QBCC 1153526
ReziCAD PTY LTD
BUILDING DESIGN
www.rezicad.com // drafting@rezicad.com // (07) 3363 8188

Proposed Residence

James Stokes

Site Address

Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482

Working Drawing	
01	Cover Page
02	Notes
03	Safety
04	Site Plan
05	Dwelling A Floor Plan
06	Dwelling B Floor Plan
07	Dwelling C Floor Plan
08	Elevations All Dwellings
09	Elevations Dwelling A
10	Elevations Dwelling B
11	Elevations Dwelling C
12	Section

Working Drawing	
13	Elec. Floor Plan
14	Dwelling A & B Joinery
15	Dwelling A & B Joinery
16	Dwelling C Joinery
17	Dwelling C Joinery
18	Slab Set Out Plan A
19	Slab Set Out Plan B
20	Slab Set Out Plan C
21	Driveway Detail
22	Standard Details
23	Bath Hob Details
24	Driveway Details
25	Driveway Details 2

3D views are indicative only.
Details, features & trims may not form part of the specification & contract.

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

LICENCE	DATE
1153526	28/4/21
SITE No. 2102773	SHEET No. 01 of 25

NOTES

1. THE NCC & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.

2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT COMPLIED VIDE TITLE.

3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.

4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE APPLICABLE.

5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.

6. CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.

7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.

9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE NCC 3.8.3.3. AND HAVE EITHER :
(a) OPEN OUTWARDS; OR
(b) SLIDE; OR
(c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2 M, MEASURED IN ACCORDANCE WITH FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.

10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS.3660.1

11. STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION

AUSTRALIAN STANDARDS

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE CURRENT BUILDING ACT.

ALL STEEL FRAMING TO COMPLY WITH AS 4100-1998. ALL BRACING AND TIE-DOWN OF FRAMING TO COMPLY WITH AS 1170.2-2002.

SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 AND WITH A.S. 3786.

ALUMINIUM FRAMED, GLAZED JOINERY SHALL BE INSTALLED IN ACCORDANCE WITH A.S.1288 "INSTALLATION OF GLASS IN BUILDINGS"

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS.3740 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS"

AREAS OF BUILDING TO BE TERMITE PROTECTED SHALL BE DONE SO IN ACCORDANCE WITH AS.3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES" PART 1:NEW BUILDINGS.

SUSTAINABLE BUILDING

CONSTRUCTION MUST BE IN ACCORDANCE WITH CURRENT ISSUE OF QDC MP4.1

ENERGY EFFICIENT LIGHTING

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTS ARE USED FOR ABOUT 80% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE-OCCUPANCY UNIT. (FLOOR AREA MEANS THE AREA OF A ROOM MEASURED WITHIN THE FINISHED SURFACES OF THE WALLS, AND INCLUDES THE AREA OCCUPIED BY ANY CUPBOARD OR OTHER BUILT IN FURNITURE, FIXTURE OR FITTING) THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE PART OF A HOUSE IS LIT BY MORE THEN ONE LIGHT SOURCE, AND ONE MORE OF THOSE LIGHT SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING, AND THEN THEREFORE DOES NOT QUALIFY TOWARDS THE 80% EFFICIENT LIGHT REQUIREMENT.

HOT WATER SUPPLY

IN A NEW CLASS 1
A SUITABLE HOT WATER SYSTEM INCLUDES:
A) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING: OR
B) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WHERE:
I) IN A BUILDING 3 OR MORE BEDROOMS , THE HOT WATER SYSTEM, MUST BE ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES; OR
II)IN A BUILDING WITH 1 OR 2 BEDROOMS THE HOT WATER SYSTEM MUST BE ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES.

SHOWER ROSES

(TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS, OR WHERE THE BATHROOM OF THESE BUILDING RENOVATIONS. SHOWER ROSES TO BE 3 STAR RATING UNDER WATER EFFICIENCY LABELLING SCHEME (WELS) OR A AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2005 WATER EFFICIENT PRODUCTS- RATING AND LABELLING.

WATER PRESSURE LIMIT

(TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THE MAXIMUM PRESSURE LEVEL OF WATER FROM ANY OUTLET WITHIN THE PROPERTY BOUNDARIES OF A NEW CLASS 1 BUILDING MUST NOT EXCEED 500KPA. COMPLIANCE CAN BE ACHIEVED THROUGH THE INSTALLATION OF A WATER PRESSURE LIMITING DEVICE IN LINE WITH THE WATER METER. WHERE IT IS KNOWN THAT THE PRESSURE LEVEL OF THE WATER SUPPLY DOES NOT EXCEED 500KPA, WATER PRESSURE LIMITING DEVICE IS NOT REQUIRED.

DUAL FLUSH TOILETS

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS OR WHERE TOILETS ARE REPLACED IN THE BATHROOMS OF THESE BUILDING CLASSIFICATIONS UNDERGO RENOVATIONS. A TOILET MUST HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 ON HALF FLUSH.

CLIENT
James Stokes

DRAWING NAME
Notes

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 02 of 25

THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT
THIS INCLUDES (but not limited to): OWNER. BUILDER, SUB CONTRACTOR, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

DURING CONSTRUCTION

- Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation

For buildings where scaffold, ladders, trestles are not appropriate:

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

FLOOR FINISHES Specified

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

FLOOR FINISHES By Owner

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS, LOOSE OBJECTS AND UNEVEN SURFACES

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2. FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steel work, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For building on a major road, narrow road or steeply sloping road:

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For building where on-site loading/unloading is restricted:

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

For all buildings:

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES - GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

Locations with underground power:

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead power lines:

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

6. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

SMALL PLACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

7. HAZARDOUS SUBSTANCES

ASBESTOS

For alterations to a building constructed prior to 1990:

If this existing building was constructed prior to:
1990 - it therefore may contain **asbestos**
1986 - it therefore is likely to contain **asbestos**
either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIALS

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

SYNTHETIC MINERAL FIBRE

Fiberglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be ca carefully considered at all times.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

RESIDENTIAL BUILDINGS

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

CLIENT
James Stokes

DRAWING NAME
Safety

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 03 of 25

GENERAL SITE NOTES:

1. Sewerage and/or septic to be in accordance with local by-laws and water & sewerage act Amendment Act.
2. Position of stormwater lines, downpipes, retaining walls, cut/fill embankments are approximate only and may vary to suit site conditions and the builder is to verify and adjust as required.
3. All cut/fill embankments, retaining walls shown and constructed are to comply with council policy & BCA housing provisions.
4. Stormwater pipes to be 90mm class 6 UPVC & laid in accordance with BCA housing provisions unless specified elsewhere. One 90mm UPVC pipe per 100 sqm of roof area laid to 1:100 min grade.
5. Pad cut to allow ground water to drain away from dwelling all round at 1:20 fall.
6. All boundary clearances and set out dimensions to be verified prior to commencement of work.
7. The builder is to verify all dimensions and levels on plan prior to commencement of the job as no responsibility is taken after work has commenced.

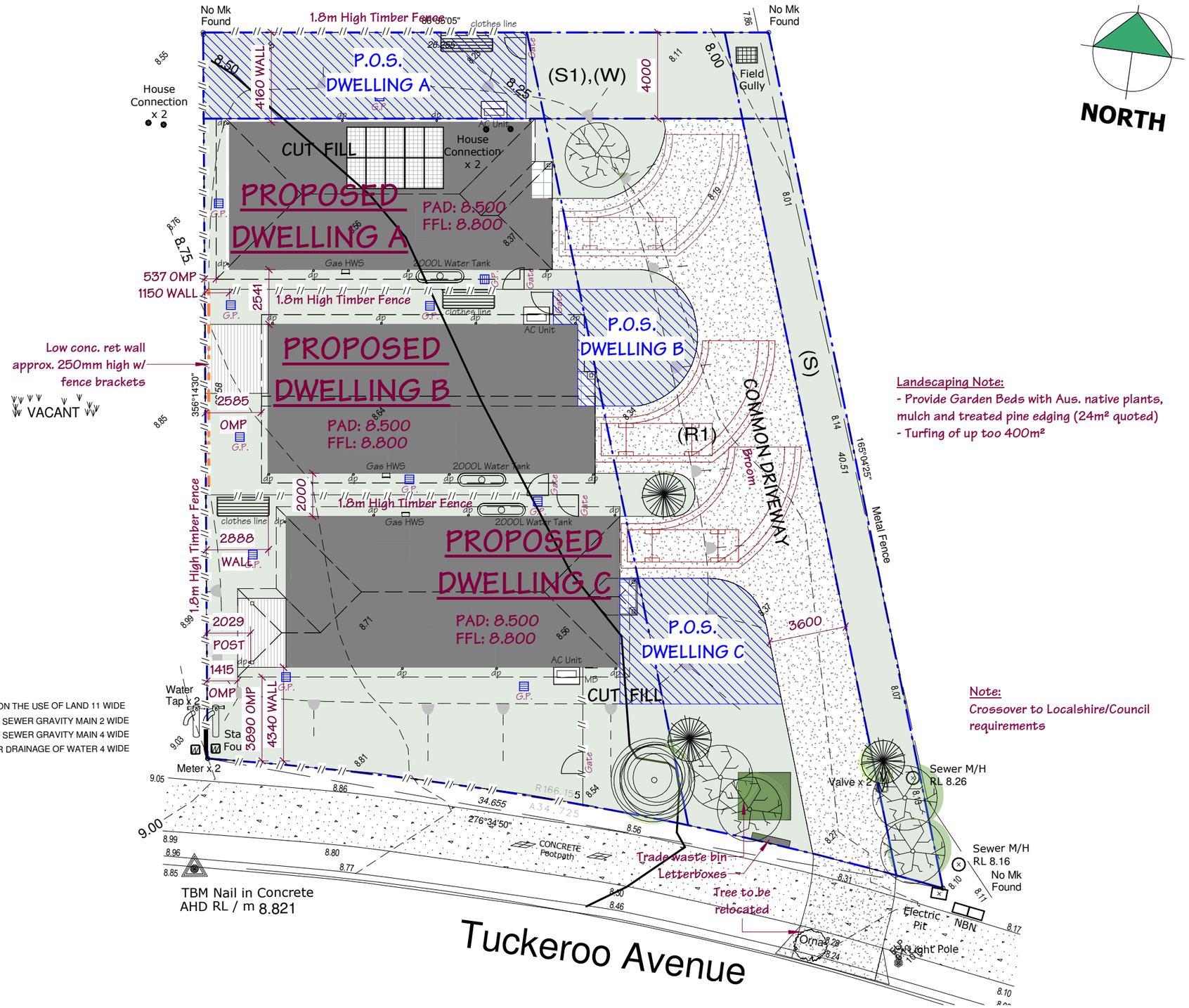
Local Auth:	Byron S. C
Soil Class:	Assumed M
Site Cover:	31%
Floor Space Ratio:	0.221:1

Proposed PAD Level:

PAD -	8.500
CUT -	500
FILL -	250
FFL -	8.800

Contour Survey:
Contour Survey displayed on site plan has been completed by other consultants.

Gully Pit: G.P.



(R1) RESTRICTION ON THE USE OF LAND 11 WIDE
(S) EASEMENT FOR SEWER GRAVITY MAIN 2 WIDE
(S1) EASEMENT FOR SEWER GRAVITY MAIN 4 WIDE
(W) EASEMENT FOR DRAINAGE OF WATER 4 WIDE

Landscaping Note:
- Provide Garden Beds with Aus. native plants, mulch and treated pine edging (24m² quoted)
- Turfing of up too 400m²

Note:
Crossover to Localshire/Council requirements

F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP
Rev	Revision Description	Date	By

CLIENT
James Stokes

DRAWING NAME
Site Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 200 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 04 of 25

NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- sp Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

Note:

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof

External Floor Finishes

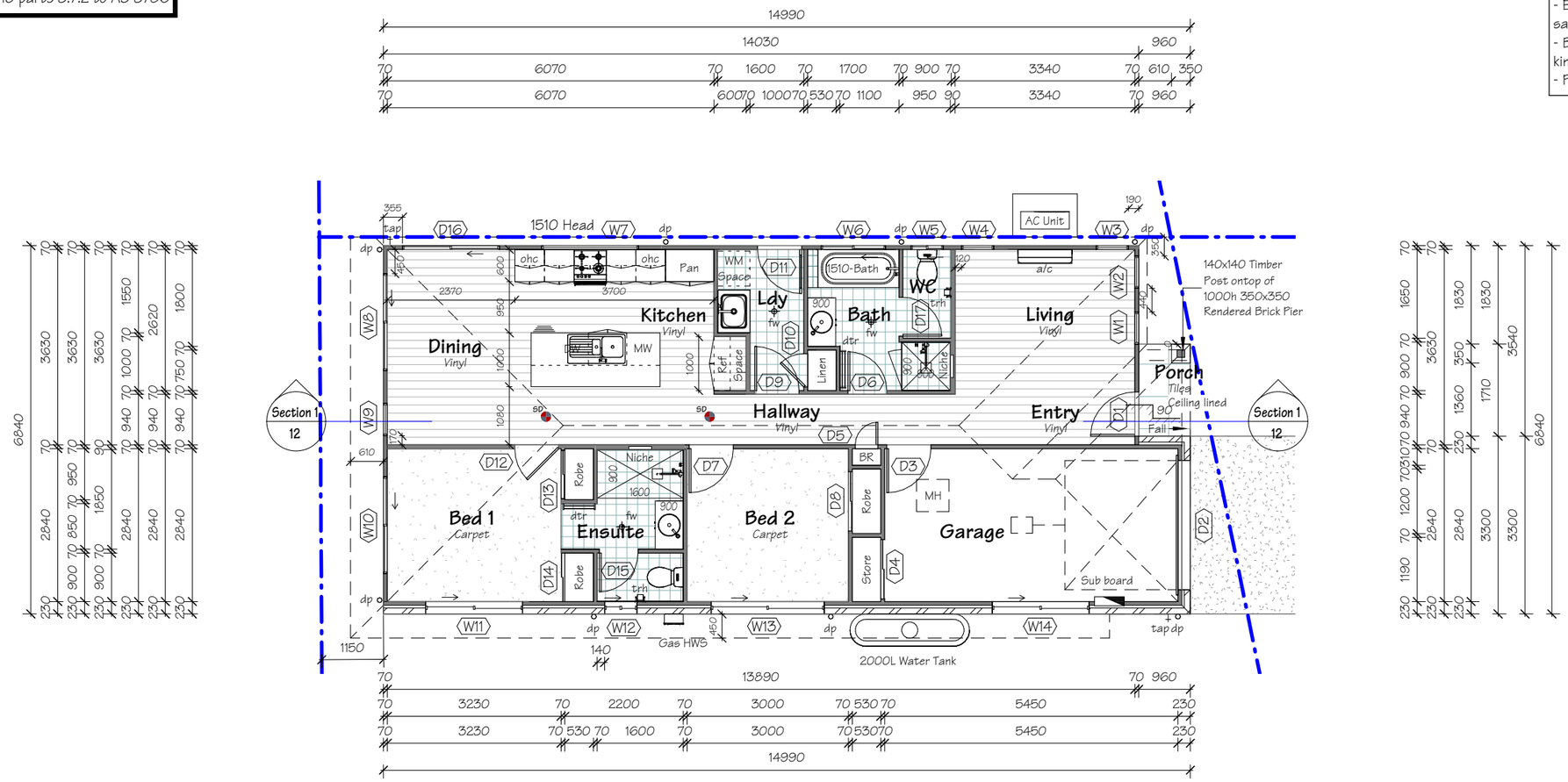
Type	Area
Dwelling A	
External Tiled Slab	1.64
Dwelling B	
Decking on Conc.	9.28
External Tiled Slab	1.28
Dwelling C	
Decking on Conc.	7.20
External Tiled Slab	1.37

