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# TOWN PLANNING REPORT

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## Statement of Environmental Effects

Tree removal and construction of a new dwelling to create a  
Dual Occupancy (detached) development

Lot 14 Section 25 DP 758171  
No. 5 Teven Street, Brunswick Heads

**JOE DAVIDSON**  
TOWN PLANNING STUDIO

1 December 2021

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## 1.0 Introduction

This Town Planning Report includes a Statement of Environmental Effects to accompany a Development Application to Byron Shire Council to construct a new dwelling within the site to create a dual occupancy (detached) development.

The following sections of this report relate to the matters summarised below:

Section 2 – provides a description of the development site.

Section 3 – provides a description of the proposed development.

Section 4 – provides consideration of the proposed development having regards to the statutory requirements applying to the site.

Section 5 – provides a conclusion to this report.

In addition to these sections, Annexures include documentation of relevance to the proposed development and its site, including the plans of the proposed development. Figures are included throughout the document to provide details of the development and the development site.

The Statement of Environmental Effects has been prepared in accordance with Schedule 1, Part 1, Clause 2(4) of the Environmental Planning and Assessment Regulation 2000, which requires a Statement of Environmental Effects to indicate the following matters, where relevant to the proposal:

- (a) the environmental impacts of the development,
- (b) how the environmental impacts of the development have been identified,
- (c) the steps to be taken to protect the environment or to lessen the expected harm to the environment.

### Note on the use of this document

This document has been prepared for the use of Byron Shire Council, as the consent authority, for determining a Development Application for carrying out development on the site. The document is to be used to assist in the assessment of a Development Application and is not intended to be used for any other purpose. This document is protected by copyright.

## 2.0 Description of the site

### *General*

The proposed development relates to a single allotment of land that is formally described as Lot 14 Section 25 in Deposited Plan 758171. The property is located at No. 5 Teven Street, Brunswick Heads. The allotment has a rectangular configuration with dual frontage and a land area of 1,013 square metres.

The subject lot has frontages of 20.117 metres to Teven Street at the south and Galleon Lane at the north. The land is generally level, but has slight fall to the street frontages. Refer to Figure 1 for a Locality Plan and to Figure 2 for an Aerial Photograph of the Site and Surrounds. A site survey plan is attached as an Annexure to this report.

### *Improvements and Land Uses*

Lot 14 currently contains a two storey dwelling house, lawn areas, landscaped gardens and is fenced at the property boundaries. Vehicular access is currently available to the site via Teven Street at the south, with pedestrian access at Galleon Lane at the north. The existing dwelling configuration was approved as part of Development Consent No. 10.2015.789.1. It includes two parking spaces in a stacked configuration.

It is noted that Development Consent No. 10.2015.789.1 also provided approval for the construction of a secondary dwelling within the rear of the allotment (see approved plans attached to this report). It is proposed to amend the current development consent to remove the secondary dwelling.

### *Zoning*

The entire property is located within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014.

### *Surrounding Land Uses*

Residential lots in the R2 Low Density Residential Zone surround the subject site. Both single and double storey dwellings are located within Teven Street and opposite Galleon Lane. The adjoining allotment to the east was recently granted consent for a dual occupancy (detached) development (see DA 10.2019.639.1).

### *Services*

The allotment has access to the following services:

- Water Supply – the property has access to Council’s reticulated water supply.
- Sewerage Connection – the property is connected to Council’s sewer network.
- Telecommunications – available to the existing dwelling via NBN/Telstra infrastructure.
- Electricity – accessible from overhead transmission lines administered by Essential Energy.
- Stormwater drainage – stormwater disposal is to the adjacent road reserves.
- Waste and Recyclables Collection – provided with roadside collection.

*Constraints*

Mapping by NSW Planning and Environment indicates that the property is not affected by flooding or bushfire constraints. However, the land is identified as containing potential acid sulfate soils (Class 4).



Photographs 1 & 2 – Rear yard of 5 Teven Street and site of proposed dwelling



Figure 1 – Locality Plan (NSW LPI)



Figure 2 – Aerial Photograph of Site & Surrounds (NSW LPI)

### 3.0 Description of the proposal

Development consent is sought to remove planted landscaping and construct a new dwelling within the north of the allotment with access from Galleon Lane. The additional dwelling will create a dual occupancy (detached) development within the subject site. The proposed dwelling comprises a two-storey construction containing two bedrooms, two bathrooms, kitchen, living and dining areas.

A two-car open car port is proposed within the north-eastern corner of the property. Vehicle and pedestrian access is proposed to be granted to the site via Galleon Lane. Additional pedestrian access is proposed to Teven Street via a walkway adjacent to the eastern property boundary.

Plans of the proposed development prepared by Fouche Architects are provided within the Annexures of this Town Planning Report. A BASIX Certificate is also provided as part of the Development Application.

The design of the development provides a substantial setback to the northern property boundary for the dwelling house to provide a yard area and optimise use of the northern orientation. A ground floor outdoor kitchen/dining area and first floor covered deck are proposed on the northern side of the dwelling to maximise solar access. Living areas adjoin the outdoor kitchen/dining to create a sense of space.

The proposed building has a slab-on-ground construction with a flat roof. The external finishes include brickwork walls and steel roofing. No changes are proposed to the existing dwelling within the south of the allotment.

It is also requested that a condition of consent is applied under Section 4.17(1)(b) of the Environmental Planning and Assessment Act 1979 to modify Development Consent No. 10.2015.789.1 by way of deleting the secondary dwelling component from this earlier consent. It is noted that the landowners have paid developer contributions associated with Development Consent No. 10.2015.789.1 and would like these to be credited to the proposed dual occupancy development.



Figure 3 – Northern elevation of proposal (Source: Fouché Architects)

## 4.0 Statutory considerations

### 4.1 NSW Environmental Planning and Assessment Regulation 2000

The proposal does not raise any significant issues under the NSW Environmental Planning and Assessment Regulation 2000.

### 4.2 Section 1.7 of the Environmental Planning and Assessment Act 1979

Section 1.7 of the EP&A Act 1979 provides that the Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 and Part 7A of the Fisheries Management Act 1994 that relate to the operation of this Act in connection with the terrestrial and aquatic environment.

An inspection of the subject site confirms that it is clear of significant vegetation, containing maintained lawn and landscape plantings. The site of the proposed dwelling is currently occupied by lawn and landscape/garden plantings. Given the existing features of the residential allotment, the current proposal raises no significant impacts in relation to the Biodiversity Conservation Act 2016 or the Fisheries Management Act 1994.

### 4.3 Section 4.14 of the Environmental Planning & Assessment Act 1979

The subject property is not mapped as being within a bush fire buffer area.

### 4.4 Matters for Consideration under Section 79C of the Environmental Planning & Assessment Act 1979

#### 4.4.1 Section 4.15(1)(a)(i) The Provisions of any Environmental Planning Instrument

##### State Environmental Planning Policy (Coastal Management) 2018

The development site is not identified as being within a “proximity area for coastal wetlands” nor a “proximity area for littoral rainforest” under State Environmental Planning Policy (Coastal Management) 2018.

##### State Environmental Planning Policy No. 55 – Remediation of Land

State Environmental Planning Policy No. 55 provides requirements to consider site contamination when assessing a Development Application. The property contains an established residence and has had continuous residential occupation for several decades. An inspection of the property on 20 October 2021 did not identify any site contamination issues.

The subject property has development consent to construct a secondary dwelling over the site of the proposed dual occupancy dwelling. This dwelling was assessed and approved by Byron Shire Council under Development Application No. 10.2015.789.1 (which is

to be amended to remove the secondary dwelling). No issues were raised with respect to site contamination under this proposal.

Given the ongoing residential occupation of the site and the nature of the proposed development, further investigations of the property with regards to site contamination are not considered to be warranted as part of the subject Development Application.

#### Byron Local Environmental Plan (LEP) 2014

##### *LEP 2014 Land Use Table – Zone R2 Low Density Residential Zone*

The site of the proposed development is located within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014. Dual occupancy (detached) development is listed as a land use that is permitted with the consent of Council in the zone. The Objectives of the zone are as follows:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents

The proposed floor space is within the maximum floor space ratio requirements for the site and maintains the low density character of the area. The proposal will replace a secondary dwelling that has been approved within the property. It presents a similar development to that approved within the adjoining property to the east. The proposed development is consistent with the objectives of the R2 Low Density Residential Zone.

##### *LEP 2014 Clause 4.1E – Minimum lot size for dual occupancies, multi dwelling housing and residential flat buildings*

The subject site has an area of 1,013 square metres which meets the minimum 800 square metre requirement of Clause 4.1E for dual occupancy (detached) development within the R2 Low Density Residential Zone.

##### *LEP 2014 Clause 4.3 – Height of Buildings*

The Local Environmental Plan prescribes a maximum overall height limit of 9 metres within the subject site. The proposed single storey development meets this requirement.

##### *LEP 2014 Clause 4.4 – Floor Space Ratio*

Clause 4.4(2A) provides that the maximum floor space ratio for dual occupancy development on land in Zone R2 Low Density Residential is 0.5:1. The proposed development meet the maximum floor space ratio requirements as set out in the table below:

Site Area	1,013 square metres
GFA Existing Dwelling	210.3 square metres
GFA Proposed Dwelling	183.0 square metres
Total GFA	393.3 square metres
FSR	0.39:1

*LEP Clause 5.10 – Heritage Conservation*

The subject property is not located within a heritage conservation area under Byron Local Environmental Plan 2014.

*LEP Clause 6.1 – Acid Sulfate Soils*

The subject property is mapped as containing potential acid sulfate soils (Class 4), however the proposal does not include works more than 2 metres below the natural ground surface or works by which the water table is likely to be lowered more than 2 metres below the natural ground surface. No further assessment is required to address this constraint.

*LEP 2014 Clause 6.2 – Earthworks*

The proposed development includes minor excavation works to create driveways, footings and plumbing connections. These works are of a domestic scale. No retaining structures are required given the flat nature of the property. Erosion and sediment controls will be applied during construction works to maintain water quality.

*LEP 2014 Clause 6.3 – Flood Planning*

The subject site is not constrained by flooding in a 1 in 100 year event.

*LEP 2014 Clause 6.6 – Essential services*

The subject allotment has access to required services as discussed in the table below:

Required arrangements	Comment
The supply of water	The proposed buildings within the allotment are to be supplied with both Council and tank water. Separate application is to be made for a second water meter.
The supply of electricity	Overhead electricity lines supply the property from the reticulated network administered by Essential Energy.

<p>The disposal and management of sewage</p>	<p>The existing dwelling is connected to Council’s sewer network. Additional works are proposed to connect the dual occupancy development. This is likely to include the repositioning of existing drainage within the rear yard.</p>
<p>Stormwater drainage or on-site conservation</p>	<p>Stormwater drainage for the proposed new building will be to Galleon Lane. A stormwater pit is located directly north-east of the dwelling site (within the laneway). A detailed engineering design will be prepared for final stormwater and vehicle access arrangements to the lane.</p>
<p>Suitable vehicular access</p>	<p>Existing vehicle access is available to the established dwelling from Teven Street. The proposed additional dwelling will take access from a low traffic laneway. A new driveway is proposed that will meet the requirements of AS2890.1. This will be the subject of a separate Engineering design that will be approved under Section 138 of the Roads Act 1993.</p>



Photograph 3 – Rear lane showing existing stormwater pit adjacent to the development site

4.4.2 Section 4.15(1)(a)(ii) The Provisions of any Draft Environmental Planning Instrument

No draft environmental planning instruments have relevant implications for the proposal.

4.4.3 Section 4.15(1)(a)(iii) The Provisions of any Development Control Plans

Byron Development Control Plan (DCP) 2014

*DCP 2014 Chapter B1 – Biodiversity*

Only minor tree removal works are proposed as part of the Development Application. However, these relate only to planted garden/landscaping species (refer to Photographs 1 & 2). The site is to be provided with landscaping in accordance with the development plans (refer to the Annexures to this report).

*DCP 2014 Chapter B3 – Services*

*DCP 2014 Chapter B3.2.1 – Provision of Services*

Refer to comments under Clause 6.6 of Byron Local Environmental Plan 2014.

*DCP 2014 Chapter B3.2.3 – Stormwater Management*

Stormwater drainage for the proposed dwelling will be to an existing pit located within the rear lane. Refer to Photograph 3 which shows this existing infrastructure. An engineering design will be provided to detail the vehicle cross over and stormwater drainage arrangements for the new dwelling. This will be submitted as part of the Construction Certificate process. No changes are proposed to stormwater arrangements for the existing dwelling (which drains to Teven Street).

