proposal totally satisfies the protection requirements of PBP2006 as this “Infill” Development has a large defensible space to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW. And the building is to be upgraded to improve fire safety, and achieve safe evacuation to the east, onto a large public road, within a managed urban area.

**Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel / Backpackers.
Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay**

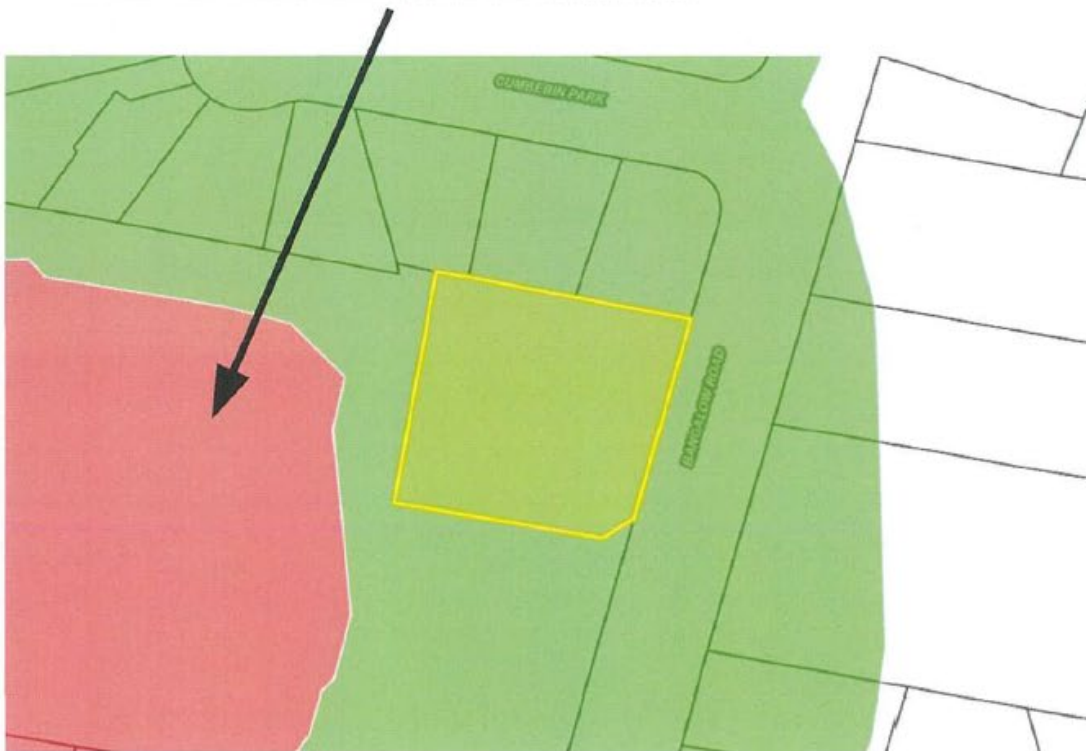


On this basis no easement over adjoining land is needed, and the Wetlands at 22m from the building, are sufficiently removed to enable the building to achieve a safe performance rating with just the addition of metal screens to windows, gutter guards to gutters, maintenance of the existing defendable space as an Inner APZ, and adherence to the Emergency Evacuation Plan provided with the DA.

Copy Attached.

Mapped Bushfire Constraints.

Bushfire Threat from Western Forested Wetland Area



Viewed in total, the proposed Alterations and Additions to the Tourist and Visitor Accommodation component of the Development, will in no way prejudice the Objectives of PBP 2006 as it relates to this type of infill development as no increase in accommodation numbers are proposed, the site has a large defendable space to the west comprising parking area and mown lawn, 8m wide in the SW and 7.6m wide in the NW, the building is to be upgraded to improve fire safety, and the development easily achieves safe evacuation to the east, onto a large public road, within a managed urban area.

On this basis it is requested that this infill development receive conditional support.

Chris Lonergan B.A. (Town Planning UNE)
15th. May. 2020

Alterations and Additions to Existing Health Consulting Rooms, Dwelling and Hostel / Backpackers.
Lot 21 DP626953 Nos 74-78 Bangalow Road Byron Bay



NOTICE OF DETERMINATION OF A DEVELOPMENT APPLICATION
issued under the
Environmental Planning and Assessment Act, 1979 Section 4.18(1)(a)

Development Application No. 10.2020.58.1

Byron Bay Planning & Property Consultants
ATT: Chris Lonergan
Email: chris@byronbayplanning.com.au

Email: chris@byronbayplanning.com.au

Property description:	LOT: 21 DP: 626953 74-78 Bangalow Road BYRON BAY
Development	Alterations and Additions to Existing Health Consulting Rooms, Backpackers and Caretaker Dwelling and New Swimming Pool and Saunas - Construction in Four (4) Stages
Determination	Consent granted subject to the attached schedule of conditions
Date determined:	12 December 2020
Consent to operate from:	14 December 2020
Consent to lapse on:	14 December 2025

IMPORTANT INFORMATION

It is the responsibility of the applicant, landowner, builder, and any other contractors or agents involved with the development to read and understand all conditions of consent prior to commencing work.

The Environmental Planning and Assessment Act 1979 require you to:

1. Obtain a **Construction Certificate** prior to the commencement of any **building works** as required by conditions of this consent. An application may be lodged with Council, or you may apply to a private accredited certifier for a Construction Certificate. An accredited certifier **must obtain Council's approval** to certain conditions of this development consent, where indicated before issuing the Construction Certificate. Additional fees are payable for this application.
2. Nominate a **Principal Certifying Authority (PCA)** which may be either Council or an accredited certifier and notify Council of that appointment. You **cannot lawfully** commence works without complying with this requirement.
3. Give Council at least two days notice of your intention to commence the erection of a building **before** commencing construction works. You cannot lawfully commence works without complying with this requirement.
4. Obtain an **Occupation Certificate** before commencing occupation or commencing to use the building or on the completion of other works including the erection of a sign. You cannot lawfully commence occupation or the use of a building without complying with this requirement.

CONDITIONS OF CONSENT:

SCHEDULE 1. CONDITIONS OF CONSENT

Parameters of consent

1. Development is to be in accordance with approved plans

The development is to be in accordance with plans listed below:

Plan No.	Description	Prepared by	Dated:
1633-02 C	Site Plan & Proposed Floor Plan	Logan Architecture	07/20
1633-03 B	Site Plan & Proposed Floor Plan & Internal Elevations	Logan Architecture	07/20

The development is also to be in accordance with any changes shown in red ink on the approved plans or conditions of consent.

The approved plans and related documents endorsed with the Council stamp and authorised signature must be kept on site at all times while work is being undertaken.

2. Support for neighbouring buildings

If an excavation extends below the level of the base of the footings of a building on an adjoining allotment of land, the person causing the excavation to be made or builder must:

- a. Inform the neighbouring property owner immediately.
- b. Engage a structural engineer to determine any remedial works that may need to be undertaken.
- c. Preserve and protect the adjoining building from damage.
- d. If necessary, underpin and support the building in an approved manner.

3. Conditions prescribed by the Regulation

This development consent is subject to the conditions prescribed by the regulations in accordance with subsection 4.17(11) of the Environmental Planning and Assessment Act 1979. Conditions are provided in **Schedule 2** of this consent.

4. Staged development

The development is to be carried out in the following stages:

Stage 1: Construct showers, saunas, pool and reception.

Stage 2: Ensuite bathrooms to existing accommodation units 1, 2 and 3.

Stage 3: Ensuite bathrooms and extension of accommodation units 4, 5, 6, 7 and 8.

Stage 4: Construction of a poly roof over the central courtyard and timber decking.

Where conditions are required to be satisfied prior to a particular event, those conditions are the conditions relevant to the works being carried out in the stage.

The relevant conditions are the conditions deemed necessary, by the Principal Certifying Authority (PCA) appointed for the development, or, where pursuant to the issue of a Construction Certificate, the relevant consent authority.

58. Operators must reside on the premises

The operators of the hostel component must be the permanent residents of the two-bedroom manager's dwelling. The establishment must not be used, in whole or part for the permanent or long-term accommodation of any person other than the person or persons who operate and manage the establishment and who normally reside in the dwelling. The dwelling is not approved for holiday letting and/or for the use as a tourist facility or for guest accommodation in conjunction with the existing approval for backpackers' accommodation.

59. Restriction on guests and beds

Eight (8) double beds or equivalent within the hostel component are to be used in the hostel accommodation. The hostel component is only to accommodate a total of not more than Sixteen (16) guests.

60. Restrictions on health care professionals

No more than three (3) health care professionals may use the premises at any one time.

61. Bushfire Safety Measures

All measures identified in the Bushfire Safety Authority required to be maintained in perpetuity are to implement at all times.

62. Native Vegetation to be retained

No native vegetation is to be removed from the site.

SCHEDULE 2. PRESCRIBED CONDITIONS

The prescribed conditions in accordance with Part 6 Division 8A of the Environmental Planning and Assessment Regulation as at the date of this development consent as are of relevance to this development must be complied with:

Clause 98 Compliance with Building Code of Australia and insurance requirements under the Home Building Act 1989

Clause 98A Erection of signs

Clause 98B Notification of Home Building Act 1989 requirements

Clause 98C Conditions relating to entertainment venues

Clause 98D Condition relating to maximum capacity signage

Clause 98E Condition relating to shoring and adequacy of adjoining property

Refer to the NSW State legislation for full text of the clauses under Part 6 Division 8A of the [Environmental Planning and Assessment Regulation 2000](http://www.legislation.nsw.gov.au). This can be accessed at <http://www.legislation.nsw.gov.au>.

SCHEDULE 4. NSW RURAL FIRE SERVICE CONDITIONS



NSW RURAL FIRE SERVICE

Byron Shire Council
PO Box 219
MULLUMBIMBY NSW 2482

Your reference: (CNR-4517) 10.2020.58.1
Our reference: DA20200215000548-Original-1

ATTENTION: Patricia Docherty

Date: Wednesday 8 July 2020

Dear Sir/Madam,

Integrated Development Application
s100B – SFPP – Other Tourist Accommodation
74 Bangalow Rd Byron Bay NSW 2481 AUS, 21//DP626953

I refer to your correspondence dated 12/02/2020 seeking general terms of approval for the above Integrated Development Application.

The New South Wales Rural Fire Service (NSW RFS) has considered the information submitted. General Terms of Approval, under Division 4.8 of the *Environmental Planning and Assessment Act 1979*, and a Bush Fire Safety Authority, under section 100B of the *Rural Fires Act 1997*, are now issued subject to the following conditions:

Asset Protection Zones

The intent of measures is to minimise the risk of bush fire attack and provide protection for emergency services personnel, residents and others assisting fire fighting activities. To achieve this, the following conditions shall apply:

1. From the start of building works, and in perpetuity to ensure ongoing protection from the impact of bush fires, the entire property must be managed as an inner protection area (IPA). The IPA must comprise:
 - minimal fine fuel at ground level;
 - grass mowed or grazed;
 - trees and shrubs retained as clumps or islands and do not take up more than 20% of the area;
 - trees and shrubs located far enough from buildings so that they will not ignite the building;
 - garden beds with flammable shrubs not located under trees or within 10 metres of any windows or doors;
 - minimal plant species that keep dead material or drop large quantities of ground fuel;
 - tree canopy cover not more than 15%;
 - tree canopies not located within 2 metres of the building;
 - trees separated by 2-5 metres and do not provide a continuous canopy from the hazard to the building;
 - and
 - lower limbs of trees removed up to a height of 2 metres above the ground.

1

Postal address

NSW Rural Fire Service
Locked Bag 17
GRANVILLE NSW 2142

Street address

NSW Rural Fire Service
4 Murray Rose Ave
SYDNEY OLYMPIC PARK NSW 2127

T (02) 8741 5555
F (02) 8741 5550
www.rfs.nsw.gov.au

Construction Standards

The intent of measures is that buildings are designed and constructed to withstand the potential impacts of bush fire attack. To achieve this, the following conditions shall apply:

2. Stage 1 construction must comply with Sections 3 and 5 (BAL 12.5) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 12.5 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 12.5 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
3. Stage 2 construction must comply with Sections 3 and 7 (BAL 29) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 29 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 29 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
4. Stage 3 and 4 construction must comply with Sections 3 and 6 (BAL 19) of Australian Standard AS3959-2018 'Construction of buildings in bush fire-prone areas' or the relevant BAL 19 requirements of the 'NASH Standard - Steel Framed Construction in Bushfire Areas' (incorporating Amendment A - 2015). New construction must also comply with the construction requirements for BAL 19 in Section 7.5 of 'Planning for Bush Fire Protection 2019'.
5. The existing building must be upgraded to improve ember protection by enclosing all openings (excluding roof tile spaces) or covering openings with a non-corrosive metal screen mesh with a maximum aperture of 2mm. Where applicable, this includes any sub floor areas, openable windows, vents, weepholes and eaves. External doors are to be fitted with draft excluders.

Water and Utility Services

The intent of measures is to provide adequate services of water for the protection of buildings during and after the passage of a bush fire, and to locate gas and electricity so as not to contribute to the risk of fire to a building. To achieve this, the following conditions shall apply:

6. The provision of water, electricity and gas must comply with Table 6.8c of Planning for Bush Fire Protection 2019.

Emergency and Evacuation Planning Assessment

The intent of measures is to provide suitable emergency and evacuation (and relocation) arrangements for occupants of special fire protection purpose developments. To achieve this, the following conditions shall apply:

7. A Bush Fire Emergency Management and Evacuation Plan must be prepared and be consistent with the NSW RFS document: A Guide to Developing a Bush Fire Emergency Management and Evacuation Plan. The Bush Fire Emergency Management and Evacuation Plan should include planning for the early relocation of occupants.

Note: A copy of the Bush Fire Emergency Management and Evacuation Plan should be provided to the Local Emergency Management Committee for its information prior to occupation of the development.

General Advice - Consent Authority to Note

- It is noted that a Bush Fire Emergency Management and Evacuation Plan has been submitted for the development. The Applicant and Consent Authority are advised that the NSW RFS does not specifically approve or certify such plans.

For any queries regarding this correspondence, please contact Paul Creenaune on 1300 NSW RFS.

Yours sincerely,

2



Alan Bawden
Team Leader, Dev. Assessment & Planning
Planning and Environment Services





NSW RURAL FIRE SERVICE

BUSH FIRE SAFETY AUTHORITY

SFPP - Other Tourist Accommodation
74 Bangalow Rd Byron Bay NSW 2481 AUS, 21//DP626953
RFS Reference: DA20200215000548-Original-1
Your Reference: (CNR-4517) 10.2020.58.1

This Bush Fire Safety Authority is issued on behalf of the Commissioner of the NSW Rural Fire Service under s100b of the Rural Fires Act (1997) subject to the attached General Terms of Approval.

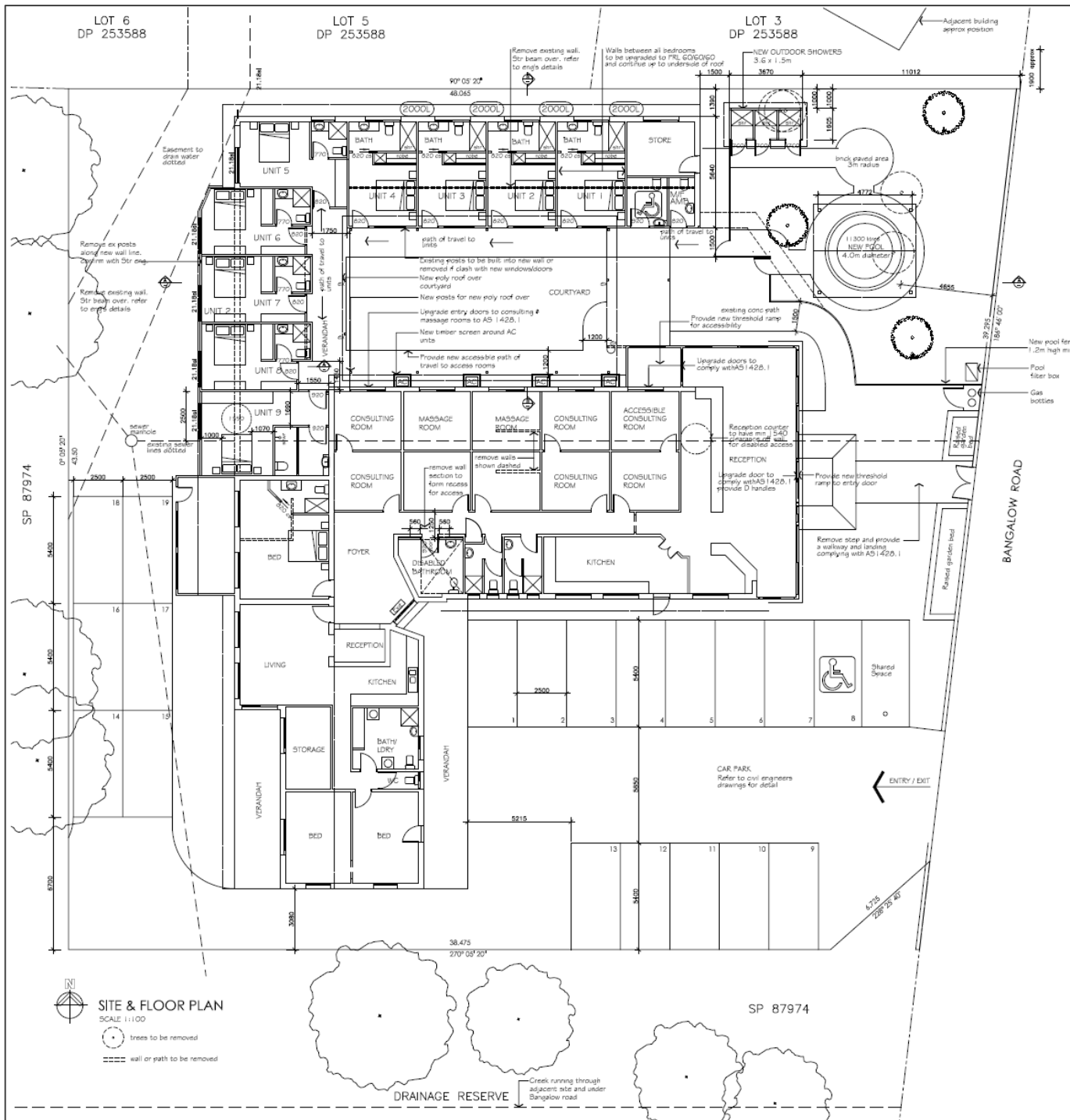
This authority confirms that, subject to the General Terms of Approval being met, the proposed development will meet the NSW Rural Fire Service requirements for Bush Fire Safety under *s100b of the Rural Fires Act 1997*.