Internal Floor Finishes

Type	Area
Dwelling A	
Carpet	20.59
Vinyl Flooring	41.25
Wet Area	16.53
Dwelling B	
Carpet	39.28
Vinyl Flooring	82.20
Wet Area	31.93

Proposed Areas

Name	Area
Dwelling A	
Living	80.6 m²
Garage	18.5 m²
Porch	1.6 m²
	100.8 m²
Dwelling B	
Living	83.3 m²
Garage	18.5 m²
Porch	1.3 m²
	103.1 m²
Dwelling C	
Living	89.3 m²
Garage	19.2 m²
Alfresco	7.2 m²
Porch	1.4 m²
	117.1 m²
Grand total	321.0 m²



Door Schedule - Dwelling A

Mark	Door Type	Height	Width
1	Solid Core Entry Door	2100	820
2	Panel Lift Garage Door	2100	2400
3	Hollow Core Internal Hinged Door	2040	820
4	Vinyl Slider	2100	1100
5	Hollow Core Internal Hinged Door	2040	420
6	Hollow Core Internal Hinged Door	2040	720
7	Hollow Core Internal Hinged Door	2040	820
8	Vinyl Slider	2100	1100

Door Schedule - Dwelling A

Mark	Door Type	Height	Width
9	Hollow Core Internal Hinged Door	2040	820
10	Hollow Core Internal Hinged Door	2040	620
11	External Hinge Full Glass Door	2040	820
12	Hollow Core Internal Hinged Door	2040	820
13	Vinyl Slider	2040	900
14	Vinyl Slider	2040	900
15	Hollow Core Internal Hinged Door	2040	720
16	Sliding Glass Door XO	2100	1800
17	Hollow Core Internal Hinged Door	2040	720

Window Schedule - Dwelling A

Mark	Window Type	Height	Width	Glazing
1	Double Hung Glass Window	1800	600	Clear
2	Double Hung Glass Window	1800	600	Clear
3	Double Hung Glass Window	1800	600	Clear
4	Double Hung Glass Window	1800	600	Clear
5	Sliding Glass Window XO	600	600	Obs
6	Sliding Glass Window XO	1200	1200	Obs
7	Fixed Glass Window	600	1800	Clear

Window Schedule - Dwelling A

Mark	Window Type	Height	Width	Glazing
8	Sliding Glass Window XO	1800	1800	Clear
9	Glass Louvre Window	1800	600	Clear
10	Sliding Glass Window XO	600	1800	Clear
11	Sliding Glass Window XO	1800	1800	Clear
12	Sliding Glass Window XO	600	600	Obs
13	Sliding Glass Window XO	600	2100	Clear
14	Sliding Glass Window XO	600	1800	Clear

CLIENT
James Stokes

DRAWING NAME
Dwelling A Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 05 of 25

NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- SD Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

Note:

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof

External Floor Finishes

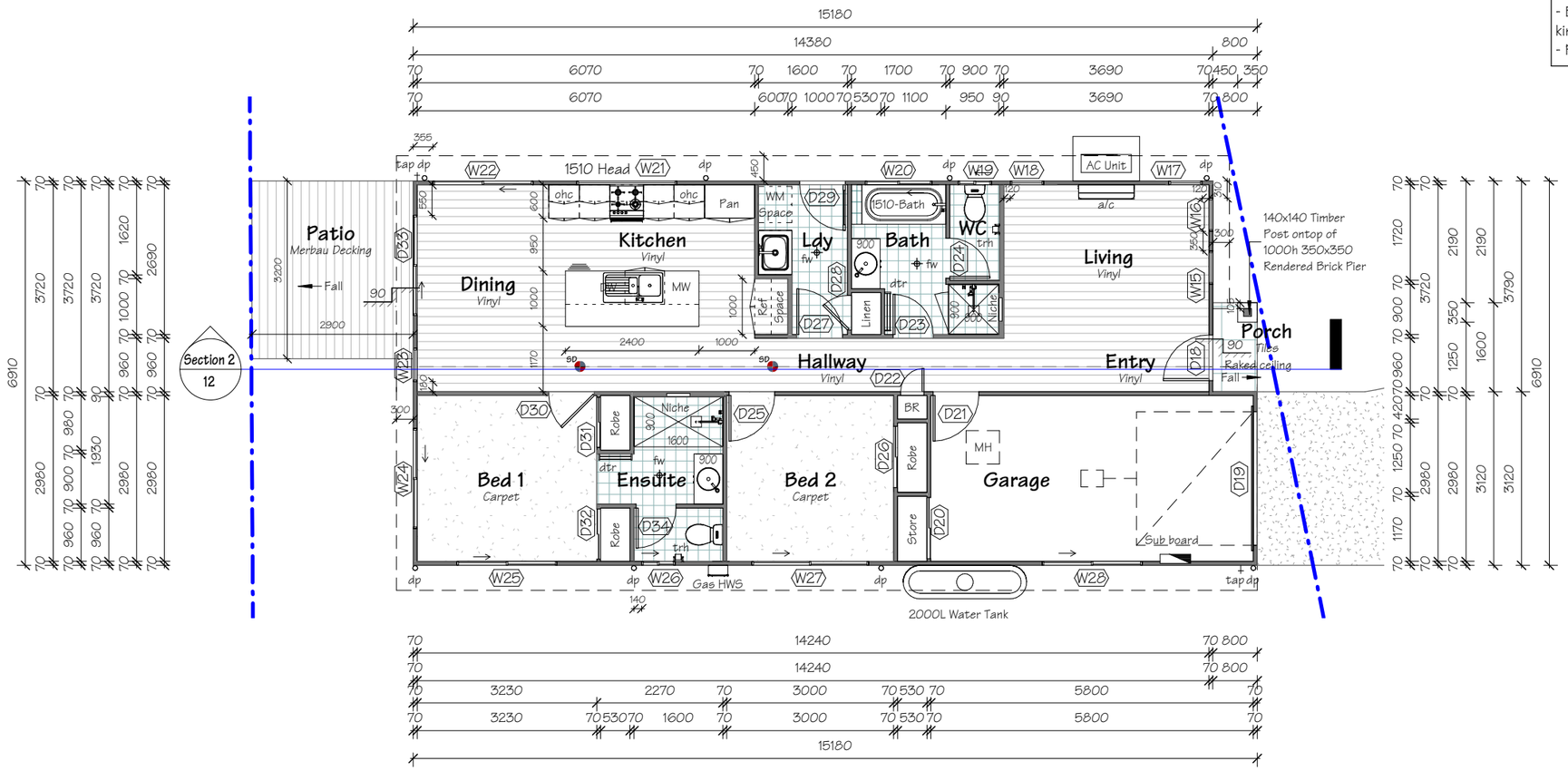
Type	Area
Dwelling A	
External Tiled Slab	1.64
Dwelling B	
Decking on Conc.	9.28
External Tiled Slab	1.28
Dwelling C	
Decking on Conc.	7.20
External Tiled Slab	1.37

Internal Floor Finishes

Type	Area
Dwelling A	
Carpet	20.59
Vinyl Flooring	41.25
Wet Area	16.53
Dwelling B	
Carpet	39.28
Vinyl Flooring	82.20
Wet Area	31.93

Proposed Areas

Name	Area
Dwelling A	
Living	80.6 m²
Garage	18.5 m²
Porch	1.6 m²
	100.8 m²
Dwelling B	
Living	83.3 m²
Garage	18.5 m²
Porch	1.3 m²
	103.1 m²
Dwelling C	
Living	89.3 m²
Garage	19.2 m²
Alfresco	7.2 m²
Porch	1.4 m²
	117.1 m²
Grand total	321.0 m²



Door Schedule - Dwelling B

Mark	Door Type	Height	Width
18	Solid Core Entry Door	2100	820
19	Panel Lift Garage Door	2100	2400
20	Vinyl Slider	2100	1100
21	Hollow Core Internal Hinged Door	2040	820
22	Hollow Core Internal Hinged Door	2040	420
23	Hollow Core Internal Hinged Door	2040	720
24	Hollow Core Internal Hinged Door	2040	720
25	Hollow Core Internal Hinged Door	2040	820

Door Schedule - Dwelling B

Mark	Door Type	Height	Width
26	Vinyl Slider	2100	1100
27	Hollow Core Internal Hinged Door	2040	820
28	Hollow Core Internal Hinged Door	2040	620
29	External Hinge Full Glass Door	2040	820
30	Hollow Core Internal Hinged Door	2040	820
31	Vinyl Slider	2040	900
32	Vinyl Slider	2040	900
33	Sliding Glass Door OX	2100	1800
34	Hollow Core Internal Hinged Door	2040	720

Window Schedule - Dwelling B

Mark	Window Type	Height	Width	Glazing
15	Double Hung Glass Window	1800	600	Clear
16	Double Hung Glass Window	1800	600	Clear
17	Double Hung Glass Window	1800	600	Clear
18	Double Hung Glass Window	1800	600	Clear
19	Sliding Glass Window XO	600	600	Obs
20	Sliding Glass Window XO	1200	1200	Obs
21	Fixed Glass Window	600	1800	Clear

Window Schedule - Dwelling B

Mark	Window Type	Height	Width	Glazing
22	Sliding Glass Window XO	1800	1800	Clear
23	Glass Louvre Window	1800	600	Clear
24	Sliding Glass Window XO	600	1800	Clear
25	Sliding Glass Window XO	1800	1800	Clear
26	Sliding Glass Window XO	600	600	Obs
27	Sliding Glass Window XO	600	2100	Clear
28	Sliding Glass Window XO	600	1800	Clear

CLIENT
James Stokes

DRAWING NAME
Dwelling B Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 06 of 25

NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- SD Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

External Floor Finishes

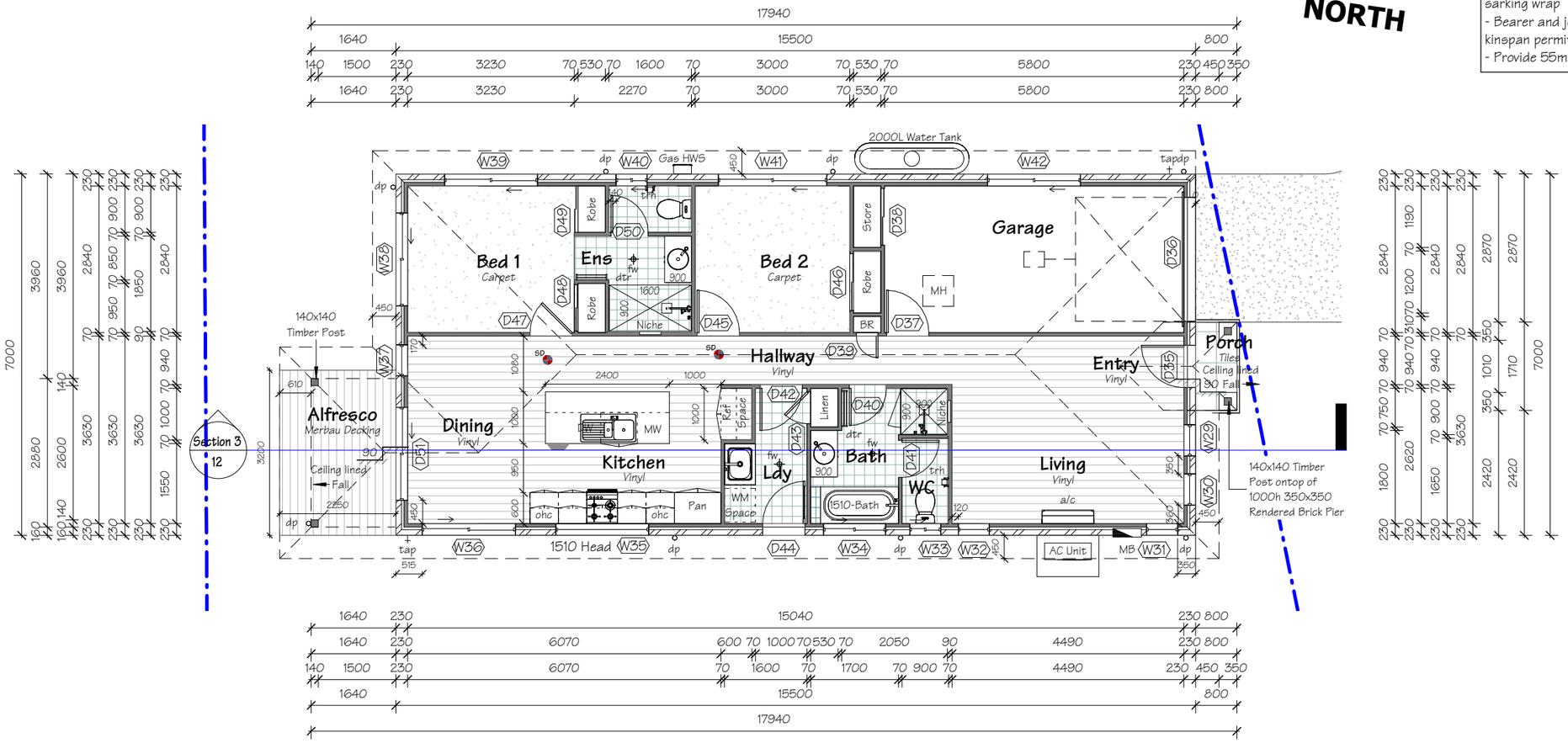
Type	Area
Dwelling A	
External Tiled Slab	1.64
Dwelling B	
Decking on Conc.	9.28
External Tiled Slab	1.28
Dwelling C	
Decking on Conc.	7.20
External Tiled Slab	1.37