*DCP 2014 Chapter B4 – Traffic Planning, Vehicle Parking, Circulation and Access*

*DCP 2014 Chapter B4.2.3 – Vehicle Access & Manoeuvring Areas*

This DCP provision states that all parking and service areas shall be provided with sufficient manoeuvring to allow vehicles to enter and leave the site in a forward direction. However, it is stated that dwelling houses and dual occupancy developments may seek a variation this requirement on roads with low traffic volumes by demonstrating there are no traffic safety issues on the frontage roadway or within the site. As the proposed dual occupancy dwelling has access to a rear lane with very low traffic use, it is requested that a variation be applied in this case.

The existing access and parking arrangements for the established dwelling fronting Teven Street remain unchanged. The staked parking arrangement was recently approved as part of Development Consent No. 10.2015.789.1.

*DCP 2014 Chapter B4.2.5 – Car Parking Requirements*

Chapter B4.2.5 refers to Table B4.1 for car parking provision for residential development. Car parking numbers are relative to the number of bedrooms within each dwelling. The existing three bedroom dwelling is provided with two parking spaces with access from Teven Street. No changes are proposed to this established arrangement.

It is proposed to construct a new access driveway and two-car open carport at the north of the site for the new two bedroom dwelling with access from Galleon Lane. The proposed parking arrangements meet the minimum requirements under Chapter B4.2.5.

*DCP 2014 Chapter B14 – Excavation and Fill in All Zones*

The Prescriptive Measures of Chapter D14.2 provide that excavation and filling should be limited to a depth of 1.0 metre, with exemptions allowable for garages and swimming pools. The proposed development meets this control.

*DCP 2014 Chapter D1.2 – General Provisions for Residential Accommodation*

*DCP 2014 Chapter D1.2.1 – Building Height Plane*

The proposed development has been designed to address the requirements of the building height plane (BHP) control, despite minor exceedances of the control at the western property boundary. The plans provided within the Annexures of this Town Planning Report show that these encroachments are limited to a portion of the roofline of the proposed building.

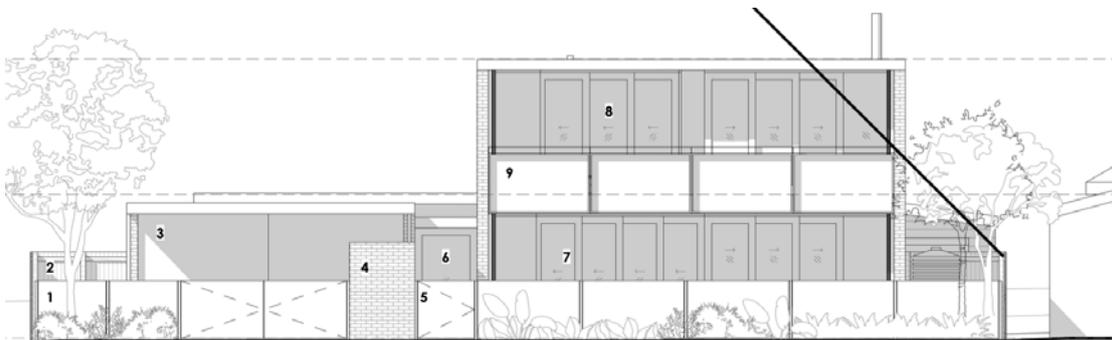


Figure 5 – Depiction of building height plane encroachment at western boundary.

A minor variation to the prescriptive measures is requested given compliance with the performance criteria as discussed below. The performance criteria for this control are as follows:

Performance Criteria

1. *Developments must be set back progressively from the site boundaries as height increases so that they do not adversely affect existing or future development on adjoining properties by way of overshadowing, impinging on privacy or obstructing views.*
2. *Developments must be designed so that they will promote energy efficiency and so that residents may enjoy optimum use of winter sunlight and summer shade.*
3. *Development applications must demonstrate that the windows of living areas (decks, living rooms, bedrooms, kitchens, etc.) of development on adjoining properties will, as a minimum, retain full solar access between the hours of 9.00am to 3.00pm on any day.*

At the western boundary the dwelling presents a setback of 2 metres to the side property boundary, exceeding the 1.5 metre prescribed setback distance. The 2 metre setback reduces the bulk and scale of the proposed dwelling at the property boundary, contributing to local character and improving amenity outcomes for the adjoining allotment.

The plans provided within the Annexures of this Town Planning Report depict the shadow diagrams associated with the proposal, highlighting that overshadowing is not likely to adversely affect adjoining properties.

The adjoining dwelling at the west is improved by a dwelling house which is positioned toward the southern (Teven Street) frontage of the allotment and is not likely to be affected by the proposal. A garage structure is located within the north of the neighbouring lot adjacent to the proposed dual occupancy dwelling. No private open space areas are positioned alongside the new development. Notwithstanding, to ensure the protection of adjacent privacy, no windows are included on the western elevation of the proposed dwelling (the location of the BHP encroachment).

The dwelling has been purposefully designed to be cognisant of and responsive to solar access. The design of the development provides a substantial setback to the northern property boundary for the dwelling to provide a yard area and optimise use of the northern orientation. Similarly, a ground floor outdoor kitchen/dining area and first floor covered deck is proposed on the northern side of the dwelling to maximise solar access. Living areas adjoin the outdoor kitchen/dining to create a sense of space.

The proposed removal of landscaping and subsequent replacement with a modern dwelling will significantly improve the residential property. The dwelling design does not create any potential impacts with respect to privacy or overshadowing. The proposed development does not compromise the views of neighbouring residences. A variation is considered to be reasonable in the circumstances.

*DCP 2014 Chapter D1.2.2 – Setbacks from Boundaries*

Chapter D1.2.2 includes the following setback requirements for development that has frontage to a rear lane:

Rear Lane or unformed roads - 3 metres, unless it is the primary frontage to the development (eg. Shirley Lane, Byron Bay) in which case a setback of 4.5 metres applies including to garages and carports.

The proposed dwelling (including car parking area) meets the 3.0 metre setback requirement as described above. It is apparent that the proposed car port is not required to meet the usual 5.5 metre setback given the rear lane location. The DCP provision specifically states that the rear lane setback requirements apply to garages and carports.

*DCP 2014 Chapter D1.2.3 – Screening the Underfloor Space of Buildings*

The proposed development is low set and achieves the objectives of subfloor screening. The proposal meets the requirements of Chapter D1.2.3.

*DCP 2014 Chapter D1.2.4 – Character and Visual Impact*

The locality includes a mix of dwelling configurations and designs. The proposed dwelling has been designed to sit within the rear of the residential allotment. The proposal does not offend the character of the area nor result in adverse visual impacts. The proposal will complement the streetscape of the laneway as a north facing dual occupancy dwelling has recently been approved within the adjoining property to the east.

*DCP 2014 Chapter D1.2.5 – Fencing*

The proposal does not include any fencing that exceeds the prescriptive measures set out within Chapter D1.2.5.

*DCP 2014 Chapter D1.2.6 – Balconies*

No balcony areas are proposed that dominate the design. A small deck area is located on the northern side of the dwelling facing Galleon Lane. All private open space is provided at ground level.

*DCP 2014 Chapter D1.2.7 – Pedestrian and Cycle Access*

Adequate area is available within the site to accommodate bicycle parking where required.

*DCP 2014 Chapter D1.5 – Dual Occupancy & Semi-Detached Dwellings*

*DCP 2014 Chapter D1.5.1 – On-site Car Parking*

The proposed development provides sufficient parking for the development. A two-car open carport is provided for the proposed dwelling. Two parking spaces are retained for the existing dwelling.

*DCP 2014 Chapter D1.5.2 – Character*

The objective of Chapter D1.5 is to ensure that the siting and design of dual occupancy development does not detract from the streetscape and the residential character of urban areas. The proposal comprises an infill development with a new dwelling taking access from a low traffic laneway. The development is unlikely to detract from the existing character of development in the locality. The modern design will replace overgrown planted landscaping that currently have little streetscape appeal.

*DCP 2014 Chapter D1.5.3 – Adjoining and Adjacent Development*

The adjacent property to the east (No. 3 Teven Street) has been approved for use as dual occupancy (detached) in a configuration which resembles the proposal. A single dwelling house and shed improves the adjoining dwelling at the west. Detached dual occupancy and secondary dwelling developments are located throughout Teven Street. Given the context of the site, the proposal will provide for a compatible form of development within the R2 Low Density Residential Zone.

*DCP 2014 Chapter D1.5.4 – Private Open Space*

Sufficient area has been provided as part of the development to provide 30 square metre private open space areas for each dwelling. The existing dwelling will retain a rear patio and yard area on its northern side. The proposed dwelling provides a private open space area that has dimensions of at least 4m x 4m on the north-western side of the new dwelling. A deck area is also provided on the northern side of the dwelling. The development meets the requirements of Chapter D1.5.4.

*DCP 2014 Chapter D1.5.5 – Landscaping*

The existing development meets Council's Development Control Plan requirements for the provision of 90 square metres of landscaping per dwelling. At least 25% of the site consists of deep soil areas.

*DCP 2014 Chapter D1.5.6 – Sound Proofing*

The detached dual occupancy development does not include any shared walls that require soundproofing to be installed.

4.4.4 Section 4.15(1)(b) The likely Impacts of the Proposed Development

In assessing the subject proposal, Council must consider the likely impacts of the development, including environmental impacts, on both the natural and built environments, and social and economic impacts in the locality.

This Section of the Statement of Environmental Effects indicates the following matters, where relevant to the proposal:

- (a) the environmental impacts of the development,
- (b) how the environmental impacts of the development have been identified,
- (c) the steps to be taken to protect the environment or to lessen the expected harm to the environment.

The following actions were applied to assist in identifying potential impacts from the proposed development:

- An inspection of the site on 20 October 2021.
- Review of aerial photography to identify vegetation cover and the position of development within the site and surrounding properties.
- Review of environmental planning tools including vegetation mapping, koala habitat mapping, BDAR mapping, stream mapping, constraints mapping and zoning mapping.
- Review of historic planning approvals to confirm existing and past land uses within the site and adjoining properties.

Economic Impacts

The proposal is likely to result in positive economic impacts through the construction of a form of housing that is permitted under Byron Local Environmental Plan 2014. The construction phase will employ local tradespersons over a 6-8 month period.

Social impacts

The development site is located within the Brunswick Heads residential area. The locality contains a mix of dwelling types including dual occupancy and residential flat development. The proposal will provide a development that is beneficial to the broader housing market. The proposed development is unlikely to adversely affect residents within the immediate or extended neighbourhood.

#### Impacts on the Built Environment

The proposal provides a modern dual occupancy development within an existing residential site. Nearby lots contain similar and increased density development. The provision of fencing and landscaping will ensure that the proposed development will not result in adverse impacts on the built environment.

#### Impacts on Traffic and Car Parking

Adequate area is available within the site for vehicle parking as required by Byron Shire Council development controls. Access to the new dwelling is proposed from a low traffic laneway. The established street network provides adequate access to the site.

#### Impacts on the Natural Environment

An inspection of the property confirms that the proposal will not require the removal of any native trees to accommodate new building works. Only garden/landscape species are located within the site. The development is unlikely to have any significant impacts on the natural environment.

#### 4.4.5 Section 4.15(1)(c) Suitability of the Site for the Proposed Development

The development site comprises a 1,013 square metre allotment located within the Brunswick Heads urban area. The land is located within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014.

The allotment contains existing residential development and land that is suitable for construction of an additional dwelling. A secondary dwelling has previously been granted consent within the rear of the property (but will be surrendered as part of the proposed development). The development can be completed with minimal impacts on the natural and built environments.

Existing and proposed driveways provide access to the front and rear of the allotment respectively. Adequate area is available for vehicle parking and provision of open space for residents.

The site is considered to be suitable for the proposed development.

#### 4.4.6 Section 4.15(1)(e) The Public Interest

The development is generally consistent with Byron Shire Council's planning controls and does not compromise the public interest.

## 5.0 Conclusion

The proposal seeks to construct a new dwelling within the north of the subject site to create a dual occupancy (detached) development. The proposed development has considered the requirements of Byron Local Environmental Plan 2014 and Development Control Plan 2014.

The proposal is permitted with the consent of Council within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014. It is consistent with the objectives of the zone and does not detract from the surrounding residential land uses.

The proposal is generally consistent with the planning controls of Byron Shire Council. A minor variation is required to the Development Control Plan provisions relating to building height plane requirements. The site is 1,013 square metres in area and is considered to be suitable for the proposed development.

This report addresses the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979 and relevant planning instruments. It is considered that sufficient information has been provided to assess the proposal as a Development Application in light of the issues identified. However, please advise the Applicant should further information be required to address any issues that may arise during assessment.

