# TOWN PLANNING REPORT

## Statement of Environmental Effects

Proposed construction of three detached dwellings to create a multi dwelling housing development with associated access and fencing

Lot 161 DP 1281667
No. 74 Tuckeroo Avenue, Mullumbimby

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TOWN PLANNING STUDIO

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A. Concept Stormwater Design

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# 1.0 Introduction

This Town Planning Report includes a Statement of Environmental Effects to accompany a Development Application to Byron Shire Council to construct a multi dwelling housing development within the subject site. Strata subdivision of the proposed development will be undertaken at a later time as exempt or complying development.

The following sections of this report relate to the matters summarised below:

Section 2 – provides a description of the development site.

Section 3 – provides a description of the proposed development.

Section 4 – provides consideration of the proposed development having regards to the statutory requirements applying to the site.

Section 5 – provides a conclusion to this report.

In addition to these sections, Appendices include documentation of relevance to the proposed development and its site, including the plans of the proposed development. Figures are included throughout the document to provide details of the development and the development site.

This Statement of Environmental Effects has been prepared in accordance with Schedule 7 of the Environmental Planning and Assessment Regulation 2021, which requires a Statement of Environmental Effects to indicate the following matters, where relevant to the proposal:

(a) the environmental impacts of the development,

(b) how the environmental impacts of the development have been identified,

(c) the steps to be taken to protect the environment or to lessen the expected harm to the environment.

<u>Note on the use of this document</u>

This document has been prepared for the use of Byron Shire Council, as the consent authority, for determining a Development Application for carrying out development on the site. The document is to be used to assist in the assessment of a Development Application and is not intended to be used for any other purpose. This document is protected by copyright.

# 2.0 Description of the site

*General*

The proposed development relates to a single allotment of land that is formally described as Lot 161 in Deposited Plan 1281667. The site is located at No. 74 Tuckeroo Avenue, Mullumbimby. The allotment has a land area of 1,074 square metres.

The subject lot has frontage of 34.655 metres to Tuckeroo Avenue. The eastern boundary is 40.51 metres and the western boundary is 33.58 metres in length. The northern (rear) boundary is 26.255 metres in length. The property is encumbered by numerous easements. These include an easement for drainage of sewage and water parallel to and covering the width of the rear boundary, an easement for a sewer rising main and drainage infrastructure parallel to and covering the length of the eastern boundary, and a restriction on the use of the land (11m wide) parallel to the eastern boundary for the purpose of an Asset Protection Zone.

Refer to Figure 1 below showing an extract of Deposited Plan 1281667. Refer to Figure 2 for a Locality Plan and to Figure 3 for an Aerial Photograph of the Site and Surrounds.

*Improvements and Land Uses*

The subject land is a greenfield development site devoid of vegetation. Urban services are available to the property.

*Surrounding Land Uses*

Surrounding lots remain unimproved greenfield properties. Byron Shire Council's DA Tracker web portal does not show that any development applications have been lodged in the immediate vicinity. The adjoining property to the east contains a stormwater drainage basin.,

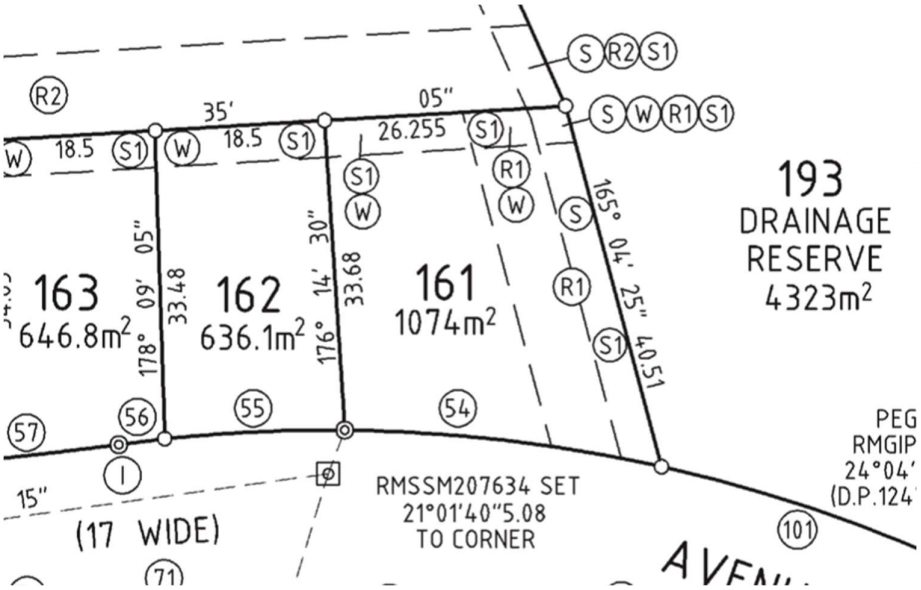



Figure 1 – Extract from Deposited Plan 1281667

*Zoning*

The subject allotment is located entirely within the R2 Residential Zone under Byron Local Environmental Plan 2014.

*Services*

The allotment has access to the following services:

- Water Supply – the subject property is connected to Council's reticulated water supply.
- Sewerage Connection – the site connects to Council's sewerage network via a connection point within the allotment.
- Telecommunications – accessible from the road reserve via Telstra/NBN infrastructure.
- Electricity – accessible from overhead transmission lines administered by Origin Energy.
- Stormwater drainage – stormwater will be managed in accordance with the submitted stormwater management plan.
- Waste and Recyclables Collection – provided by Byron Shire Council contractors with roadside collection.

*Constraints*

Mapping by NSW Planning and Environment indicates that the site is not affected by bush fire hazards or potential acid sulfate soils. The land is not mapped by Byron Shire Council as being flood affected. The land contains only a gentle slope.

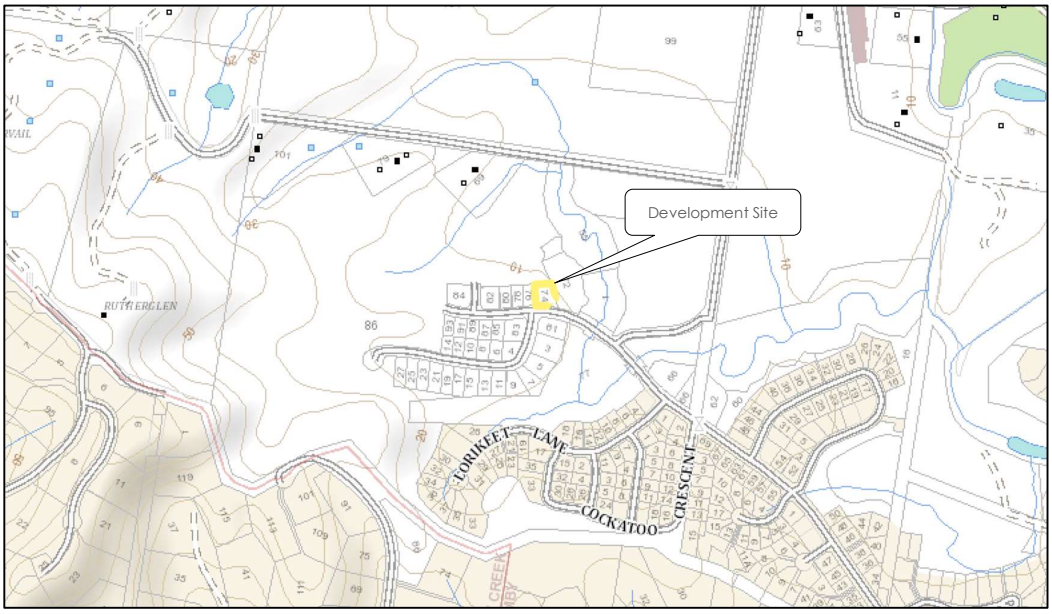



Figure 2 – Locality Plan (NSW LPI)

Figure 3 – Aerial Photograph of Site & Surrounds (Byron Shire Council)

# 3.0 Description of the proposal

Development consent is sought to construct a multi dwelling housing development comprised of three detached single-storey dwellings. The proposed dwellings are located within the western half of the allotment, with vehicle access following the eastern property boundary. The proposed development will be strata subdivided into three strata lots plus common property as exempt or complying development at the completion of works.

The proposed development has been designed having regards to the provisions of Byron Local Environmental Plan 2014 and Byron Development Control Plan 2014. Plans of the proposed development prepared by ReziCAD are provided within the Annexures of this report.

The new construction works provide for three detached single-storey dwellings. Each dwelling contains two bedrooms, indoor and outdoor living areas, kitchen, bathroom, laundry facilities and a single-vehicle garage. Yard areas are allocated for each dwelling with the northern and southern most buildings provided larger open space areas.

Minor earthworks are required to establish level building pads which meet development control plan requirements. As only small excavations are required no retaining structures form part of the proposal.

The proposed construction materials comprise a mix of brickwork, rendered FC sheet and hardwood wall finishes, and colorbond roof sheeting. The design presents a modern appearance that is suited to the infill site.

BASIX Certification has been prepared for the development and is submitted as part of the Development Application. A Concept Stormwater Plan has been prepared and is provided as an Annexure to this report.

The development provides for an affordable form of housing within a flood free residential property. The property owners have designed the development with 3 x 2 bedroom homes to meet the demand for smaller, low maintenance homes that is emerging in the Mullumbimby market.

# 4.0 Statutory considerations

## 4.1 NSW Environmental Planning and Assessment Regulation 2021

The proposal does not raise any significant issues under the NSW Environmental Planning and Assessment Regulation 2021.

## 4.2 Section 1.7 of the Environmental Planning & Assessment Act 1979

Section 1.7 of the EP&A Act 1979 provides that the Act has effect subject to the provisions of Part 7 of the Biodiversity Conservation Act 2016 and Part 7A of the Fisheries Management Act 1994 that relate to the operation of this Act in connection with the terrestrial and aquatic environment.

The proposed development will not require the removal of any naturally occurring vegetation from the site. An inspection of the site confirms that the land is free from any regrowth or landscape species other than a single street tree that is proposed to be repositioned within the road reserve (refer to separate application under Section 138 of the Roads Act 1993). Accordingly, no impacts arise in relation to the Biodiversity Conservation Act 2016 or the Fisheries Management Act 1994.

## 4.3 Section 4.14 of the Environmental Planning and Assessment Act 1979

Mapping from the NSW Planning Portal indicates that the proposed development is not located within a buffer area to bush fire hazards. However, it is noted that the property does contain an easement for an Asset Protection Zone. The proposed development has been designed to ensure no buildings are located within this easement.