Internal Floor Finishes

Type	Area
Dwelling A	
Carpet	20.59
Vinyl Flooring	41.25
Wet Area	16.53
Dwelling B	
Carpet	39.28
Vinyl Flooring	82.20
Wet Area	31.93

Proposed Areas

Name	Area
Dwelling A	
Living	80.6 m²
Garage	18.5 m²
Porch	1.6 m²
	100.8 m²
Dwelling B	
Living	83.3 m²
Garage	18.5 m²
Porch	1.3 m²
	103.1 m²
Dwelling C	
Living	89.3 m²
Garage	19.2 m²
Alfresco	7.2 m²
Porch	1.4 m²
	117.1 m²
Grand total	321.0 m²



NORTH

Note:

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof

Door Schedule - Dwelling C

Mark	Door Type	Height	Width
35	Solid Core Entry Door	2100	820
36	Panel Lift Garage Door	2100	2400
37	Hollow Core Internal Hinged Door	2040	820
38	Vinyl Slider	2100	1100
39	Hollow Core Internal Hinged Door	2040	420
40	Hollow Core Internal Hinged Door	2040	720
41	Hollow Core Internal Hinged Door	2040	720
42	Hollow Core Internal Hinged Door	2040	820

Door Schedule - Dwelling C

Mark	Door Type	Height	Width
43	Hollow Core Internal Hinged Door	2040	620
44	External Hinge Full Glass Door	2040	820
45	Hollow Core Internal Hinged Door	2040	820
46	Vinyl Slider	2100	1100
47	Hollow Core Internal Hinged Door	2040	820
48	Vinyl Slider	2040	900
49	Vinyl Slider	2040	900
50	Hollow Core Internal Hinged Door	2040	720
51	Sliding Glass Door X0	2100	1800

Window Schedule - Dwelling C

Mark	Window Type	Height	Width	Glazing
29	Double Hung Glass Window	1800	600	Clear
30	Double Hung Glass Window	1800	600	Clear
31	Double Hung Glass Window	1800	600	Clear
32	Double Hung Glass Window	1800	600	Clear
33	Sliding Glass Window X0	600	600	Obs
34	Sliding Glass Window X0	1200	1200	Obs
35	Fixed Glass Window	600	1800	Clear

Window Schedule - Dwelling C

Mark	Window Type	Height	Width	Glazing
36	Sliding Glass Window X0	1800	1800	Clear
37	Glass Louvre Window	1800	600	Clear
38	Sliding Glass Window X0	600	1800	Clear
39	Sliding Glass Window X0	1800	1800	Clear
40	Sliding Glass Window X0	600	600	Obs
41	Sliding Glass Window X0	600	2100	Clear
42	Sliding Glass Window X0	600	1800	Clear

CLIENT
James Stokes

DRAWING NAME
Dwelling C Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

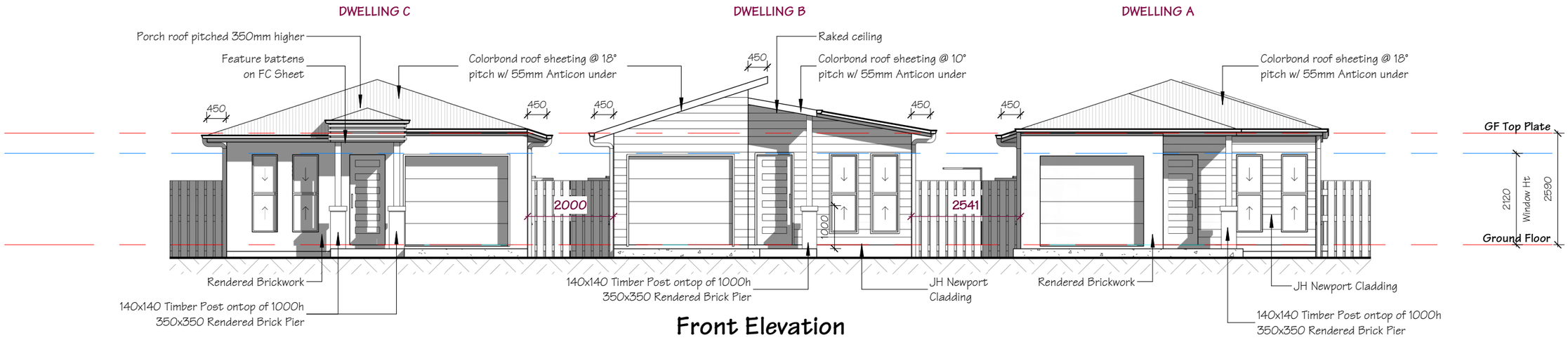
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

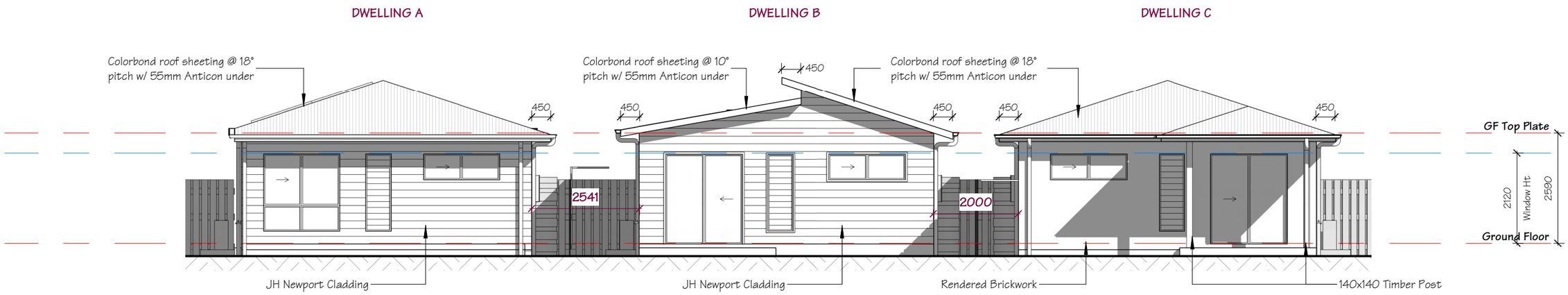
WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 07 of 25

Note:
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof



Front Elevation

1 : 100



Rear Elevation

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations All Dwellings

SITE ADDRESS
Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

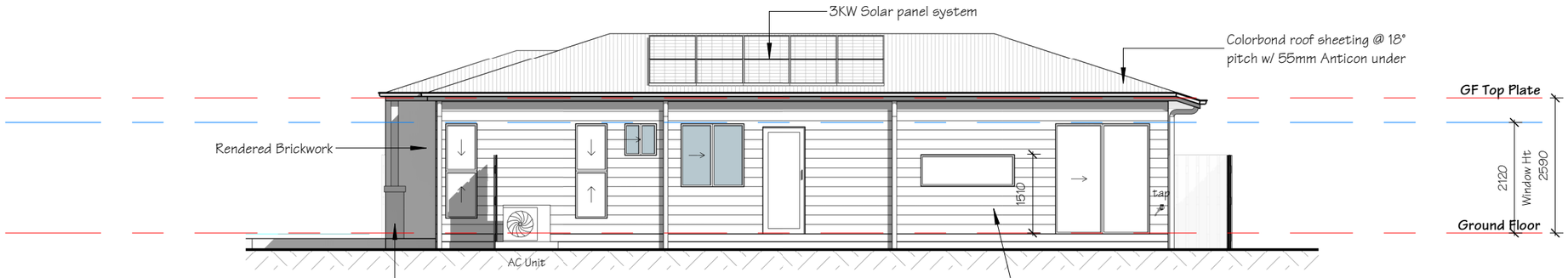
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

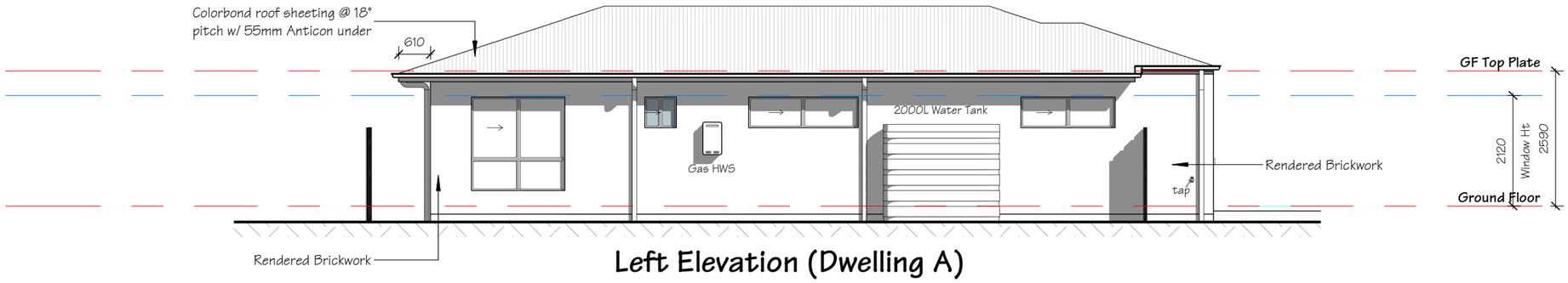
WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 08 of 25

Note:
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof



Right Elevation (Dwelling A)

1 : 100



Left Elevation (Dwelling A)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling A

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

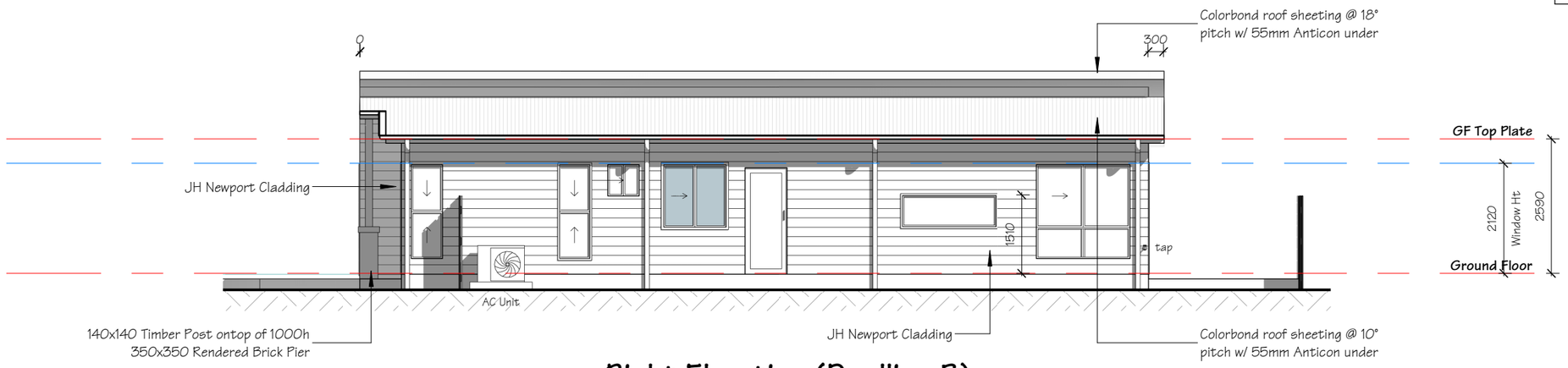
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

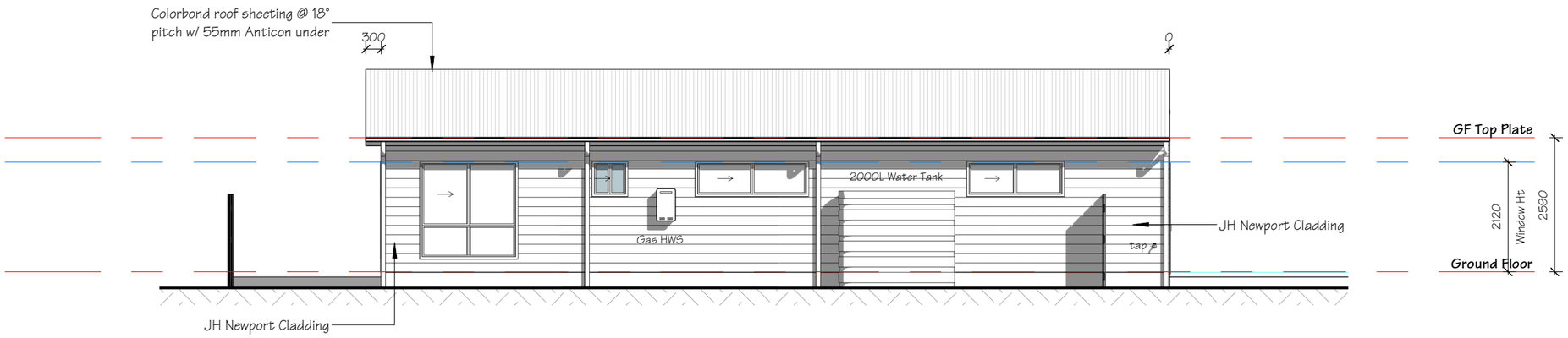
WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 09 of 25

Note:
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof



Right Elevation (Dwelling B)

1 : 100



Left Elevation (Dwelling B)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling B

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

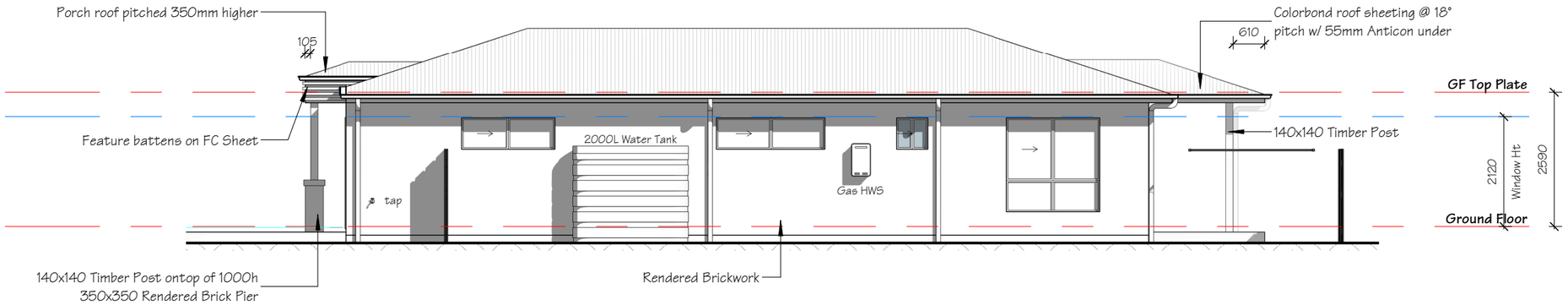
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