Alan Bawden

Team Leader, Dev. Assessment & Planning
Planning and Environment Services

Wednesday 8 July 2020

Page 21 of 26



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2020.58.1
Date: 12 December 2020

C	General revisions	07/20
B	travel to orientiles shown	05/20
A	DA	01/20
no	amendment	date

ba
BUSHBY ARCHITECTURE
PO Box 233
Byron Bay NSW 2481
Info@logonarchitect.com.au
ph 02 66872 882

The Health Lodge Renovations
Lot 21, DP 626953
74 Bangalow Road
Byron Bay NSW

SITE & PROPOSED FLOOR PLAN

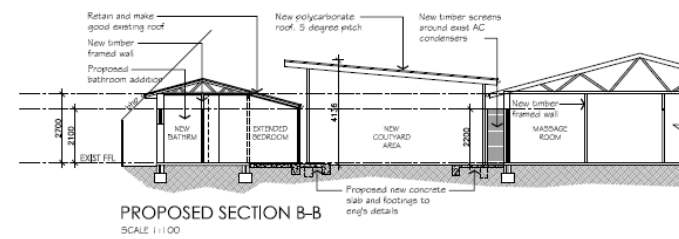
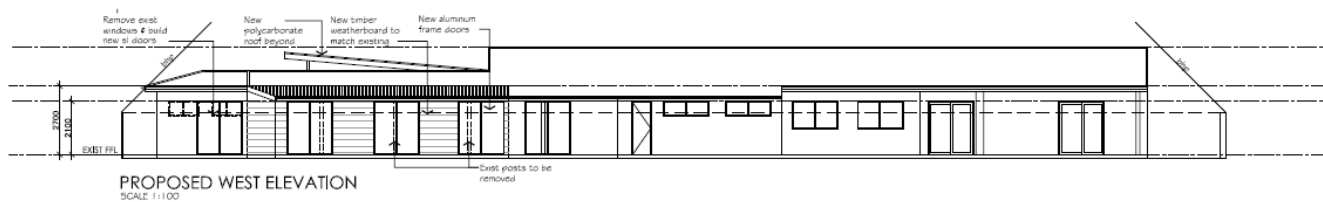
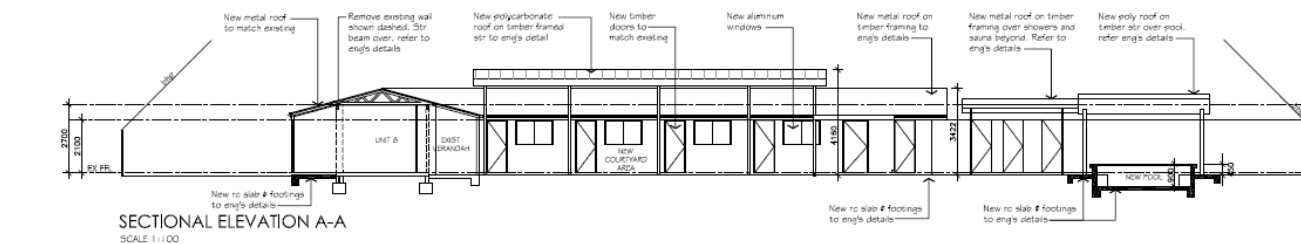
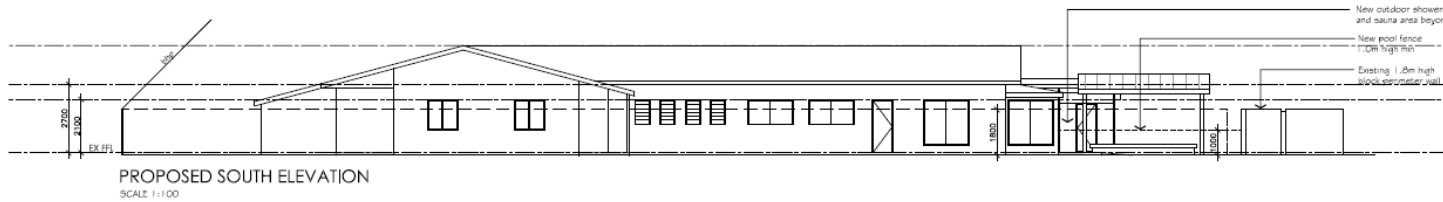
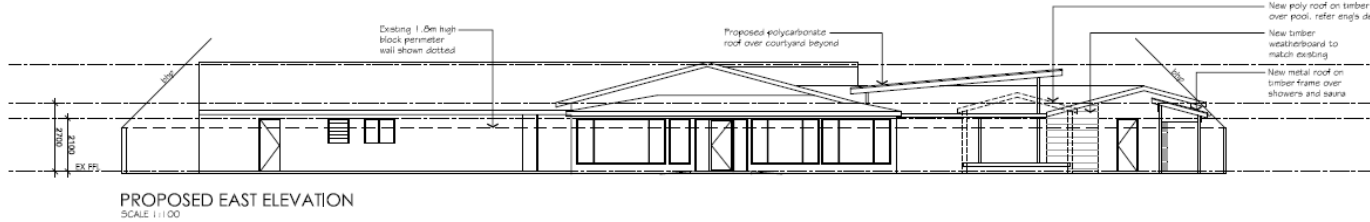
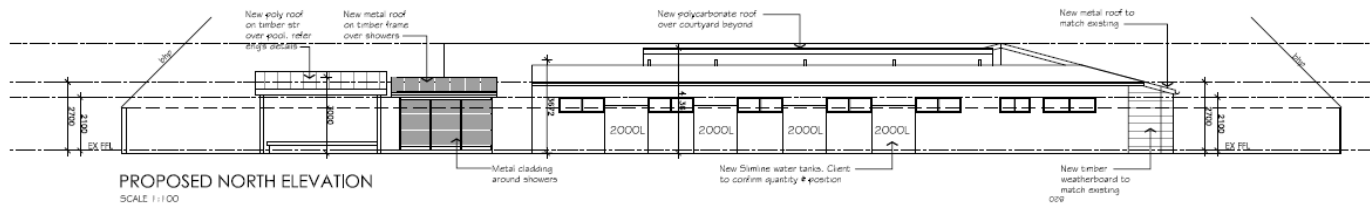
scale **As shown at A1** date **11/19**

job no **1633** drawn **BA** dwg no **02**
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purpose of issue.
Do not scale the drawings. Refer any discrepancies
to the Architect for clarification. The builder is to
check and verify all dimensions prior to fabrication
and / or erection.

LEGEND

ct	ceramic tiles
fw	floor waste
gr	grates
hd	hand dryer
sh	shower
tp	toilet swivel holder

NOTE
Refer to and comply with consent
conditions of DA 10.2015.376.1
Refer to Access Audit, Premises Standards
and BCA 2015 report No. 15187 prepared
by BCA Check Pty Ltd.



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2020.58.1
Date: 12 December 2020

B	General revisions	07/20
A	DA	01/20
no	amendment	date

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The Health Lodge Renovations
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Byron Bay NSW

SITE & PROPOSED FLOOR PLAN & INTERNAL ELEVATIONS

scale As shown at A1 date 11/19

job no 1633 drawn BA dwg no 03

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APPENDIX B: Asset Protection Zone Requirements - Appendix 4 PBP 2019

APPENDIX 4

ASSET PROTECTION ZONE REQUIREMENTS

In combination with other BPMs, a bush fire hazard can be reduced by implementing simple steps to reduce vegetation levels. This can be done by designing and managing landscaping to implement an APZ around the property.

Careful attention should be paid to species selection, their location relative to their flammability, minimising continuity of vegetation (horizontally and vertically), and ongoing maintenance to remove flammable fuels (leaf litter, twigs and debris).

This Appendix sets the standards which need to be met within an APZ.

A4.1 Asset Protection Zones

An APZ is a fuel-reduced area surrounding a building or structure. It is located between the building or structure and the bush fire hazard.

For a complete guide to APZs and landscaping, download the NSW RFS document *Standards for Asset Protection Zones* at the NSW RFS Website www.rfs.nsw.gov.au.

An APZ provides:

- a buffer zone between a bush fire hazard and an asset;
- an area of reduced bush fire fuel that allows for suppression of fire;
- an area from which backburning or hazard reduction can be conducted; and
- an area which allows emergency services access and provides a relatively safe area for firefighters and home owners to defend their property.

Bush fire fuels should be minimised within an APZ. This is so that the vegetation within the zone does not provide a path for the spread of fire to the building, either from the ground level or through the tree canopy.

An APZ, if designed correctly and maintained regularly, will reduce the risk of:

- direct flame contact on the building;
- damage to the building asset from intense radiant heat; and
- ember attack.

The methodology for calculating the required APZ distance is contained within Appendix 1. The width of the APZ required will depend upon the development type and bush fire threat. APZs for new development are set out within Chapters 5, 6 and 7 of this document.

In forest vegetation, the APZ can be made up of an Inner Protection Area (IPA) and an Outer Protection Area (OPA).

A4.1.1 Inner Protection Areas (IPAs)

The IPA is the area closest to the building and creates a fuel-managed area which can minimise the impact of direct flame contact and radiant heat on the development and act as a defensible space. Vegetation within the IPA should be kept to a minimum level. Litter fuels within the IPA should be kept below 1cm in height and be discontinuous.

In practical terms the IPA is typically the curtilage around the building, consisting of a mown lawn and well maintained gardens.

When establishing and maintaining an IPA the following requirements apply:

Trees

- tree canopy cover should be less than 15% at maturity;
- trees at maturity should not touch or overhang the building;
- lower limbs should be removed up to a height of 2m above the ground;
- tree canopies should be separated by 2 to 5m; and
- preference should be given to smooth barked and evergreen trees.

Shrubs

- create large discontinuities or gaps in the vegetation to slow down or break the progress of fire towards buildings should be provided;
- shrubs should not be located under trees;
- shrubs should not form more than 10% ground cover; and
- clumps of shrubs should be separated from exposed windows and doors by a distance of at least twice the height of the vegetation.

Grass

- grass should be kept mown (as a guide grass should be kept to no more than 100mm in height); and
- leaves and vegetation debris should be removed.

A4.1.2 Outer Protection Areas (OPAs)

An OPA is located between the IPA and the unmanaged vegetation. It is an area where there is maintenance of the understorey and some separation in the canopy. The reduction of fuel in this area aims to decrease the intensity of an approaching fire and restricts the potential for fire spread from crowns; reducing the level of direct flame, radiant heat and ember attack on the IPA.

Because of the nature of an OPA, they are only applicable in forest vegetation.

When establishing and maintaining an OPA the following requirements apply:

Trees

- tree canopy cover should be less than 30%; and
- canopies should be separated by 2 to 5m.

Shrubs

- shrubs should not form a continuous canopy; and
- shrubs should form no more than 20% of ground cover.

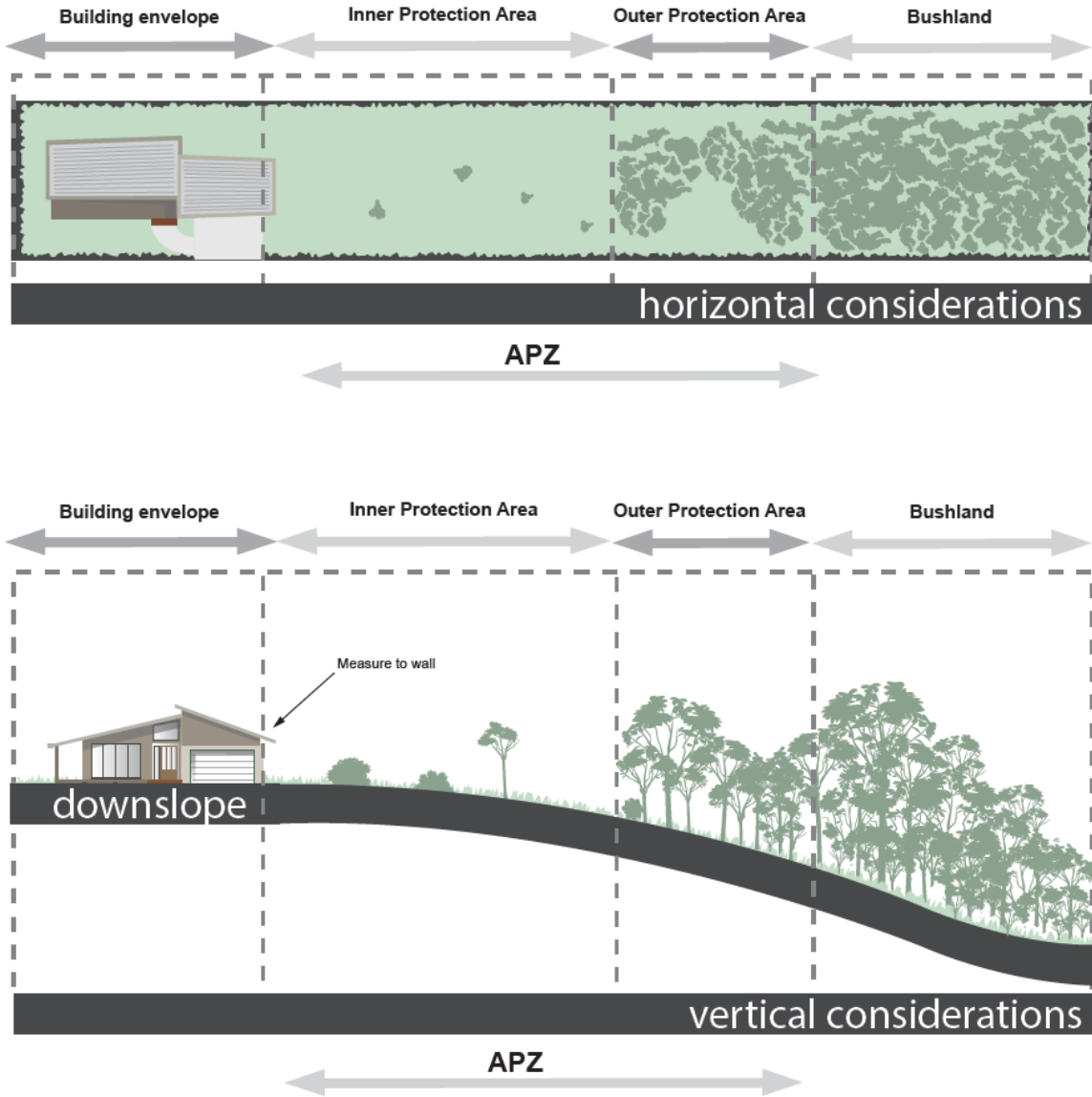
Grass

- grass should be kept mown to a height of less than 100mm; and
- leaf and other debris should be removed.

An APZ should be maintained in perpetuity to ensure ongoing protection from the impact of bush fires. Maintenance of the IPA and OPA as described above should be undertaken regularly, particularly in advance of the bush fire season.

Figure A4.1

Typical Inner and Outer Protection Areas.



APPENDIX C: Standards for Asset Protection Zones (RFS 2005)

STANDARDS FOR ASSET PROTECTION ZONES

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INTRODUCTION

For thousands of years bush fires have been a natural part of the Australian landscape. They are inevitable and essential, as many Australian plants and animals have adapted to fire as part of their life cycle.

In recent years developments in bushland areas have increased the risk of bush fires harming people and their homes and property. But landowners can significantly reduce the impact of bush fires on their property by identifying and minimising bush fire hazards. There are a number of ways to reduce the level of hazard to your property, but one of the most important is the creation and maintenance of an Asset Protection Zone (APZ).

A well located and maintained APZ should be used in conjunction with other preparations such as good property maintenance, appropriate building materials and developing a family action plan.