## 4.4 Matters for Consideration under Section 4.15 of the Environmental Planning & Assessment Act 1979

### 4.4.1 Section 4.15(1)(a)(i) The Provisions of any Environmental Planning Instrument

<u>SEPP (Resilience and Hazards) 2021: Chapter 4 Remediation of land</u>

The subject site is the product of a recently registered subdivision and is located within the R2 Low Density Residential Zone. In this regard, Deposited Plan 1281667 was registered on 14 March 2022. The suitability of the site having regards to site contamination was comprehensively considered as part of the residential subdivision. It is understood that any remediation of the land which may have been required would have taken place prior to registration of the property.

Byron Local Environmental Plan 2014

*Land Use Table – Zone R2 Low Density Residential*

The site of the proposed development is located within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014. The proposal comprises 3 dwellings, each with access at ground level, in accordance with the definition of multi dwelling housing below:

> *multi dwelling housing means 3 or more dwellings (whether attached or detached) on one lot of land, each with access at ground level, but does not include a residential flat building.*

Multi dwelling housing is permitted with the consent of Council within the R2 Low Density Residential Zone. The Objectives of the zone are as follows:

- To provide for the housing needs of the community within a low density residential environment.
- To enable other land uses that provide facilities or services to meet the day to day needs of residents.

The proposed development will increase housing opportunities within the locality without compromising the low density environment. The floor space of the development is consistent with the requirements of Byron Local Environmental Plan 2014 and Byron Development Control Plan 2014. The proposal is considered to be consistent with the objectives of the R2 Low Density Residential Zone.

*Clause 2.6 – Subdivision — consent requirements*

This clause provides that land to which Byron Local Environmental Plan 2014 applies may be subdivided, but only with development consent. Schedule 2 of Byron Local Environmental Plan 2014 also provides that strata subdivision of lawfully erected buildings within the R2 Low Density Residential Zone is exempt development. It is intended that the proposed buildings will be strata subdivided at the completion of building works using exempt and complying development allowances.

*Clause 4.1E – Minimum lot sizes for certain residential accommodation*

Pursuant to the Clause 4.1E a minimum lot size of 1000m² applies to multi dwelling housing within the R2 Low density residential zone. The subject land is 1074m² in area and complies with this standard.

*Clause 4.3 – Height of buildings*

The proposed single storey development has been designed to meet the maximum 9.0 metre overall height limit provided within Clause 4.3 and the maximum building height map.

*Clause 4.4 – Floor Space Ratio*

The following table demonstrates compliance with the maximum floor space ratio of 0.5:1 that is prescribed for the subject allotment:

| Floor Space Ratio Calculations | |
|---|---|
| Site Area | 1,074 $m^2$ |
| Dwelling A GFA | 89.3 $m^2$ |
| Dwelling B GFA | 83.3 $m^2$ |
| Dwelling C GFA | 89.3 $m^2$ |
| Total Proposed GFA | 261.9 $m^2$ |
| Floor Space Ratio | 0.24:1 |

*Clause 6.2 – Earthworks*

The proposal includes only minor earthworks to create a building pad and provide service connections. Erosion and sediment control measures will be installed during construction. The small scale of work is not likely to create any adverse impacts on waterways or environmentally sensitive areas.

*Clause 6.6 – Essential services*

The proposed dwellings can connect to existing essential services in accordance with the attached plans. Detailed engineering plans are to be submitted as part of the Construction Certificate application.

| Required adequate arrangement | Comment |
|---|---|
| The supply of water | Water service is available from the Council main within the Tuckeroo Avenue road reserve. Three new water meters will be provided (one for each dwelling within the site). |
| The supply of electricity | Available from underground transmission lines within the Tuckeroo Avenue road reserve. A common metering point will be provided for the new dwellings. Electricity connections will be via underground trenches from the new metering point. |
| The disposal and management of sewage | Council mapping indicates that a sewer connection is available within the north-western corner of the allotment. The proposed development will connect to |

| | |
|---|---|
| | this line as part of a separate application under Section 68 of the Local Government Act 1993. |
| Stormwater drainage or on-site conservation | The attached engineering plans prepared provide that stormwater will be directed to Tuckeroo Avenue. |
| Suitable vehicular access | A new vehicle access driveway is proposed from Tuckeroo Avenue. Each of the proposed dwellings will be provided with on-site vehicle parking in accordance with Development Control Plan 2014. |

### 4.3.2 Section 4.15(1)(a)(ii) The Provisions of any Draft Environmental Planning Instrument

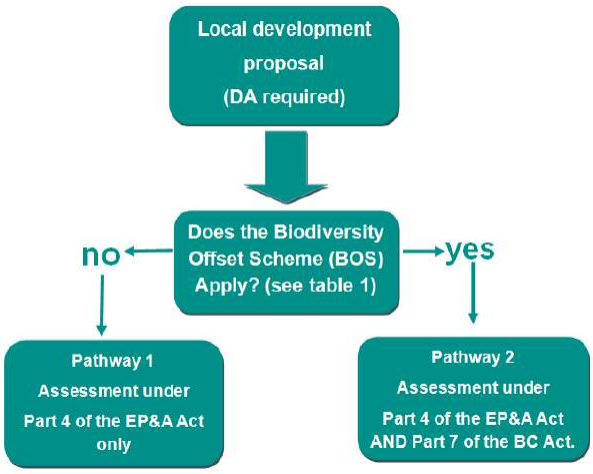
No draft environmental planning instruments have relevant implications for the proposal.

### 4.3.3 Section 4.15(1)(a)(iii) The Provisions of any Development Control Plans

<u>Byron Development Control Plan (DCP) 2014</u>

*DCP 2014 Chapter B1 – Biodiversity*

Chapter B1.1.4 of Development Control Plan 2014 provides that there are two major assessment pathways which affect the level of biodiversity assessment and the information required to support a development application (refer to diagram below). The controls outline that the appropriate pathway depends on whether the proposed development triggers the Biodiversity Offset Scheme (BOS) under the Biodiversity Conservation Act or not.




Section 4.2 of this Town Planning Report confirms that the Biodiversity Offset Scheme is not triggered by the proposed development.

*DCP 2014 Chapter B2 – Preservation of Trees and Other Vegetation*

Chapter B2.1.3 provides that this Chapter applies to prescribed trees and other vegetation on land to which Byron LEP 2014 applies. An inspection of the site confirms that the land is free from any regrowth or landscape species other than a single street tree that is proposed to be repositioned within the road reserve (refer to separate application under Section 138 of the Roads Act 1993).

Chapter B3.2.3 – Stormwater Management

Stormwater drainage has been designed by a practicing engineering consultant to meet the requirements of Chapter B3.2.3. Roofwater from the proposed dwellings will be collected in rainwater tanks in accordance with BASIX requirements. Stormwater from tank overflow is to be disposed to a lawful point of discharge the rear of the site (via an infiltration trench). Refer to details within the Annexures of this Town Planning Report.

*DCP 2014 Chapter B4.2.5 – Car Parking Requirements*

Chapter B4.2.5 refers to Table B4.1 for car parking provision for certain development. Medium density development is required to meet the following provisions:

| | |
|---|---|
| ***Medium density housing*** *including* ***multi dwelling housing, residential flat buildings*** *and* ***shop top housing*** | 1 space per 1 or 2 bed unit, 2 spaces per 3 or more bed unit, 1 visitor space per 4 ***dwellings*** or part thereof. Each ***dwelling*** to have at least one covered car space.<br><br>Where ***dwellings*** are designed with studies/ offices and other areas capable of being utilised as separate sleeping quarters these will be counted as bedrooms. |

Adequate area is available within the allotment to park vehicles associated with the proposed development. Each dwelling house contains two bedrooms and is accompanied by a single-vehicle garage. As the development comprises less than 4 dwellings, a visitor parking space has not been provided within the property. This is consistent with other similar developments approved by Byron Shire Council within Mullumbimby and Ocean Shores. Sufficient area has been provided to allow vehicles to enter and exit the site in a forward direction.

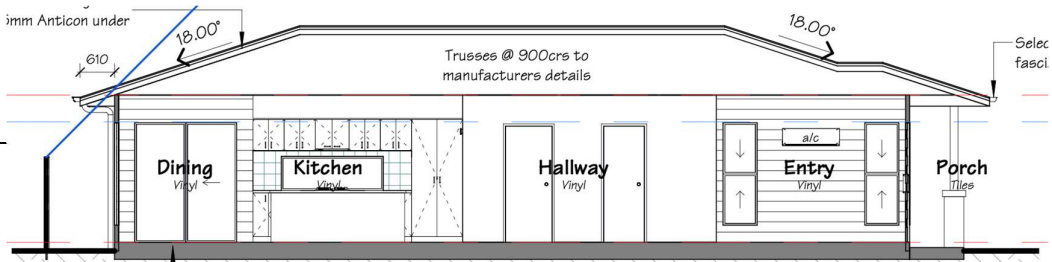
*Chapter B9 – Landscaping*

The development plans provide an indication of the proposed landscaping within the site. New plantings are proposed within the front setback area adjacent to the proposed driveway and garbage bin storage area. In addition, single trees are proposed adjacent to the garage areas of each dwelling. The majority of the undeveloped spaces will be retained as grassed yard areas for use by the dwelling occupants. At least 85 square metres of landscaped area is provided per dwelling.

Although at least 75% of the total common landscaped area of the site must consist of deep soil areas (per Chapter B9.4.2), it is not proposed to provide excessive plantings that would reduce usable yard areas. Given the small scale of the proposed plantings, it is requested that a condition is applied to the development consent requiring a detailed landscape plan to be provided (generally consistent with the conceptual arrangement) as part of the Construction Certificate submission.

*Chapter D1.2.1 – Building Height Plane*

The development proposes a minor encroachment into the building height plane for the eave of Dwelling A as depicted in the image below:



A variation to the prescriptive measures is requested for the reasons discussed below.

The objectives of Chapter D1.2.1 are as follows:

- To ensure that residential development is designed to minimise impacts on solar access and privacy on adjoining properties, and on the views from adjacent existing buildings.
- To ensure that the occupants of the building or buildings will enjoy the optimum use of winter sunlight and summer shade.

The proposed dwelling A is designed to minimise impacts on solar access and privacy for the adjoining property. In this regard, the building is single-storey, presents a setback of 1150mm to the western property boundary and includes a hip roof design to reduce bulk at the boundary. Further, the adjoining property to the west sits higher than the subject land.

The dwelling is designed to afford optimum solar access to the primary living areas at the eastern end of the building. Additionally, the dwelling enjoys a 4.16m setback to the northern property boundary to maximise afternoon sunlight.