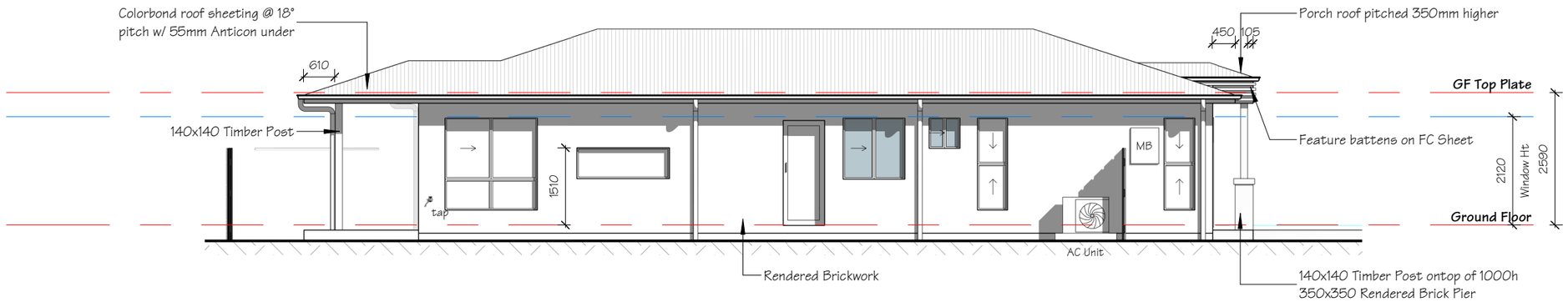
WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 10 of 25

Note:
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof



Right Elevation (Dwelling C)

1 : 100



Left Elevation (Dwelling C)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling C

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

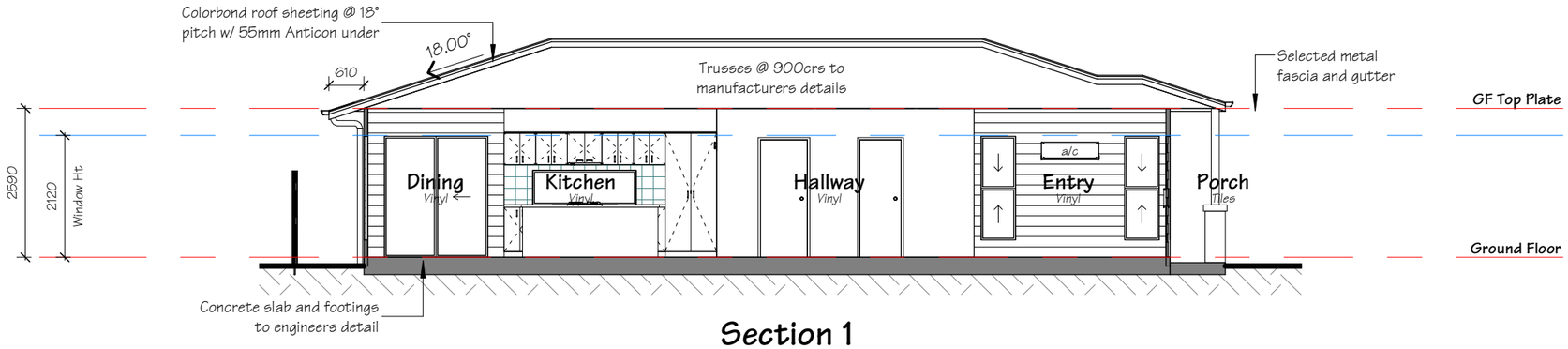
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188

©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

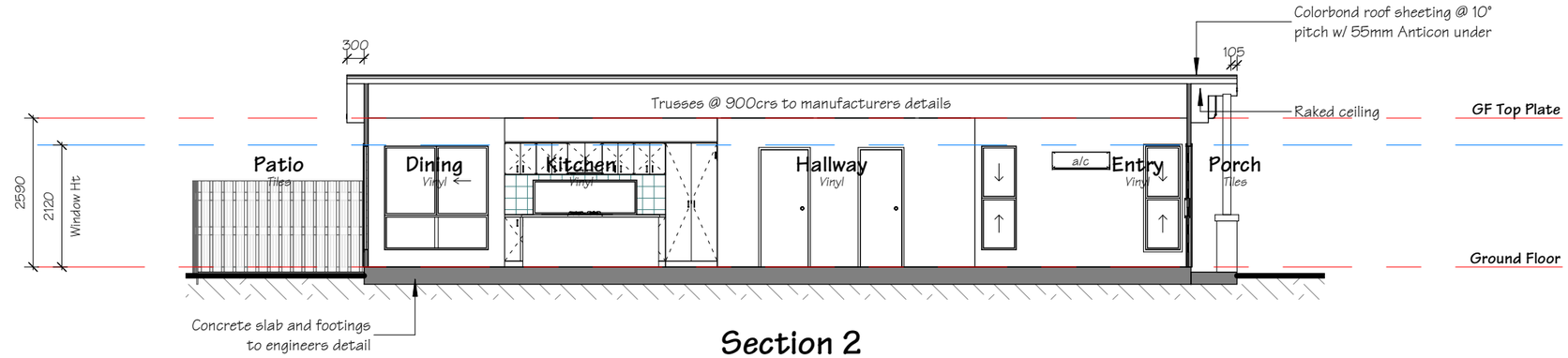
WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 11 of 25

Note:
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof



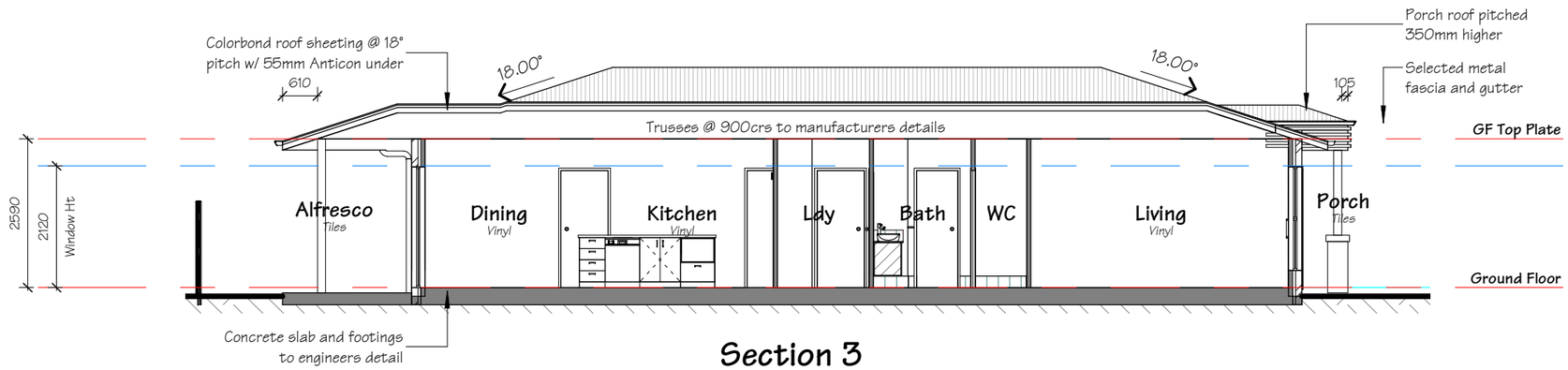
Section 1

1 : 100



Section 2

1 : 100



Section 3

1 : 100

CLIENT
James Stokes

DRAWING NAME
Section

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 12 of 25

ELECTRICAL LEGEND

QTY	ICON	DESCRIPTION
3	AC	AC Unit
3		Data Point
36		Double GPO
6		Exhaust Fan
		Exhaust Fan/Light
1		Meterboard
3	NBN	NBN Outlet
	FOX	Foxtel Outlet
	PH	Phone Outlet
18		Single GPO
6	SD	Smoke Detector
		Quad GPO
3		Double GPO w/ USB
6	TV	TV
3	WP	Waterproof GPO
		Light Switch Location
		Security Keypad *Security sensors to be located by installer*
		Intercom
6		Ceiling Fan
		Ceiling Fan w/ Light
		Antenna

LIGHT POINTS

59	D	Downlight
	R	Round Fluro
3		Single Fluro
		Double Fluro
		Batten Light
		Oyster Light
	P	Pendant Light
		Up/Down Light
		Bunker Wall Light
		Single Floodlight
2		Double Floodlight
		4 Bulb Heat Lamp
		3 Bulb Heat Lamp
		2 Bulb Heat Lamp
	S	Spotlight
		Light Point
		External Wall Light
		Oyster Light 45mm
64		**Total Light Points**

NOTES:
- Position of lights are indicative only and will be confirmed by the electrician on site

STANDARD INCLUSION

1 x DOUBLE POWER POINT WITH USB CHARGER

ADDITIONAL ELECTRICAL PLAN ITEMS LISTED

WP	- WEATHER PROOF GPO FIXTURE
2 WAY	- 2 WAY SWITCHING
D	- DIMMER SWITCH
DW	- DISHWASHER SINGLE GPO x 1
R	- RANGEHOOD SINGLE GPO x 1
G	- GARAGE DOOR SINGLE GPO x 1
1100	- EXAMPLE HEIGHT

- Light switches @ 1150 AFL
- Wall mounted lights @ 1800 AFL
- Power outlets @ 300mm AFL (except for the following)

1500 - Ref Space
1800 - Rangehood
1100 - Kitchen Bench
1000 - Garage D.F.P.O
1000 - Vanities
1000 - Laundry Bench
1000 - Washing Machine
600 - Dishwasher
600 - Microwave

NORTH

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turn	[illegible]/07/21	VKP
D	Amended Working	[illegible]/21	VKP

CLIENT
James Stokes

DRAWING NAME
Elec. Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

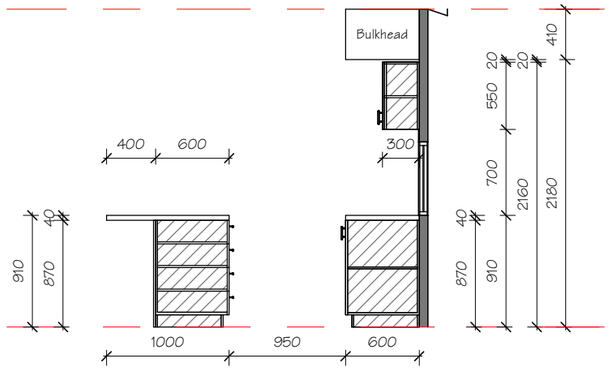
REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

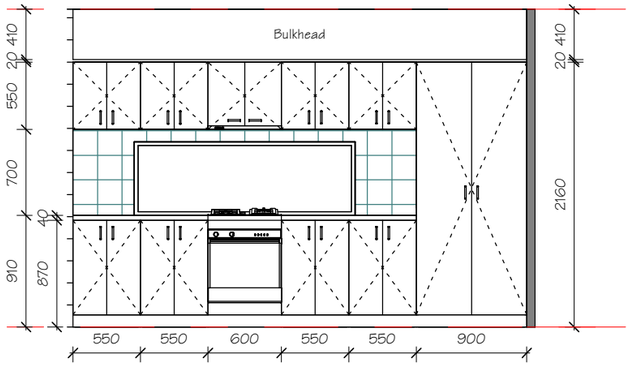
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE As indicated @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 13 of 25



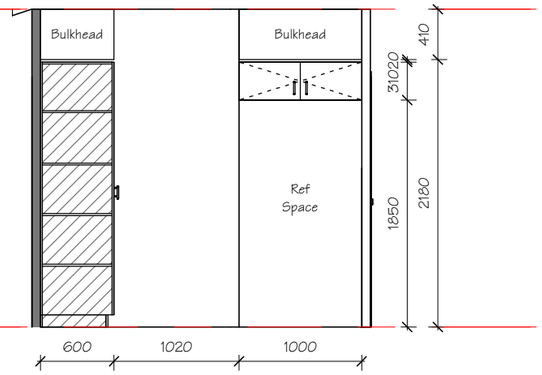
Kitchen Elevation 1

1 : 50



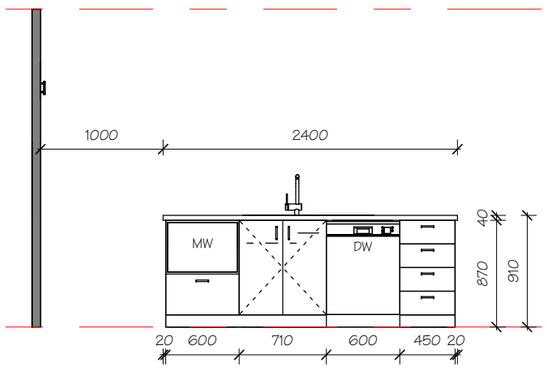
Kitchen Elevation 2

1 : 50



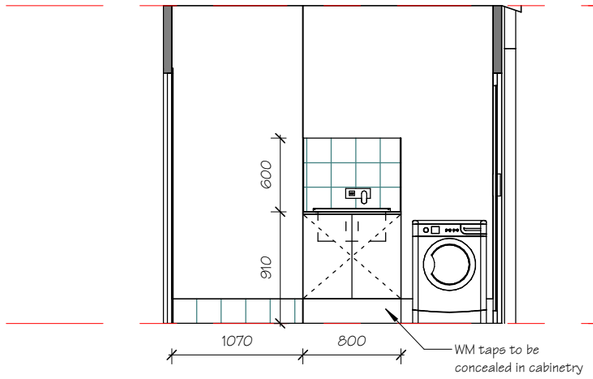
Kitchen Elevation 3

1 : 50



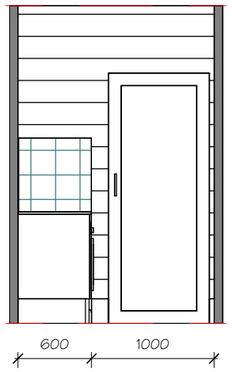
Kitchen Elevation 4

1 : 50



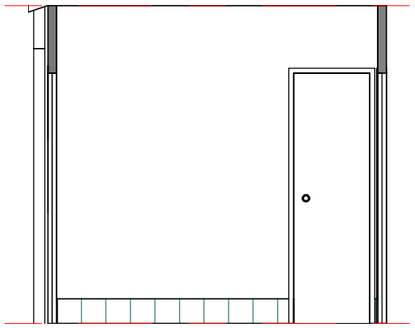
Ldy Elevation 5

1 : 50



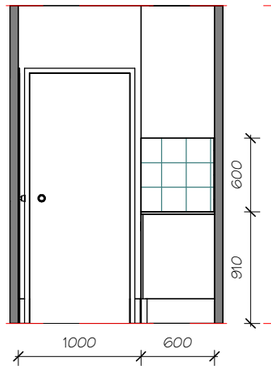
Ldy Elevation 6

1 : 50



Ldy Elevation 7

1 : 50



Ldy Elevation 8

1 : 50

NOTE:

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

Rev	Revision Description	Date	By
E	Revised DA	24/06/22	AM
~~E~~	~~Amended Car Turning~~	~~06/07/21~~	VKP
D	Amended Working	02/07/21	VKP

CLIENT
James Stokes

DRAWING NAME
Dwelling A & B
Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

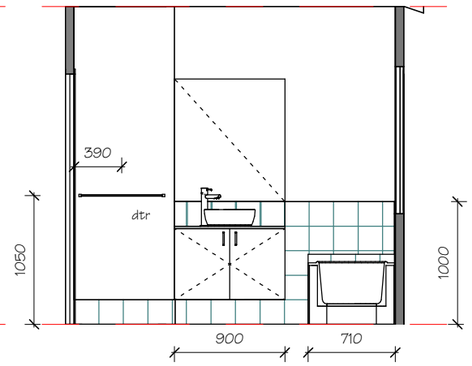
REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

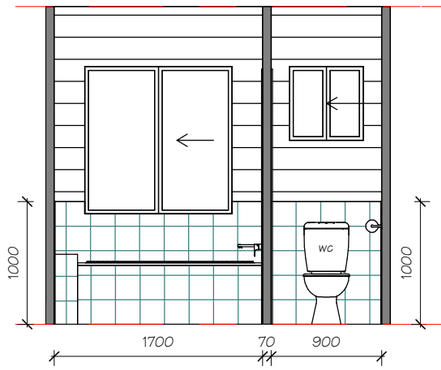
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 50 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 14 of 25



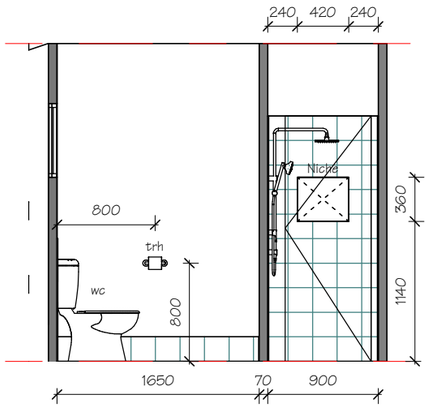
Bath Elevation 1

1 : 50



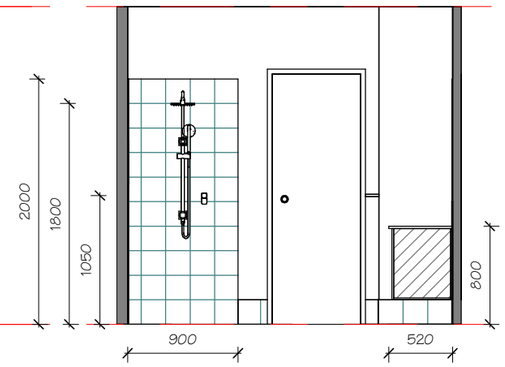
Bath Elevation 2

1 : 50



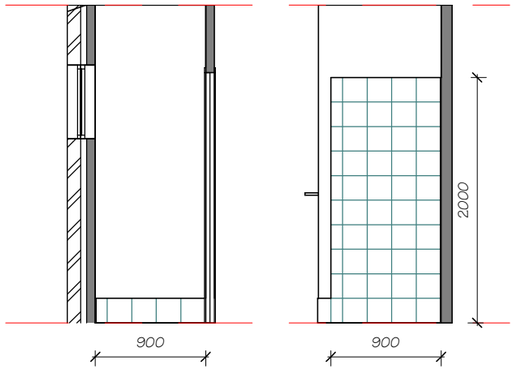
Bath Elevation 3

1 : 50



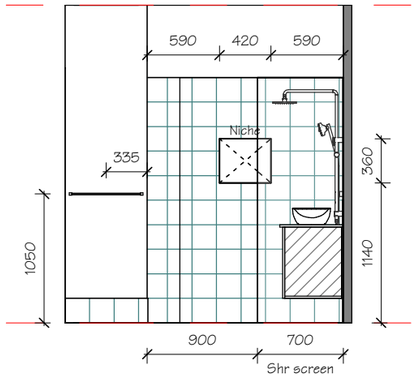
Bath Elevation 4

1 : 50



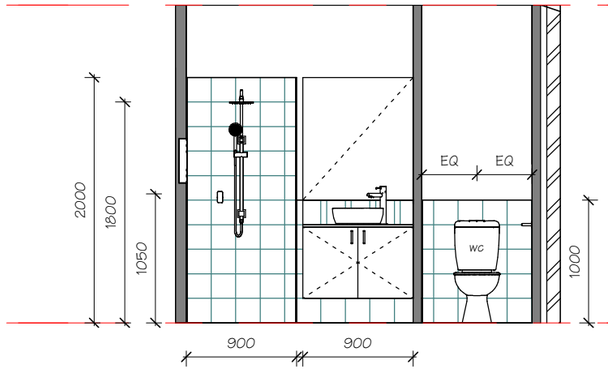
Ens Elevation 5

1 : 50



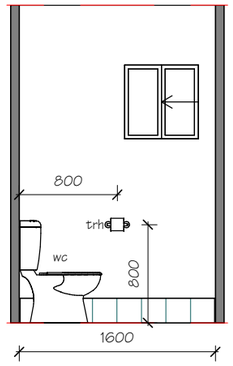
Ens Elevation 6

1 : 50



Ens Elevation 7

1 : 50



Ens Elevation 8

1 : 50

NOTE:

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

Rev	Revision Description	Date	By
E	Revised DA	24/06/22	AM
~~E~~	~~Amended Car Turning~~	~~06/07/21~~	VKP
D	Amended Working	02/07/21	VKP

CLIENT
James Stokes

DRAWING NAME
Dwelling A & B
Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

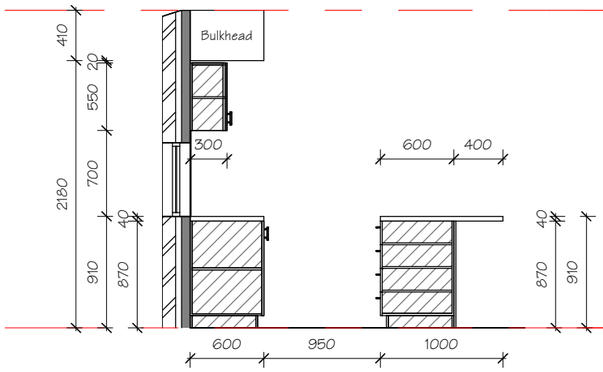
REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

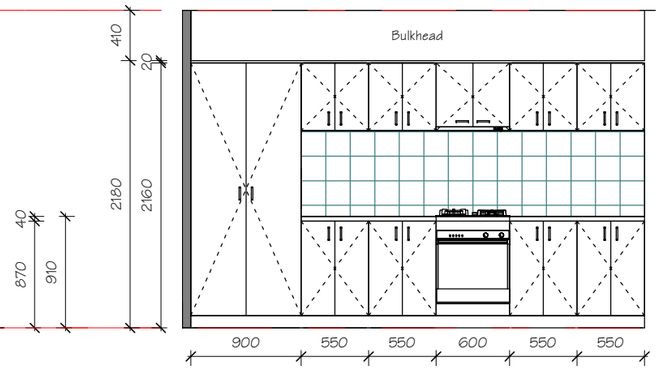
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 50 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 15 of 25



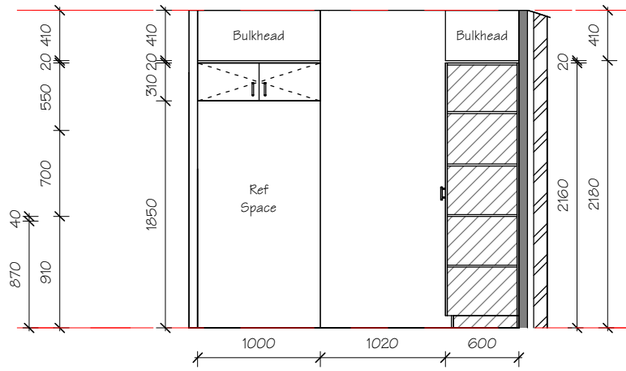
Kitchen Elevation

1 : 50



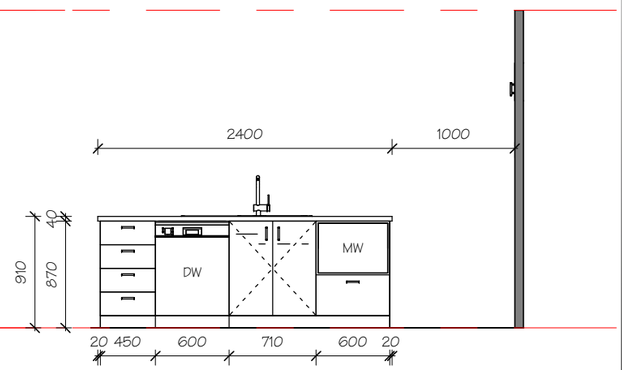
Kitchen Elevation

1 : 50



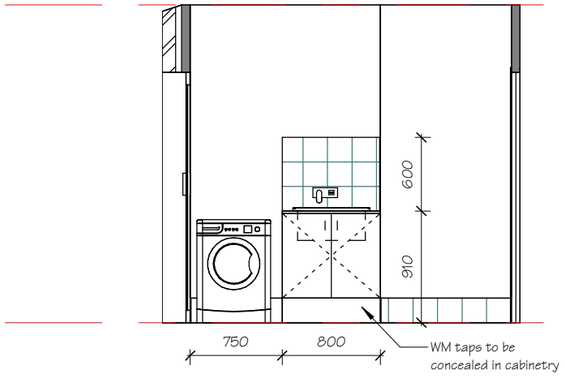
Kitchen Elevation

1 : 50



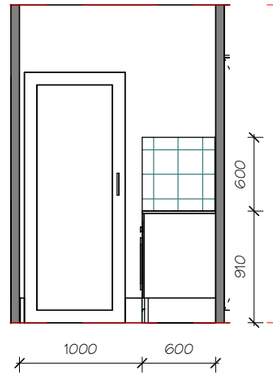
Kitchen Elevation

1 : 50



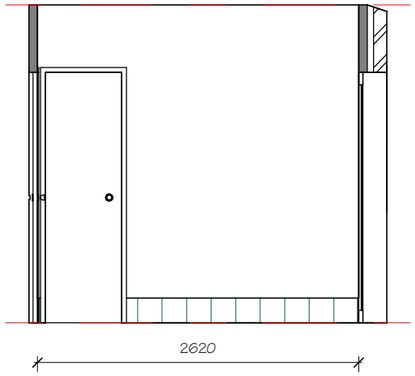
Ldy Elevation

1 : 50



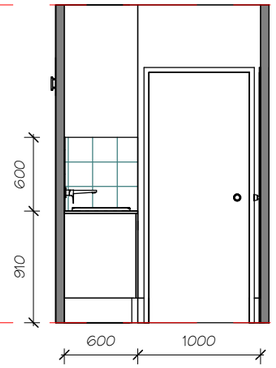
Ldy Elevation

1 : 50



Ldy Elevation

1 : 50



Ldy Elevation

1 : 50

NOTE:

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

Rev	Revision Description	Date	By
E	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

CLIENT
James Stokes

DRAWING NAME
Dwelling C Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

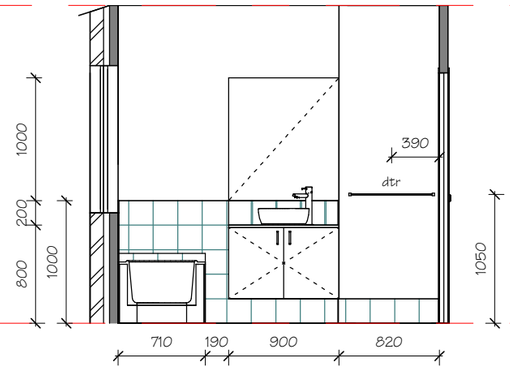
REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD P'ty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

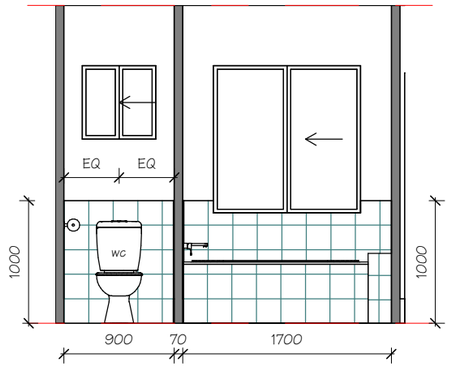
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 50 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 16 of 25