WHAT IS AN ASSET PROTECTION ZONE?

An Asset Protection Zone (APZ) is a fuel reduced area surrounding a built asset or structure. This can include any residential building or major building such as farm and machinery sheds, or industrial, commercial or heritage buildings.

An APZ provides:

- a buffer zone between a bush fire hazard and an asset;
- an area of reduced bush fire fuel that allows suppression of fire;
- an area from which backburning may be conducted; and
- an area which allows emergency services access and provides a relatively safe area for firefighters and home owners to defend their property.

Potential bush fire fuels should be minimised within an APZ. This is so that the vegetation within the planned zone does not provide a path for the transfer of fire to the asset either from the ground level or through the tree canopy.

WHAT WILL THE APZ DO?

An APZ, if designed correctly and maintained regularly, will reduce the risk of:

- direct flame contact on the asset;
- damage to the built asset from intense radiant heat; and
- ember attack on the asset.

3

WHERE SHOULD I PUT AN APZ?

An APZ is located between an asset and a bush fire hazard.

The APZ should be located wholly within your land. You cannot undertake any clearing of vegetation on a neighbour's property, including National Park estate, Crown land or land under the management of your local council, unless you have written approval.

If you believe that the land adjacent to your property is a bush fire hazard and should be part of an APZ, you can have the matter investigated by contacting the NSW Rural Fire Service (RFS).

There are six steps to creating and maintaining an APZ. These are:

1. Determine if an APZ is required;
2. Determine what approvals are required for constructing your APZ;
3. Determine the APZ width required;
4. Determine what hazard reduction method is required to reduce bush fire fuel in your APZ;
5. Take measures to prevent soil erosion in your APZ; and
6. Landscape and regularly monitor in your APZ for fuel regrowth.

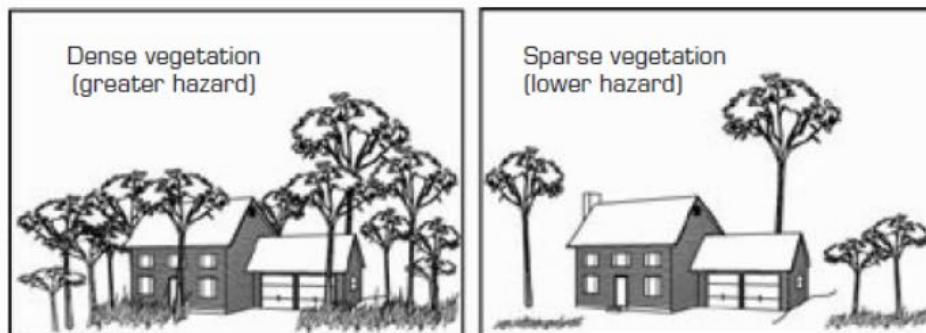
STEP 1. DETERMINE IF AN APZ IS REQUIRED

Recognising that a bush fire hazard exists is the first step in developing an APZ for your property.

If you have vegetation close to your asset and you live in a bush fire prone or high risk area, you should consider creating and maintaining an APZ.

Generally, the more flammable and dense the vegetation, the greater the hazard will be. However, the hazard potential is also influenced by factors such as slope.

- A large area of continuous vegetation on sloping land may increase the potential bush fire hazard.
- The amount of vegetation around a house will influence the intensity and severity of a bush fire.
- The higher the available fuel the more intense a fire will be.



Isolated areas of vegetation are generally not a bush fire hazard, as they are not large enough to produce fire of an intensity that will threaten dwellings.

This includes:

- bushland areas of less than one hectare that are isolated from large bushland areas; and
- narrow strips of vegetation along road and river corridors.

If you are not sure if there is a bush fire hazard in or around your property, contact your local NSW Rural Fire Service Fire Control Centre or your local council for advice.

STEP 2. DETERMINE WHAT APPROVALS ARE REQUIRED FOR CONSTRUCTING YOUR APZ

If you intend to undertake bush fire hazard reduction works to create or maintain an APZ you must gain the written consent of the landowner.

Subdivided land or construction of a new dwelling

If you are constructing an APZ for a new dwelling you will need to comply with the requirements in *Planning for Bushfire Protection*. Any approvals required will have to be obtained as part of the Development Application process.

Existing asset

If you wish to create or maintain an APZ for an existing structure you may need to obtain an environmental approval. The RFS offers a free environmental assessment and certificate issuing service for essential hazard reduction works. For more information see the RFS document *Application Instructions for a Bush Fire Hazard Reduction Certificate* or contact your local RFS Fire Control Centre to determine if you can use this approval process.

Bear in mind that all work undertaken must be consistent with any existing land management agreements (e.g. a conservation agreement, or property vegetation plan) entered into by the property owner.

If your current development consent provides for an APZ, you do not need further approvals for works that are consistent with this consent.

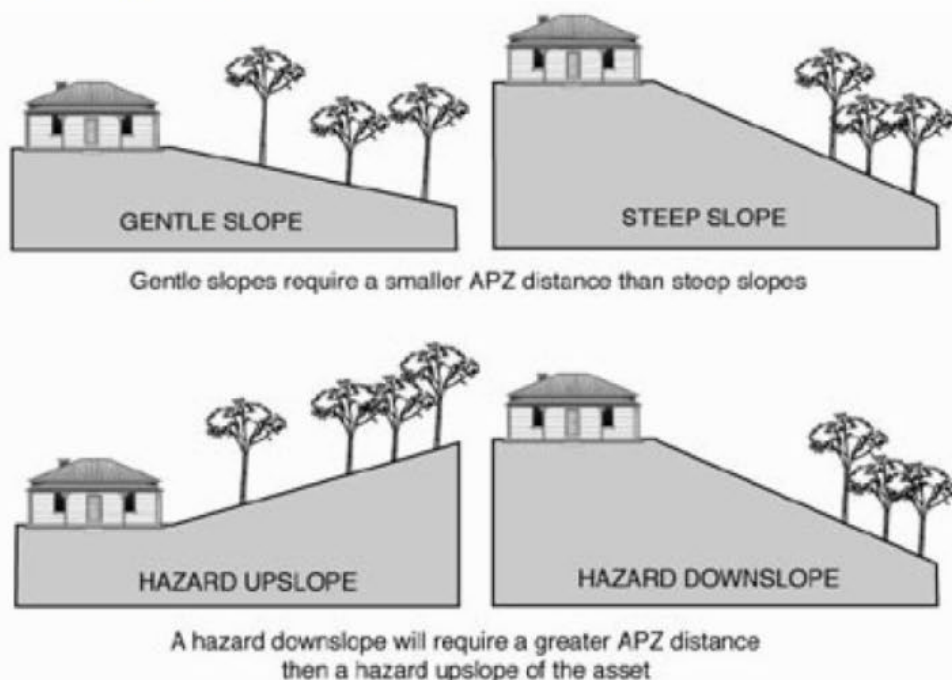
If you intend to burn off to reduce fuel levels on your property you may also need to obtain a Fire Permit through the RFS or NSW Fire Brigades. See the RFS document *Before You Light That Fire* for an explanation of when a permit is required.

STEP 3. DETERMINE THE APZ WIDTH

The size of the APZ required around your asset depends on the nature of the asset, the slope of the area, the type and structure of nearby vegetation and whether the vegetation is managed.

Fires burn faster uphill than downhill, so the APZ will need to be larger if the hazard is downslope of the asset.

5



Different types of vegetation (for example, forests, rainforests, woodlands, grasslands) behave differently during a bush fire. For example, a forest with shrubby understorey is likely to result in a higher intensity fire than a woodland with a grassy understorey and would therefore require a greater APZ width.

A key benefit of an APZ is that it reduces radiant heat and the potential for direct flame contact on homes and other buildings. Residential dwellings require a wider APZ than sheds or stockyards because the dwelling is more likely to be used as a refuge during bush fire.

Subdivided land or construction of a new dwelling

If you are constructing a new asset, the principles of *Planning for Bushfire Protection* should be applied. Your Development Application approval will detail the exact APZ distance required.

Existing asset

If you wish to create an APZ around an existing asset and you require environmental approval, the Bush Fire Environmental Assessment Code provides a streamlined assessment process. Your Bush Fire Hazard Reduction Certificate (or alternate environmental approval) will specify the maximum APZ width allowed.

For further information on APZ widths see *Planning for Bushfire Protection* or the *Bush Fire Environmental Assessment Code* (available on the RFS website), or contact your local RFS Fire Control Centre.

STEP 4. DETERMINE WHAT HAZARD REDUCTION METHOD IS REQUIRED TO REDUCE BUSH FIRE FUEL IN YOUR APZ

The intensity of bush fires can be greatly reduced where there is little to no available fuel for burning. In order to control bush fire fuels you can reduce, remove or change the state of the fuel through several means.

Reduction of fuel does not require removal of all vegetation, which would cause environmental damage. Also, trees and plants can provide you with some bush fire protection from strong winds, intense heat and flying embers (by filtering embers) and changing wind patterns. Some ground cover is also needed to prevent soil erosion.

Fuels can be controlled by:

1. raking or manual removal of fine fuels

Ground fuels such as fallen leaves, twigs (less than 6 mm in diameter) and bark should be removed on a regular basis. This is fuel that burns quickly and increases the intensity of a fire.

Fine fuels can be removed by hand or with tools such as rakes, hoes and shovels.

2. mowing or grazing of grass

Grass needs to be kept short and, where possible, green.

3. removal or pruning of trees, shrubs and understorey

The control of existing vegetation involves both selective fuel reduction (removal, thinning and pruning) and the retention of vegetation.

Prune or remove trees so that you do not have a continuous tree canopy leading from the hazard to the asset. Separate tree crowns by two to five metres. A canopy should not overhang within two to five metres of a dwelling.

Native trees and shrubs should be retained as clumps or islands and should maintain a covering of no more than 20% of the area.

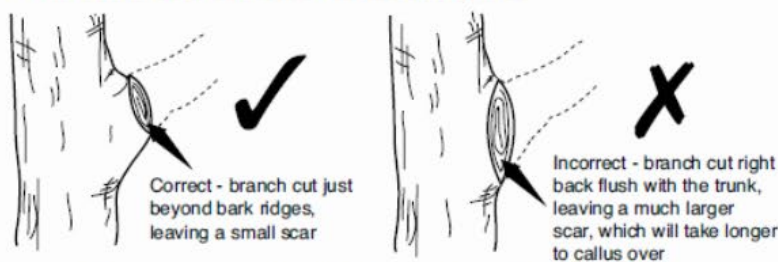
When choosing plants for removal, the following basic rules should be followed:

1. Remove noxious and environmental weeds first. Your local council can provide you with a list of environmental weeds or 'undesirable species'. Alternatively, a list of noxious weeds can be obtained at www.agric.nsw.gov.au/noxweed/;
2. Remove more flammable species such as those with rough, flaky or stringy bark; and
3. Remove or thin understorey plants, trees and shrubs less than three metres in height

The removal of significant native species should be avoided.

Prune in accordance with the following standards:

- Use sharp tools. These will enable clean cuts and will minimise damage to the tree.
- Decide which branches are to be removed before commencing work. Ensure that you maintain a balanced, natural distribution of foliage and branches.
- Remove only what is necessary.
- Cut branches just beyond bark ridges, leaving a small scar.
- Remove smaller branches and deadwood first.



There are three primary methods of pruning trees in APZs:

1. Crown lifting (skirting)

Remove the lowest branches (up to two metres from the ground). Crown lifting may inhibit the transfer of fire between the ground fuel and the tree canopy.

2. Thinning

Remove smaller secondary branches whilst retaining the main structural branches of the tree. Thinning may minimise the intensity of a fire.

3. Selective pruning

Remove branches that are specifically identified as creating a bush fire hazard (such as those overhanging assets or those which create a continuous tree canopy). Selective pruning can be used to prevent direct flame contact between trees and assets.

Your Bush Fire Hazard Reduction Certificate or local council may restrict the amount or method of pruning allowed in your APZ.

See the *Australian Standard 4373 (Pruning of Amenity Trees)* for more information on tree pruning.

4. Slashing and trittering

Slashing and trittering are economical methods of fuel reduction for large APZs that have good access. However, these methods may leave large amounts of slashed fuels (grass clippings etc) which, when dry, may become a fire hazard. For slashing or trittering to be effective, the cut material must be removed or allowed to decompose well before summer starts.

If clippings are removed, dispose of them in a green waste bin if available or compost on site (dumping clippings in the bush is illegal and it increases the bush fire hazard on your or your neighbour's property).

Although slashing and trittering are effective in inhibiting the growth of weeds, it is preferable that weeds are completely removed.

Care must be taken not to leave sharp stakes and stumps that may be a safety hazard.

5. Ploughing and grading

Ploughing and grading can produce effective firebreaks. However, in areas where this method is applied, frequent maintenance may be required to minimise the potential for erosion. Loose soil from ploughed or graded ground may erode in steep areas, particularly where there is high rainfall and strong winds.

6. Burning (hazard reduction burning)

Hazard reduction burning is a method of removing ground litter and fine fuels by fire. Hazard reduction burning of vegetation is often used by land management agencies for broad area bush fire control, or to provide a fuel reduced buffer around urban areas.

Any hazard reduction burning, including pile burns, must be planned carefully and carried out with extreme caution under correct weather conditions. Otherwise there is a real danger that the fire will become out of control. More bush fires result from escaped burning off work than from any other single cause.

It is YOUR responsibility to contain any fire lit on your property. If the fire escapes your property boundaries you may be liable for the damage it causes.

Hazard reduction burns must therefore be carefully planned to ensure that they are safe, controlled, effective and environmentally sound. There are many factors that need to be considered in a burn plan. These include smoke control, scorch height, frequency of burning and cut off points (or control lines) for the fire. For further information see the RFS document *Standards for Low Intensity Bush Fire Hazard Reduction Burning*, or contact your local RFS for advice.

7. Burning (pile burning)

In some cases, where fuel removal is impractical due to the terrain, or where material cannot be disposed of by the normal garbage collection or composted on site, you may use pile burning to dispose of material that has been removed in creating or maintaining an APZ.

For further information on pile burning, see the RFS document *Standards for Pile Burning*.

In areas where smoke regulations control burning in the open, you will need to obtain a Bush Fire Hazard Reduction Certificate or written approval from Council for burning. During the bush fire danger period a Fire Permit will also be required. See the RFS document *Before You Light that Fire* for further details.

STEP 5. TAKE MEASURES TO PREVENT SOIL EROSION

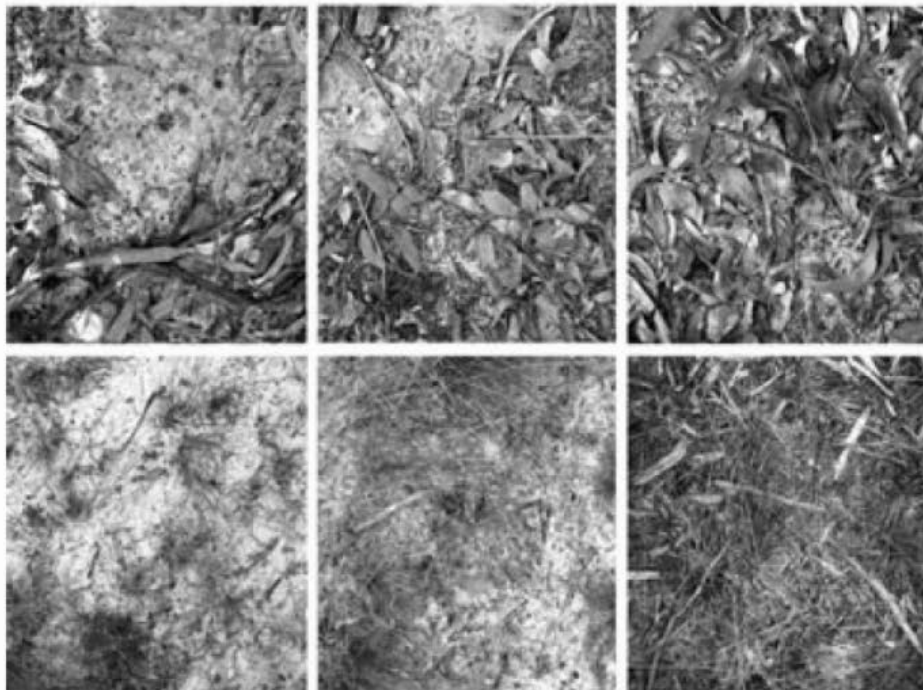
While the removal of fuel is necessary to reduce a bush fire hazard, you also need to consider soil stability, particularly on sloping areas.

Soil erosion can greatly reduce the quality of your land through:

- loss of top soil, nutrients, vegetation and seeds
- reduced soil structure, stability and quality
- blocking and polluting water courses and drainage lines

A small amount of ground cover can greatly improve soil stability and does not constitute a significant bush fire hazard. Ground cover includes any material which directly covers the soil surface such as vegetation, twigs, leaf litter, clippings or rocks. A permanent ground cover should be established (for example, short grass). This will provide an area that is easy to maintain and prevent soil erosion.