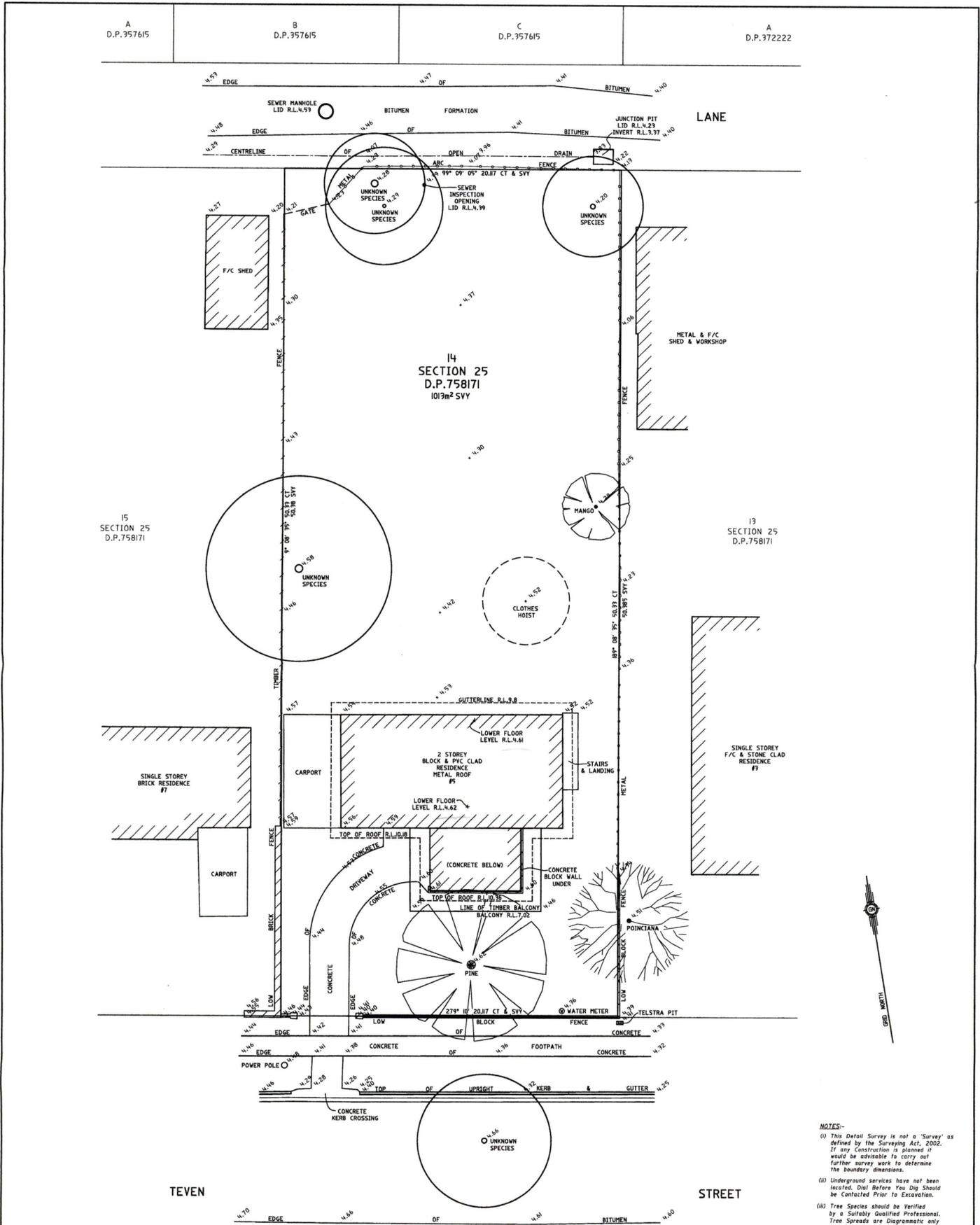
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Joe Davidson

# Annexure A

Survey Plan

Note: This survey was completed prior to changes being made to the dwelling under DA 10.2015.789.1.



- NOTES:-
- (i) This Detail Survey is not a 'Survey' as defined by the Surveying Act, 2002. If any Construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
  - (ii) Underground services have not been located. Dial Before You Dig Should be Contacted Prior to Excavation.
  - (iii) Tree Species should be Verified by a Suitably Qualified Professional. Tree Spreads are Diagrammatic only & may not be Symmetrical.
  - (iv) Top of Roof & Gutter heights are approximate only.
  - (v) Gutter heights are to the Top of Gutter.

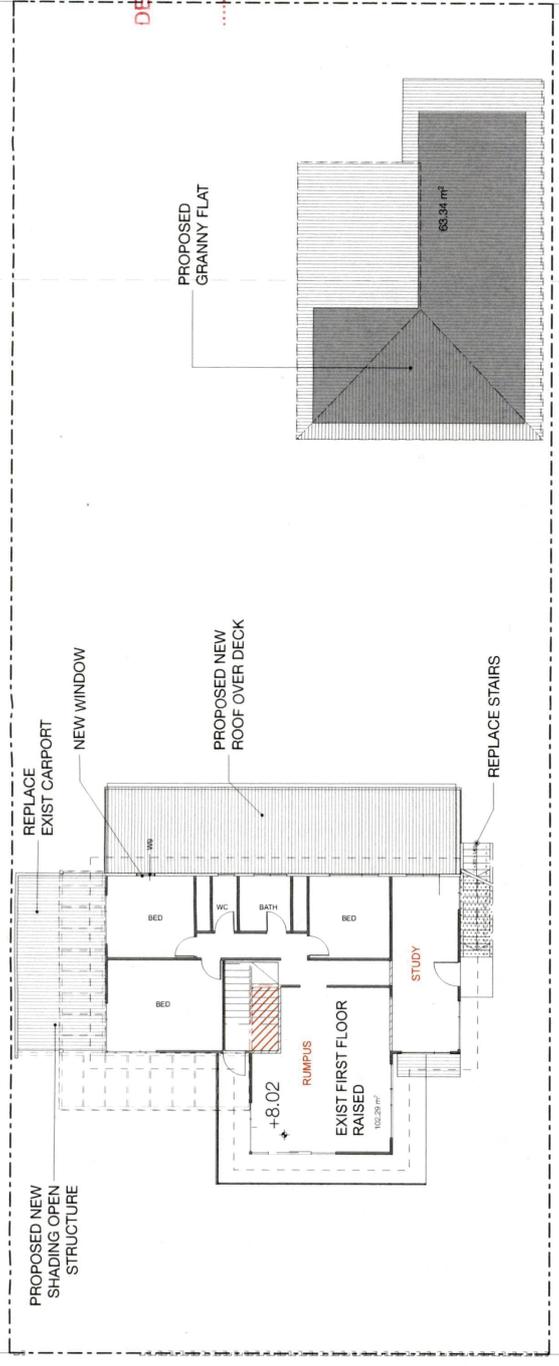
Client:- <b>DAMIAN M<sup>c</sup>CANN</b> DAMIAN@AWCONBULT.COM.AU	Scale:- 1:100 @ A4 Size Datum:- A.H.D. Date:- 7th August 2015 Reference:- 3187a File:- VP- CD 80 Drawn:- Cameron Barnett Checked:- Scott Thompson	<b>PLAN OF DETAIL SURVEY</b> <b>LOT 14 SECTION 25 D.P. 758171</b> <b>#5 TEVEN STREET, BRUNSWICK HEADS</b> <b>SHIRE OF BYRON</b> <b>PARISH OF BRUNSWICK, COUNTY OF ROUS.</b>	Scott Thompson Surveying Pty. Ltd. Trading As: <b>Canty's Surveyors</b> ABN 49 099 101 305	SHEET No 1 # OF SHEETS 1 F/BOOKS NO NOTES Level Origin PM42204 RL 4.54 (DLWC) Coordinate Basis Assumed
	<small>           In the event this document and/or any attachment or associated document is used for any purpose other than that for which it was prepared, the user assumes all liability for such use. The user agrees to indemnify and hold harmless the Surveyor from and against all claims, damages, losses and expenses, including reasonable legal costs, that may be incurred by the Surveyor as a result of such use. This warranty is void where prohibited by law and shall be deemed to have been accepted by the user.         </small>			

# Annexure B

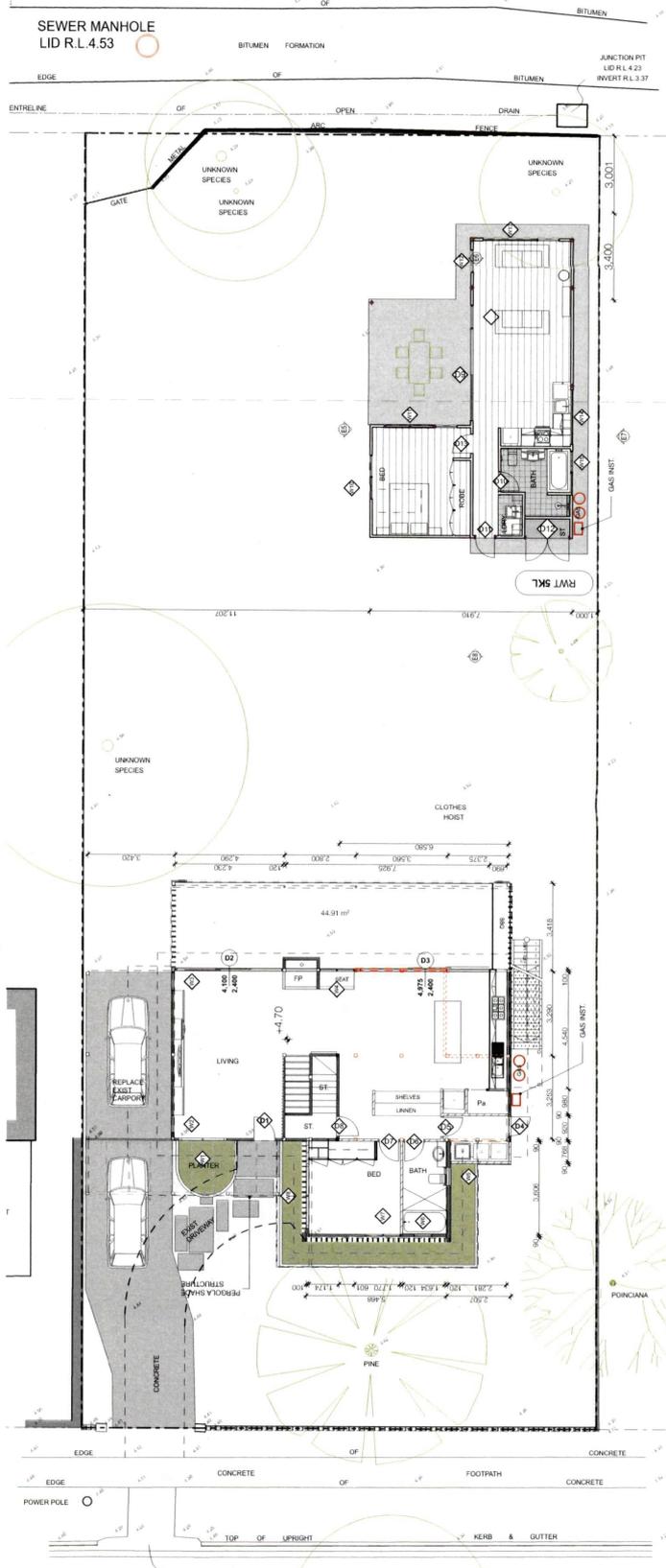
Plans of the Approved Secondary Dwelling

BYRON COUNCIL  
 DEVELOPMENT CONSENT  
 THIS IS THE PLAN ATTACHED TO  
 DEVELOPMENT CONSENT NO. 16/2015-1894  
 DATED: 16 March 2016

DEVELOPMENT OFFICER



1st Floor  
 Scale 1:200



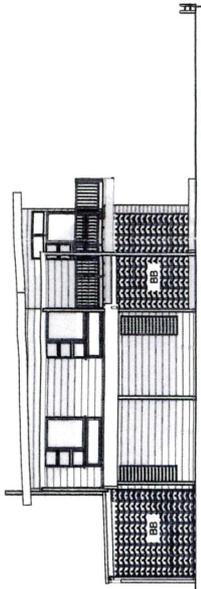
Ground Floor  
 Scale 1:200

ISSUE/REVISIONS		ADDRESS		APPROVED: HG		JOB NO: HGA.153	
A	AM, DA	5 TEVEN ST, BRUNSWICK HEADS		SCALE		JOB NO: HGA.153	
B	AM, DA	DAMIAN MCCANN		PAPER		DWG NO	
Figured dimensions take precedence - do not scale.		ALTERATIONS AND ADDITIONS		LOT + DP		ISSUE	
© Copyright HARLEY GRAHAM ARCHITECTS		1 SECONDARY DWELLING		LOT 25 DP 796171		REV	
		FLOOR PLANS		1:200 A3 DA 02 B		NO	

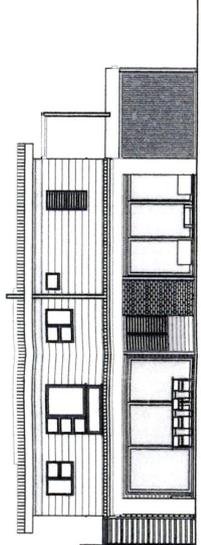
HARLEY GRAHAM ARCHITECTS  
 70 BUTLER STREET BYRON BAY | PO BOX 1285 NSW 2481  
 F: 02 66809820 | T: 02 66809800 | E: office@harleygraham.com  
 ABN: 6515246003 NSW 7592

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 Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.