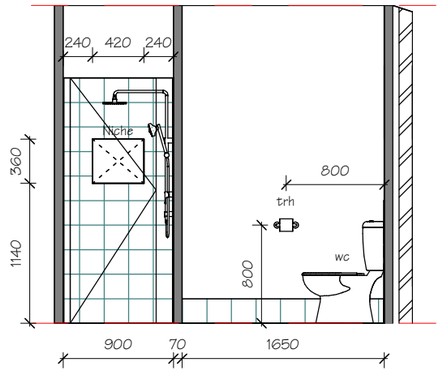
Bath Elevation

1 : 50



Bath Elevation

1 : 50

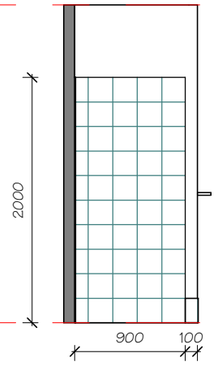


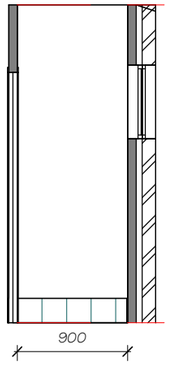
Bath Elevation

1 : 50

Bath Elevation

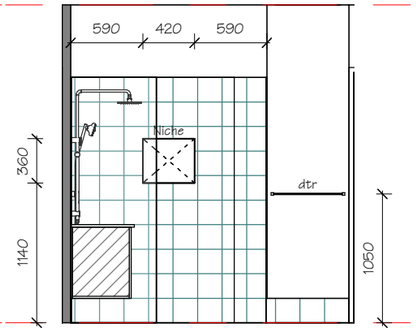
1 : 50





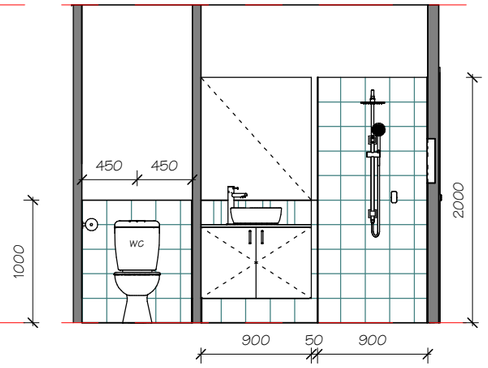
Ens Elevation

1 : 50



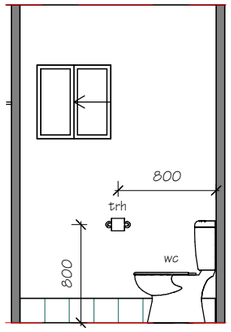
Ens Elevation

1 : 50



Ens Elevation

1 : 50



Ens Elevation

1 : 50

NOTE:

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
~~E~~	~~Amended Car Turning~~	~~06/07/21~~	VKP
D	Amended Working	02/07/21	VKP

CLIENT
James Stokes

DRAWING NAME
Dwelling C Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1 : 50 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 17 of 25

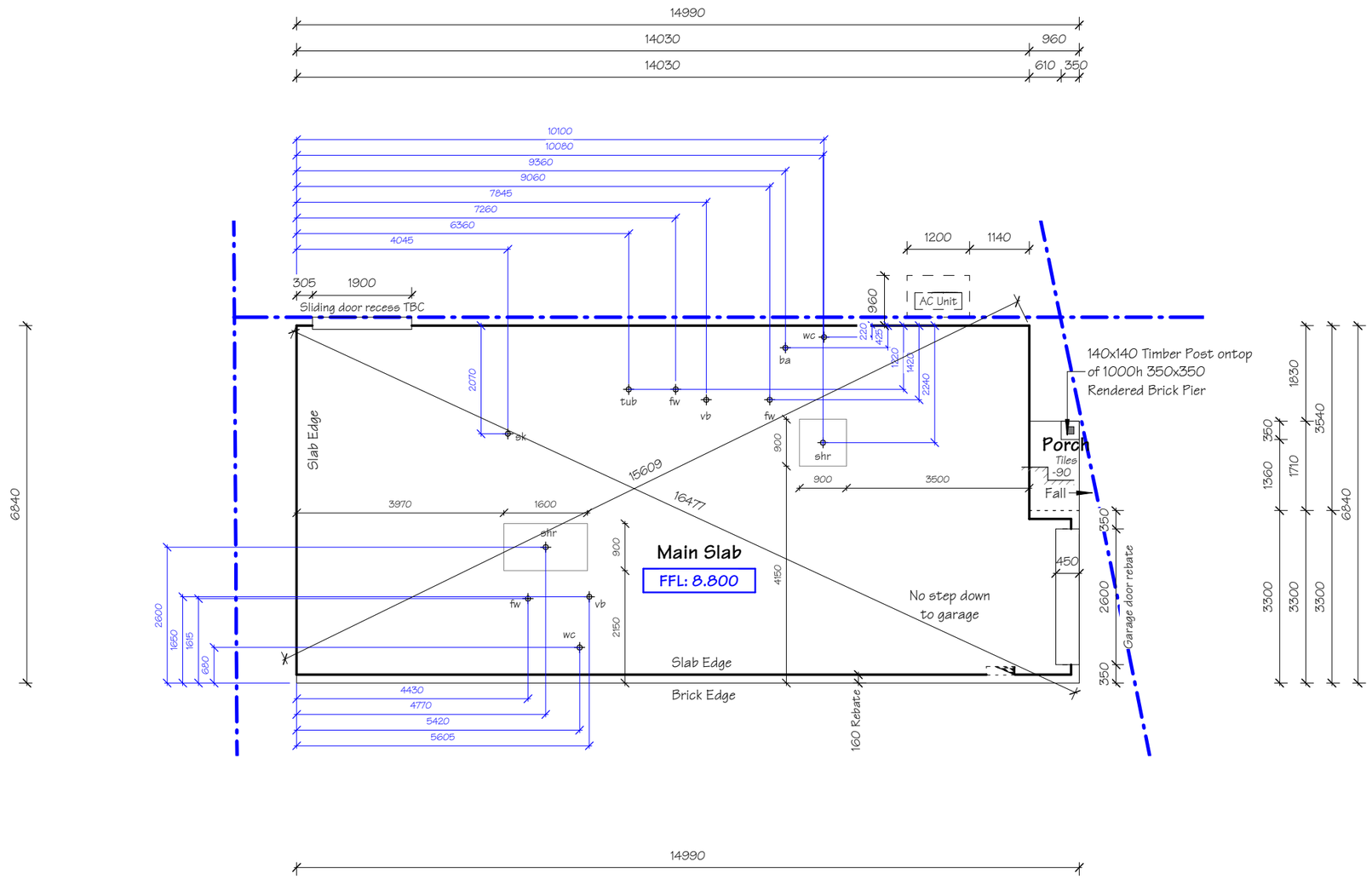
NOTES
Dimensions to outside of Brickwork unless stated otherwise

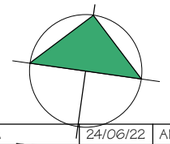
NOTES
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

Note:
Floors to bathrooms, ensuites & laundry do not fall to waste

NOTE:
Slab rebate lengths TBC by manufacturer prior to slab pour

Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications





Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turn	27/07/21	VKP
D	Amended Working	21	VKP

CLIENT
James Stokes

DRAWING NAME
Slab Set Out Plan
A

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 18 of 25

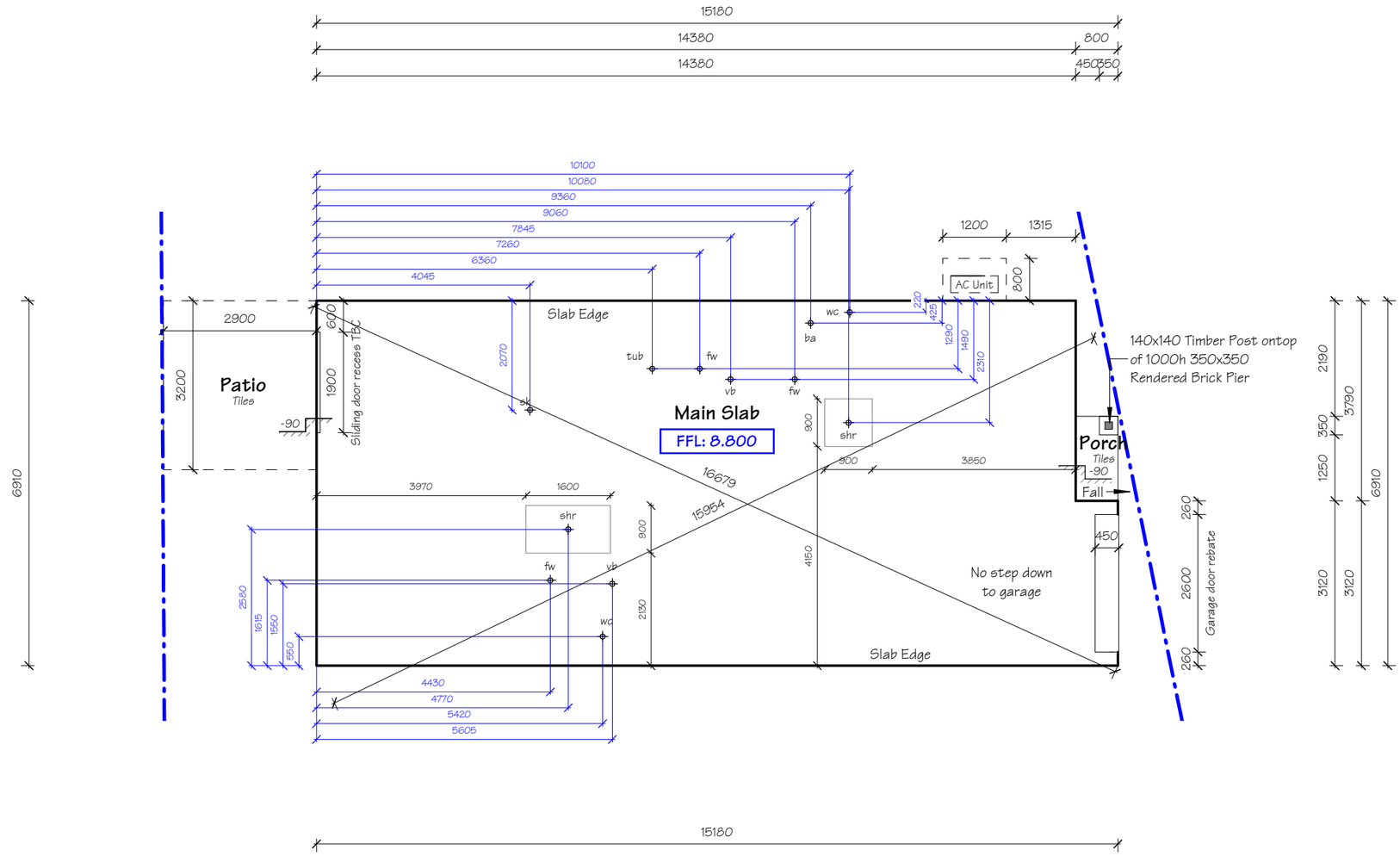
NOTES
Dimensions to Slab Edge unless stated otherwise

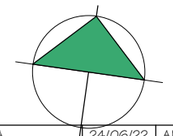
NOTES
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

Note:
Floors to bathrooms, ensuites & laundry do not fall to waste

NOTE:
Slab rebate lengths TBC by manufacturer prior to slab pour

Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications





Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turn	26/07/21	VKP
D	Amended Working	[illegible]/21	VKP

CLIENT
James Stokes

DRAWING NAME
Slab Set Out Plan
B

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 19 of 25

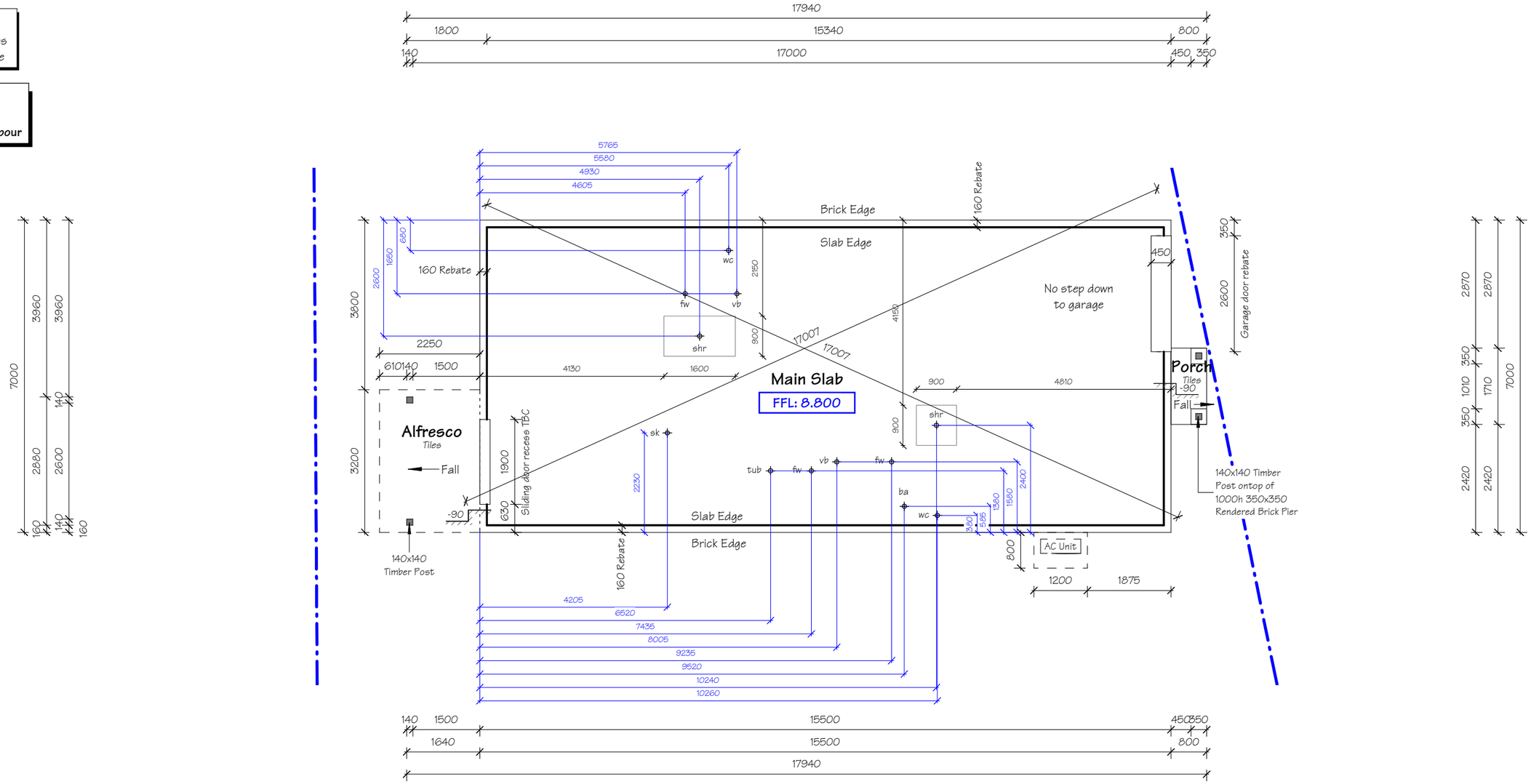
NOTES
Dimensions to outside of Brickwork unless stated otherwise