When using mechanical hazard reduction methods, you should retain a ground cover of at least 75% to prevent soil erosion. However, if your area is particularly susceptible to soil erosion, your Hazard Reduction Certificate may require that 90% ground cover be retained.



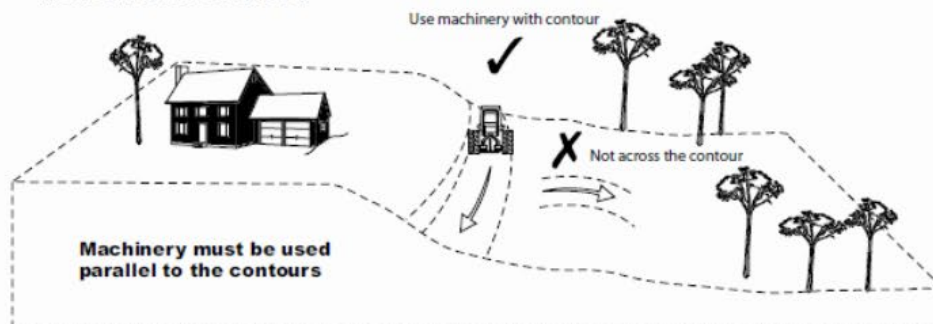
50%

75%

100%

Ground Cover

To reduce the incidence of soil erosion caused by the use of heavy machinery such as ploughs, dozers and graders, machinery must be used parallel to the contours. Vegetation should be allowed to regenerate, but be managed to maintain a low fuel load.



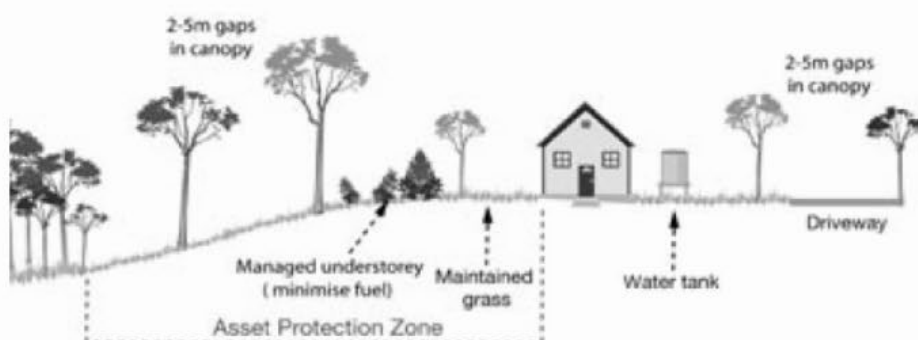
STEP 6. ONGOING MANAGEMENT AND LANDSCAPING

Your home and garden can blend with the natural environment and be landscaped to minimise the impact of fire at the same time. To provide an effective APZ, you need to plan the layout of your garden to include features such as fire resistant plants, radiant heat barriers and windbreaks.

Layout of gardens in an APZ

When creating and maintaining a garden that is part of an APZ you should:

- ensure that vegetation does not provide a continuous path to the house;
- remove all noxious and environmental weeds;
- plant or clear vegetation into clumps rather than continuous rows;
- prune low branches two metres from the ground to prevent a ground fire from spreading into trees;
- locate vegetation far enough away from the asset so that plants will not ignite the asset by direct flame contact or radiant heat emission;
- plant and maintain short green grass around the house as this will slow the fire and reduce fire intensity. Alternatively, provide non-flammable pathways directly around the dwelling;
- ensure that shrubs and other plants do not directly abut the dwelling. Where this does occur, gardens should contain low-flammability plants and non flammable ground cover such as pebbles and crush tile; and
- avoid erecting brush type fencing and planting "pencil pine" type trees next to buildings, as these are highly flammable.



Removal of other materials

Woodpiles, wooden sheds, combustible material, storage areas, large quantities of garden mulch, stacked flammable building materials etc. should be located away from the house. These items should preferably be located in a designated cleared location with no direct contact with bush fire hazard vegetation.

Other protective features

You can also take advantage of existing or proposed protective features such as fire trails, gravel paths, rows of trees, dams, creeks, swimming pools, tennis courts and vegetable gardens as part of the property's APZ.

PLANTS FOR BUSH FIRE PRONE GARDENS

When designing your garden it is important to consider the type of plant species and their flammability as well as their placement and arrangement.

Given the right conditions, all plants will burn. However, some plants are less flammable than others.

Trees with loose, fibrous or stringy bark should be avoided. These trees can easily ignite and encourage the ground fire to spread up to, and then through, the crown of the trees.

- Plants that are less flammable, have the following features:
- high moisture content
 - high levels of salt
 - low volatile oil content of leaves
 - smooth barks without "ribbons" hanging from branches or trunks; and
 - dense crown and elevated branches.

When choosing less flammable plants, be sure not to introduce noxious or environmental weed species into your garden that can cause greater long-term environmental damage.

For further information on appropriate plant species for your locality, contact your local council, plant nurseries or plant society.

If you require information on how to care for fire damaged trees, refer to the Firewise brochure *Trees and Fire Resistance; Regeneration and care of fire damaged trees*.

WIND BREAKS

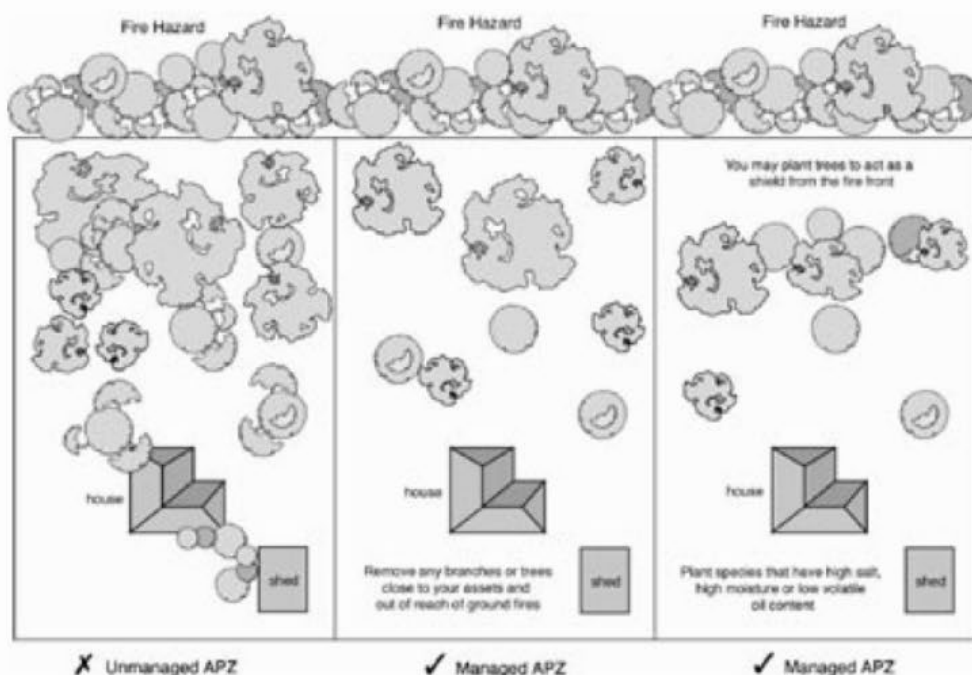
Rows of trees can provide a wind break to trap embers and flying debris that could otherwise reach the house or asset.

You need to be aware of local wind conditions associated with bush fires and position the wind break accordingly. Your local RFS Fire Control Centre can provide you with further advice.

When choosing trees and shrubs, make sure you seek advice as to their maximum height. Their height may vary depending on location of planting and local conditions. As a general rule, plant trees at the same distance away from the asset as their maximum height.

When creating a wind break, remember that the object is to slow the wind and to catch embers rather than trying to block the wind. In trying to block the wind, turbulence is created on both sides of the wind break making fire behaviour erratic.

11



HOW CAN I FIND OUT MORE?

The following documents are available from your local Fire Control Centre and from the NSW RFS website at www.rfs.nsw.gov.au.

- Before You Light That Fire
- Standards for Low Intensity Bush Fire Hazard Reduction Burning
- Standards for Pile Burning
- Application Instructions for a Bush Fire Hazard Reduction Certificate

If you require any further information please contact:

- your local NSW Rural Fire Service Fire Control Centre. Location details are available on the RFS website or
- call the NSW RFS Enquiry Line 1800 679 737 (Monday to Friday, 9am to 5pm), or
- the NSW RFS website at www.rfs.nsw.gov.au.

**Produced by the NSW Rural Fire Service, Locked Mail Bag 17,
GRANVILLE, NSW 2142. Ph. 1800 679 737**
www.rfs.nsw.gov.au

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APPENDIX D: Architectural plans

PROJECT DETAILS

The Health Lodge Renovations

CLIENT DETAILS

Imedicine Holdings Pty Ltd
The Health Retreat
74 Bangalow Rd,
Byron Bay, NSW 2481

CONTENTS

DWG NO.	DRAWING NAME
WD.101	Cover, Locality + Bushfire Staging Plan
WD.102	Site Plan
WD.201	Demolition Plan
WD.202	Demolition Plan (Detailed)
WD.203	Ground Floor Plan
WD.204	Ground Floor Plan (Detailed)
WD.205	Spa Courtyard + Landscape Plan
WD.206	Roof Plan
WD.301	Elevations
WD.302	Elevations
WD.303	Spa Courtyard - Elevations
WD.401	Sections
WD.402	Sections
WD.403	Spa Courtyard - Sections
WD.404	Spa Courtyard - Sections
WD.501	Window Schedule
WD.502	Door + Skylight Schedule

NOTES:

Drawings to be read in conjunction with:
 - Development Application conditions and comply with:
 DA No. 10.2020.58.1 + DA No. 10.2015.376.1
 - Bushfire Report 08/07/2020
 - Statement of Environmental Effects
 - Engineering drawings
 - Civil / Stormwater drawings
 - Landscape Architect drawings
 - Energy Efficiency documents
 - Access Audit Premises Standards and BCA 2015
 Report No. 15187 by BCA Check Pty Ltd
 - Fire Access + Egress documents
 - Disabled Access and Egress documents

All building works to be carried out in accordance with the Building Code of Australia (BCA), Australian Standards and to the satisfaction of the principle certifying authority.

- AS 1684 and AS 1720 Timber Framing Code, tie-down and bracing
- AS 3700 Masonry in Buildings
- AS 2870 Resid. Slabs and Footings
- AS 3660 Termite Protection
- AS 3500 Stormwater Discharge
- AS 3740 Waterproofing of Wet Areas
- AS 2047 Windows in Building
- AS 1657 Stairways
- AS 1926 Swimming Pool Safety
- AS 1428.1 Access and Mobility
- AS4299 Adaptable Housing Code
- Photoelectric smoke detectors in accordance with BCA
- Swimming Pool Fencing to comply with Swimming Pools Act 1992

Builders / Contractors are to verify all dimensions and relevant information on site before commencing work.

Ensure all building construction within building envelope.

Check for underground obstacles prior to construction.

Do not scale from drawings.

Construction to be in accordance with AS 3959, Bushfire Attack Level Rating as per Bushfire Report + Staging Plan:

- Stage 1 - BAL 12.5
- Stage 2 - BAL 29
- Stage 3 - BAL 19
- Stage 4 - BAL 19

Maximum excavation depth to 1.0metres as per DA Condition 7

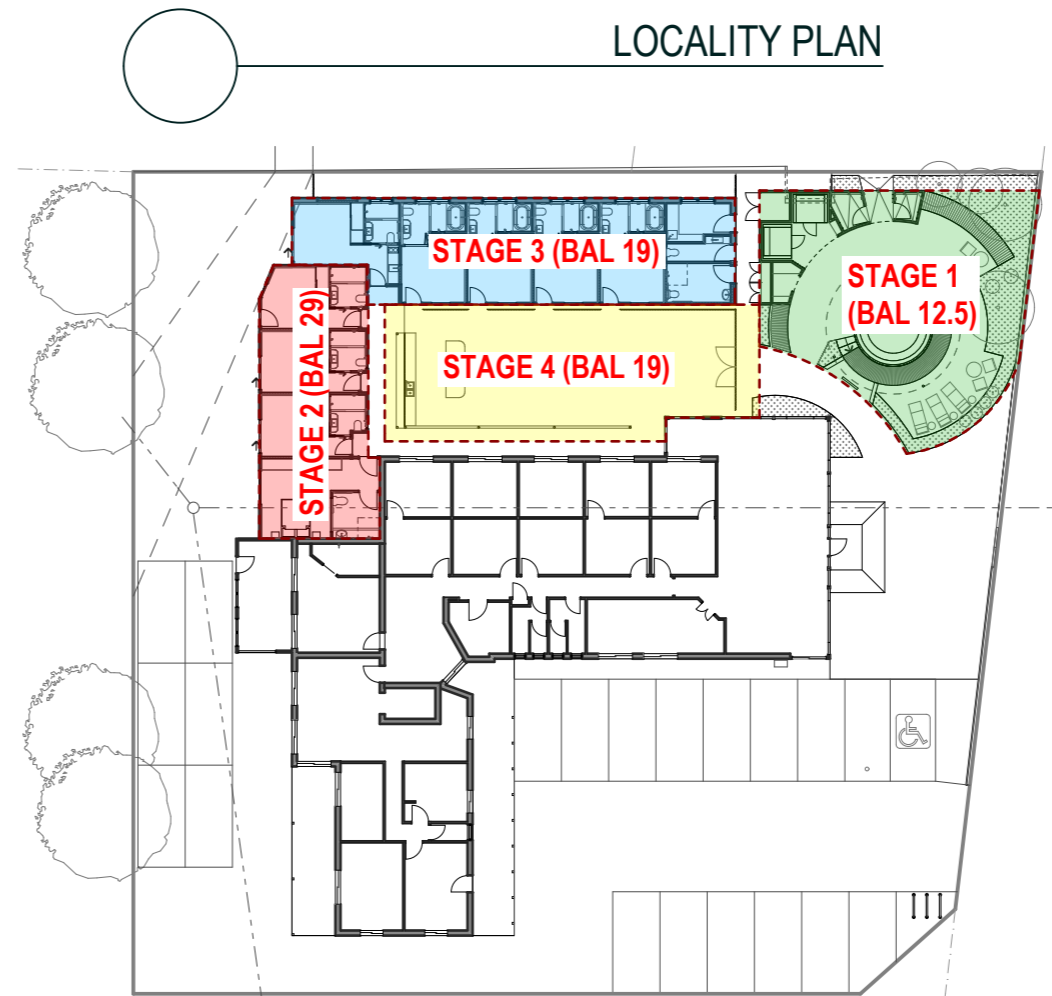
AREAS TABLE

Total Gross Floor Area (GFA)	629.4m ²
Total Site Area	1,970m ²
Floor Space Ratio (FSR)	0.32:1



LOT 21, DP 626953
74 BANGALOW RD
BYRON BAY, NSW

LOCALITY PLAN



BUSH FIRE STAGE PLAN
Not to Scale

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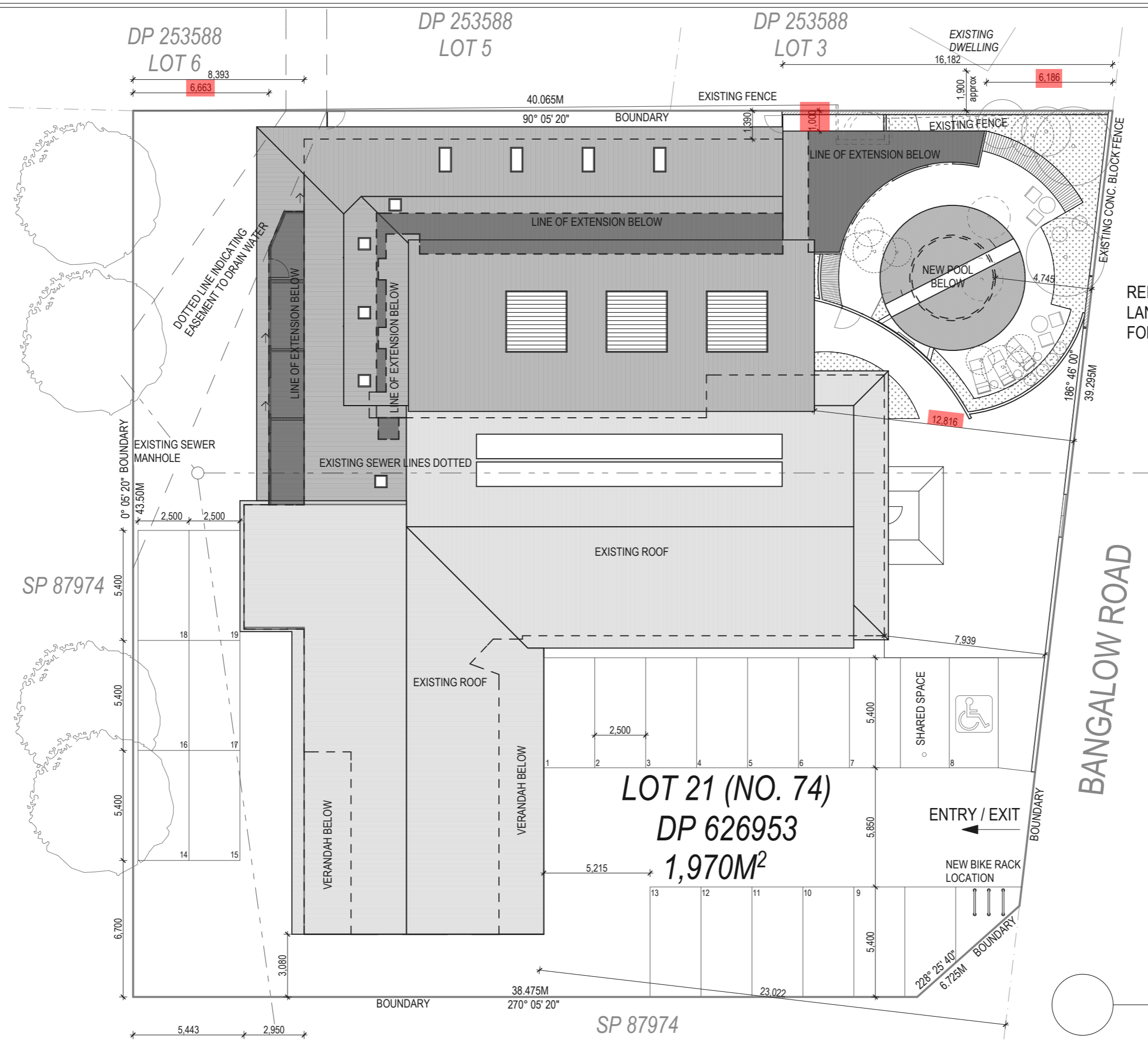
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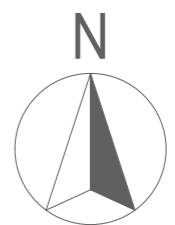
CLIENT	IMEDICINE HOLDINGS PTY LTD	ADDRESS	74 BANGALOW RD, BYRON BAY, NSW	JOB NO.	2201	WD.101	ISSUE / REVISIONS -			
JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @A3	ISSUE	A	Rev.	Date:	Notes:
DRAWING	COVER PAGE, LOCALITY + BUSHFIRE STAGING PLAN (HATCHED)			DATE	15.02.23	APPROVED	CD	A	15.02.23	Modification Submission (Hatched)