The Performance Criteria of Chapter D1.2.1 are as follows:

- Developments must be set back progressively from the site boundaries as height increases so that they do not adversely affect existing or future development on adjoining properties by way of overshadowing, impinging on privacy or obstructing views.
- Developments must be designed so that they will promote energy efficiency and so that residents may enjoy optimum use of winter sunlight and summer shade.
- Development applications must demonstrate that the windows of living areas (decks, living rooms, bedrooms, kitchens, etc.) of development on adjoining properties will, as a minimum, retain full solar access between the hours of 9.00am to 3.00pm on any day.

The proposed dwellings are all single-storey and generally comply with the building height plane. The minor encroachment into the prescriptive building height plane will not result in adverse overshadowing on adjoining allotments. Primary living areas are orientated to the north to maximise solar access. The privacy and

views of neighbouring properties are not unfavourably compromised.

Given the acceptable effects of the proposal having regards to the provisions of Chapter D1.2.1, a variation to the prescriptive measures is considered to be justified in this case.

*Chapter D1.2.2 – Setbacks from Boundaries*

The proposed buildings predominantly comply with Council's prescribed boundary setbacks, with the exception of Dwelling A presenting a side setback of 1.15m in lieu of the prescribed 1.5m and Dwelling C presenting a front setback of 4.34m in lieu of the prescribed 4.5m. Additionally, the setback between buildings averages 2.27m in lieu of the prescribed 3m separation distance.

An inspection of the site confirms that the proposal does not compromise the objectives and performance criteria under Chapter D1.2.2 as discussed below:

**Objectives**

1. *To achieve varied and interesting streets that complement and harmonise with existing and planned streetscapes and development in the locality.*

The proposal presents a graded setback due to the curved frontage and integrates landscaping elements to complement and provide variation in the streetscape.

2. *To achieve good orientation and spacing of residential developments that achieve high quality living environments relative to sunlight, shade, wind and weather protection, residential amenity and proximity of neighbouring development.*

The proposal achieves good orientation to optimise solar access, microclimate and to provide a high quality living environments and residential amenity. Neighbouring development will not be adversely affected by the minor reduction in the boundary setbacks.

3. *To achieve effective use of **allotments** to create useable and liveable private open space and courtyards.*

The proposed minor dispensations to the prescribed boundary setbacks make effective use of the premises and assist in creating liveable open spaces and courtyards.

4. *To provide flexibility in siting and design of **dwelling house** development in urban residential areas.*

It is noted that the objective promotes flexibility with regards to setback controls.

5. *To ensure that development in residential areas seeks to minimise any negative impacts on neighbours caused by siting.*

The proposed dwellings predominantly comply with the prescribed boundary setback distances. Despite encroaching into the prescribed side setback area for dwelling A, the building complies with the setback distance for an individual dwelling house (900mm) and dwellings B & C exceed the prescribed setback distance.

A minor dispensation into the front setback control is proposed for the south-western corner of Dwelling C. In addition, Dwelling A includes a small side boundary dispensation. However, nearby properties are not anticipated to be adversely affected as a result of the minor setback encroachments.

**Performance Criteria**

1. **Setback** requirements may be flexible provided they are demonstrated to achieve the above Objectives and Performance Criteria.

It is noted that the performance criteria promote flexibility with regards to setback controls.

2. The street façade of a building, and any open space between it and the street must contribute to the general attractiveness of the streetscape by means of good design, appropriate materials and effective landscaping. A reasonable degree of integration with the existing pattern of **setbacks** must be balanced with the need to provide variety in the streetscape.

The proposed dwelling contributes to the general attractiveness and variety of built form within the streetscape. The building provides for a variable pattern of setbacks within Tuckeroo Avenue. Vegetation plantings at the front property boundary contribute to the general attractiveness of the streetscape, while softening the built form of the development at the frontage.

3. Private open space and common landscaped areas of the site must be useable as part of the living environment available for the occupants of the development. Council will discourage the provision of bare spaces between buildings and the street which are unusable because they lack privacy, or because they are inappropriately planned or treated for climate control.

The proposal includes sufficient useable private open space at the development site.

4. The **setback** from a street frontage for a building that is part of a residential development will be determined on its merits, having regard to:
a) the Objectives;
b) any provisions of this DCP applying to the specific location;

c) the position of any existing buildings in the locality;
d) the size and shape of the **allotment**;
e) the effect on vehicular safety and visibility, particularly on corner sites;
f) the orientation of the **allotment** and the proposed **dwelling** with regard to the sun and prevailing winds;
g) the proposed location of any private open space, courtyard or landscaped areas;
h) the facade of the proposed building or buildings which will face the street and the proposed landscape treatment of that part of the **allotment** which is visible from the street;
i) the location and treatment of any car parking areas or car parking structures on
the site.

These matters are discussed above.

4. Notwithstanding any of the above criteria, buildings must comply with the **building height plane** as detailed in Section D1.2.1.

The proposal presents a minor encroachment into the building height plane which are discussed above.

5. **Dwelling house** development may be permitted to encroach into the side **setback** and **building height plane** where it enhances the design of buildings, complements the streetscape and does not adversely affect privacy, solar access, microclimate, traffic safety or amenity of adjoining development.

The proposal does not adversely affect adjoining properties by way of affecting privacy, solar access, microclimate, traffic safety or amenity.

7. When considering applications for variations to minimum **setbacks** nominated below in the Prescriptive Measures, Council will have regard to:
a) the Objectives;
b) compliance with the Performance Criteria;
c) the visual impact of the variation on the streetscape;
d) the impact of the variation on the amenity, privacy, views and access of surrounding properties;
e) the existing and future status of the road;
f) potential traffic impacts and required sight lines as per AS2890; and
g) compliance with the Building Code of Australia.
8. The Development must seek to minimize any impacts on neighbouring properties through considerate siting and design.

A review of the site confirms that the proposal satisfactorily meets the above considerations. A request to vary Council's

development controls is made as part of this Statement of Environmental Effects.

*Chapter D1.2.4 – Character and Visual Impact*

The proposed development has been designed so that it does not present as three dwellings to the street. The proposed dwellings are to be constructed of modern materials and are to be enhanced with native landscaping. The eastern elevation of each dwelling (visible from the access driveway) include variety in their built form.

Single and double-storey dwellings are scattered throughout the locality. The new development incorporates a modern design that complements existing buildings within the locality. The proposed multi dwelling development does not adversely compromise the character with existing development in the locality.

*DCP 2014 Chapter D1.2.5 – Fencing*

The proposal does not exceed the maximum fence provisions of Chapter D1.2.5.

*DCP 2014 Chapter D1.6 – Multi Dwelling Housing*

*DCP 2014 Chapter D1.6.1 – Private Open Space Courtyards*

This development control requires each dwelling to have access to an individual courtyard at ground level having a minimum area of 30 square metres and a minimum length and width each of 4 metres (not including any area used exclusively for the circulation or parking of vehicles). The courtyard must be designed to facilitate access to winter sunshine and must be landscaped. The attached development plans show courtyard/private open space areas on the northern side of Dwelling A and on the eastern and western sides of Dwellings B and C. it is noted that the private open space areas are located within easement areas. However, lightweight fencing is permitted within these easements per Council Policies and Planning for Bush Fire Protection 2019. The development plans demonstrate that the proposal meets the requirements of Chapter D1.6.1.

*DCP 2014 Chapter D1.6.2 – Open Space Balcony*

This provision is only activated when it is not possible to allocate private open space at ground level.

*DCP 2014 Chapter D1.6.3 – Landscaping*

Chapter B9 of DCP 2014 requires landscaping within multi dwelling development to be provided in accordance with the table below:

| Dwelling[D] Size | Landscaped Area[D] |
|---|---|
| Small (under 55 $m^2$ in floor plan area[D]) | 50 $m^2$ |
| Medium (55-85 $m^2$ in floor plan area[D]) | 70 $m^2$ |
| Large (over 85 $m^2$ in floor plan area[D]) | 90 $m^2$ |

The development plans provide at least 90 square metres of landscaped area per dwelling. Refer also to comments under Chapter B9 above.

*DCP 2014 Chapter D1.6.4 – On-Site Car Parking*

The proposal provides adequate parking requirements in accordance with the requirements of Chapter D1.6.4. Refer to comments above under Chapter B4.2.5.

*DCP 2014 Chapter D1.6.5 – Sound Proofing*

No common walls are proposed in the development.

*DCP 2014 Chapter D1.6.6 – Clothes Drying Facilities*

The minimum provision of clothes drying facilities must be at the rate of 7.5 metres of line per dwelling, located in suitably screened external drying areas. Sufficient space is available adjacent to each dwelling to provide external drying areas.

*DCP 2014 Chapter D1.6.7 – Equity of Access and Mobility*

Chapter D1.6.7 and B13 of DCP 2014 include the following prescriptive measure:

> *A minimum of 10% of units, rounded up to the nearest whole number should be adaptable housing.*

Adaptable housing is defined within the Development Control Plan as "housing that is designed in such a way that it can be modified easily in the future to become accessible to both occupants and visitors with disabilities or progressive frailties".

It is submitted that it is unreasonable in this case to require one of the proposed units to comprise an adaptable housing design when only three dwellings are proposed as part of the development. It is understood that the adaptable housing requirements are applied when a larger number of dwellings are proposed within a development site. It is requested that a variation be applied in this case.

*DCP 2014 Chapter D1.6.8 – Pipes and Vents*

All pipes and vents will be concealed.

*DCP 2014 Chapter D1.6.9 – TV Antennae*

The proposal comprises three detached dwellings. Each will have its own television antenna.

Chapter B3 – Services

Chapter B3.2.1 – Provision of Services

Refer to comments under Clause 6.6 of Byron Local Environmental Plan 2014.

### 4.3.4 Section 4.15(1)(b) The likely Impacts of the Proposed Development

In assessing the subject proposal, Council must consider the likely impacts of the development, including environmental impacts, on both the natural and built environments, and social and economic impacts in the locality.

This Section of the Statement of Environmental Effects indicates the following matters, where relevant to the proposal:

(a) the environmental impacts of the development,
(b) how the environmental impacts of the development have been identified,
(c) the steps to be taken to protect the environment or to lessen the expected harm to the environment.

The following actions were applied to assist in identifying potential impacts from the proposed development:

- An inspection of the site on 20 June 2022.
- Review of aerial photography to identify vegetation cover and the position of development within the site and surrounding properties.
- Review of environmental planning tools including vegetation mapping, koala habitat mapping, BDAR mapping, stream mapping, constraints mapping and zoning mapping.
- Review of historic planning approvals to confirm existing and past land uses within the site and adjoining properties.