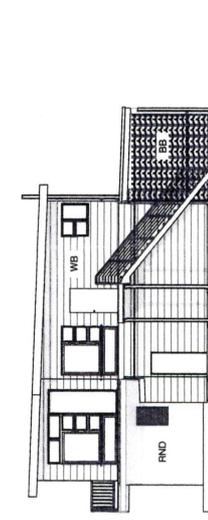
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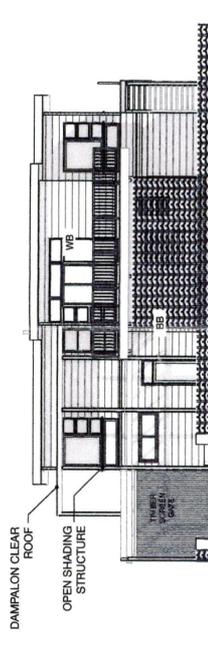
WEST ELEVATION  
Scale 1:200



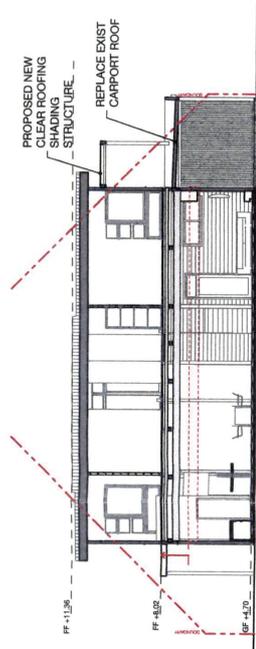
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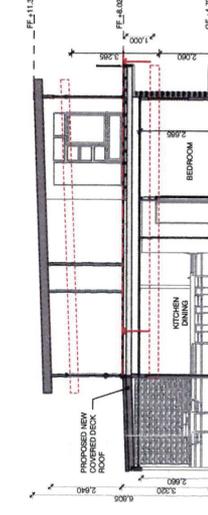
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Scale 1:200



SOUTH ELEVATION  
Scale 1:200

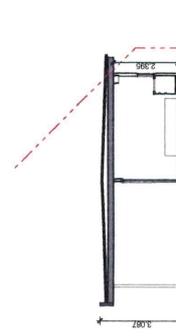


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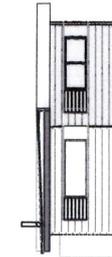


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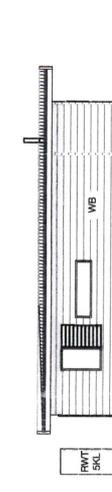
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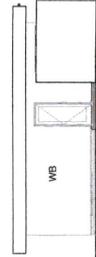
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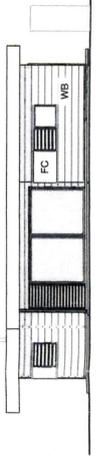
NORTH ELEVATION  
Scale 1:200



EAST ELEVATION  
Scale 1:200



SOUTH ELEVATION  
Scale 1:200



WEST ELEVATION  
Scale 1:200

### COLOUR PALETTE:

1. WHITE
2. LIGHT BLUE

### MATERIALS:

- WB = WEATHERBOARD
- BB = Breeze blocks
- RND= Rendered blockwork
- FC = Fibro cement sheeting

### ADDITIONAL INSULATION Rqts:

- ALTERATION AND ADDITION  
SLAB: nil  
WALLS: nil  
ROOF: nil

### SECONDARY DWELLING:

- SLAB: nil
- WALLS: Framed (weatherboards) R.1 (R1.4 including construction)
- ROOF: nil

**BYRON COUNCIL  
DEVELOPMENT CONSENT**  
THIS IS THE PLAN ATTACHED TO  
DEVELOPMENT CONSENT No. **16/2015-788-1**  
DATED **10.11.2016**

DEVELOPMENT OFFICER

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HARLEY GRAHAM ARCHITECTS 70 BUTLER STREET BYRON BAY   PO BOX 1285 NSW 2481 F: 02 66809820   T: 02 66809890   E: office@harleygraham.com ABN: 85158248003 NSW 7592		A DA 13.11.15	JOB NAME DAMIAN MCCANN ALTERATIONS AND ADDITIONS - SECONDARY DWELLING	LOT + DP LOT 25 DP 788171	SCALE 1:200
ELEVATIONS / SECTIONS		A DA 13.11.15	DRAWING	SCALE 1:200	JOB NO: HG415

# Annexure C

Plans of the Proposed Development

# HOUSE ON GALLEON LANE

5 TEVEN STREET, BRUNSWICK HEADS



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 NSW REGISTRATION NO 10115

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 REBECCA HAY

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ADDRESS  
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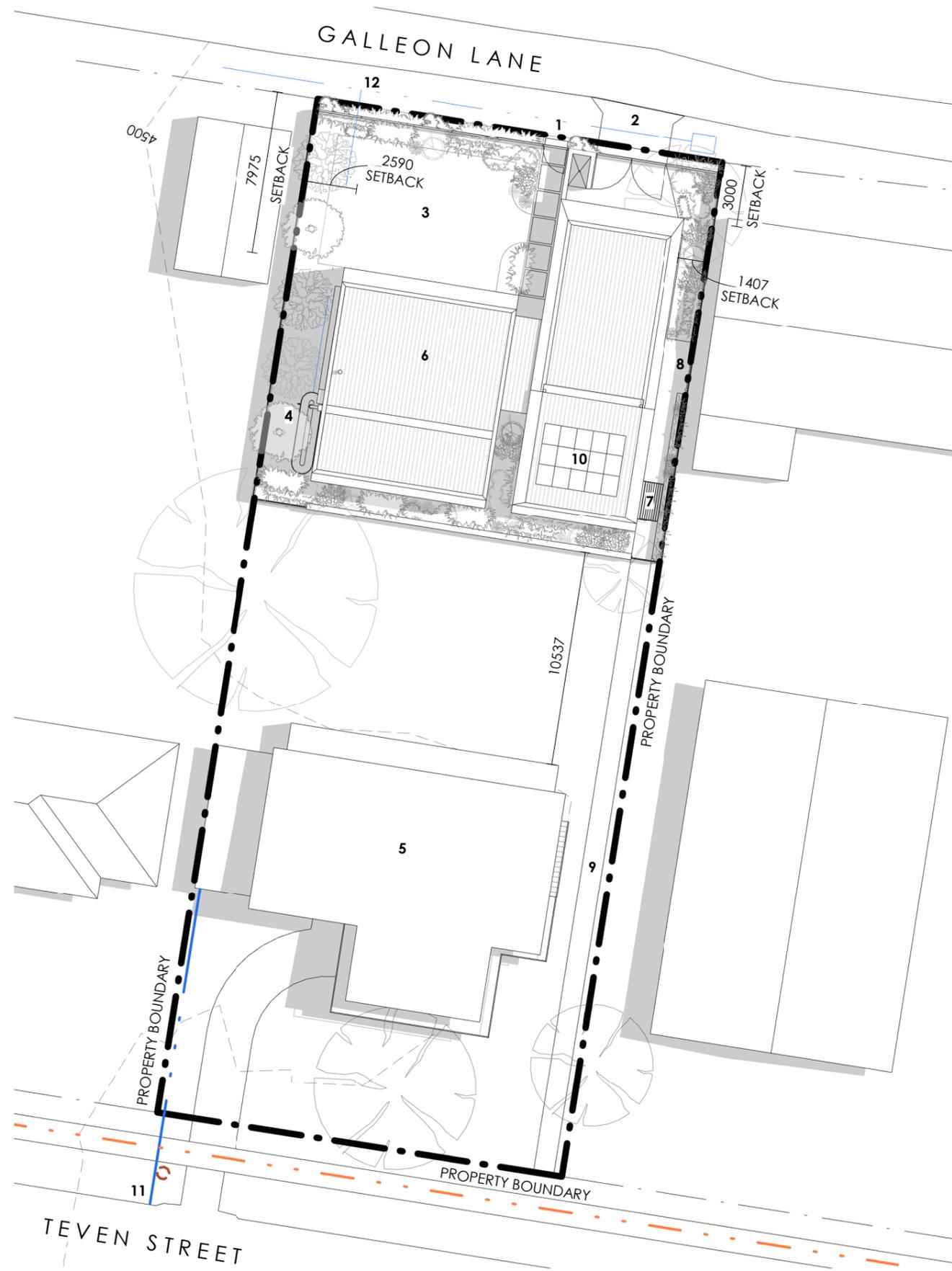
STATUS  
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DATE  
 2021

DRAWING  
 COVER PAGE

DRAWING NUMBER  
 AC000

ISSUE  
 4

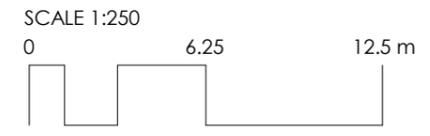


- - - - - STORMWATER
- - - - - POWER POLE
- - - - - NBN

NOTE: SERVICES' LOCATIONS HAVE BEEN TAKEN FROM DBYD MAPPING AND ARE INDICATIVE ONLY AND SHOULD NOT BE RELIED UPON AS AN ACCURATE LOCATION OF SERVICE/S

**SITE PLAN**

- 1 Entry gate
- 2 Driveway
- 3 Front yard
- 4 3 kL Water tank
- 5 Existing residence
- 6 Proposed residence
- 7 Clothes drying
- 8 Bin storage
- 9 Access to Teven Street
- 10 2 kW Photovoltaic system
- 11 Stormwater from existing dwelling discharges to kerb
- 12 Stormwater from proposed dwelling discharges to stormwater drain on Galleon Lane



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**TRUE NORTH**

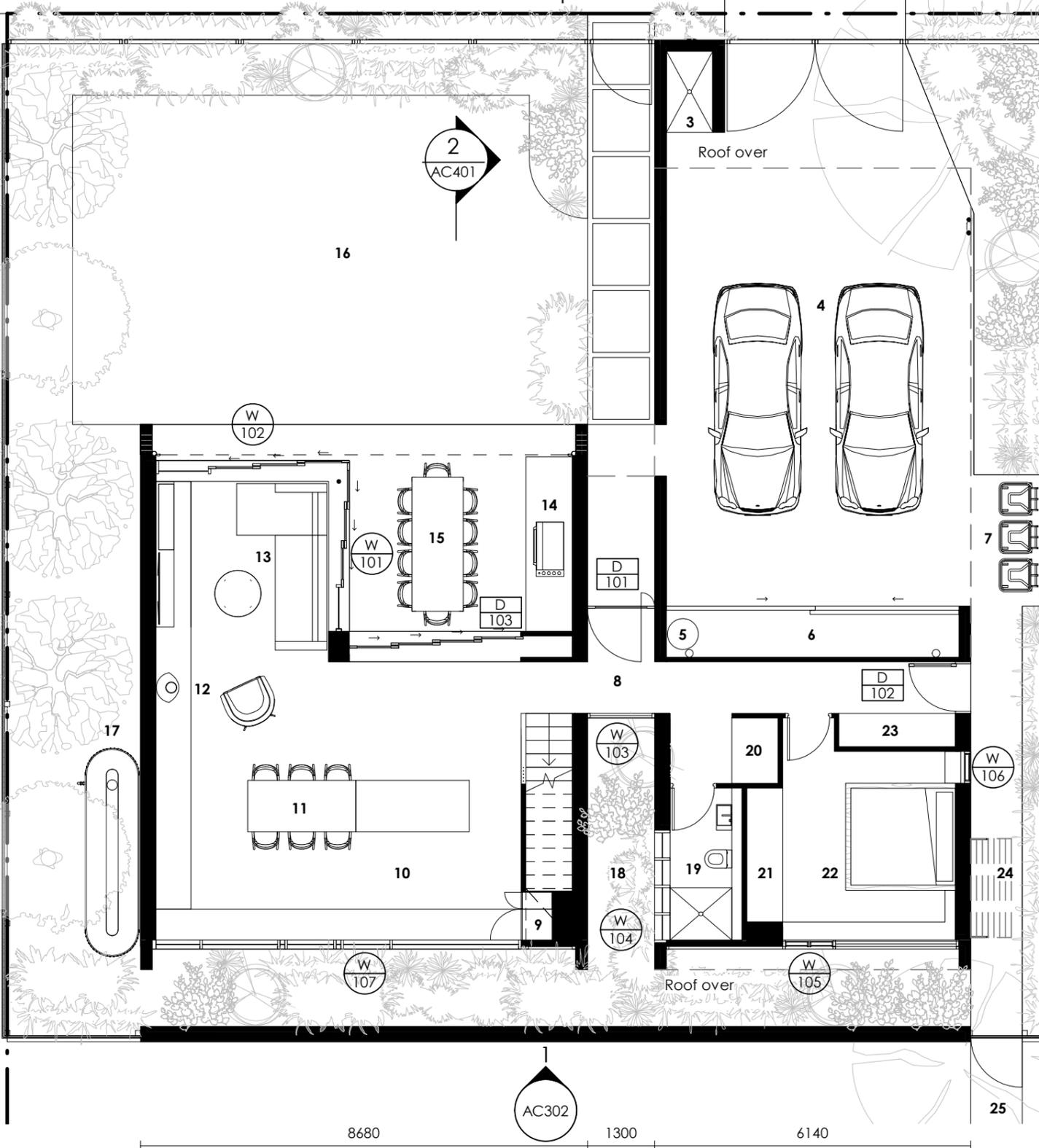
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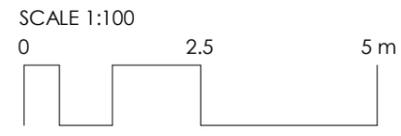
DRAWING	DRAWING NUMBER	ISSUE
SITE PLAN	AC101	4