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REFER TO SPA COURTYARD +
LANDSCAPE PLAN
FOR FURTHER DETAILS



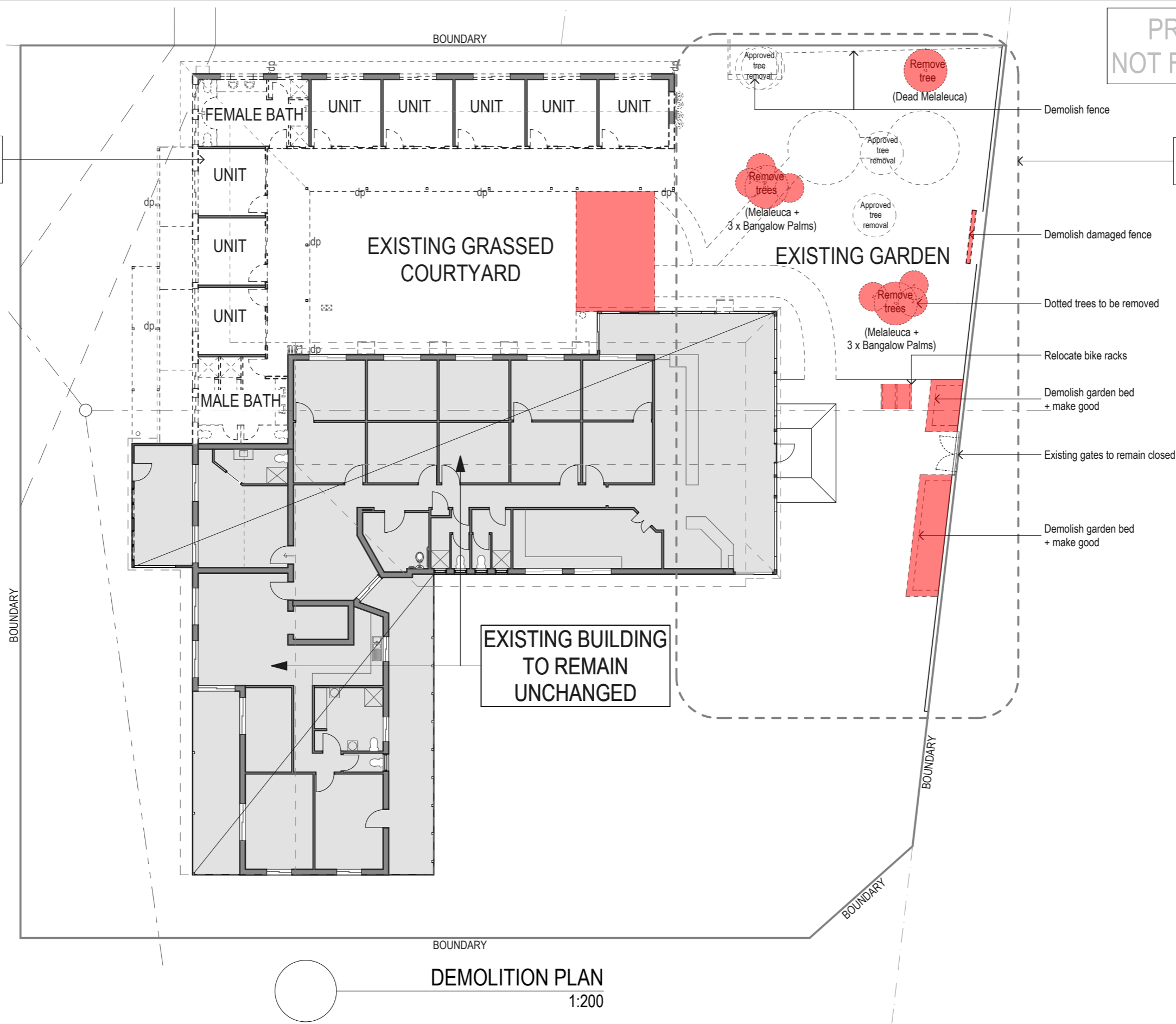
SITE PLAN
1:200

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			DRAWING	SITE PLAN (HATCHED)			DATE	15.02.23	APPROVED	CD	A	15.02.23	Modification Submission (Hatched)

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Refer to Demolition Plan (Detailed) for further details

Refer to Spa Courtyard + Landscape Plan for further details



EXISTING BUILDING
TO REMAIN
UNCHANGED

EXISTING GRASSED
COURTYARD

EXISTING GARDEN

WALL LEGEND

- Existing double face brick wall to remain
- Existing double face brick wall to be demolished
- Existing timber framed external wall to be demolished
- Existing internal brick wall to remain
- New double brick wall to match existing / Refer to elevations + External Finishes Schedule for wall finish
- New external timber framed wall / Refer to External Finishes Schedule for wall finish
- New internal timber framed wall / Refer to External Finishes Schedule for wall finish
- New internal brick firewall 60/60/60 / Refer to Internal Finishes Schedule for wall finish

DEMOLITION PLAN

1:200

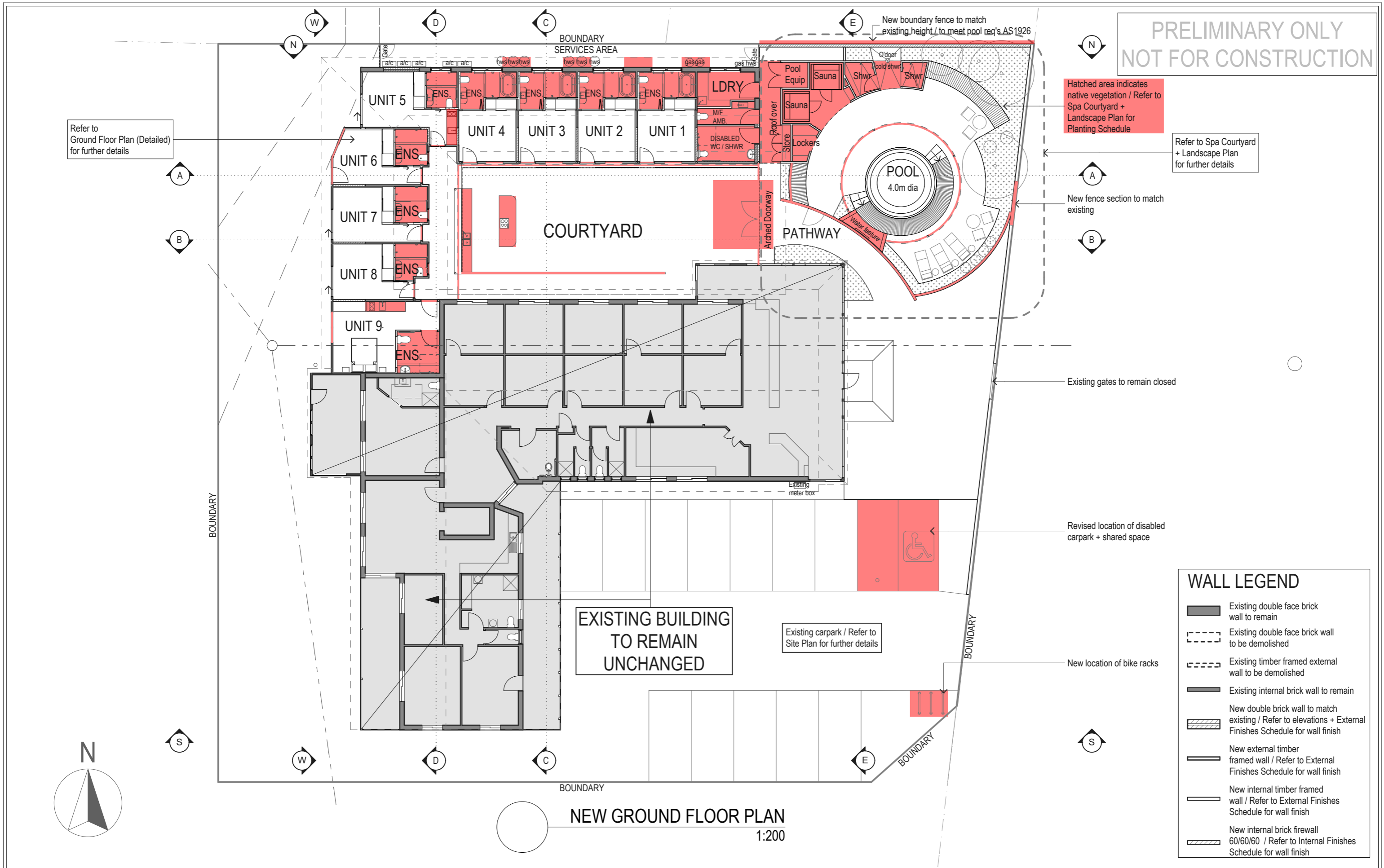
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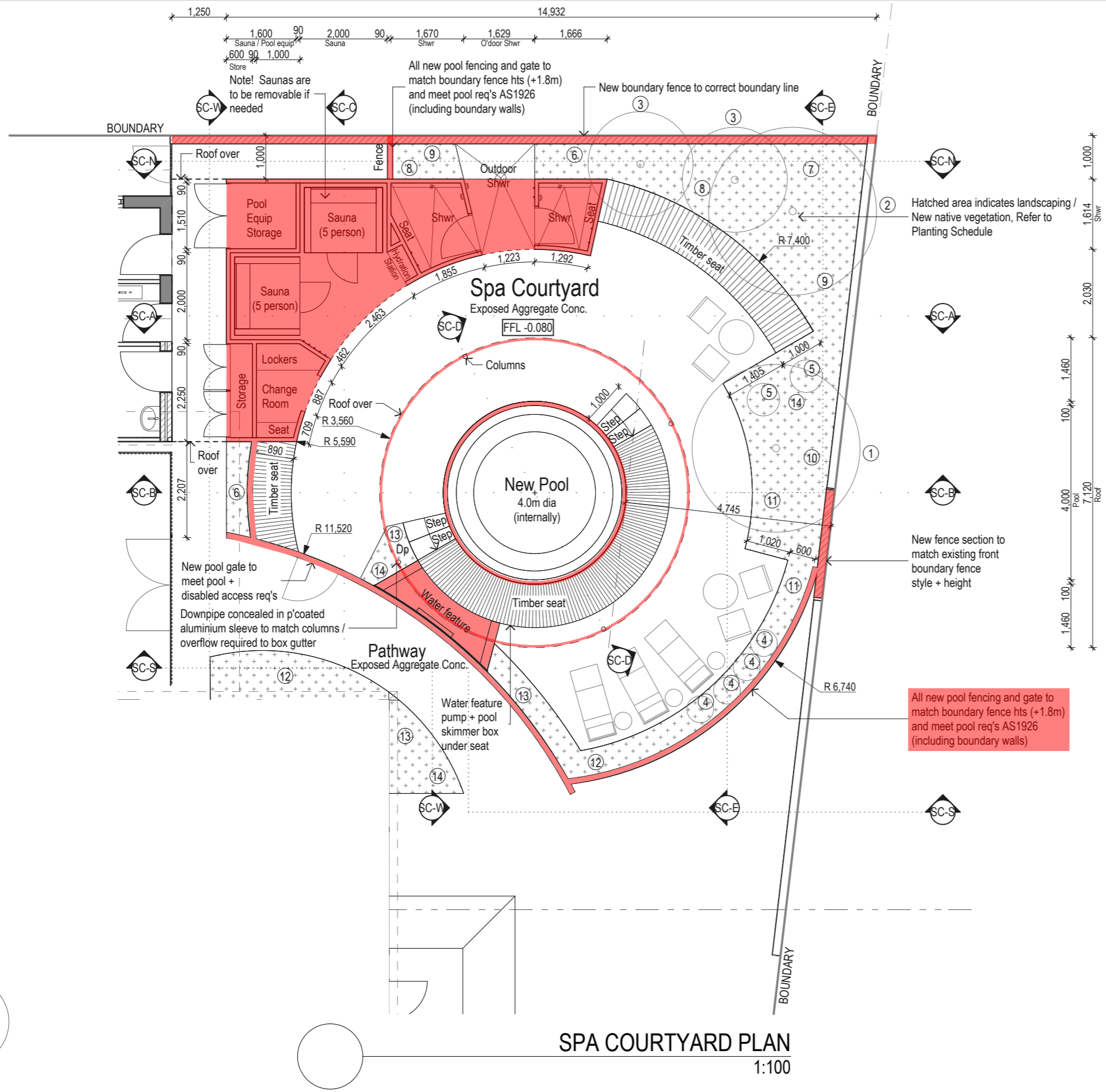
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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE	A	Rev.	Date:	Notes:
DRAWING	DEMOLITION PLAN (HATCHED)			DATE	15.02.23	APPROVED	CD	A	15.02.23	Modification Submission (Hatched)

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	JOB NAME THE HEALTH LODGE RENOVATIONS	LOT & DP LOT 21, DP 626953	SCALE as shown @A3	DATE 15.02.23	ISSUE APPROVED	A	A	15.02.23	Modification Submission (Hatched)
	DRAWING GROUND FLOOR PLAN (HATCHED)								
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PLANTING SCHEDULE			
TREE / SHRUB			
CODE	QUANTITY	SCIENTIFIC NAME	COMMON NAME
1	1	<i>Banksia integrifolia</i>	Coastal Banksia
2	1	<i>Cyathea cooperi</i>	Australian tree fern
3	2	<i>Licuala ramsayi</i>	Australian fan palm
4	4	<i>Westringia fruticosa</i>	Coastal rosemary
5	2	<i>Xanthorrhoea glauca</i>	Grass tree
GROUND COVER			
CODE	QUANTITY	SCIENTIFIC NAME	COMMON NAME
6	TBA	<i>Alocasia brisbanensis</i>	Cunjevoi
7	TBA	<i>Alpinia caerulea</i>	Native ginger
8	TBA	<i>Blechnum brasiliense</i>	Brazilian dwarf tree fern
9	TBA	<i>Molinera capitulata</i>	Palm grass
10	TBA	<i>Dianella caerulea</i>	Blue flax-lily
11	TBA	<i>Ficinia nodosa</i>	Nobby club rush
12	TBA	<i>Poa labillardieri</i>	Common tussock-grass
13	TBA	<i>Senecio serpens</i>	Blue chalksticks
14	TBA	<i>Carpobrotus glaucescens</i>	Pigface