<u>Economic Impacts</u>

The proposal is likely to result in positive economic impacts within the construction industry. The proposed development will engage multiple tradespersons over approximately 8 months of construction.

<u>Noise, Social and Amenity Impacts</u>

The proposed development does not include any uses that will create significant noise or amenity issues for neighbouring properties in the long term. Surrounding properties are allocated for residential land uses. The proposed development has been designed in consideration of Byron Shire Council's development control requirements to reduce impacts on neighbouring properties. The development is compatible with the existing

residential uses surrounding the site. The proposal is a reasonable approach to infill development within the large residential property. The new dwellings will support the affordable housing market that is increasing in demand in Mullumbimby.

Impacts on the Built Environment

The proposed development presents an appropriate density on the premises as determined by Byron Local Environmental Plan 2014. The development includes modern materials and finishes that complement existing buildings in the locality. The eastern facades have been designed with variation to improve the built form. The single storey development does not raise any significant impacts on the built environment.

Impacts on Traffic and Car Parking

The proposed development will include on-site parking for each dwelling in accordance with Council's requirements. Tuckeroo Avenue has sufficient capacity to accommodate additional traffic movements to the site.

Impacts on the Natural Environment

Removal of native vegetation is not required to facilitate the building works. New landscape plantings are proposed as part of the development. Details are provided within the development plans prepared. The proposal is not likely to have significant impacts on the natural environment.

Impacts on Cultural Heritage

A search conducted through the Aboriginal Heritage Information Management System indicated that no Aboriginal sites are recorded in or near the site and that no Aboriginal places have been declared in or near the site. The site is not known to have any European cultural heritage significance. Accordingly, the proposal is not likely to have adverse impacts on cultural heritage.

### 4.3.5 Section 4.15(1)(c) Suitability of the Site for the Proposed Development

The development site comprises a 1,074 square metre allotment located within a new release residential area of Mullumbimby. The land is located within the R2 Low Density Residential Zone under Byron Local Environmental Plan 2014.

The allotment is currently a greenfield site devoid of significant vegetation. The land is gently sloped and adjoins residential lots. Sufficient area is available to construct a multi dwelling housing development without adverse impacts on surrounding properties.

The site has street frontage to allow for vehicular access and supply of essential services. The property is not affected by bush fire constraints, flooding or potential acid sulfate soils. The site is assessed as being suitable for the proposed development.

### 4.3.5 Section 4.15(1)(e) The public interest

The development proposal is generally consistent with Byron Shire Council's development controls and presents additional housing options for the community. The small scale, low maintenance designs of the new homes promotes affordable housing in the Mullumbimby catchment. The approval of the proposed development is considered to be in the public interest.

# 5.0 Conclusion

The proposal comprises the construction of three detached dwellings to create a multi-dwelling housing development within the subject site. The proposed development has considered the requirements of Byron Local Environmental Plan 2014 and Byron Development Control Plan 2014.

The proposed development is permitted with the consent of Council within the R2 Low Density Residential Zone. It is consistent with the objectives of the zone and does not detract from the surrounding residential land uses. The proposed development can be carried out within the site with minimal impact on the natural and built environments.

The site is over 1,000 square metres in area and is clear of significant vegetation. Suitable vehicle access can be provided from Tuckeroo Avenue in accordance with Byron Shire Council controls. Drainage can be disposed of to a lawful point of discharge. The land is not encumbered by environmental constraints and is capable of accommodating the development without compromising easements and/or infrastructure. Accordingly, the site is considered to be suitable for the development proposed.

The proposal includes only minor variations to Council's development controls. Small encroachments into the building height plane and setback provisions are justified as no significant impacts on streetscape, views, solar access or privacy will result. The development provides an affordable housing option to benefit the Mullumbimby community. The social benefits of the development outweigh the small non-compliances with Byron Development Control Plan 2014.

This report addresses the matters for consideration under Section 4.15 of the Environmental Planning and Assessment Act 1979 and relevant planning instruments. It is considered that sufficient information has been provided to assess the proposal as a Development Application in light of the issues identified. However, please advise the Applicant should further information be required to address any issues that may arise during assessment.

• • • • • • • • •

Joe Davidson

# Annexure A

Concept Stormwater Design

# Engineering Design Note
# Stormwater Management

**Stormwater Management Plan**
**Lot 161 Tuckeroo Avenue**
**Mullumbimby, NSW**

Our Reference: 220324

Date: July 2022

## Introduction / Background

Newton Denny Chapelle has been engaged to prepare a stormwater management plan for the proposed multi-unit development at Lot 161 Tuckeroo Avenue, Mullumbimby. The proposed allotment forms part of Stage 7 of the Tallowood Estate (refer Figure 1) with the lot yet to be registered.

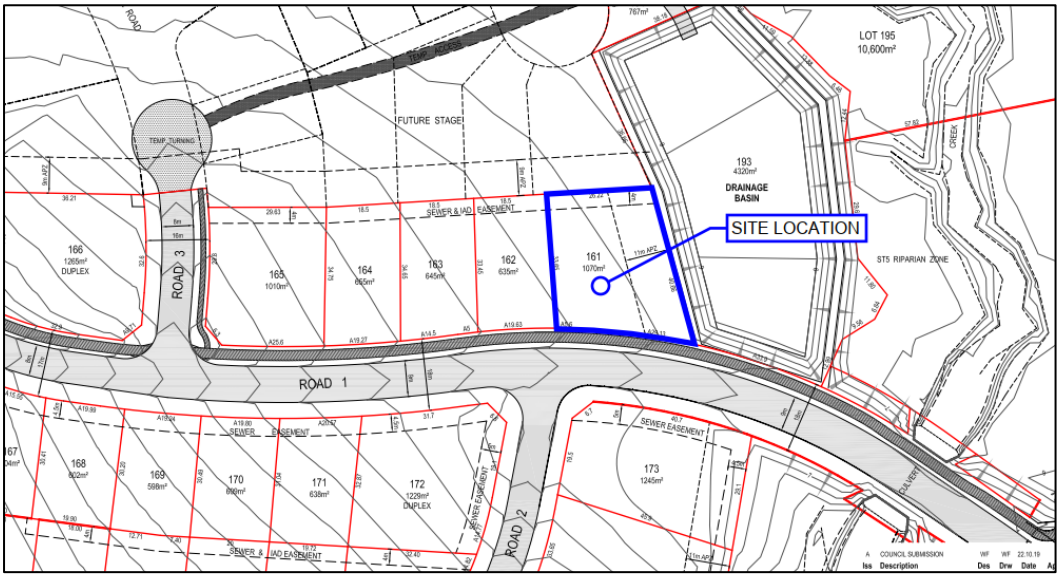



**Figure 1 - Site Location (Source: CivilTech Drawing 1002-SP7 A)**

The site is approximately 1,070m² in size and generally drains to the North East corner of the site.

## Proposed Development

The proposed development involves the construction of three freestanding dwellings with access from a common driveway along the eastern side of the site (refer Figure 2).

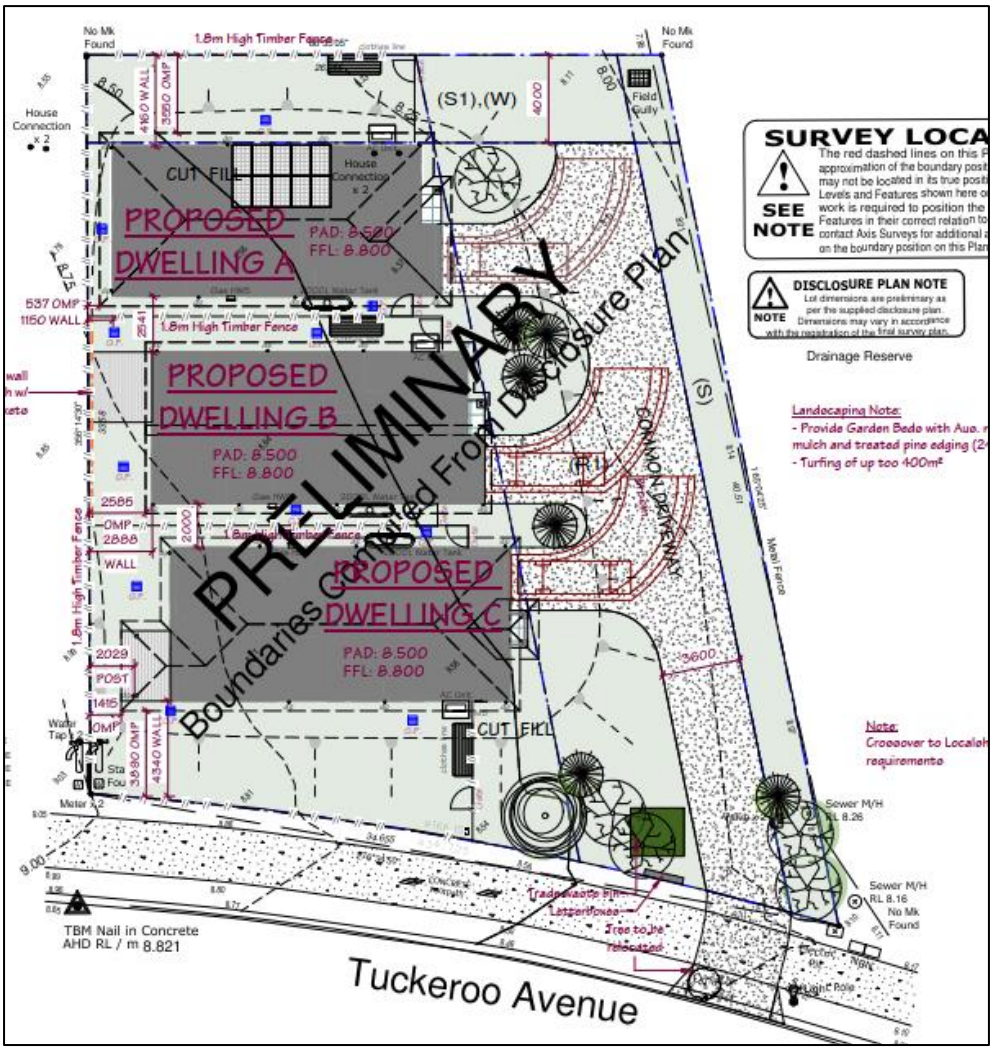



**Figure 2 - Proposed Development Layout (Source: Stroud Homes Site Plan 2102773)**

## Lawful Point of Discharge

The lawful point of discharge has been identified as the IAD pit located in the north east corner of the site.