NOTES
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

Note:
Floors to bathrooms, ensuites & laundry do not fall to waste

NOTE:
Slab rebate lengths TBC by manufacturer prior to slab pour

Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications



CLIENT	James Stokes
DRAWING NAME	Slab Set Out Plan C
SITE ADDRESS	Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482
REAL PROPERTY DESCRIPTION	
Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

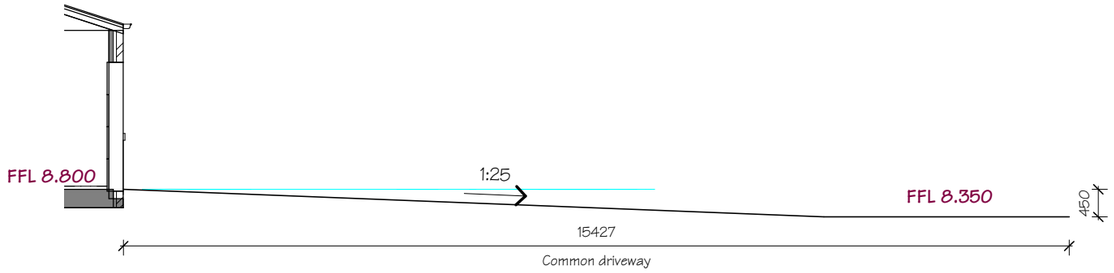
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

NORTH

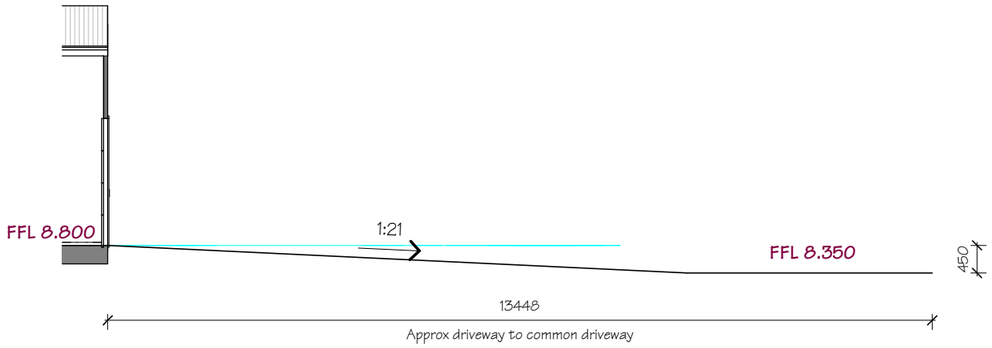
Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turn	26/07/21	VKP
D	Amended Working	[illegible]/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 20 of 25



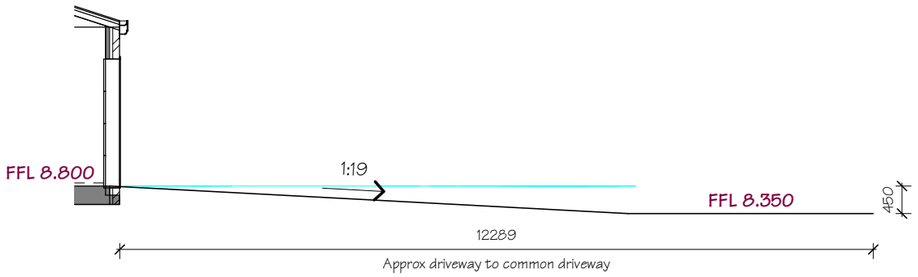
Driveway Detail - Dwelling A

1 : 100



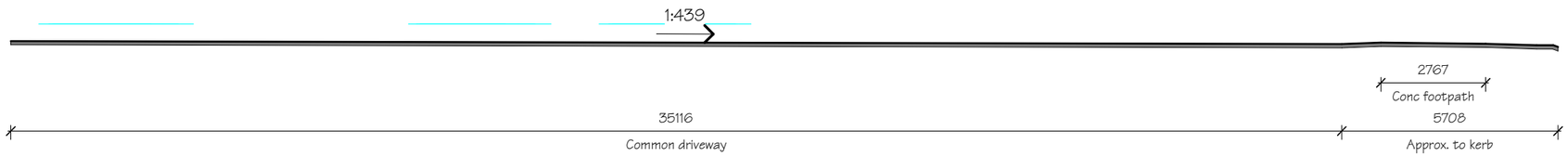
Driveway Detail - Dwelling B

1 : 100



Driveway Detail - Dwelling C

1 : 100



Common Driveway Detail

1 : 150

CLIENT
James Stokes

DRAWING NAME
Driveway Detail

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

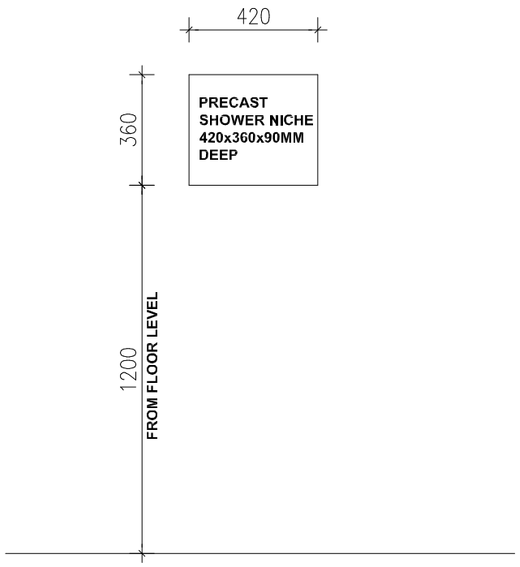
Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

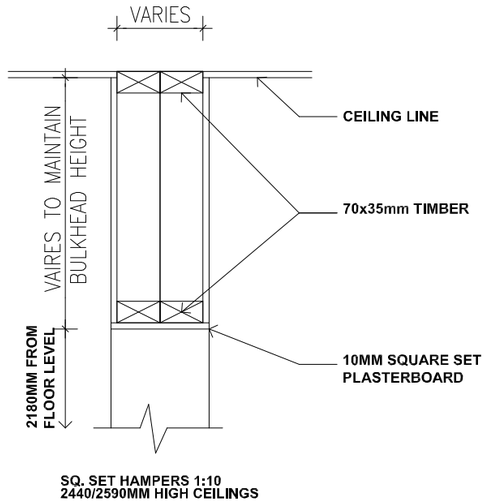
WIND LOADING (BY OTHERS) N3 (W33)	SCALE As indicated @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 21 of 25

NOTE:
SHOWER NICHE'S ARE TO BE INSTALLED IN A 90MM STUD WALL ONLY



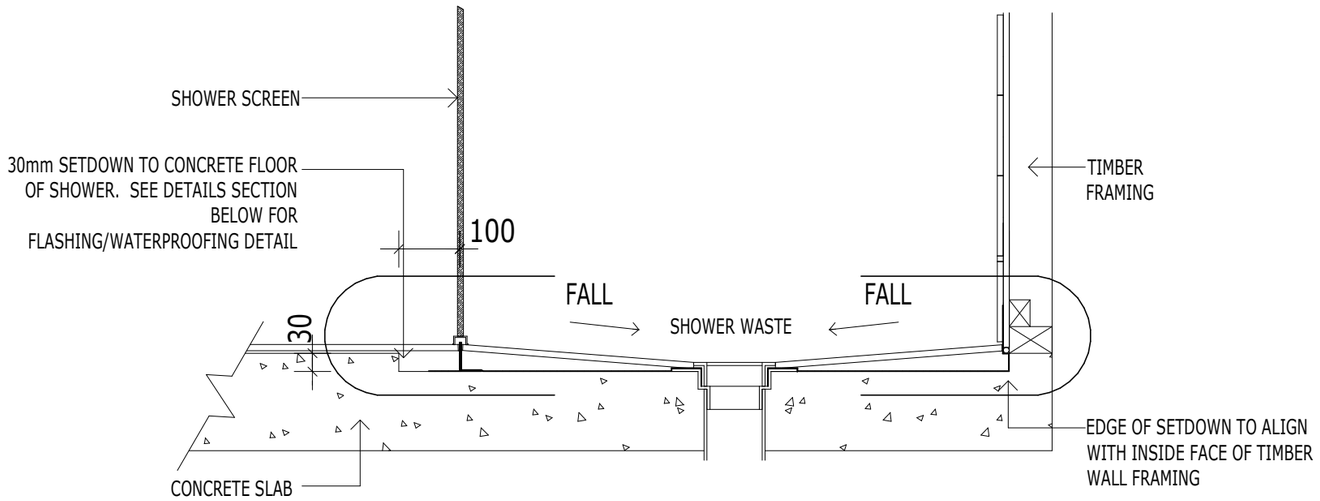
Shower Niche Detail

1 : 20



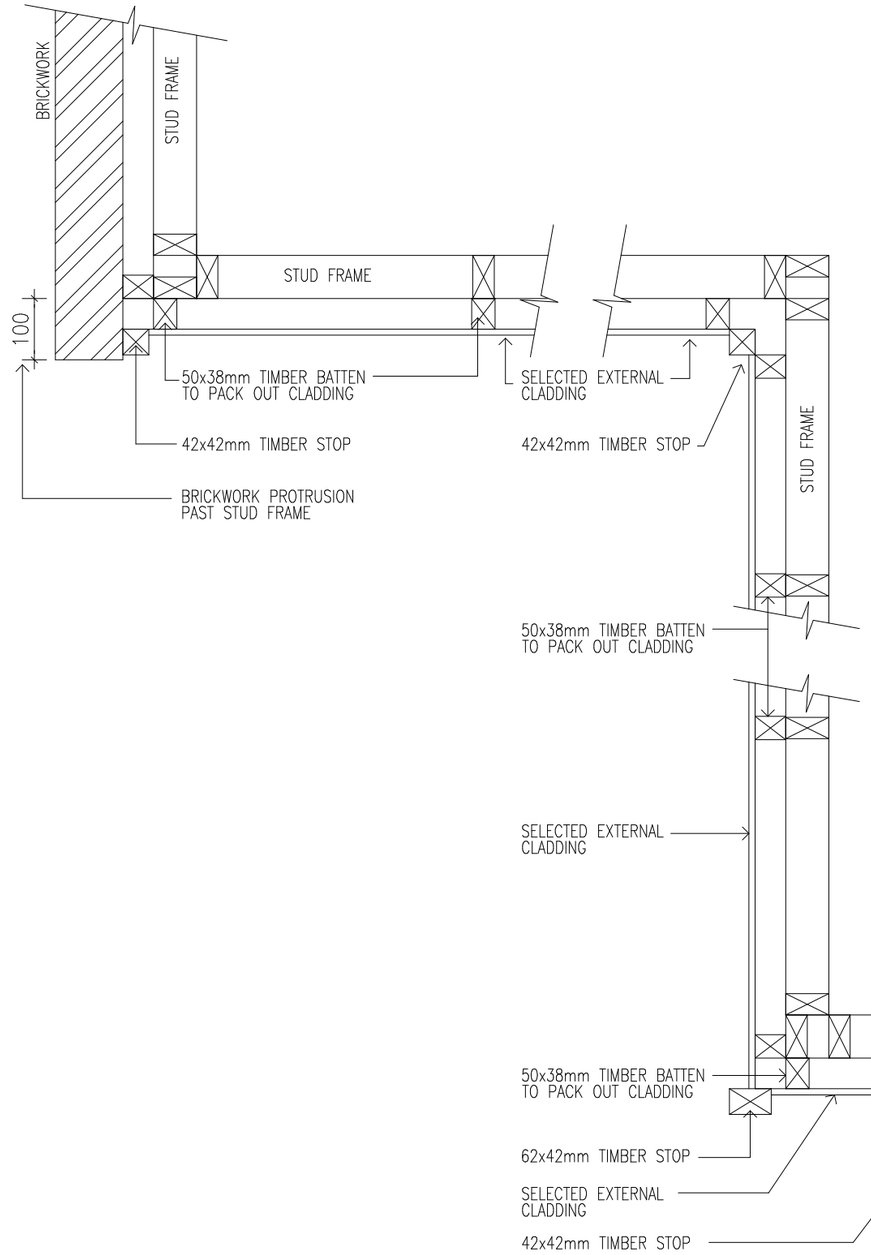
Bulkhead Detail

1 : 10



Shower Recess Detail

1 : 10



Cladding External Finish Detail

1 : 10

CLIENT
James Stokes

DRAWING NAME
Standard Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

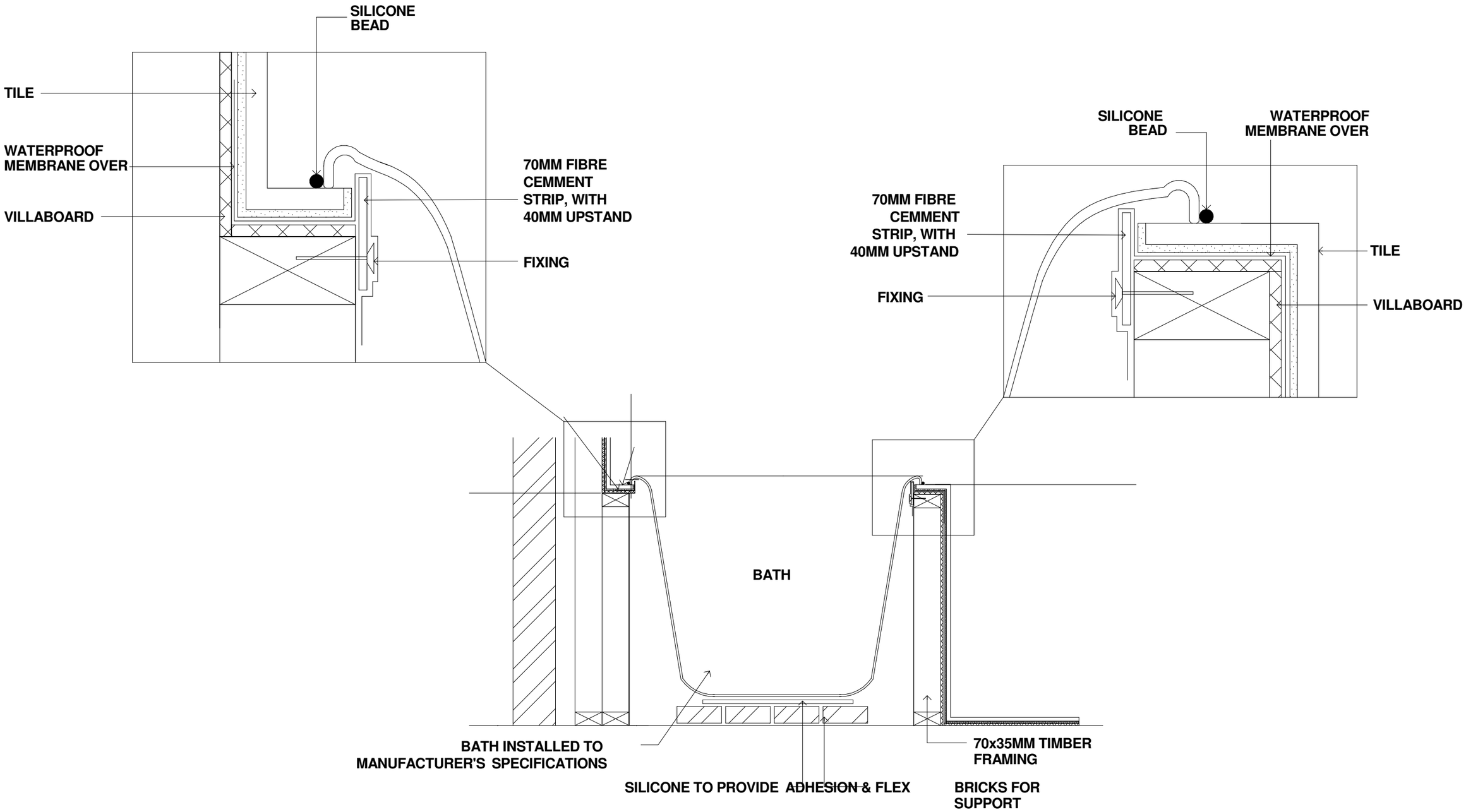
Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE As indicated @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 22 of 25