DOTCH DESIGNS

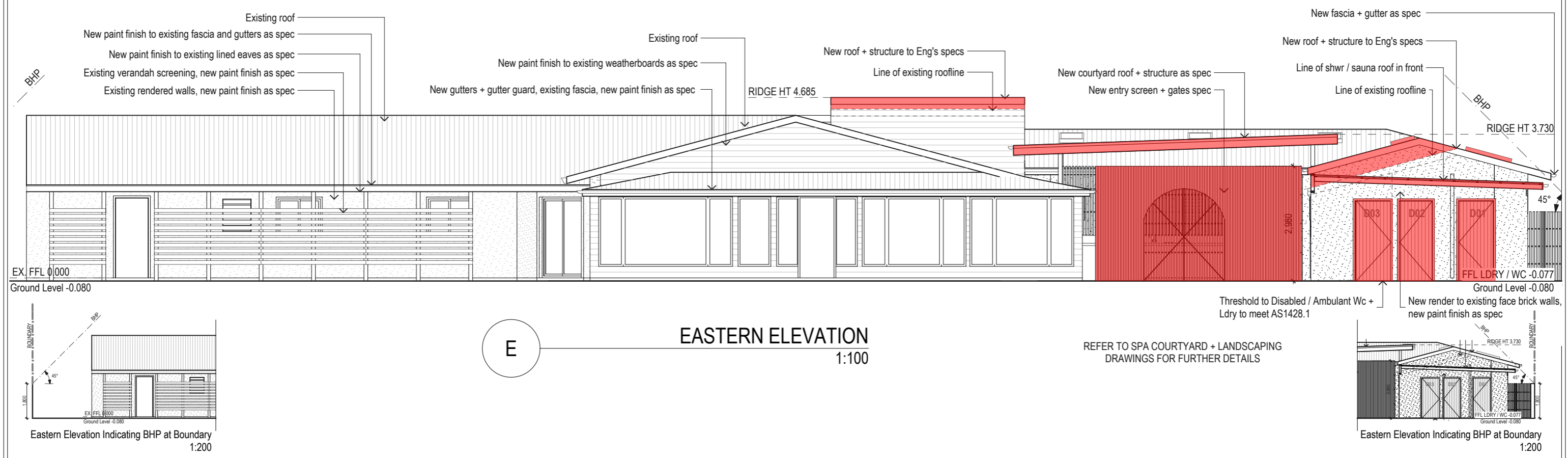
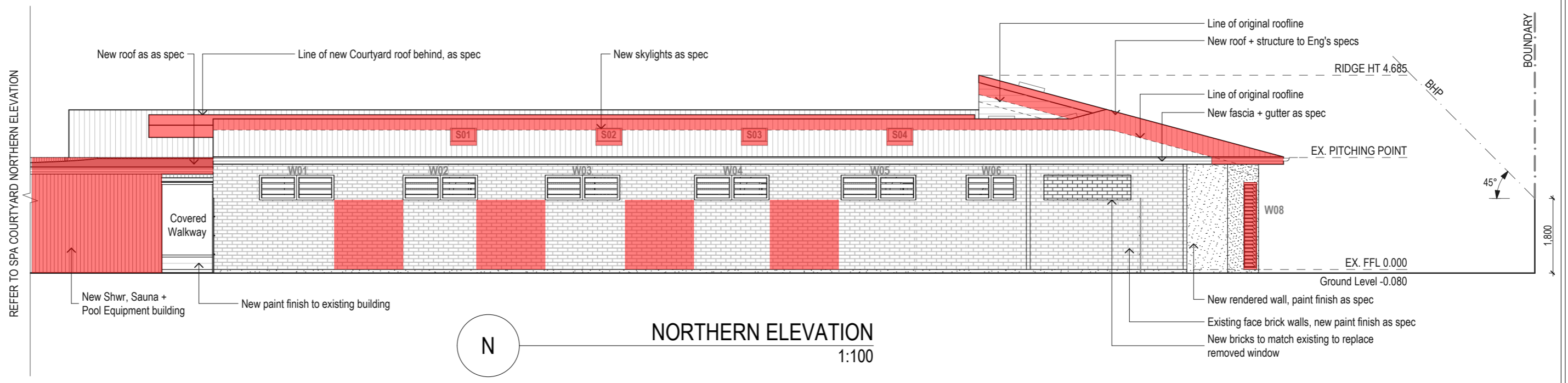
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DRAWING	SPA COURTYARD PLAN (HATCHED)			DATE	15.02.23	APPROVED	CD	Notes: Modification Submission (Hatched)	

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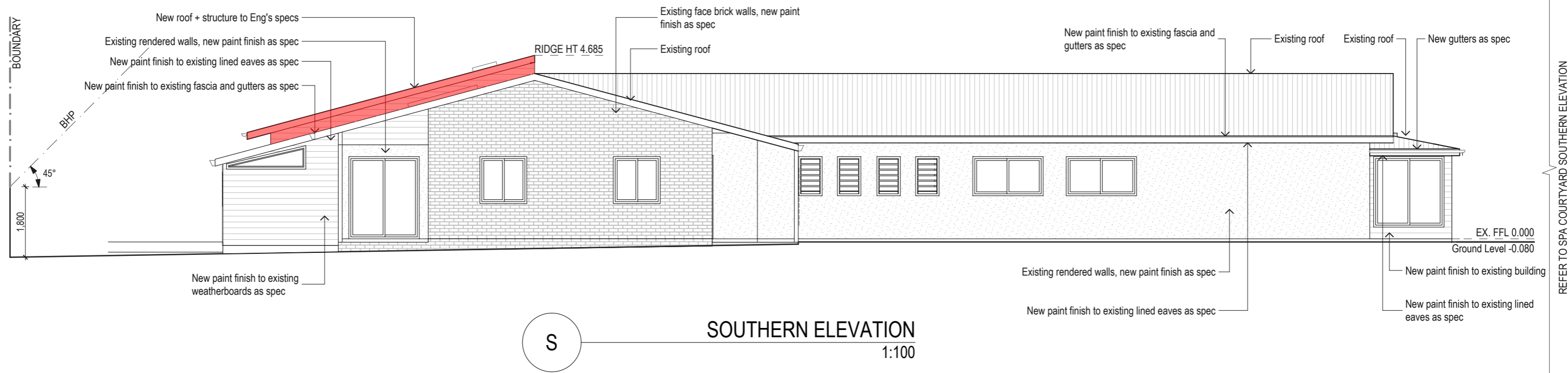
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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE A
DRAWING	ELEVATIONS (HATCHED)			DATE	15.02.23	APPROVED CD

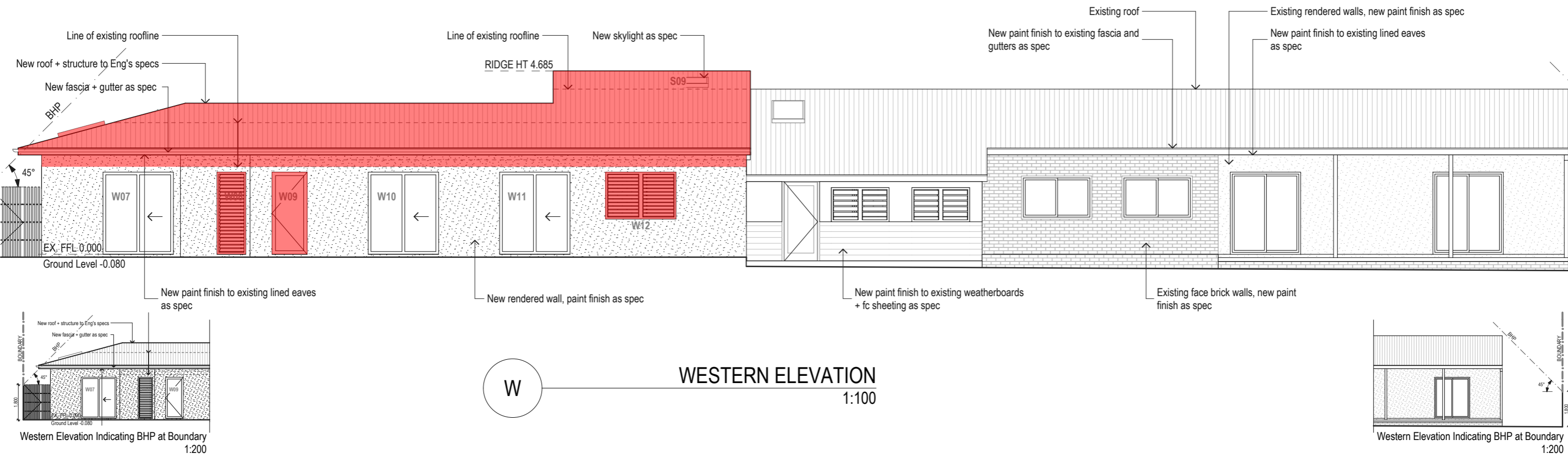
ISSUE / REVISIONS -		
Rev.	Date:	Notes:
A	15.02.23	Modification Submission (Hatched)

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S
SOUTHERN ELEVATION
1:100

REFER TO SPA COURTYARD SOUTHERN ELEVATION



W
WESTERN ELEVATION
1:100

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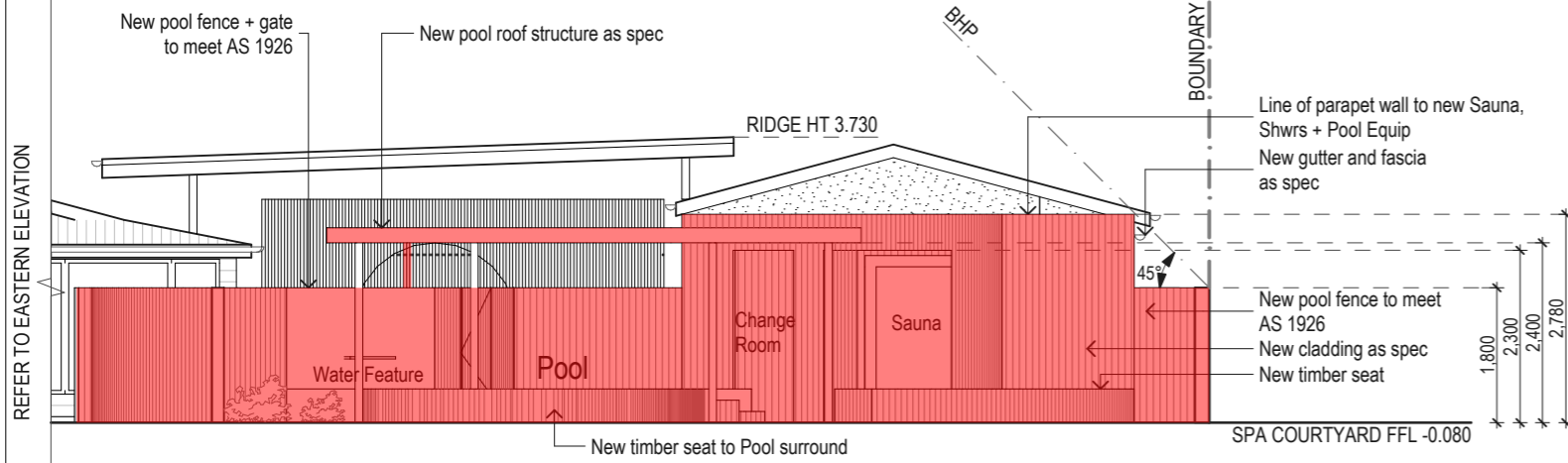
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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953
DRAWING	ELEVATIONS (HATCHED)		

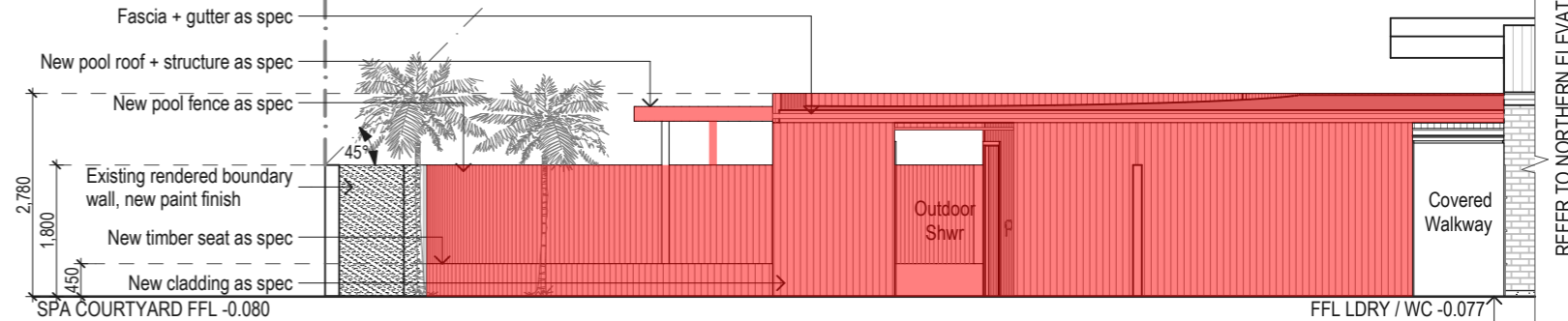
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SCALE	as shown @ A3	ISSUE
DATE	15.02.23	APPROVED

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Rev.	Date:	Notes:
A	15.02.23	Modification Submission (Hatched)

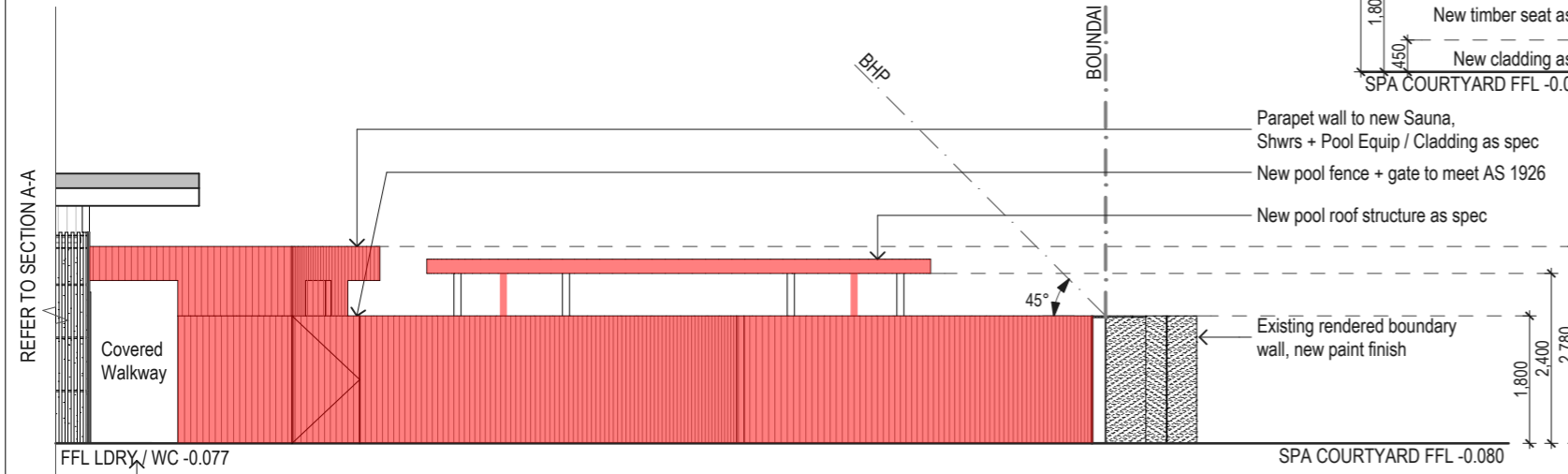
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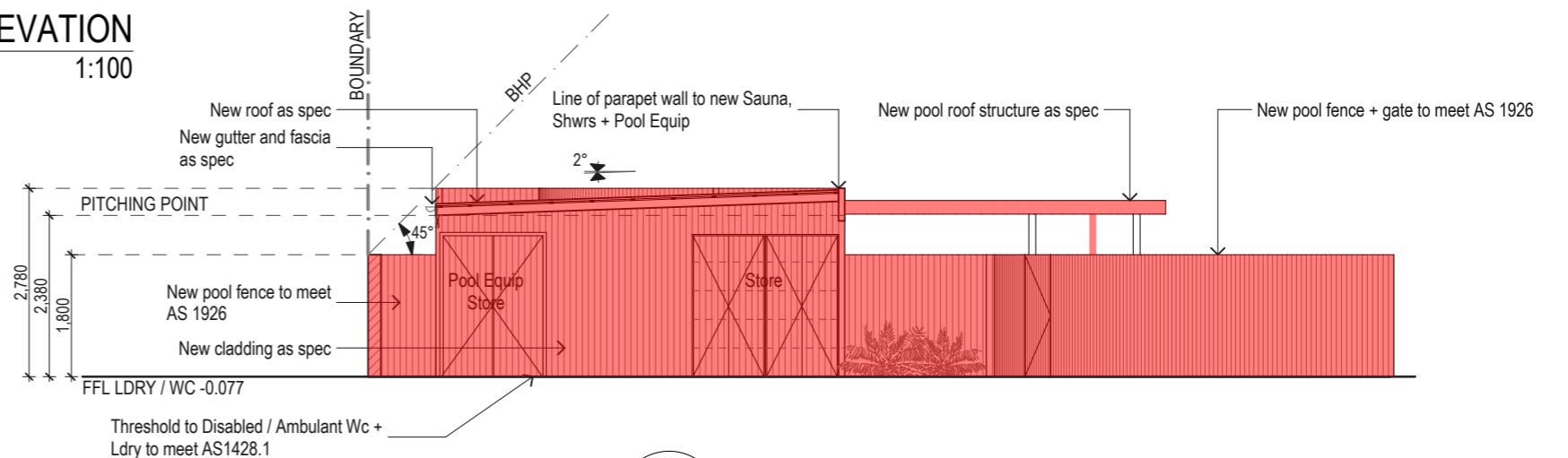
SC-E SPA COURTYARD - EASTERN ELEVATION
1:100