2590 SETBACK 16120 1407 SETBACK

PROPERTY BOUNDARY



3000 SETBACK TO CARPORT  
7975 HOUSE S/B  
15555  
1400



LOWER LEVEL

- 1 Entry gate
- 2 Driveway
- 3 Outdoor shower
- 4 Covered carport
- 5 Electric storage hot water system
- 6 Storage
- 7 Bin storage
- 8 Entry
- 9 Fridge, appliance & pantry under stair
- 10 Kitchen
- 11 Dining
- 12 Fireplace
- 13 Living
- 14 Outdoor kitchen
- 15 Outdoor dining
- 16 Grass area
- 17 3 kL Water tank
- 18 Courtyard garden
- 19 Bathroom
- 20 Linen
- 21 Robe
- 22 Bed
- 23 Laundry
- 24 Clothes drying
- 25 Access path

AC302 2

2 AC301

1 AC401

AC302

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**TRUE NORTH**

**STATUS**  
DA

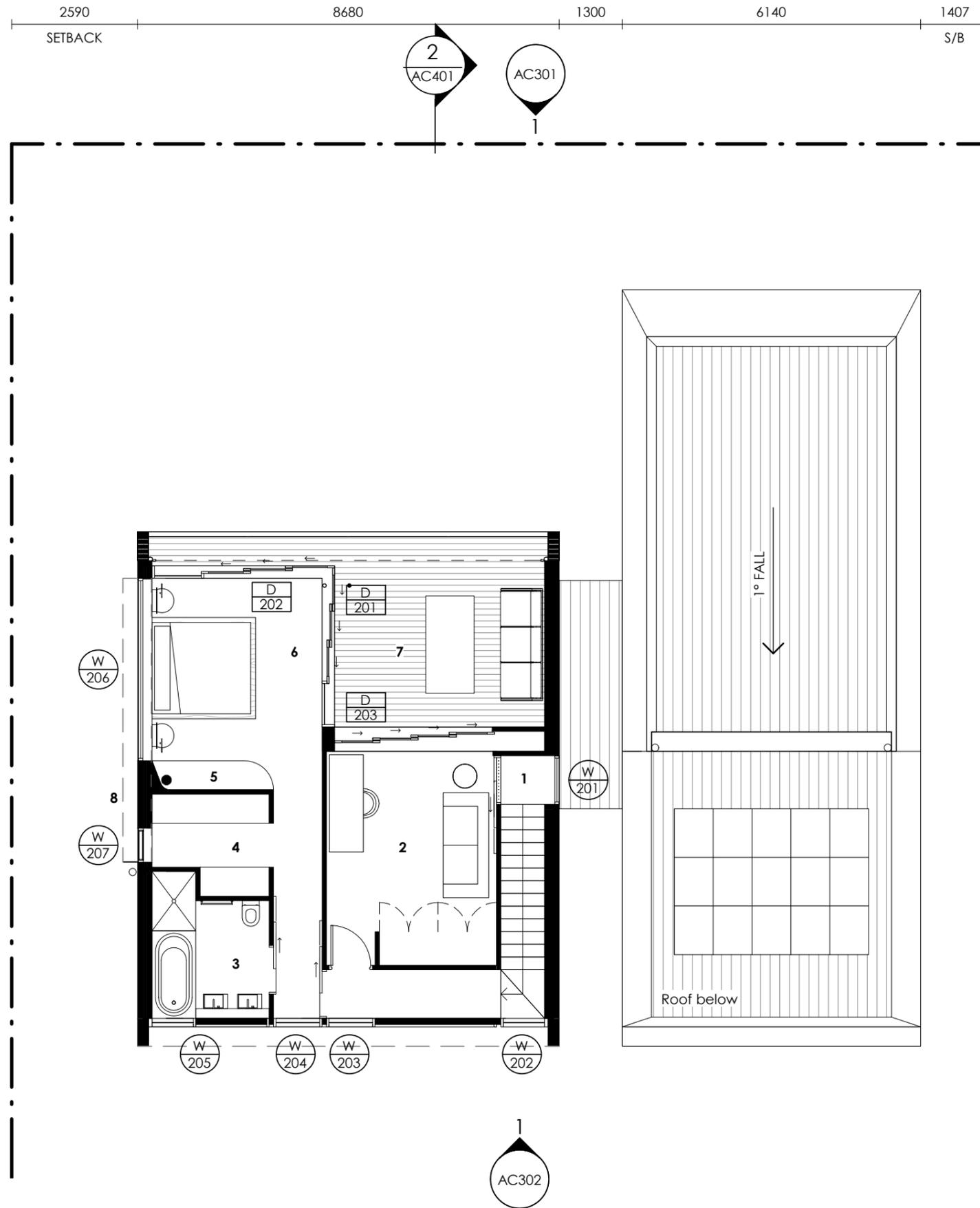
**DRAWING**  
LOWER LEVEL PLAN

**DATE**  
2021

**SCALE (A3)**  
1 : 100

**DRAWING NUMBER**  
AC201

**ISSUE**  
4



**UPPER LEVEL**

- 1 Stair void
- 2 Bedroom
- 3 Ensuite
- 4 Walk-in robe
- 5 Built-in seat
- 6 Master bedroom
- 7 Covered deck
- 8 Window awning
- 9 2 kW Photovoltaic system

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**STATUS**  
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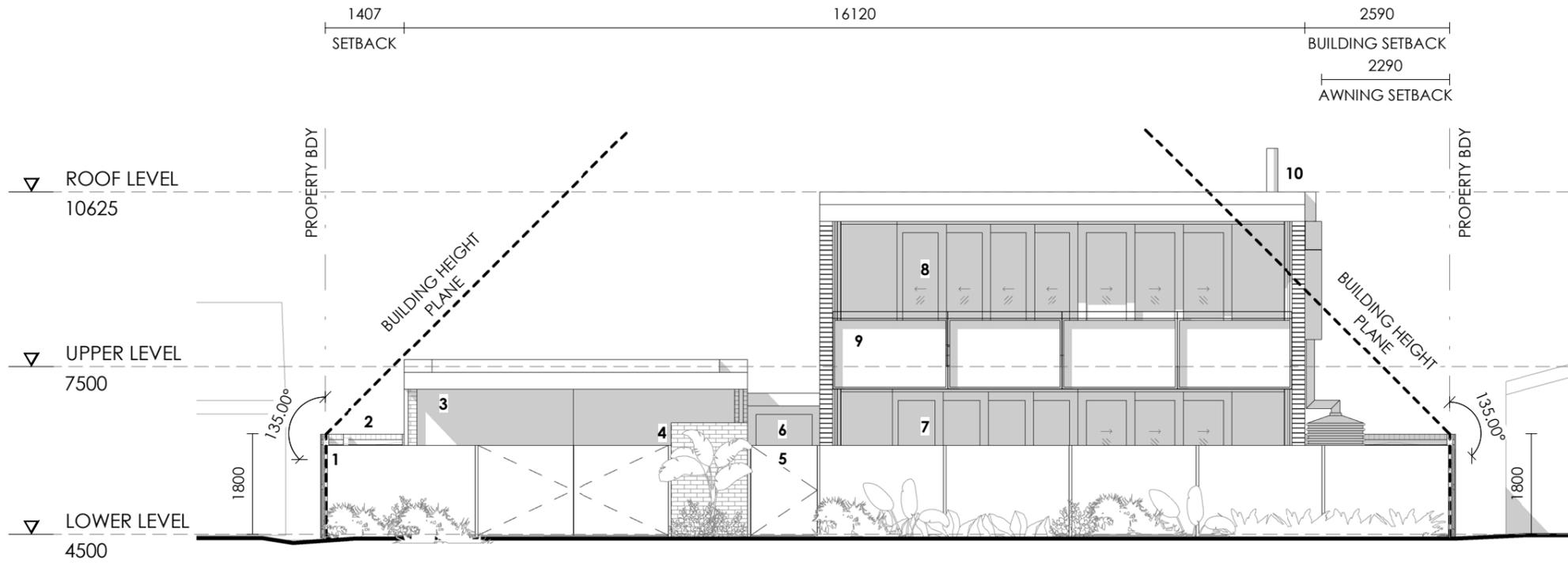
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**DRAWING**  
 UPPER LEVEL PLAN

**SCALE (A3)**  
 1 : 100

**DRAWING NUMBER**  
 AC202

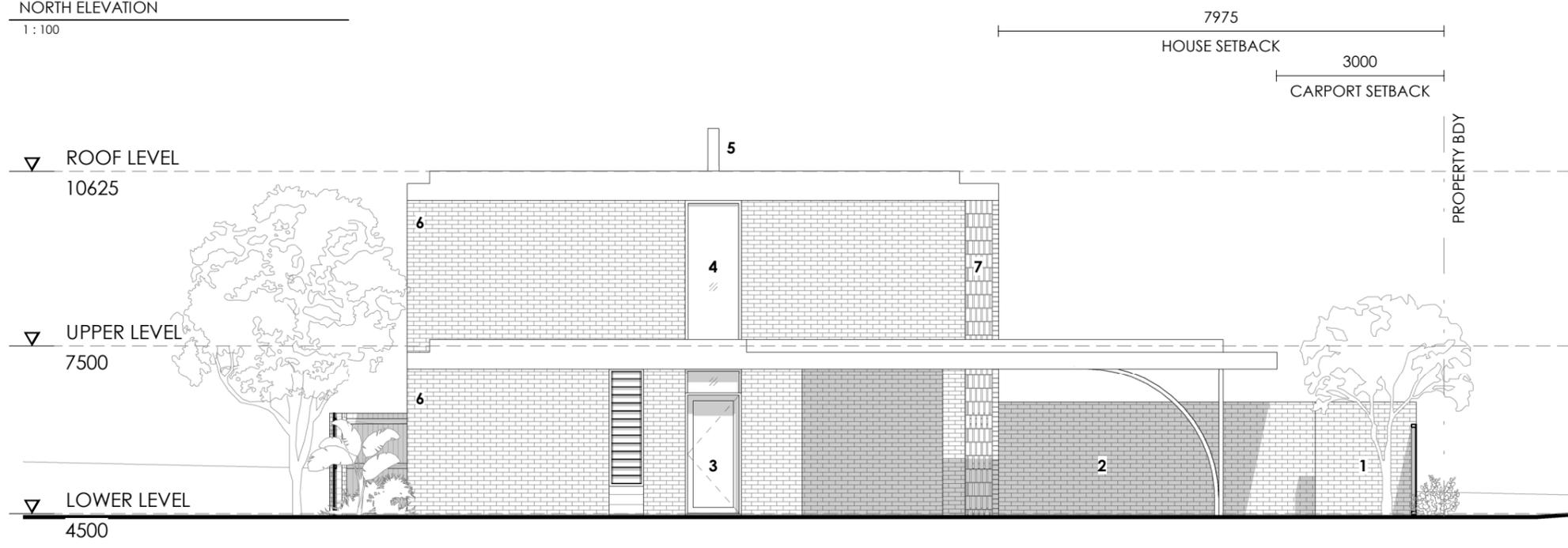
**ISSUE**  
 4



**NORTH ELEVATION**

- 1 Metal mesh front fence
- 2 Southern boundary fence
- 3 Covered carport
- 4 Outdoor shower behind brick wall
- 5 Entry gate
- 6 Entry
- 7 Outdoor entertaining
- 8 Covered deck
- 9 Steel/fibre cement balustrade
- 10 Chimney flue