BATH/WALL CONNECTION END SECTION

CLIENT
James Stokes

DRAWING NAME
Bath Hob Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

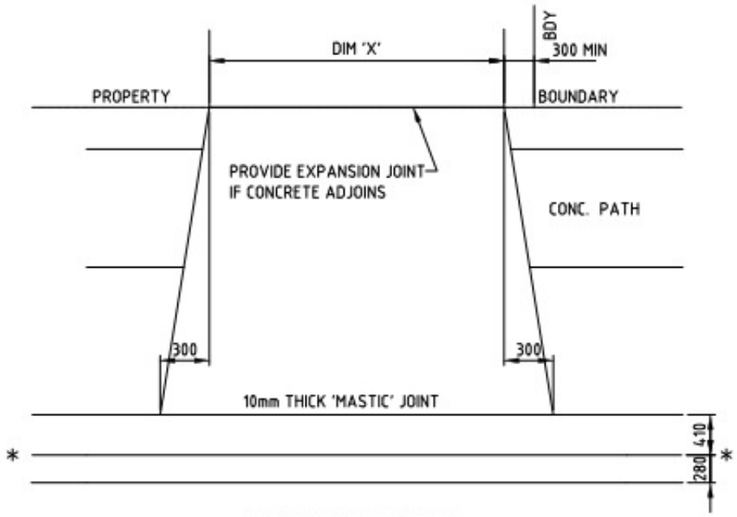
Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

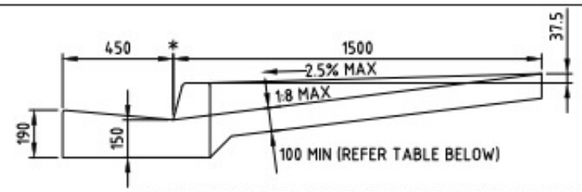
ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE 1:100 @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 23 of 25



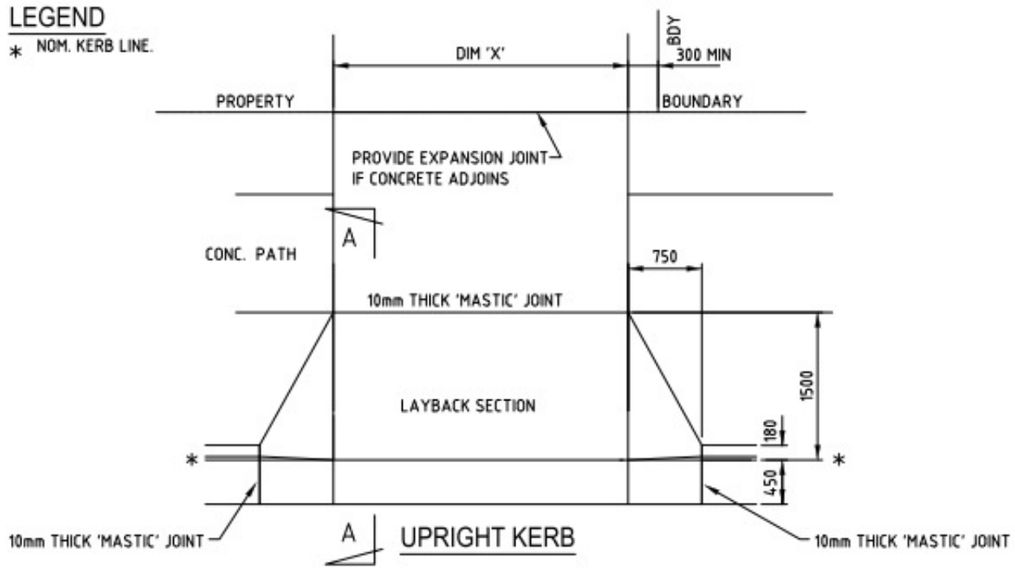
MOUNTABLE KERB



LAYBACK VEHICLE CROSSING SECTION A-A

LEGEND

* NOM. KERB LINE.



UPRIGHT KERB

NOTES:

1. THESE DETAILS ARE FOR TYPICAL URBAN SITUATIONS. ANY VARIATIONS FROM THESE STANDARDS SHALL REQUIRE SUBMISSION OF DETAILED ALTERNATIVE DESIGN & GRADING TO COUNCIL FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS
2. FOOTPATH SECTION TO VARY WHERE NECESSARY TO MATCH CONCRETE FOOTPATHS AND VERGE PROFILES. FOOTPATH EARTHWORKS ADJOINING CONCRETE MUST BE WELL COMPACTED.
3. CONCRETE SURFACE TOLERANCE TO BE $^{+5MM}_{-0MM}$ OVER 3 METRE SECTIONS.
4. CONCRETE N25 IN ACCORDANCE WITH AS 1379 AND AS 3600.
5. REINFORCEMENT FABRIC TO AS 1304, 50 TOP AND EDGE COVER, LAP FABRIC 250.
6. EXPANSION JOINTS TO BE 10 THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85 – 150 KG/M) OR 10MM THICK COMPRESSED GRANULATED CORKBOARD, INSTALLATION TO MANUFACTURES' INSTRUCTIONS.
7. A STREET OPENING PERMIT OR DRIVEWAY APPLICATION MUST BE OBTAINED FROM COUNCIL. THE APPLICANT SHALL OBTAIN APPROVAL OF LOCATION & LEVELS PRIOR TO EXCAVATION
8. REFER TO STANDARD DRAWING NO R14 FOR RURAL OR W.S.U.D. APPLICATIONS
9. GRADE NOT TO EXCEED 1 IN 14 WHERE DISABILITY ACCESS IS REQUIRED.
10. ALL DIMENSIONS IN MILLIMETRES.
11. EXISTING FOOTPATH PROFILE TO BE MAINTAINED WHERE POSSIBLE. THE COST OF ANY ADJUSTMENTS OR VARIATIONS SHALL BE BORNE IN FULL BY THE APPLICANT
12. COMPACTION FOR SUBGRADE 95% STANDARD TO AS 1289.5.1.1.
13. CONCRETE DRIVEWAY UNLESS OTHERWISE APPROVED
14. PAVER AND/OR PROPRIETARY CONCRETE SURFACE FINISHES TO DRIVEWAY SHALL ONLY BE USED WHEN APPROVED BY LOCAL AUTHORITY.

TYPE OF DRIVEWAY	WIDTH AT BOUNDARY 'X' mm	THICKNESS 'T' mm @ REINFORCEMENT
SINGLE DWELLING OR DUPLEX UNIT	3000 min. 6000 max	100mm with SL62
UNITS LOCAL STREETS	REFER TO A.S.2890	150mm with SL72
× UNITS COLLECTOR ROADS	REFER TO A.S.2890	150mm with SL72
× COMMERCIAL/ × INDUSTRIAL	REFER TO A.S.2890	200mm with SL82

NOT TO SCALE

D	NOTES GENERALLY UPGRADED	MPK	6/3/2018
C	NOTES GENERALLY UPGRADED		18/6/2012
B	NOTES GENERALLY UPGRADED		7/7/10
A	ORIGINAL ISSUE		3/10/06
REVISIONS		APP'D	DATE

STANDARD DRAWINGS

NORTHERN RIVERS LOCAL GOVERNMENT

URBAN RESIDENTIAL DRIVEWAY LAYOUTS & LAYBACK VEHICULAR CROSSING FOR KERBED ROADS

ROAD/STREET STANDARD DRAWING

R-05

A B C D

CLIENT
James Stokes

DRAWING NAME
Driveway Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

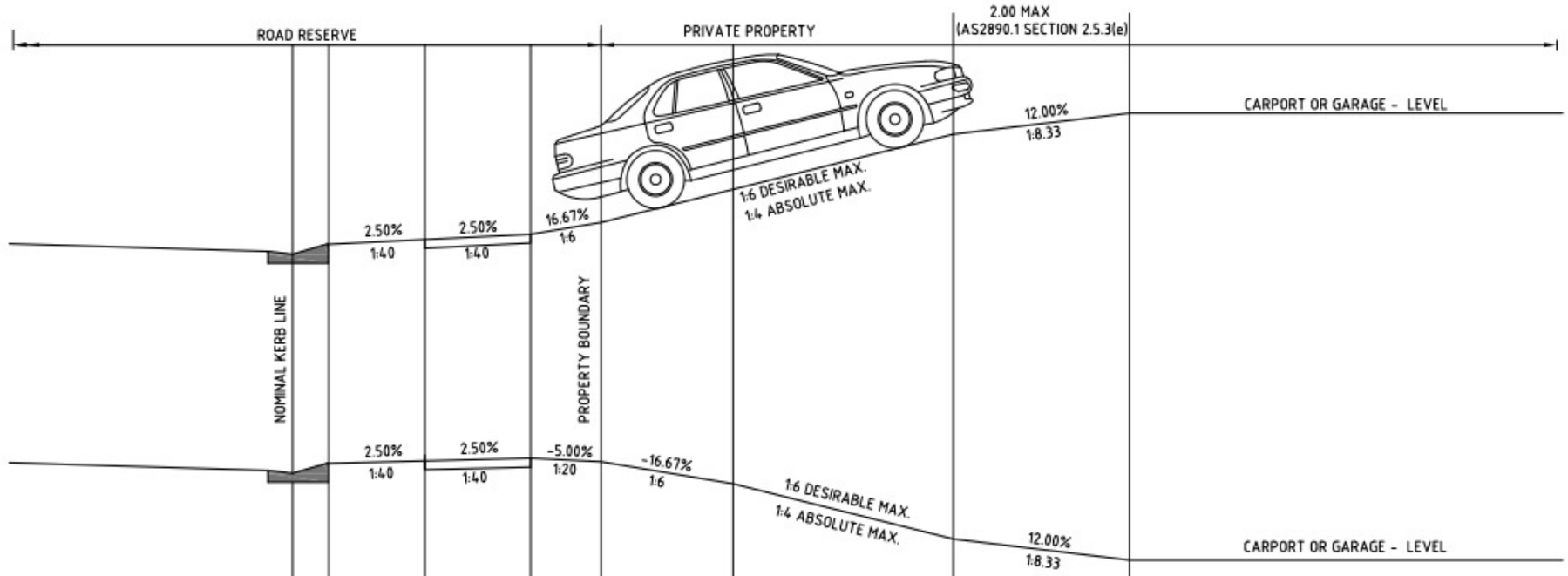
Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 24 of 25



HIGH SIDE	00	+0.110	+0.1327	+0.167	+0.300	+0.675	+1.300	+1.540
LOW SIDE	00	+0.110	+0.327	0.167	+0.127	-0.123	-0.748	-0.988
DISTANCE	00	0.41	1.50	2.70	3.50	5.00	7.50	9.50

HIGH & LOW DRIVEWAY PROFILE (FOR MIN. 6.0m SETBACK)

NOTES

1. REFER TO DRAWING R-05 FOR PLAN LAYOUTS
2. FOOTPATH CROSSOVERS MUST BE PERPENDICULAR TO THE ROAD OR STREET, OR UP TO 20° (UNLESS OTHERWISE APPROVED IN EXCEPTIONAL CIRCUMSTANCES).
3. REFER TO STANDARD DRAWINGS NO R14 & R16 FOR NON KERBED APPLICATIONS
4. THIS STANDARD IS A GUIDE ONLY. VARIATIONS TO THIS DETAIL SHALL REQUIRE DETAILED LONGITUDINAL SECTIONS TO BE SUBMITTED. CHANGES OF GRADE SHALL COMPLY WITH AS.2890 & THE DESIGN VEHICLE CLEARANCES.
5. MAX CHANGE OF GRADE 12.5% FOR CREST, 15% FOR SAG (AS2890.1 SECTION 2.5.3(d)

NOT TO SCALE

D	GENERALLY AMENDED		24/10/12
C	GENERALLY AMENDED		18/6/2012
B	NOTES & TITLE AMEMDED		7/7/10
A	ORIGINAL ISSUE		3/10/06
	REVISIONS	APP'D	DATE

STANDARD DRAWINGS

NORTHERN RIVERS LOCAL GOVERNMENT

RESIDENTIAL DRIVEWAYS
FOR KERBED ROADS
LONGITUDINAL GRADING DETAILS

ROAD/STREET STANDARD DRAWING

R-06

A B C D

CLIENT
James Stokes

DRAWING NAME
Driveway Details 2

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

Lot	Lot 161
RP	DISCLOSURE
Site Area	1060m²

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

Rev	Revision Description	Date	By
F	Revised DA	24/06/22	AM
E	Amended Car Turning	06/07/21	VKP
D	Amended Working	02/07/21	VKP

WIND LOADING (BY OTHERS) N3 (W33)	SCALE @ A3
LICENCE 1153526	DATE 28/4/21
SITE No. 2102773	SHEET No. 25 of 25