SC-N SPA COURTYARD - NORTHERN ELEVATION
1:100



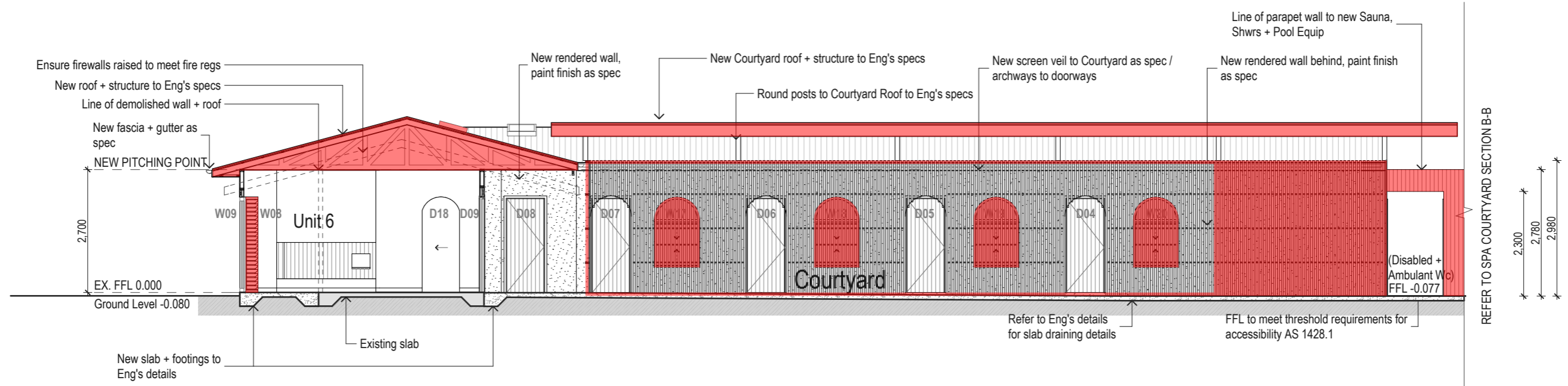
SC-S SPA COURTYARD - SOUTHERN ELEVATION
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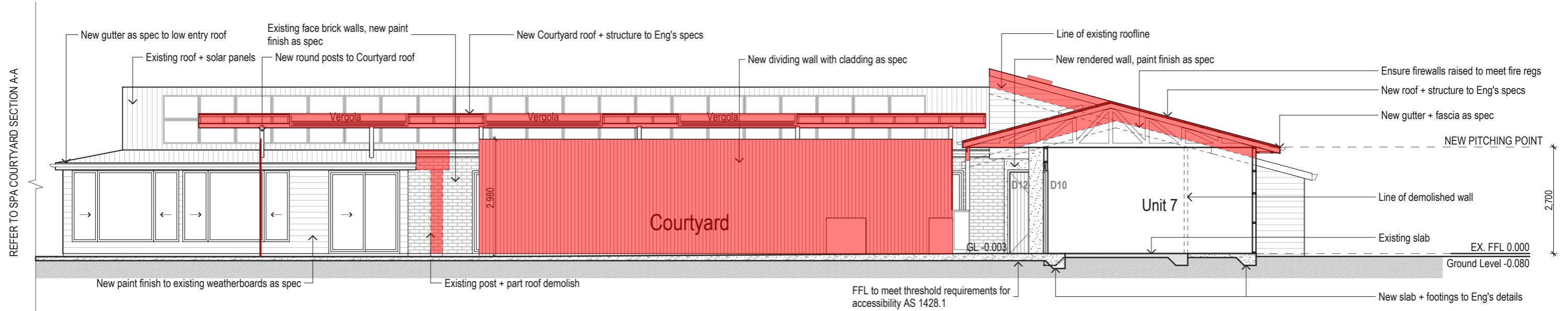
SC-W SPA COURTYARD - WESTERN ELEVATION
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	JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE	A	Rev.	Date:	Notes:
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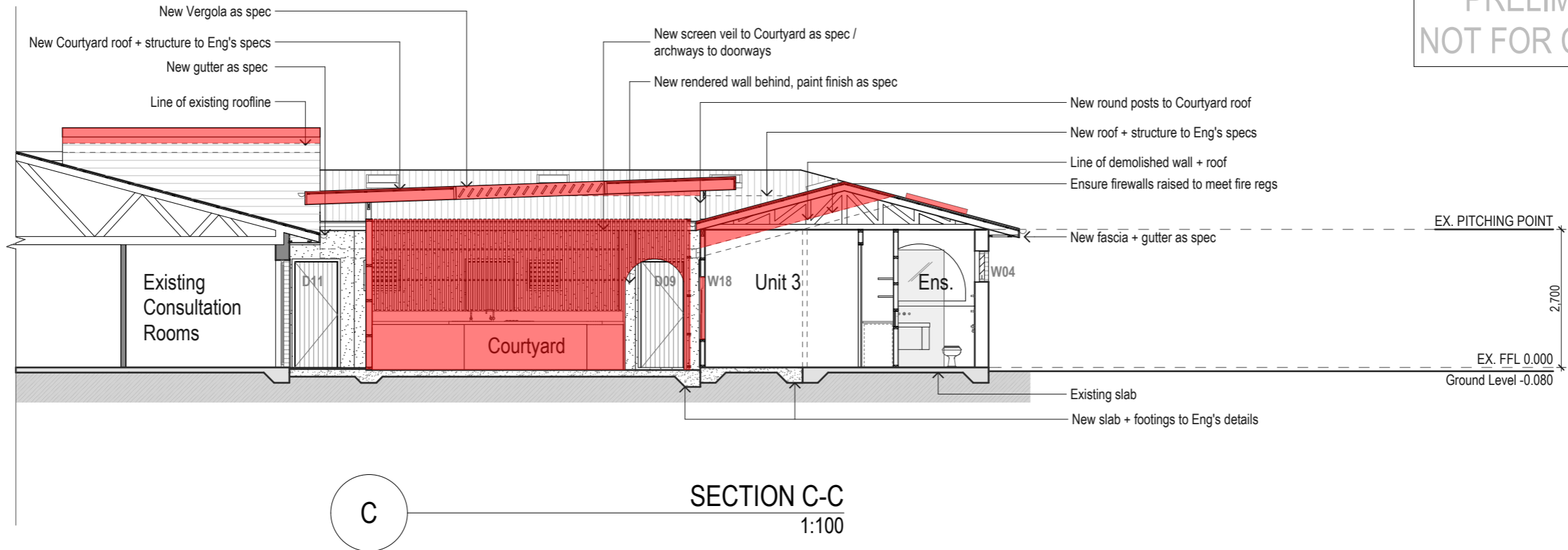
A SECTION A-A
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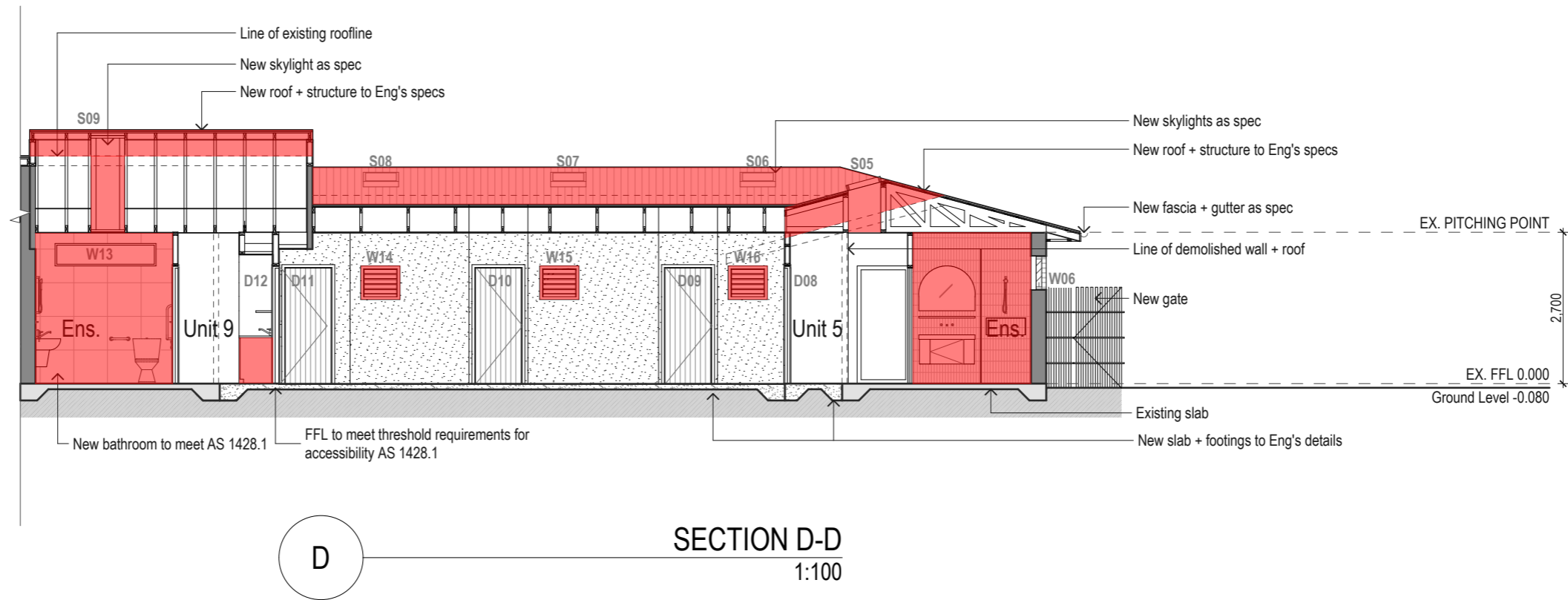
B SECTION B-B
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	JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @A3	ISSUE	A	Rev.	Date:	Notes:
	DRAWING	SECTIONS (HATCHED)		DATE	15.02.23	APPROVED	CD	A	15.02.23	Modification Submission (Hatched)	
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SECTION C-C
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SECTION D-D
1:100

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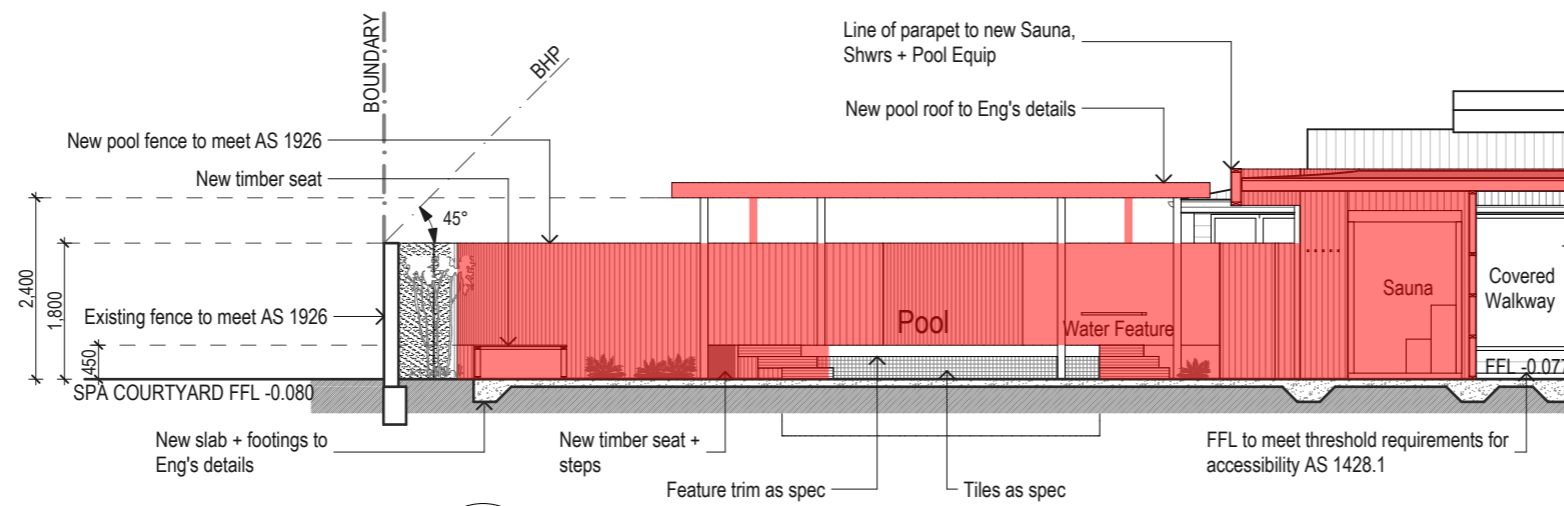
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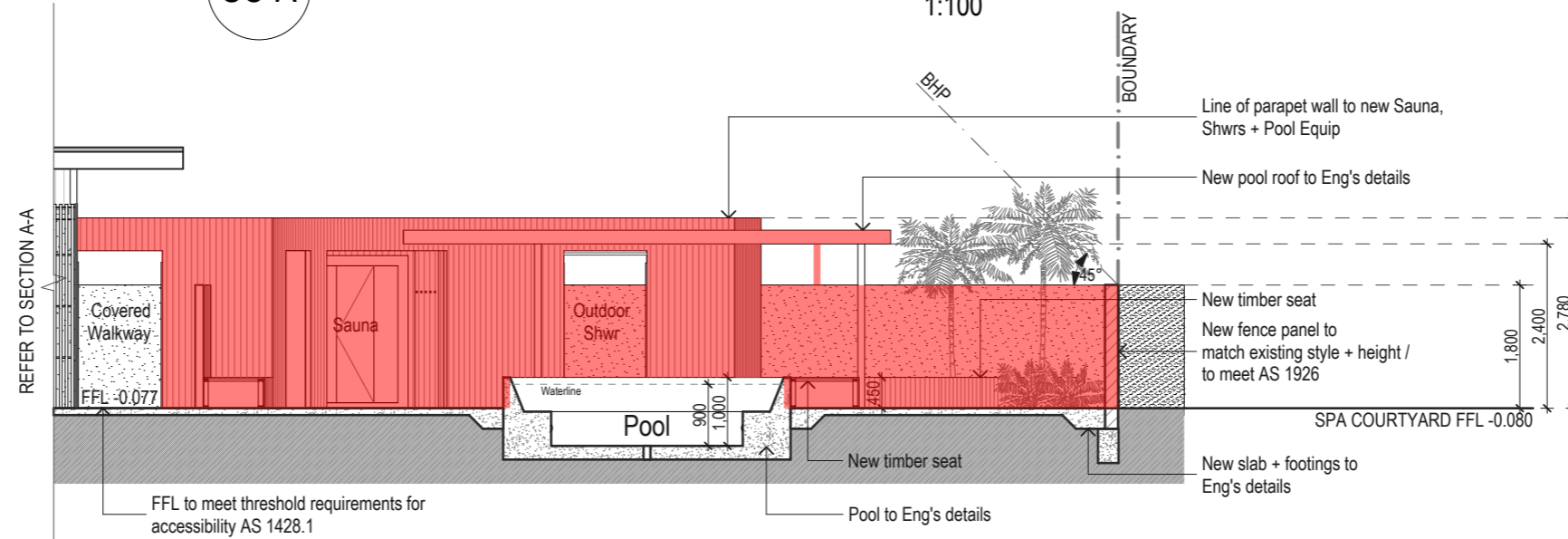
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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE A
DRAWING	SECTIONS (HATCHED)			DATE	15.02.23	APPROVED CD

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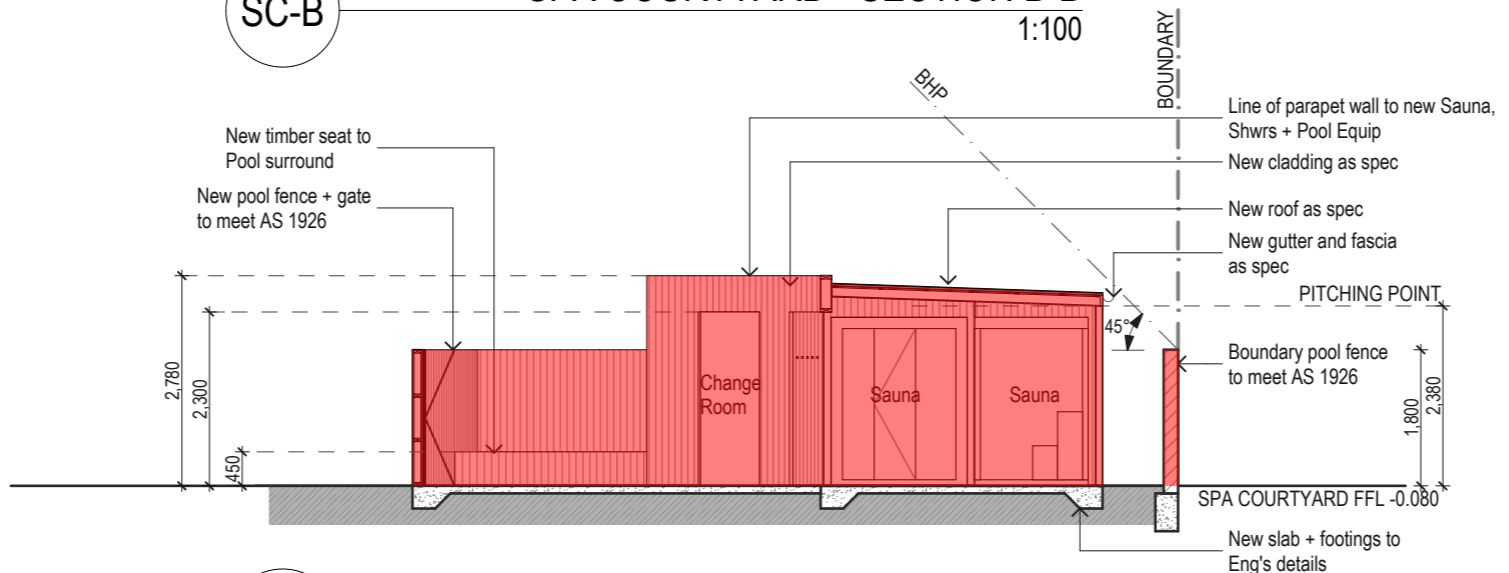
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SC-A SPA COURTYARD - SECTION A-A
1:100