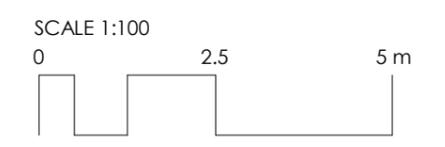
**NORTH ELEVATION**  
1 : 100



**EAST ELEVATION**

- 1 Driveway
- 2 Covered carport
- 3 Laundry access
- 4 Window to stair void
- 5 Chimney flue
- 6 Double brick walls
- 7 Breeze brick wall

**EAST ELEVATION**  
1 : 100



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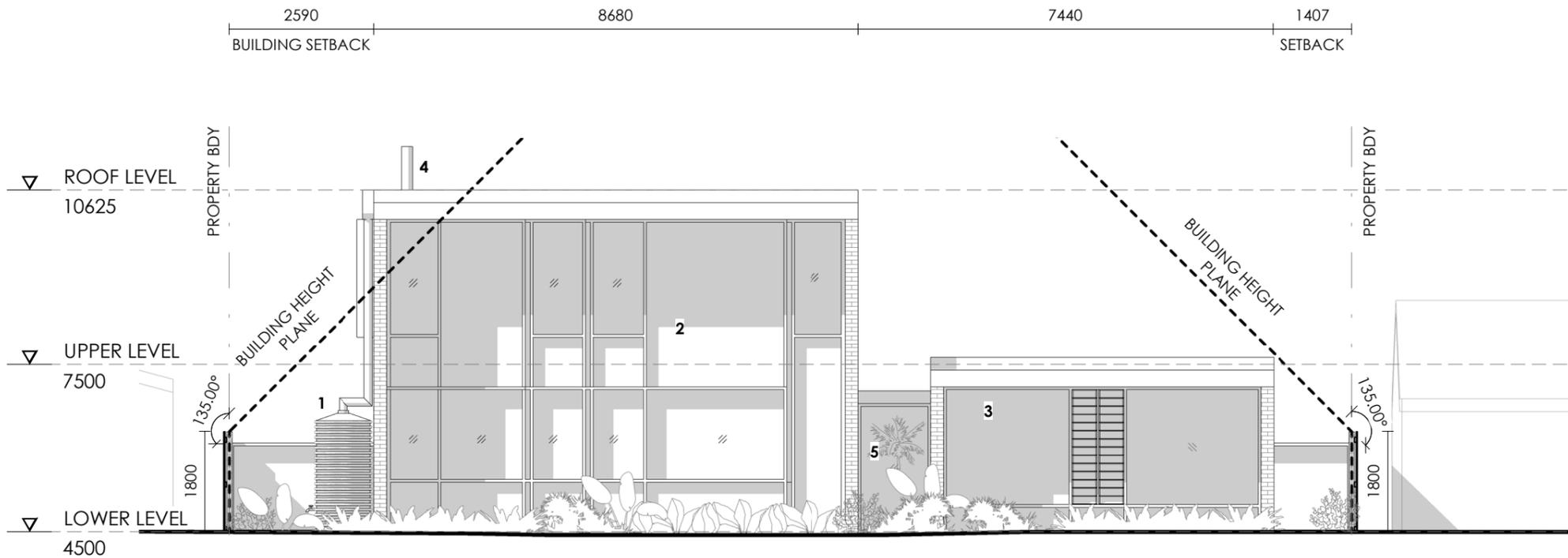
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STATUS	DATE	SCALE (A3)
DA	2021	1 : 100
DRAWING	DRAWING NUMBER	ISSUE
ELEVATIONS	AC301	4

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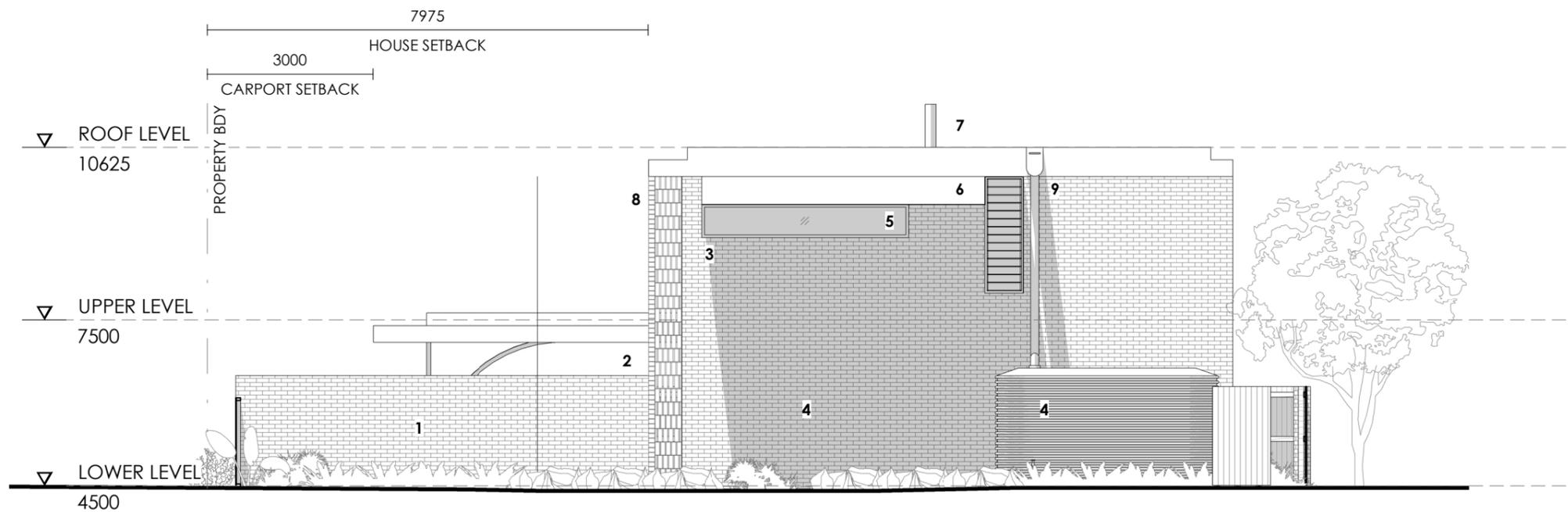


**SOUTH ELEVATION**

- 1 3 kL Water tank
- 2 Combination glazing and solid panels to southern wall
- 3 Fibre cement cladding
- 4 Chimney flue
- 5 Courtyard garden

**SOUTH ELEVATION**

1 : 100



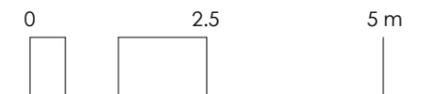
**WEST ELEVATION**

- 1 Front yard
- 2 Covered carport
- 3 Western double brick wall
- 4 3 kL Water tank
- 5 Master bed window
- 6 Window awning
- 7 Chimney flue
- 8 Breeze brick wall
- 9 Downpipe and rain water head

**WEST ELEVATION**

1 : 100

SCALE 1:100



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**STATUS**  
 DA

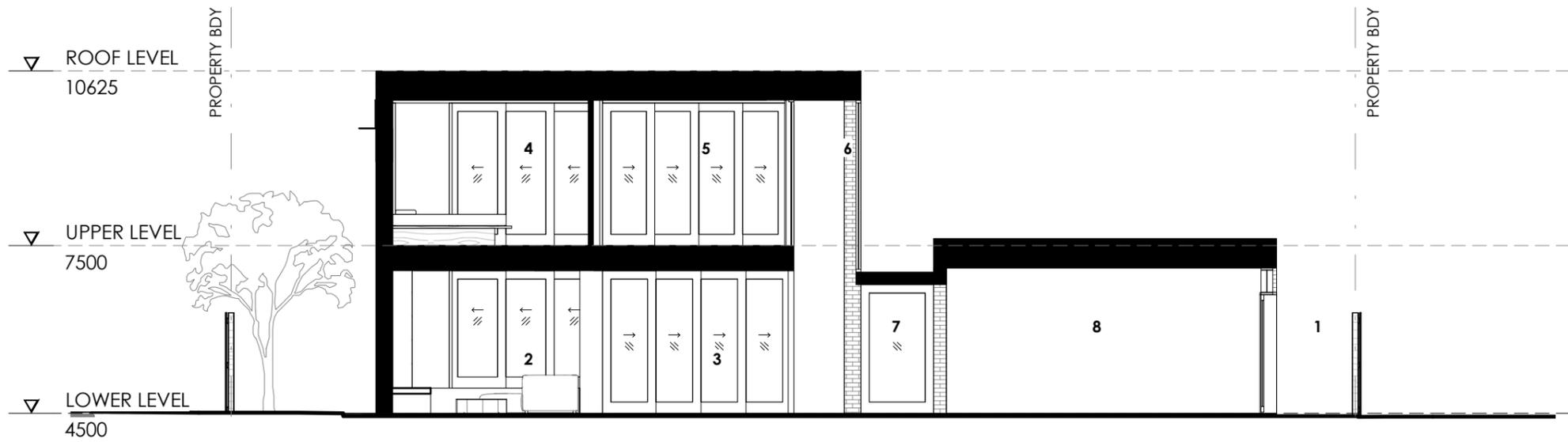
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**DATE**  
 2021

**DRAWING NUMBER**  
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**SCALE (A3)**  
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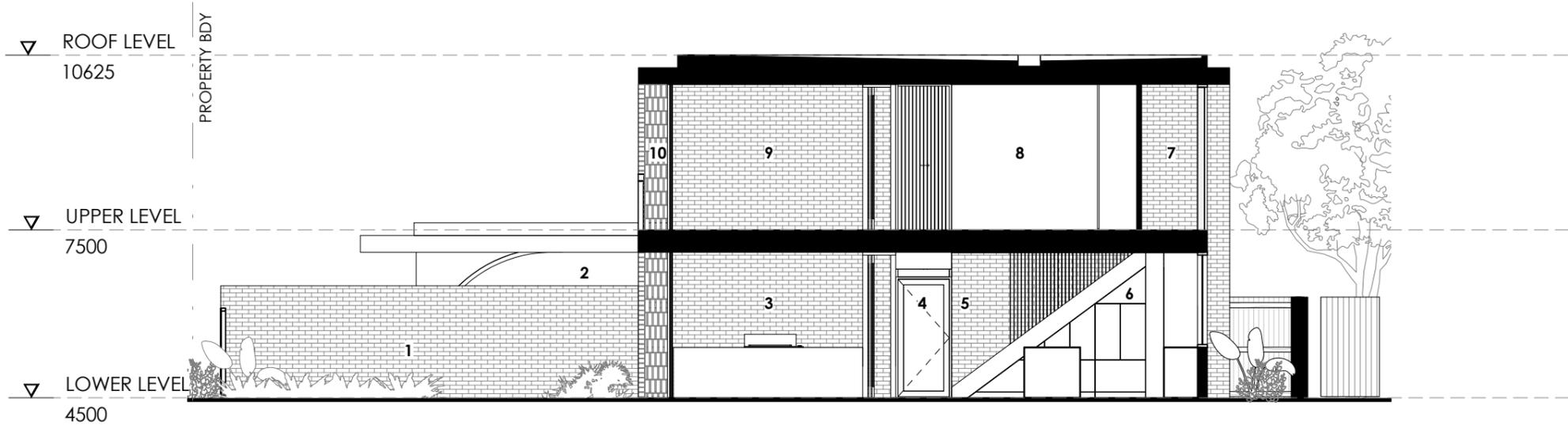
**ISSUE**  
 4



SECTION A

- 1 Eastern side access
- 2 Living
- 3 Outdoor dining
- 4 Master bed
- 5 Study
- 6 Stair void
- 7 Entry
- 8 Hallway

SECTION A  
1 : 100



SECTION B

- 1 Front yard
- 2 Covered carport
- 3 Outdoor entertaining
- 4 Hallway
- 5 Stair
- 6 Fridge, appliance & pantry under stair
- 7 Hallway
- 8 Study
- 9 Covered deck
- 10 Breeze brick wall

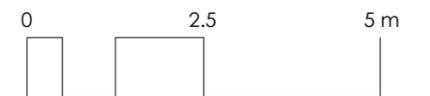
SECTION B  
1 : 100

MINIMUM ADDED INSULATION REQUIREMENTS

EXTERNAL WALL - CAVITY BRICK  
EXTERNAL WALL - CAVITY PANEL  
CEILING SPACE WITH ROOF ABOVE - PLASTERBOARD  
ROOF

R1.5 BULK INSULATION  
R2.0 BULK INSULATION WITH VAPOUR BARRIER (GENERALLY)  
R3.5 BULK INSULATION  
60 mm FOIL BLANKET WITH REFLECTIVE AIRGAP