## Tallowood Ridge

A review of the Stormwater Management Plan prepared by CivilTech Engineers (dated 22 February 2020) has been undertaken to determine what allowance has been made for developing the site as part of the underlying subdivision. The subject site forms part of the southern catchment draining to Basin 1, refer Figure 3:

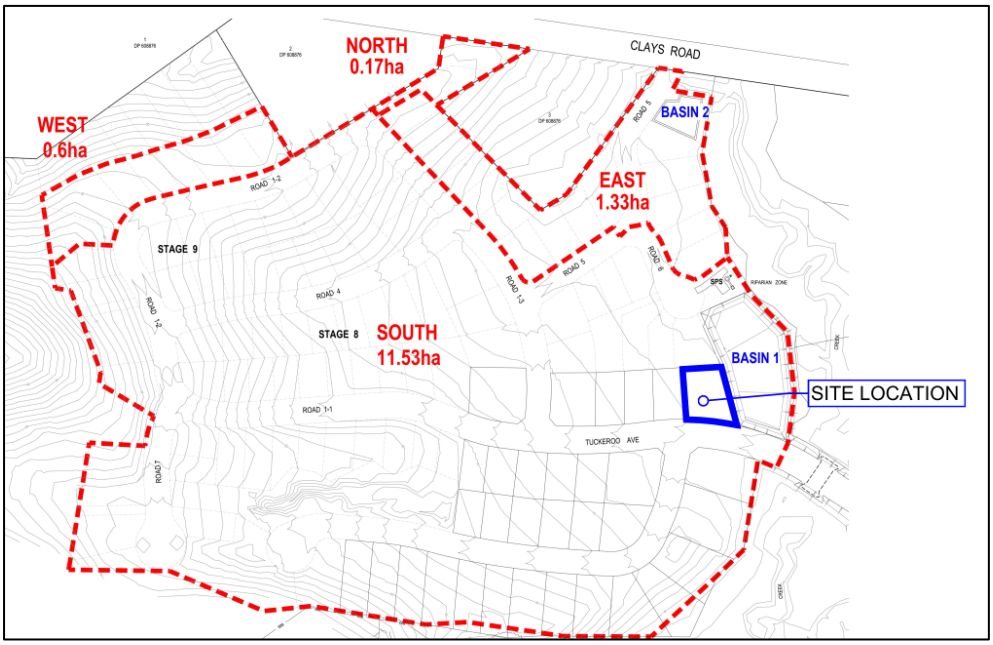



**Figure 3 - Tallowood Ridge Catchment (Source: Fig 3 CivilTech SWMP)**

The SWMP outlines that an allowance of 55% Pervious and 45% Impervious has been made for the MUSIC and Drains modelling of the southern Catchment.

## Stormwater Catchments

The following catchment areas have been calculated for the site:

| Catchment Type | Area (m²) |
|---|---|
| Roof – Impervious | 385 |
| Driveway – Impervious | 195 |
| Pervious | 490 |
| **Total:** | **1070** |

Based on the above catchment areas the site is considered to be 46% Pervious and 56% Impervious. This is an increase of 11% or 118m² above what has been allowed for in the underlying subdivision.

## Stormwater Attenuation

Section 6.1 of the *Byron Shire Comprehensive Guidelines for Stormwater Management* states that OSD is not required where:

- The site is located within a catchment within which a regional detention structure has been provided for the ultimate development of the catchment
- Where the total increase in impervious area is less than 150m²

As the site drains to a regional detention basin (immediately adjacent to the eastern boundary) and the proposed development results in an increase less than 150m² (above that already allowed for the site), it is not proposed to provide additional attenuation for the site.

## Stormwater Quality

The stormwater quality modelling (MUSIC) for the underlying subdivision requires a 2,000l BASIX tank for each site. The *Byron Shire Development Control Plan 2014, Chapter B3-Services* requires that key pollutants (TSS, TP and TN) are addressed for low density residential development. As the site is under 2,500m² no prescriptive reduction measures are required.

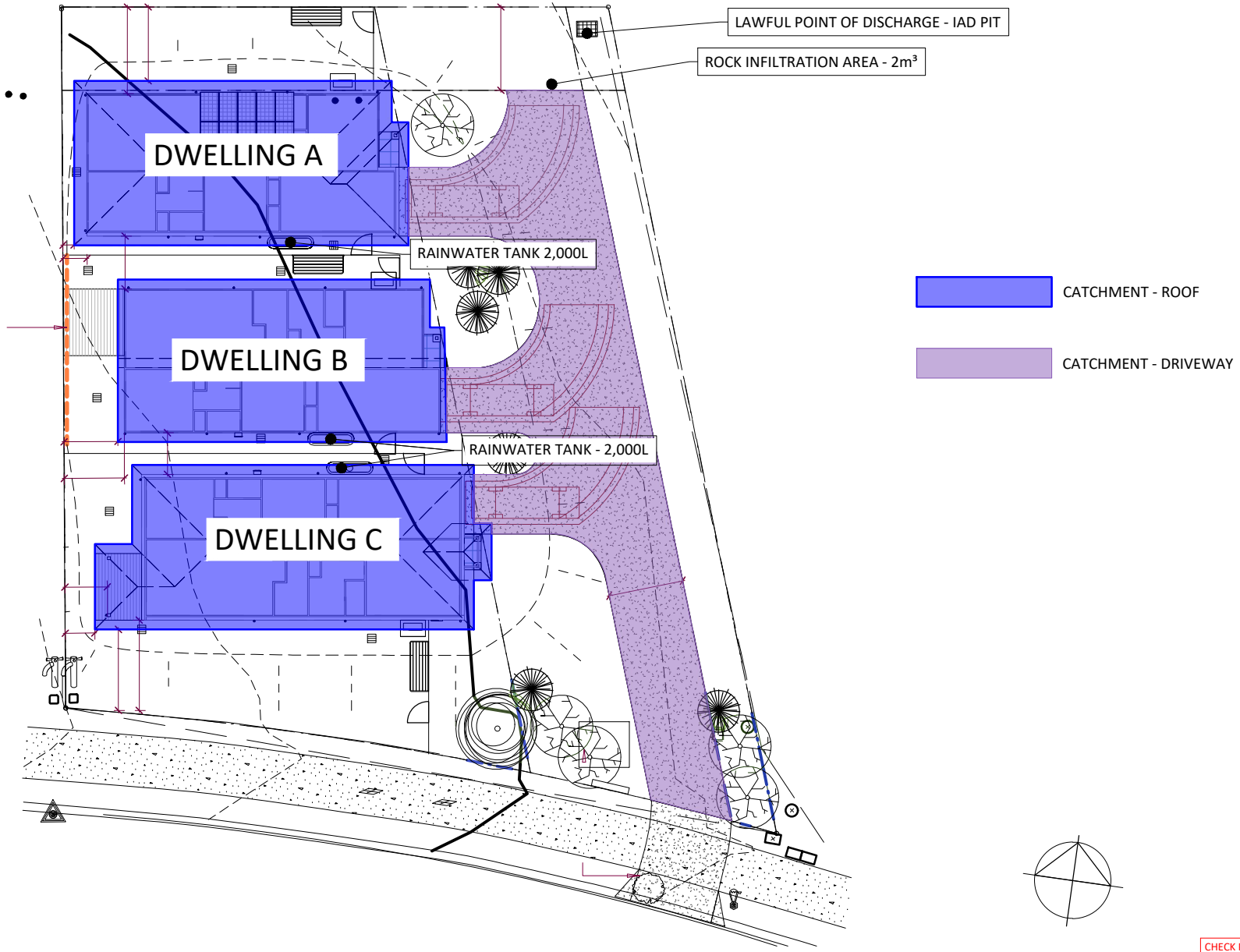
It is proposed to capture and treat the first 'first flush' (25% of the 1 year ARI storm events) in accordance with the recommendations of the DCP. The first flush volume calculations are attached and are summarised below:

| Area | Storage Volume Required |
|---|---|
| Roof (per unit) | 0.375m³ |
| Driveway | 0.55m³ |

In addition to the 2,000l BASIX tank required by the CivilTech SWMP a total of 6,000l (2,000l per dwelling) of BASIX storage will be provided for the site. These tanks will provide first flush ftorage for the dwelling roof areas. Runoff from the driveway will also be directed to a rock infiltration area sufficient to capture the first flush flows.

**Attachments:**

Stormwater Catchment Plan – 220324-00-DA-SW-01




CHECK PRINT - INCOMPLETE REVISION
THIS DRAWING HAS NOT BEEN CHECKED OR VERIFIED AND MUST NOT BE RELIED UPON

FOR APPROVAL

| REV | DESCRIPTION | BY | APP. | DATE |
|---|---|---|---|---|
| A | FIRST ISSUE | | | |

REVISIONS

A3 SIZE ORIGINAL DRAWING
0 2 4 6
1:200
SCALE (m) A3

SCALES

| | | | |
|---|---|---|---|
| HORIZ. DATUM | ARCH DRG | DRAWN | |
| PROJECTION | | CHECKED | |
| MERIDIAN | | DESIGN | |
| VERT. DATUM | | CHECKED | |
| VERT. ORIGIN | | APPROVED | |
| SURVEYED BY | ARCH DRG | CERTIFICATION | |
| SURVEYED DATE | | DATE | |

SURVEY DATA

APPROVALS

Newton Denny Chapelle
Surveyors Planners Engineers
Lismore
Phone | 02 6622 1011
Email | office@ndc.com.au

Client
JAMES STOKES

Site
LOT 161
TUCKEROO AVENUE
MULLUMBIMBY

# STORMWATER CATCHMENT PLAN

| Reference No. | DRAWING No. | REVISION |
|---|---|---|
| 220324 | 220324-00-DA-SW-01 | A |

Plot Date: 13 Jul, 2022 CAD File Name: K:\Jobs\2022\20324 - James Stokes C CM\Engineering\Drawings\220324-00-DA-SW-01.dwg

NDC_DETAIL_L_A3

THIS PLAN IS NOT FOR CONSTRUCTION UNLESS STAMPED BY THE PRINCIPAL CERTIFYING AUTHORITY AND ISSUED WITH A NUMERICAL REVISION

NEWTON DENNY CHAPELLE

# Annexure B

Development Plans

QBCC 1153526
ReziCAD PTY LTD
BUILDING DESIGN
www.rezicad.com // drafting@rezicad.com // (07) 3363 8188

Proposed Residence

# James Stokes

Site Address

# Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482

| Working Drawing | |
|---|---|
| 01 | Cover Page |
| 02 | Notes |
| 03 | Safety |
| 04 | Site Plan |
| 05 | Dwelling A Floor Plan |
| 06 | Dwelling B Floor Plan |
| 07 | Dwelling C Floor Plan |
| 08 | Elevations All Dwellings |
| 09 | Elevations Dwelling A |
| 10 | Elevations Dwelling B |
| 11 | Elevations Dwelling C |
| 12 | Section |

| Working Drawing | |
|---|---|
| 13 | Elec. Floor Plan |
| 14 | Dwelling A & B Joinery |
| 15 | Dwelling A & B Joinery |
| 16 | Dwelling C Joinery |
| 17 | Dwelling C Joinery |
| 18 | Slab Set Out Plan A |
| 19 | Slab Set Out Plan B |
| 20 | Slab Set Out Plan C |
| 21 | Driveway Detail |
| 22 | Standard Details |
| 23 | Bath Hob Details |
| 24 | Driveway Details |
| 25 | Driveway Details 2 |

**3D views are indicative only.**
**Details, features & trims may not form part of the specification & contract.**

PRELIMINARY DRAWINGS - NOT FOR CONSTRUCTION

| LICENCE | DATE |
|---|---|
| 1153526 | 28/4/21 |
| SITE No. 2102773 | SHEET No. 01 of 25 |

## NOTES

1. THE NCC & RELEVANT AMENDMENTS AND UPDATES, INCLUDING THE STANDARDS ASSOCIATION OF AUST. (AS.) CODES SHALL BE THE MINIMUM STANDARDS FOR COMPLIANCE.