SC-B SPA COURTYARD - SECTION B-B
1:100



SC-C SPA COURTYARD - SECTION C-C
1:100

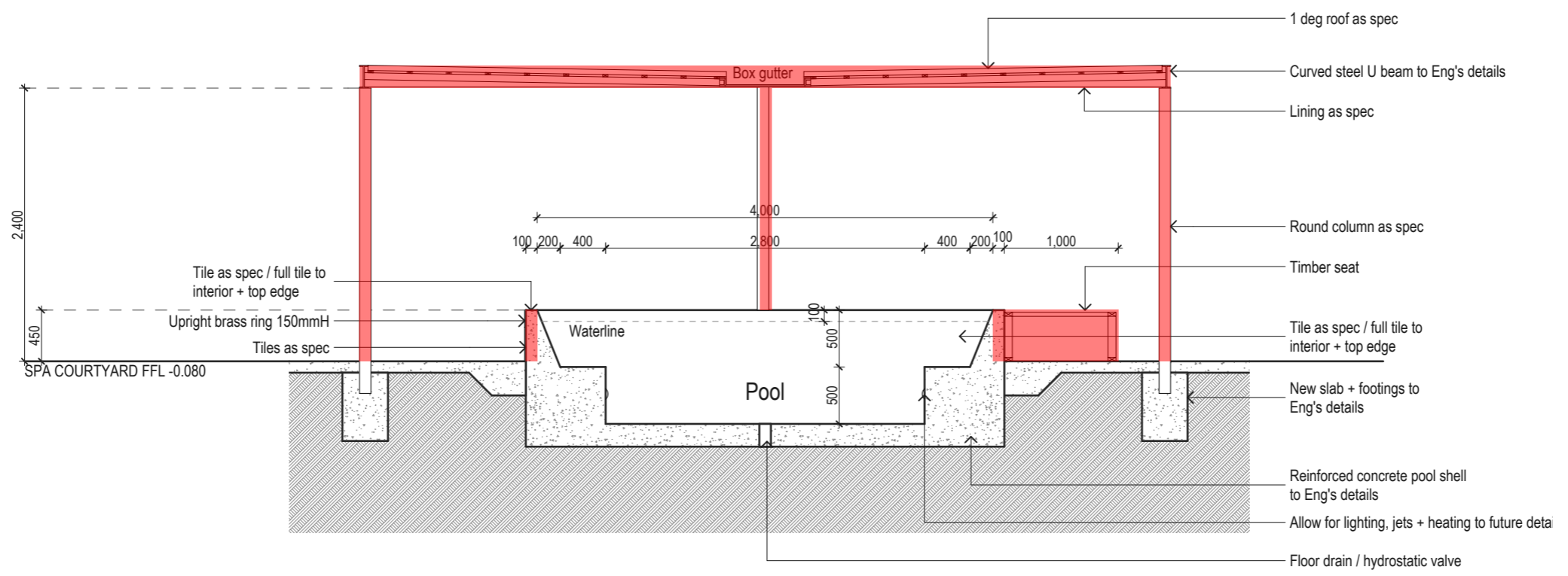
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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE A
DRAWING	SPA COURTYARD - SECTIONS (HATCHED)			DATE	15.02.23	APPROVED CD

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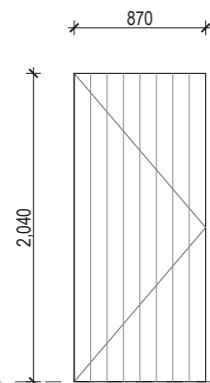
SC-D SPA COURTYARD - SECTION D-D
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	JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE	A	Rev.	Date:	Notes:
	DRAWING	SPA COURTYARD - SECTIONS (HATCHED)			DATE	15.02.23	APPROVED	CD	A	15.02.23	Modification Submission (Hatched)
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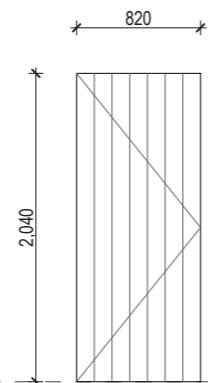
DOOR SCHEDULE

1:50

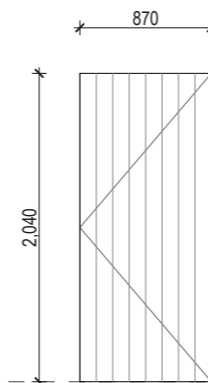
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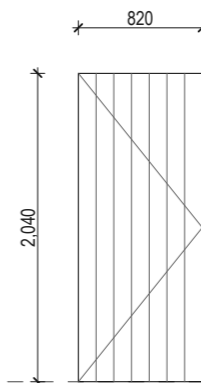
NUMBER: D01 + D03
STYLE: External solid core VJ door
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, disabled privacy bolt + door catch
NOTES: Door + frame to meet BAL-19
Door + hardware to meet AS 1428.1 for disabled



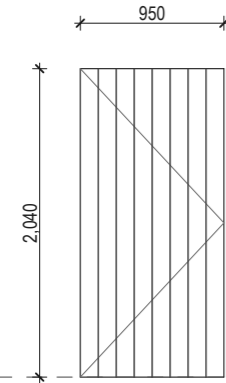
NUMBER: D02
STYLE: External solid core VJ door
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, ambulant privacy bolt + door catch
NOTES: Door + frame to meet BAL-19
Door + hardware to meet AS 1428.1 for ambulant



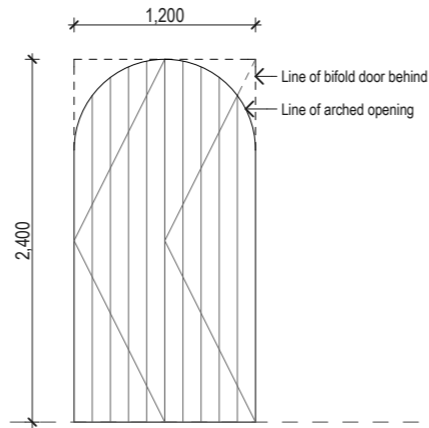
NUMBER: D03
STYLE: External solid core VJ door
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, disabled privacy bolt + door catch
NOTES: Door + frame to meet BAL-19
Door + hardware to meet AS 1428.1 for disabled



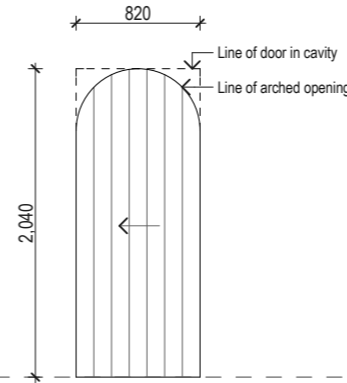
NUMBER: D04, D05, D06, D07, D08, D09, D10, D11
STYLE: External solid core VJ door
EXTERNAL FINISH: Accoya timber
INTERNAL FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, electronic lock access system TBA + door catch
NOTES: Door + frame to meet BAL-19



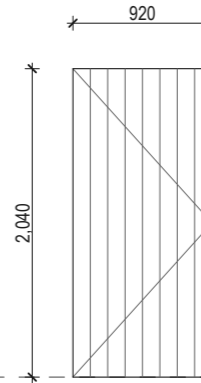
NUMBER: D12
STYLE: External solid core VJ door
EXTERNAL FINISH: Accoya timber
INTERNAL FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, electronic access lock system TBA + door catch
NOTES: Door + frame to meet BAL-19
Door + hardware to meet AS 1428.1



NUMBER: D13, D14, D15, D16
STYLE: Internal solid core VJ door, bifold
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Bifold privacy set
NOTES:



NUMBER: D17, D18, D19, D20
STYLE: Internal solid core VJ door, cavity slider
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Cavity slider privacy set
NOTES:



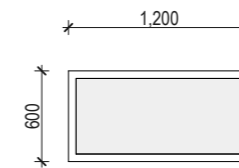
NUMBER: D21
STYLE: Internal solid core VJ door
FINISH: Painted
FRAME: Ezijamb or similar
HARDWARE: Door lever, disabled privacy set + door catch
NOTES: Door + hardware to meet AS 1428.1

NOTES:

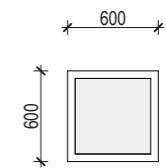
- All doors, screens + skylights to be in accordance with AS 3959
- Door + Skylight Schedule to be read in conjunction with Floor Plan, Elevations, Sections, Engineering + Bushfire Report
- All door sizes are door panel sizes only / frames are in addition
- All door sizes are to be site checked prior to fabrication + installation
- Any discrepancy to be confirmed by Builder
- All hardware to be suitable for salt air environment
- Electronic access lock system required to Units
- Ezijamb or similar to be used where possible
- Screens required to all habitable rooms as per DA Conditions, Schedule 1, Condition 16 - TBA
- Paint Colour: White TBA
- Timber Finish: Clear TBA
- Refer to 'Door Hardware Schedule' for further details

SKYLIGHT SCHEDULE

1:50



NUMBER: S01, S02, S03, S04
STYLE: Fixed skylight
FRAME: Powdercoated aluminium
COLOUR: TBA
NOTES: To meet BAL-29 + AS 3959



NUMBER: S05, S06, S07, S08, S09
STYLE: Fixed skylight
FRAME: Powdercoated aluminium
COLOUR: TBA
NOTES: To meet BAL-29 + AS 3959

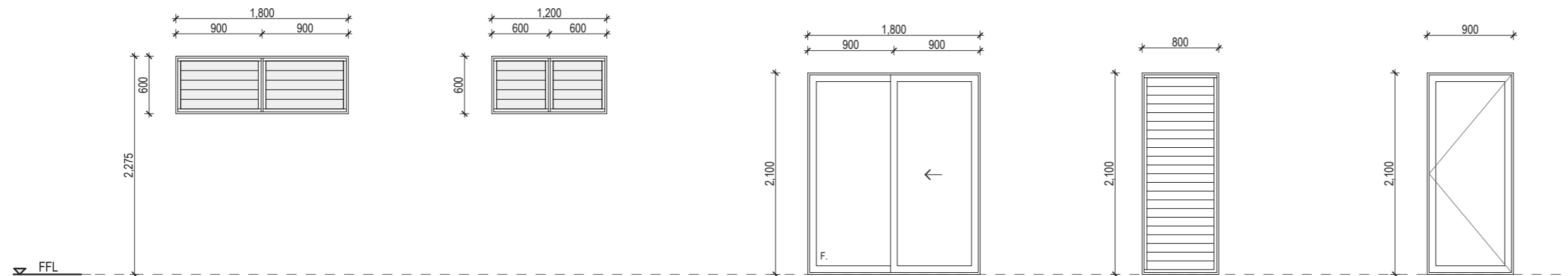
DOTCH DESIGNS

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ALL BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH THE BUILDING CODES OF AUSTRALIA (BCA) AND AUSTRALIAN STANDARDS TO THE SATISFACTION OF THE PRINCIPLE CERTIFYING AUTHORITY. BUILDERS / CONTRACTORS ARE TO VERIFY ALL DIMENSIONS PRIOR TO COMMENCEMENT OF SITE WORK OR OFF-SITE FABRICATION. FIGURED DIMENSIONS TAKE PRECEDENCE - DO NOT SCALE.
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CLIENT	IMEDICINE HOLDINGS PTY LTD	ADDRESS	74 BANGALOW RD, BYRON BAY, NSW	JOB NO.	2201	WD.501		ISSUE / REVISIONS -	
JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE	A	Rev:	Date: 15.02.23
DRAWING	DOOR + SKYLIGHT SCHEDULE (HATCHED)			DATE	15.02.23	APPROVED	CD	Notes:	Modification Submission (Hatched)

WINDOW SCHEDULE



NUMBER: W01, W02, W03, W04, W05
 STYLE: Glass louvres, 102mm galleries
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Acid etched
 NOTES: Aluminium mesh screens to meet BAL-19
 Full louvres if possible / increase existing opening if needed

NUMBER: W06
 STYLE: Glass louvres, 102mm galleries
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Acid etched
 NOTES: Aluminium mesh screens to meet BAL-19
 Full louvres if possible / increase existing opening if needed

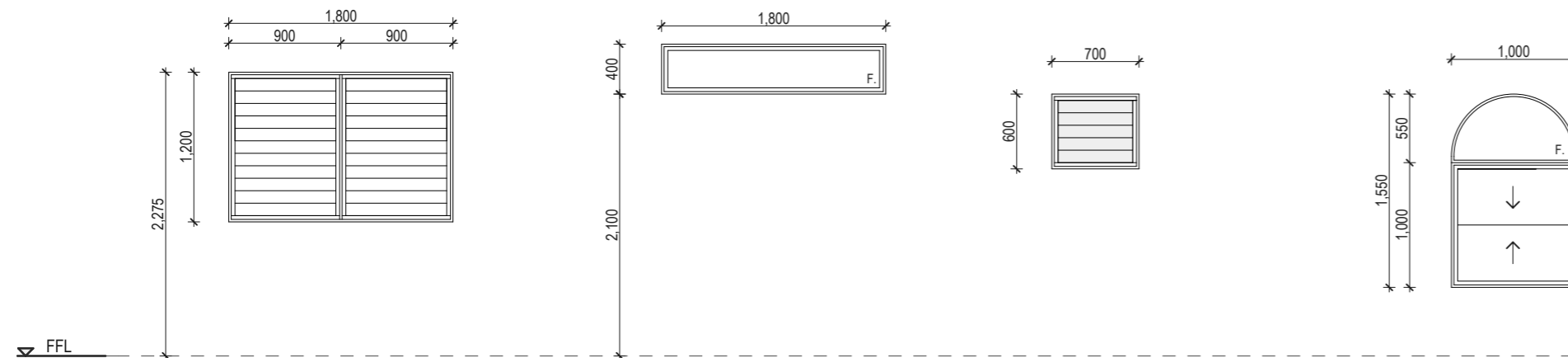
NUMBER: W07, W10, W11
 STYLE: Sliding door
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear, toughened
 NOTES: Sliding aluminium mesh screens to meet BAL-29
 Sills to be rebated to match W12

NUMBER: W08
 STYLE: Glass louvres, 102mm galleries
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear, toughened
 NOTES: Aluminium mesh screen to meet BAL-29
 Full louvres / adjust height to suit

NUMBER: W09
 STYLE: Hinged door
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear, toughened
 NOTES: Aluminium mesh screen to meet BAL-29

NOTES:

- All windows to be in accordance with AS 2047 + AS 3959
- Window Schedule to be read in conjunction with Floor Plan, Elevations, Sections, Engineering + Bushfire Report
- All window sizes are nominal and are to be site checked prior to fabrication + installation
- Any discrepancy to be confirmed by Builder
- All hardware to be suitable for salt air environment
- Sliding + hinged doors + screens to be individually keyed for each Unit



NUMBER: W12
 STYLE: Glass louvres, 102mm galleries
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear, toughened
 NOTES: Aluminium mesh screens to meet BAL-29
 Full louvres if possible / increase existing opening if needed

NUMBER: W13
 STYLE: One fixed lite
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear
 NOTES:

NUMBER: W14, W15, W16
 STYLE: Glass louvres, 102mm galleries
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Acid etched
 NOTES: Aluminium mesh screens to meet BAL-29
 Full louvres / adjust height to suit

NUMBER: W17, W18, W19, W20
 STYLE: Sashless double hung window with arched fixed window over
 FRAME: Powdercoated aluminium
 COLOUR: White TBA
 GLASS: Clear
 NOTES: Aluminium mesh screens to meet BAL-19

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JOB NAME	THE HEALTH LODGE RENOVATIONS	LOT & DP	LOT 21, DP 626953	SCALE	as shown @ A3	ISSUE	A	Rev:	Date: 15.02.23
DRAWING	WINDOW SCHEDULE (HATCHED)			DATE	15.02.23	APPROVED	CD	Notes:	Modification Submission (Hatched)