SCALE 1:100



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**ARCHITECTS**

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DATE  
2021

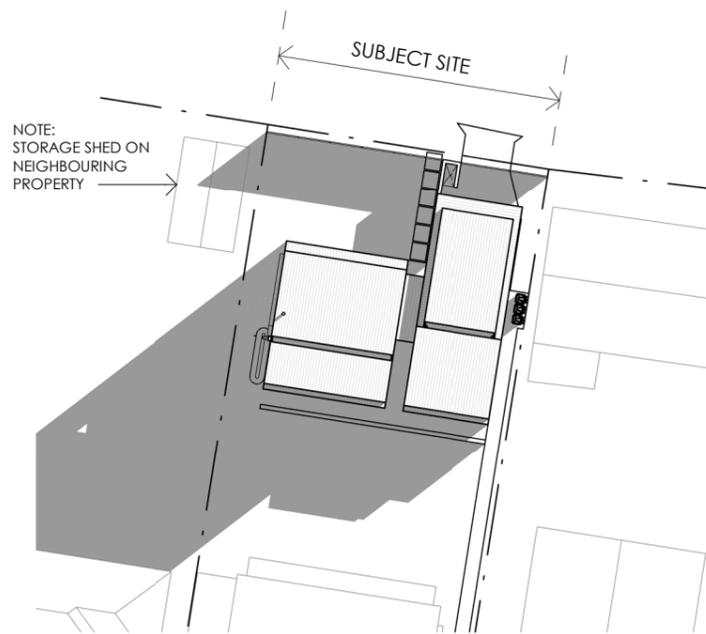
SCALE (A3)  
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DRAWING  
SECTIONS

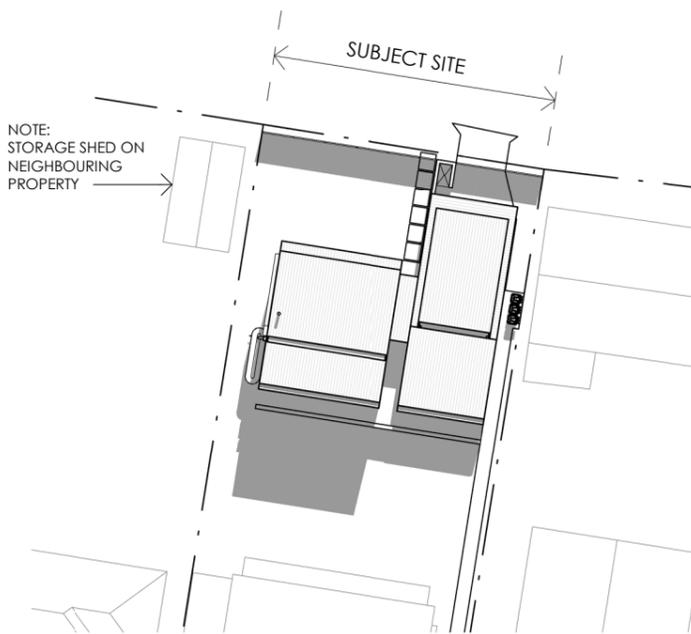
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ISSUE  
4

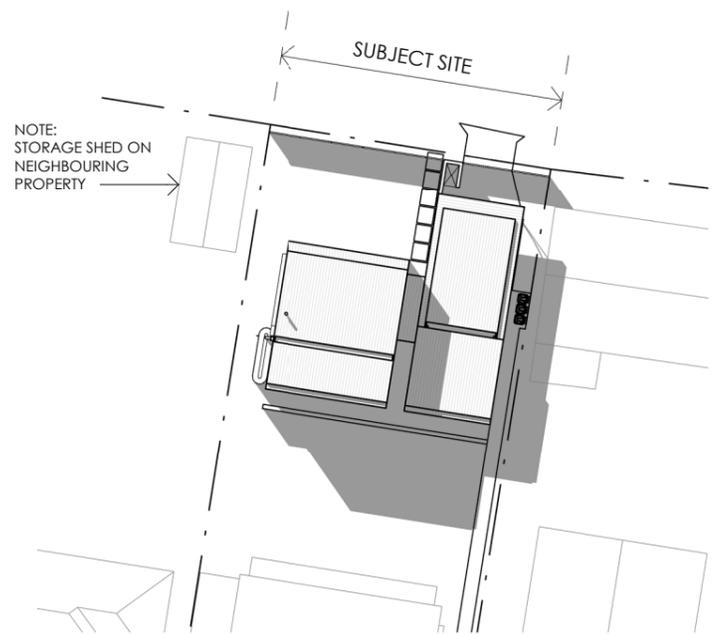
PHONE 0432 294 637  
EMAIL mail@fouchearchitects.com.au  
MAIL PO Box 1343 Coolangatta, Q 4225



SHADOW DIAGRAM - 21 JUNE - 9AM  
1 : 500



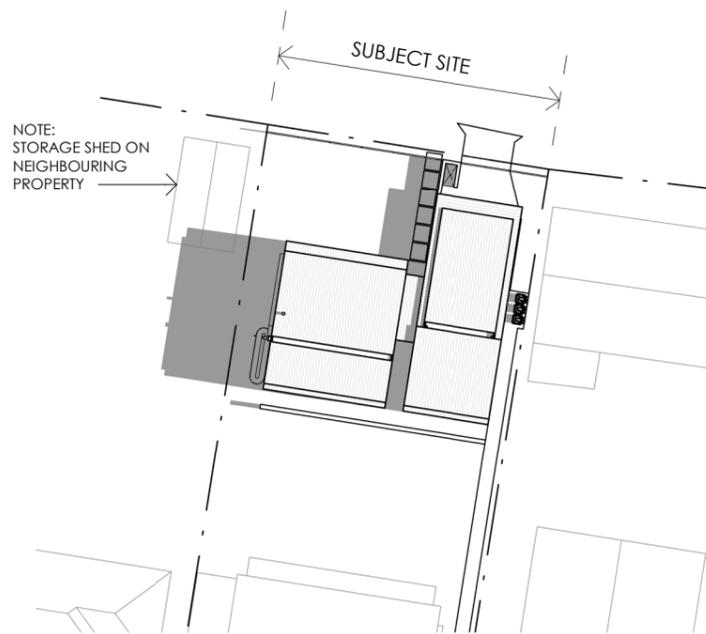
SHADOW DIAGRAM - 21 JUNE - 12PM  
1 : 500



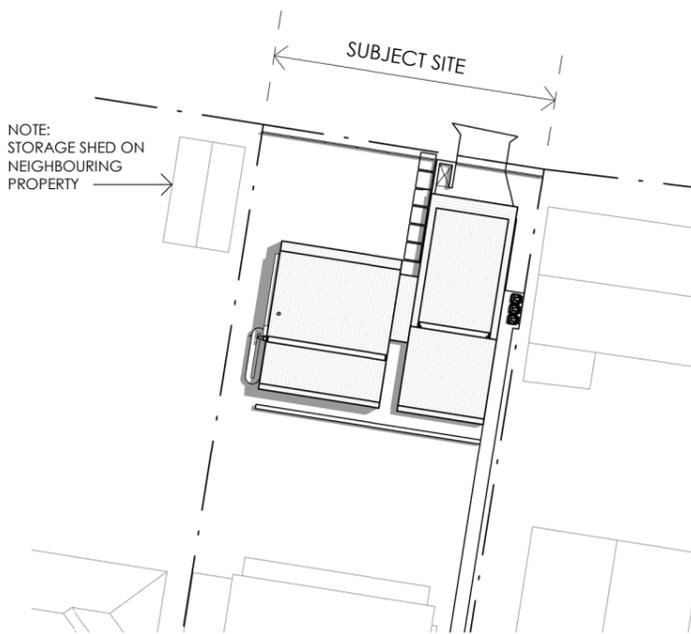
SHADOW DIAGRAM - 21 JUNE - 3PM  
1 : 500

ISSUE	DATE	FOR
1	27.11.2021	DA ISSUE

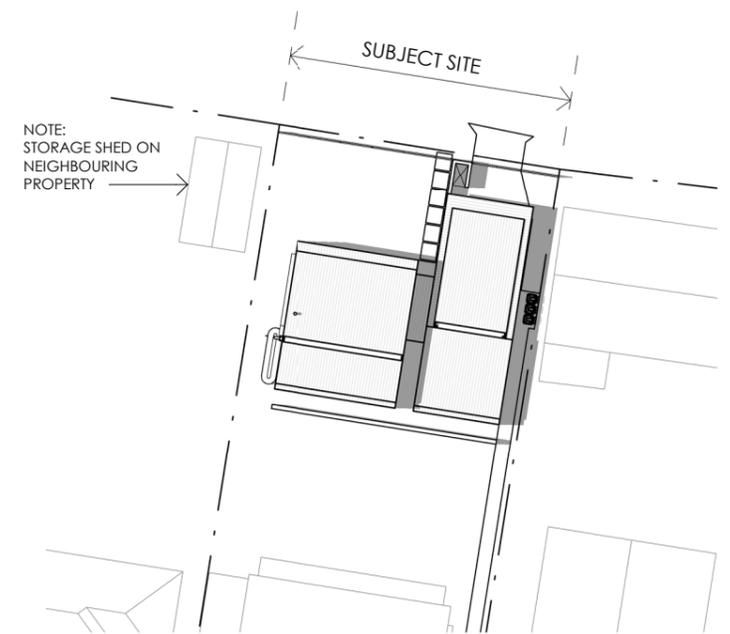




SHADOW DIAGRAM - 21 DECEMBER - 9AM



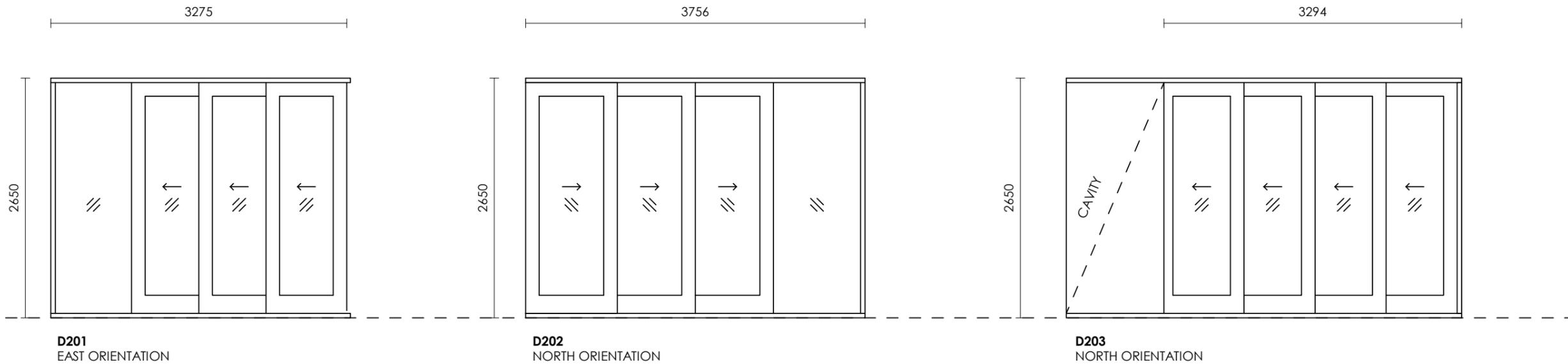
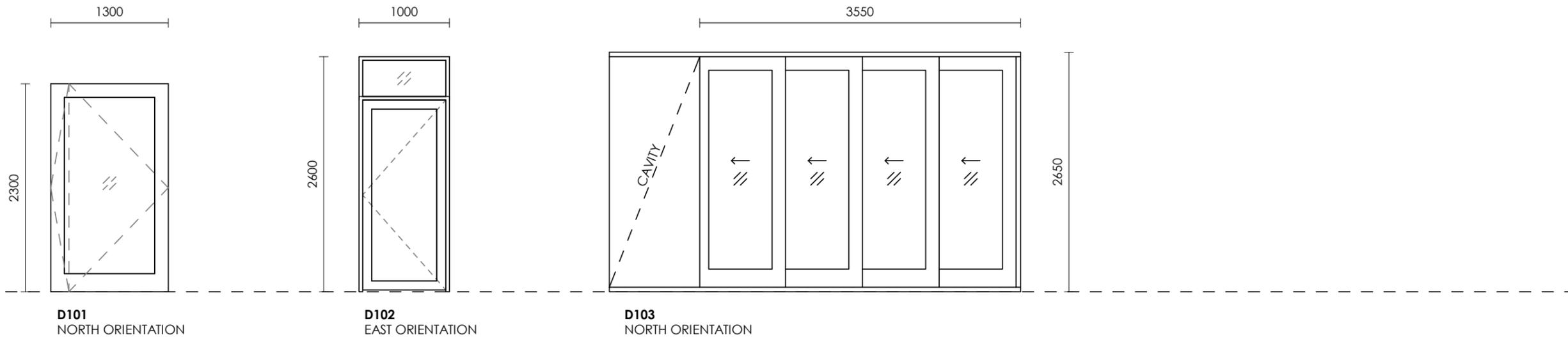
SHADOW DIAGRAM - 21 DECEMBER - 12PM