2. CHECK ALL DIMENSIONS OF SITE AND BUILDING(S) SETOUT PLANS AND CHECK AGAINST SURVEYORS SITE SETOUT. CLARIFY ANY DISCREPANCY TO NOTED DIMENSIONS OR OFFSETS PRIOR TO CONSTRUCTION OF ANY WORK. ENSURE SURVEYORS WORK RELATES TO CURRENT SITE FIELD WORK AND NOT COMPLIED VIDE TITLE.

3. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS.

4. CHECK HYDRAULIC AND MECHANICAL PLANS FOR SETOUT AND SIZING OF SERVICE DUCT(S) WHERE APPLICABLE.

5. CO-ORDINATE ALL CONSULTANTS DOCUMENTS AND BRING ANY DISCREPANCIES TO THE ATTENTION OF THE RELEVANT CONSULTANT(S) PRIOR TO THE CONSTRUCTION OF THAT PART OF THE WORKS.

6. CHECK ON SITE - OPENINGS BEFORE FABRICATION OF DOORS, WINDOWS & ANY OTHER FIXTURES. GIVEN SIZES ARE FOR QUOTATION PURPOSES ONLY AND MUST BE CONFIRMED ON SITE.

7. CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT CONFIRM WITH THE RELEVANT CONSULTANT.

8. REFER SPECIFIC CONDITIONS OF BUILDING APPROVAL FOR ANY ADDITIONAL REQUIREMENTS.

9. ENSURE DOORS TO SANITARY COMPARTMENTS COMPLY WITH THE NCC 3.8.3.3. AND HAVE EITHER :
(a) OPEN OUTWARDS; OR
(b) SLIDE; OR
(c) BE READILY REMOVABLE FROM THE OUTSIDE OF THE COMPARTMENT, UNLESS THERE IS A CLEAR SPACE OF AT LEAST 1.2 M, MEASURED IN ACCORDANCE WITH FIGURE 3.8.3.3, BETWEEN THE CLOSET PAN WITHIN THE SANITARY COMPARTMENT AND THE DOORWAY.

10. ALL AREAS UNDER BUILDING WORK TO BE PROTECTED FROM TERMITE ATTACK IN ACCORDANCE WITH AN APPROVED METHOD UNDER AS.3660.1

11. STEEL FRAMING SHALL BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATION

## AUSTRALIAN STANDARDS

ALL WORKMANSHIP AND MATERIALS SHALL COMPLY WITH RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE CURRENT BUILDING ACT.

ALL STEEL FRAMING TO COMPLY WITH AS 4100-1998. ALL BRACING AND TIE-DOWN OF FRAMING TO COMPLY WITH AS 1170.2-2002.

SMOKE ALARMS TO COMPLY WITH B.C.A. CLASS 1&10 PART 3.7.2 AND WITH A.S. 3786.

ALUMINIUM FRAMED, GLAZED JOINERY SHALL BE INSTALLED IN ACCORDANCE WITH A.S.1288 "INSTALLATION OF GLASS IN BUILDINGS"

WET AREAS SHALL BE WATERPROOFED IN ACCORDANCE WITH AS.3740 "WATERPROOFING OF WET AREAS WITHIN RESIDENTIAL BUILDINGS"

AREAS OF BUILDING TO BE TERMITE PROTECTED SHALL BE DONE SO IN ACCORDANCE WITH AS.3660.1 "PROTECTION OF BUILDING FROM SUBTERRANEAN TERMITES" PART 1:NEW BUILDINGS.

## SUSTAINABLE BUILDING

CONSTRUCTION MUST BE IN ACCORDANCE WITH CURRENT ISSUE OF QDC MP4.1

## ENERGY EFFICIENT LIGHTING

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS IN CLASS 2 BUILDINGS. ENERGY EFFICIENT LIGHTING INCLUDES FLUORESCENT AND COMPACT FLUORESCENT LIGHTS. IT DOES NOT INCLUDE INCANDESCENT OR HALOGEN LIGHTS. COMPLIANCE IS ACHIEVED WHEN ENERGY EFFICIENT LIGHTS ARE USED FOR ABOUT 80% OF THE TOTAL FLOOR AREA OF THE BUILDING OR SOLE-OCCUPANCY UNIT. (FLOOR AREA MEANS THE AREA OF A ROOM MEASURED WITHIN THE FINISHED SURFACES OF THE WALLS, AND INCLUDES THE AREA OCCUPIED BY ANY CUPBOARD OR OTHER BUILT IN FURNITURE, FIXTURE OR FITTING) THIS AREA INCLUDES ASSOCIATED GARAGES.

WHERE PART OF A HOUSE IS LIT BY MORE THEN ONE LIGHT SOURCE, AND ONE MORE OF THOSE LIGHT SOURCES IS NOT DEEMED TO BE EFFICIENT LIGHTING, THEN THAT PART OF THE HOUSE IS NOT CONSIDERED TO HAVE EFFICIENT LIGHTING, AND THEN THEREFORE DOES NOT QUALIFY TOWARDS THE 80% EFFICIENT LIGHT REQUIREMENT.

## HOT WATER SUPPLY

IN A NEW CLASS 1
A SUITABLE HOT WATER SYSTEM INCLUDES:
A) A GAS HOT WATER SYSTEM WITH A FIVE STAR ENERGY RATING: OR
B) A HEAT PUMP OR A SOLAR HOT WATER SYSTEM WHERE:
I) IN A BUILDING 3 OR MORE BEDROOMS , THE HOT WATER SYSTEM, MUST BE ELIGIBLE TO RECEIVE AT LEAST 22 RENEWABLE ENERGY CERTIFICATES; OR
II)IN A BUILDING WITH 1 OR 2 BEDROOMS THE HOT WATER SYSTEM MUST BE ELIGIBLE TO RECEIVE AT LEAST 14 RENEWABLE ENERGY CERTIFICATES.

## SHOWER ROSES

(TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS, OR WHERE THE BATHROOM OF THESE BUILDING RENOVATIONS. SHOWER ROSES TO BE 3 STAR RATING UNDER WATER EFFICIENCY LABELLING SCHEME (WELS) OR A AAA RATING WHEN ASSESSED AGAINST AS/NZ 6400:2005 WATER EFFICIENT PRODUCTS- RATING AND LABELLING.

## WATER PRESSURE LIMIT

(TO RETICULATED MAINS WATER SUPPLY AREAS ONLY)
THE MAXIMUM PRESSURE LEVEL OF WATER FROM ANY OUTLET WITHIN THE PROPERTY BOUNDARIES OF A NEW CLASS 1 BUILDING MUST NOT EXCEED 500KPA. COMPLIANCE CAN BE ACHIEVED THROUGH THE INSTALLATION OF A WATER PRESSURE LIMITING DEVICE IN LINE WITH THE WATER METER. WHERE IT IS KNOWN THAT THE PRESSURE LEVEL OF THE WATER SUPPLY DOES NOT EXCEED 500KPA, WATER PRESSURE LIMITING DEVICE IS NOT REQUIRED.

## DUAL FLUSH TOILETS

THIS APPLIES TO NEW CLASS 1 BUILDINGS AND SOLE-OCCUPANCY UNITS OF NEW CLASS 2 BUILDINGS OR WHERE TOILETS ARE REPLACED IN THE BATHROOMS OF THESE BUILDING CLASSIFICATIONS UNDERGO RENOVATIONS. A TOILET MUST HAVE A DUAL FLUSH CAPACITY THAT DOES NOT EXCEED 6 LITRES ON FULL FLUSH AND 3 ON HALF FLUSH.

CLIENT
James Stokes

DRAWING NAME
Notes

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

ReziCAD
BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
©Copyright 2022

| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 02 of 25 |

# THESE NOTES MUST BE READ AND UNDERSTOOD BY ALL INVOLVED IN THE PROJECT
# THIS INCLUDES (but not limited to): OWNER. BUILDER, SUB CONTRACTOR, CONSULTANTS, RENOVATORS, OPERATORS, MAINTAINERS, DEMOLISHERS.

## 1. FALLS, SLIPS, TRIPS

a) WORKING AT HEIGHTS

***DURING CONSTRUCTION***

- Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than two meters. However, construction of this building will require workers to be working at heights where a fall in excess of two meters is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two meters is a possibility.

***DURING OPERATION OR MAINTENANCE***

***For houses or other low-rise buildings where scaffolding is appropriate:***

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation

***For buildings where scaffold, ladders, trestles are not appropriate:***

- Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two meters is possible. Where this type of activity is required, scaffolding, fall barriers or Personal Protective Equipment (PPE) should be used in accordance with relevant codes of practice, regulations or legislation.

b) SLIPPERY OR UNEVEN SURFACES

***FLOOR FINISHES Specified***

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer or, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

***FLOOR FINISHES By Owner***

If designer has not not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable areas of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

***STEPS, LOOSE OBJECTS AND UNEVEN SURFACES***

Due to design restrictions for this building, steps and/or ramps are included in the building which may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard. Spills, loose material, stray objects or any other matter that may cause a slip or trip hazard should be cleaned or removed from access ways. Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

## 2. FALLING OBJECTS

**LOOSE MATERIALS OR SMALL OBJECTS**

Construction, maintenance or demolition work on or around this building is likely to involve persons working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toeboards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. Ensure that all persons below the work area have Personal Protective Equipment (PPE).