SHADOW DIAGRAM - 21 DECEMBER - 3PM

ISSUE	DATE	FOR
1	27.11.2021	DA ISSUE

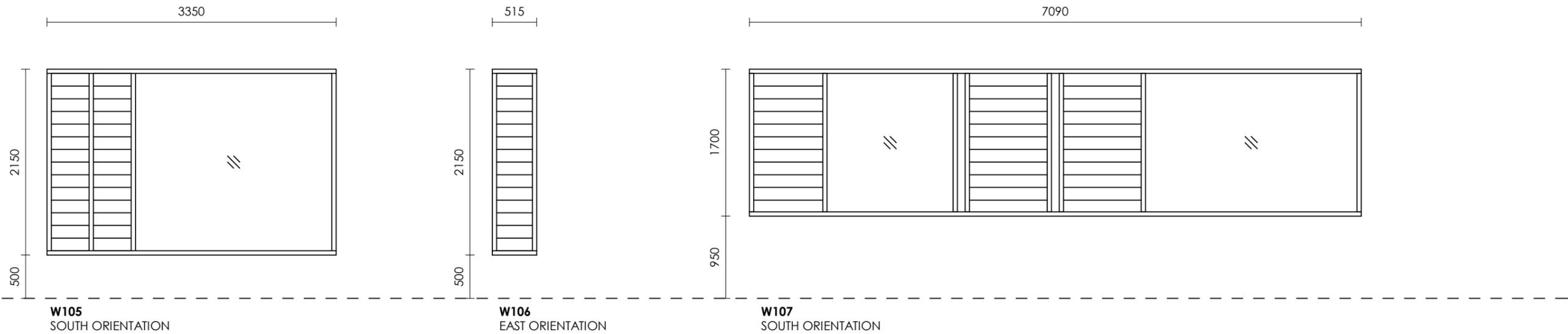
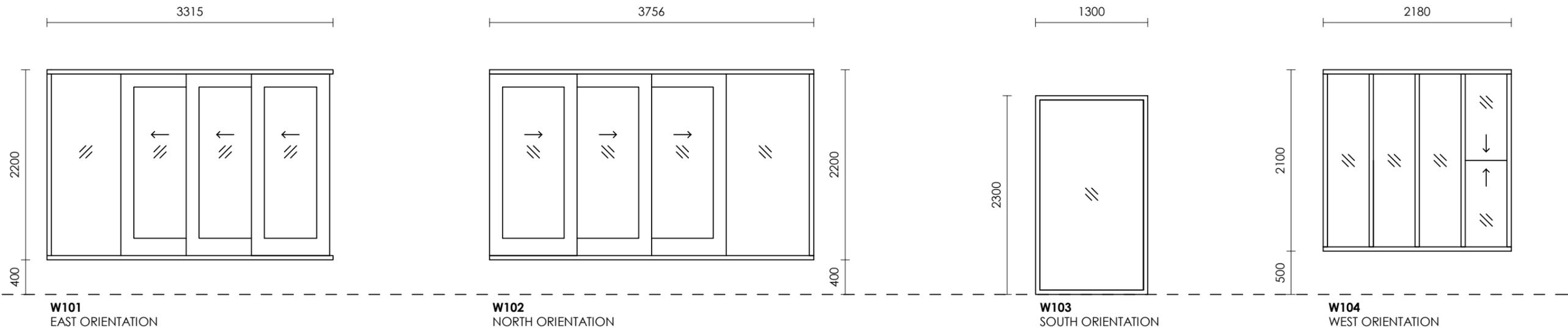




GLAZING THERMAL PERFORMANCE SPECIFICATION

DOORS & WINDOWS (GLASS & FRAME) HIGH SOLAR GAIN LOW-E GLASS IN ALUMINIUM FRAMES

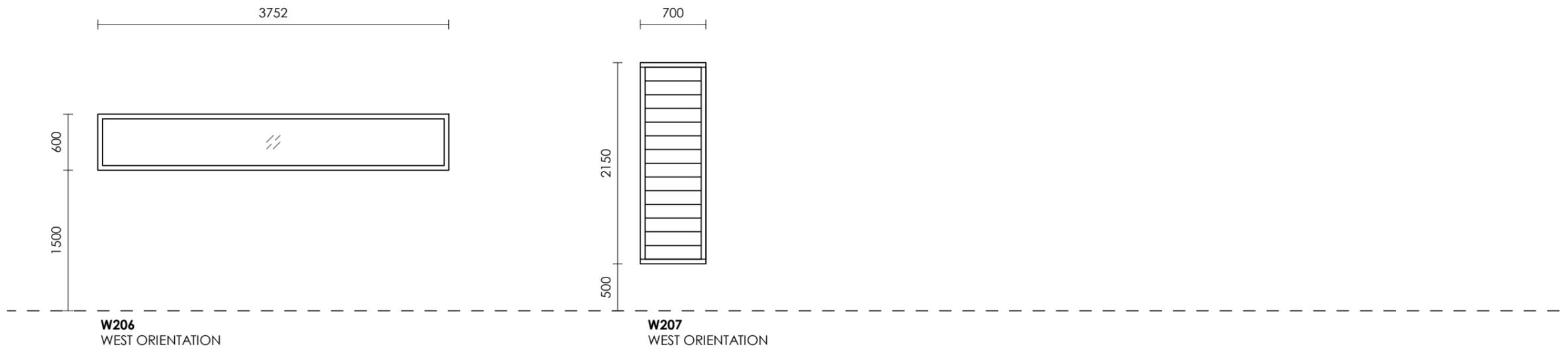
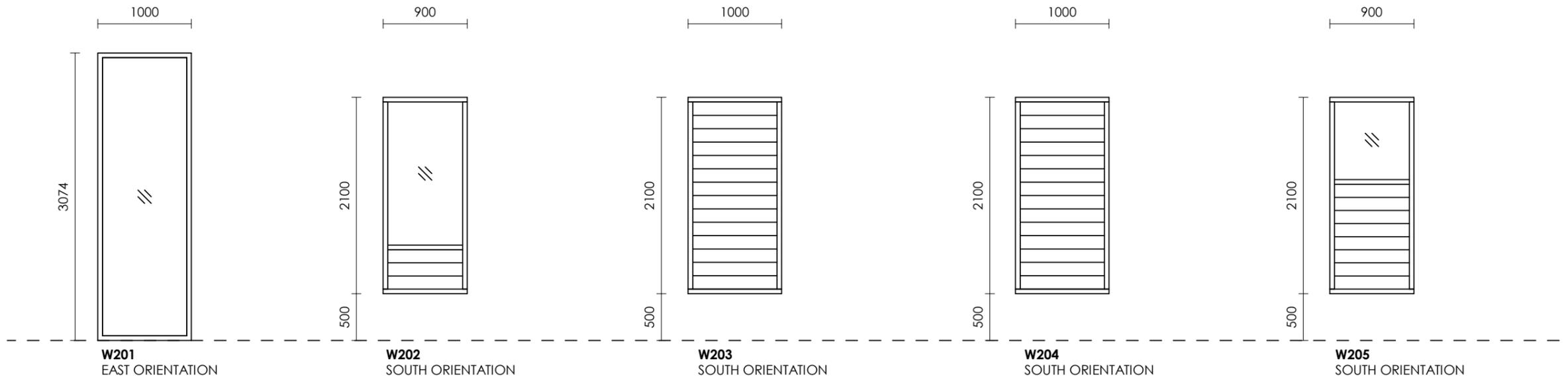
ISSUE	DATE	FOR
1	08.11.2021	CONSULTANT ISSUE
2	27.11.2021	DA ISSUE



**GLAZING THERMAL PERFORMANCE SPECIFICATION**

DOORS & WINDOWS (GLASS & FRAME) HIGH SOLAR GAIN LOW-E GLASS IN ALUMINIUM FRAMES

ISSUE	DATE	FOR
1	08.11.2021	CONSULTANT ISSUE
2	27.11.2021	DA ISSUE



GLAZING THERMAL PERFORMANCE SPECIFICATION

DOORS & WINDOWS (GLASS & FRAME) HIGH SOLAR GAIN LOW-E GLASS IN ALUMINIUM FRAMES

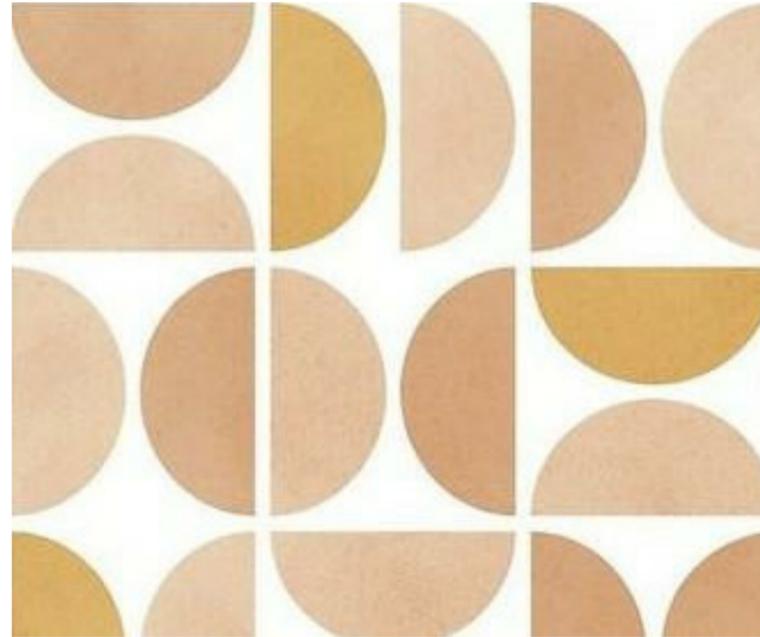
ISSUE	DATE	FOR
1	08.11.2021	CONSULTANT ISSUE
2	27.11.2021	DA ISSUE

CLIENT	DAMIAN MCCANN & REBECCA HAY
PROJECT	5 TEVEN STREET, BRUNSWICK HEADS
PROJECT NUMBER	21116
ADDRESS	5 TEVEN STREET, BRUNSWICK HEADS NSW 2483

STATUS	DA	DATE	2021	SCALE (A3)	As indicated
DRAWING	EXTERNAL WINDOW SCHEDULE	DRAWING NUMBER	AC712	ISSUE	2



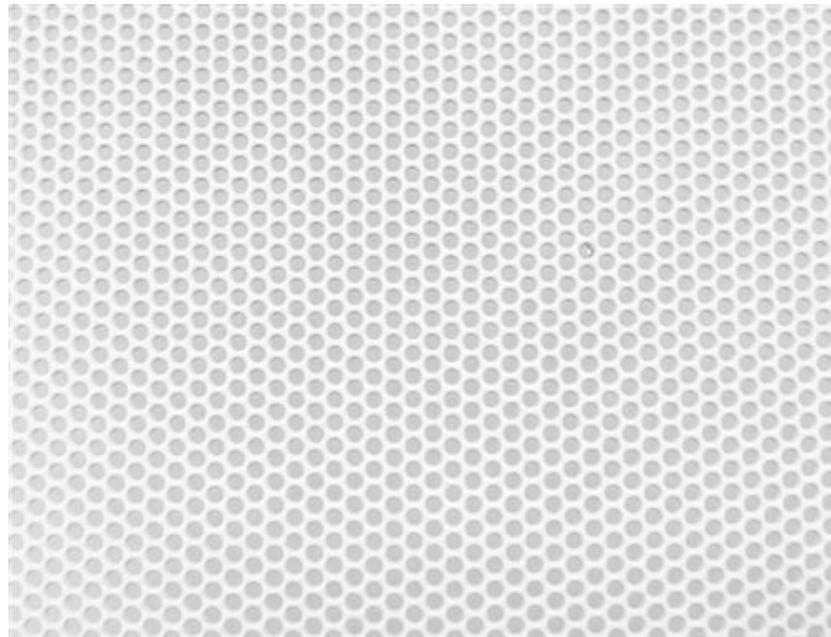
BLONDE BRICKS



MID CENTURY GEOMETRIC PATTERN TO STORAGE DOORS



BURNISHED CONCRETE



WHITE PERFORATED STEEL FENCE



WHITE DOORS AND WINDOWS

ISSUE	DATE	FOR
1	14.09.2021	CONCEPT ISSUE
2	14.10.2021	REVISED CONCEPT ISSUE
3	08.11.2021	CONSULTANT ISSUE
4	27.11.2021	DA ISSUE