**BUILDING COMPONENTS**

During construction, renovation or demolition of this building, parts of the structure including fabricated steel work, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is a possibility. Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, that loads are properly secured and that access to areas below the load is prevented or restricted.

## 3. TRAFFIC MANAGEMENT

***For building on a major road, narrow road or steeply sloping road:***

Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

***For building where on-site loading/unloading is restricted:***

Construction of this building will require loading and unloading of materials on the roadway. Deliveries should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading/unloading areas.

***For all buildings:***

Busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

## 4. SERVICES - GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial Before You Dig), appropriate excavation practice should be used and, where necessary, specialist contractors should be used.

***Locations with underground power:***

Underground power lines MAY be located in or around this site. All underground power lines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

***Locations with overhead power lines:***

Overhead power lines MAY be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where there is a danger of this occurring, power lines should be, where practical, disconnected or relocated. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

## 5. MANUAL TASKS

Components within this design with a mass in excess of 25kg should be lifted by two or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass. All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur. Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacturer's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and Personal Protective Equipment should be used in accordance with manufacturer's specification.

## 6. CONFINED SPACES

**EXCAVATION**

Construction of this building and some maintenance on the building will require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. Where this is not practical, adequate support for the excavated area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

**SMALL PLACES**

***For buildings with small spaces where maintenance or other access may be required:***

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

**ENCLOSED SPACES**

***For buildings with enclosed spaces where maintenance or other access may be required:***

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and Personal Protective Equipment should be provided.

## 7. HAZARDOUS SUBSTANCES

**ASBESTOS**

***For alterations to a building constructed prior to 1990:***

If this existing building was constructed prior to:
1990 - it therefore may contain **asbestos**
1986 - it therefore is likely to contain **asbestos**
either in cladding material or in fire retardant insulation material. In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

**POWDERED MATERIALS**

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

**TREATED TIMBER**

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear Personal Protective Equipment including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

**VOLATILE ORGANIC COMPOUNDS**

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectants have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be carefully considered at all times.

**SYNTHETIC MINERAL FIBRE**

Fiberglass, rockwool, ceramic and other material used for thermal or sound insulation may contain synthetic mineral fibre which may be harmful if inhaled or if it comes in contact with the skin, eyes or other sensitive parts or the body. Personal Protective Equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

**TIMBER FLOORS**

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Personal Protective Equipment may also be required. The manufacturer's recommendations for use must be ca carefully considered at all times.

## 8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installations, excavations, plant or loose materials are present they should be secured when not fully supervised.

## 9. OPERATIONAL USE OF BUILDING

**RESIDENTIAL BUILDINGS**

This building has been designed as a residential building. If it, at a later date, it is used or intended to be used as a workplace, the provisions of the Work Health and Safety Act 2011 or subsequent replacement Act should be applied to the new use.

## 10.OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks at the Workplace, AS/NZ 3012 and all licensing requirements. All work using Plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the Workplace. All work should be carried out in accordance with Code of Practice: Managing Noise and Preventing Hearing Loss at Work. Due to the history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Safety

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 03 of 25 |

## GENERAL SITE NOTES:

1. Sewerage and/or septic to be in accordance with local by-laws and water & sewerage act Amendment Act.
2. Position of stormwater lines, downpipes, retaining walls, cut/fill embankments are approximate only and may vary to suit site conditions and the builder is to verify and adjust as required.
3. All cut/fill embankments, retaining walls shown and constructed are to comply with council policy & BCA housing provisions.
4. Stormwater pipes to be 90mm class 6 UPVC & laid in accordance with BCA housing provisions unless specified elsewhere. One 90mm UPVC pipe per 100 sqm of roof area laid to 1:100 min grade.
5. Pad cut to allow ground water to drain away from dwelling all round at 1:20 fall.
6. All boundary clearances and set out dimensions to be verified prior to commencement of work.
7. The builder is to verify all dimensions and levels on plan prior to commencement of the job as no responsibility is taken after work has commenced.

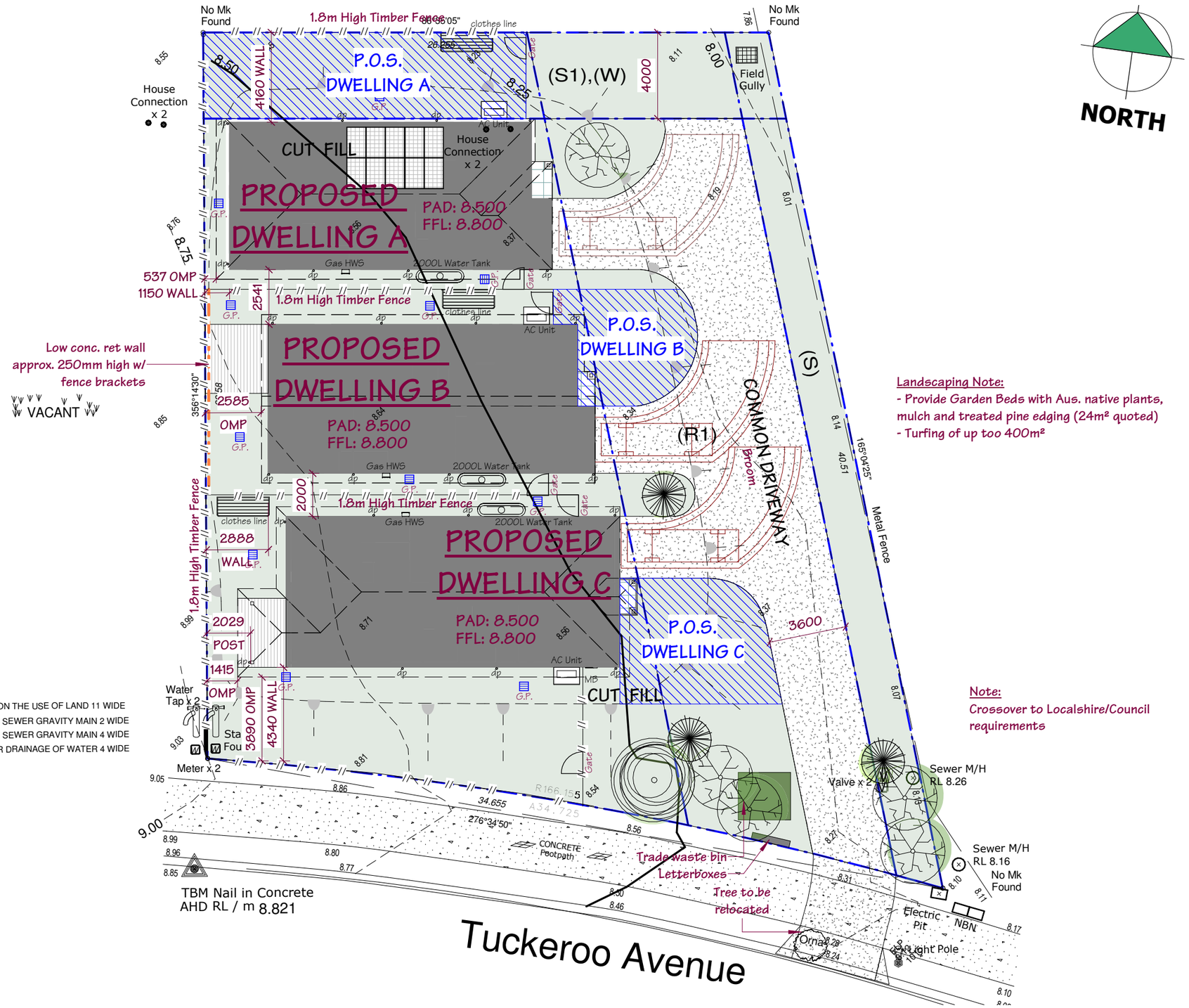
| | |
|---|---|
| Local Auth: | Byron S. C |
| Soil Class: | Assumed M |
| Site Cover: | 31% |
| Floor Space Ratio: | 0.221:1 |

**Proposed PAD Level:**

| | |
|---|---|
| PAD - | 8.500 |
| CUT - | 500 |
| FILL - | 250 |
| FFL - | 8.800 |

**Contour Survey:**
Contour Survey displayed on site plan has been completed by other consultants.

**Gully Pit:** G.P.




(R1) RESTRICTION ON THE USE OF LAND 11 WIDE
(S) EASEMENT FOR SEWER GRAVITY MAIN 2 WIDE
(S1) EASEMENT FOR SEWER GRAVITY MAIN 4 WIDE
(W) EASEMENT FOR DRAINAGE OF WATER 4 WIDE

**Landscaping Note:**
- Provide Garden Beds with Aus. native plants, mulch and treated pine edging (24m² quoted)
- Turfing of up too 400m²

**Note:**
Crossover to Localshire/Council requirements

| | | | |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |
| Rev | Revision Description | Date | By |

CLIENT
James Stokes

DRAWING NAME
Site Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 200 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 04 of 25 |

## NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- sp Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

**Note:**

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof

## External Floor Finishes

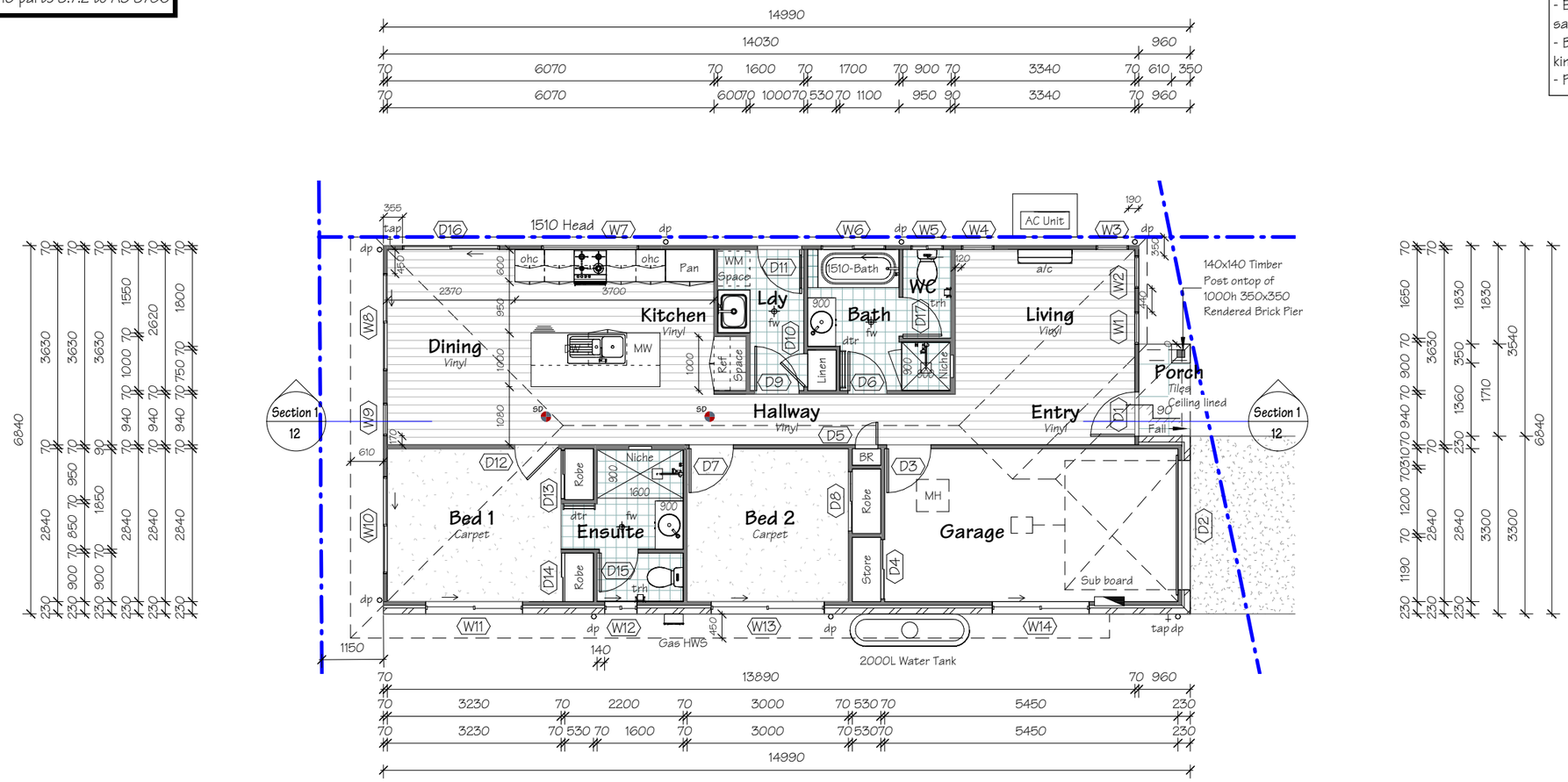
| Type | Area |
|---|---|
| Dwelling A | |
| External Tiled Slab | 1.64 |
| Dwelling B | |
| Decking on Conc. | 9.28 |
| External Tiled Slab | 1.28 |
| Dwelling C | |
| Decking on Conc. | 7.20 |
| External Tiled Slab | 1.37 |

## Internal Floor Finishes

| Type | Area |
|---|---|
| Dwelling A | |
| Carpet | 20.59 |
| Vinyl Flooring | 41.25 |
| Wet Area | 16.53 |
| Dwelling B | |
| Carpet | 39.28 |
| Vinyl Flooring | 82.20 |
| Wet Area | 31.93 |

## Proposed Areas

| Name | Area |
|---|---|
| Dwelling A | |
| Living | 80.6 m² |
| Garage | 18.5 m² |
| Porch | 1.6 m² |
| | 100.8 m² |
| Dwelling B | |
| Living | 83.3 m² |
| Garage | 18.5 m² |
| Porch | 1.3 m² |
| | 103.1 m² |
| Dwelling C | |
| Living | 89.3 m² |
| Garage | 19.2 m² |
| Alfresco | 7.2 m² |
| Porch | 1.4 m² |
| | 117.1 m² |
| Grand total | 321.0 m² |




## Door Schedule - Dwelling A

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 1 | Solid Core Entry Door | 2100 | 820 |
| 2 | Panel Lift Garage Door | 2100 | 2400 |
| 3 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 4 | Vinyl Slider | 2100 | 1100 |
| 5 | Hollow Core Internal Hinged Door | 2040 | 420 |
| 6 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 7 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 8 | Vinyl Slider | 2100 | 1100 |

## Door Schedule - Dwelling A

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 9 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 10 | Hollow Core Internal Hinged Door | 2040 | 620 |
| 11 | External Hinge Full Glass Door | 2040 | 820 |
| 12 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 13 | Vinyl Slider | 2040 | 900 |
| 14 | Vinyl Slider | 2040 | 900 |
| 15 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 16 | Sliding Glass Door XO | 2100 | 1800 |
| 17 | Hollow Core Internal Hinged Door | 2040 | 720 |

## Window Schedule - Dwelling A

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 1 | Double Hung Glass Window | 1800 | 600 | Clear |
| 2 | Double Hung Glass Window | 1800 | 600 | Clear |
| 3 | Double Hung Glass Window | 1800 | 600 | Clear |
| 4 | Double Hung Glass Window | 1800 | 600 | Clear |
| 5 | Sliding Glass Window XO | 600 | 600 | Obs |
| 6 | Sliding Glass Window XO | 1200 | 1200 | Obs |
| 7 | Fixed Glass Window | 600 | 1800 | Clear |

## Window Schedule - Dwelling A

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 8 | Sliding Glass Window XO | 1800 | 1800 | Clear |
| 9 | Glass Louvre Window | 1800 | 600 | Clear |
| 10 | Sliding Glass Window XO | 600 | 1800 | Clear |
| 11 | Sliding Glass Window XO | 1800 | 1800 | Clear |
| 12 | Sliding Glass Window XO | 600 | 600 | Obs |
| 13 | Sliding Glass Window XO | 600 | 2100 | Clear |
| 14 | Sliding Glass Window XO | 600 | 1800 | Clear |

CLIENT
James Stokes

DRAWING NAME
Dwelling A Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

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| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 05 of 25 |

## NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- SD Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

**Note:**

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof

## External Floor Finishes

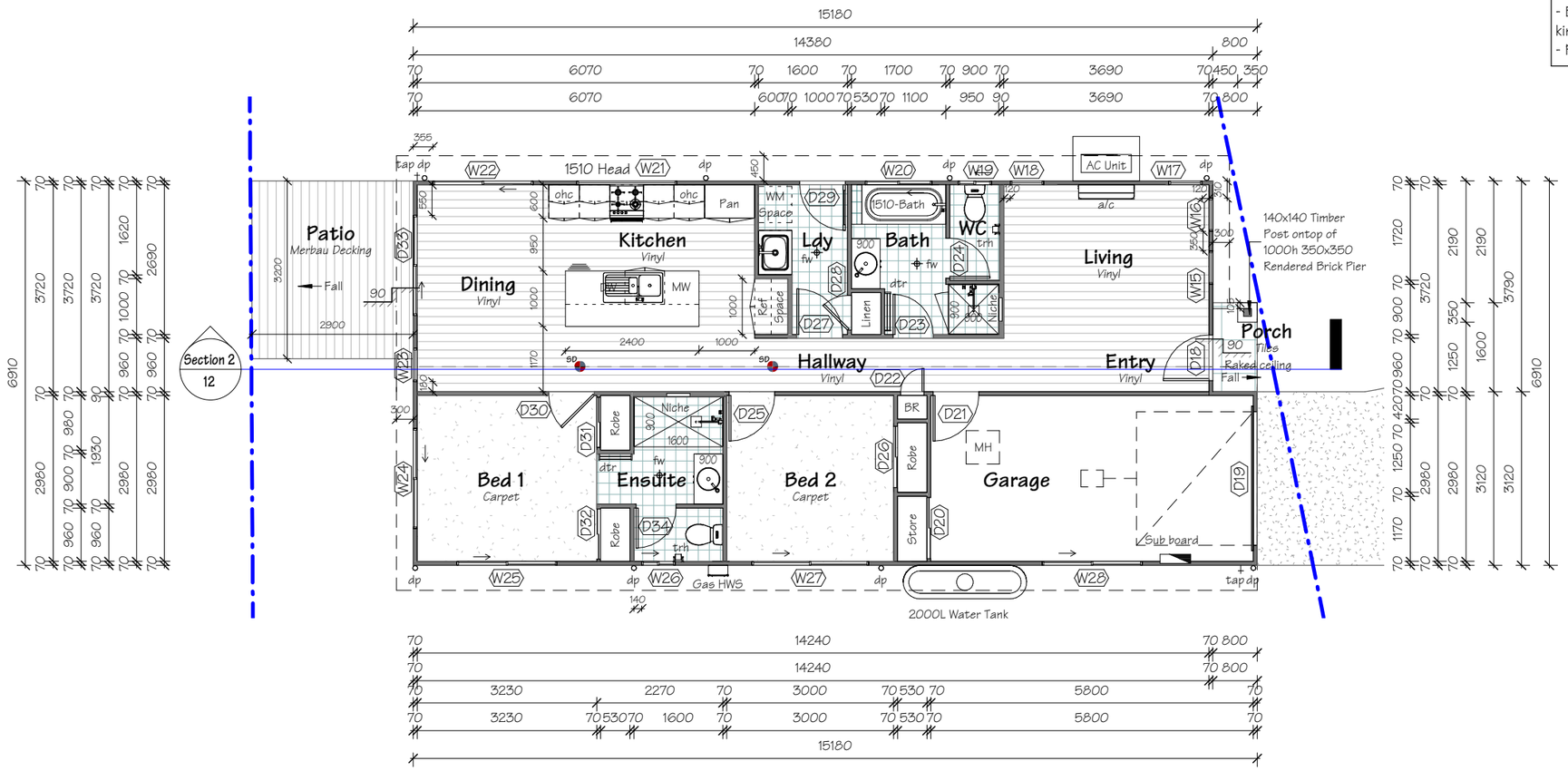
| Type | Area |
|---|---|
| Dwelling A | |
| External Tiled Slab | 1.64 |
| Dwelling B | |
| Decking on Conc. | 9.28 |
| External Tiled Slab | 1.28 |
| Dwelling C | |
| Decking on Conc. | 7.20 |
| External Tiled Slab | 1.37 |

## Internal Floor Finishes

| Type | Area |
|---|---|
| Dwelling A | |
| Carpet | 20.59 |
| Vinyl Flooring | 41.25 |
| Wet Area | 16.53 |
| Dwelling B | |
| Carpet | 39.28 |
| Vinyl Flooring | 82.20 |
| Wet Area | 31.93 |

## Proposed Areas

| Name | Area |
|---|---|
| Dwelling A | |
| Living | 80.6 m² |
| Garage | 18.5 m² |
| Porch | 1.6 m² |
| | 100.8 m² |
| Dwelling B | |
| Living | 83.3 m² |
| Garage | 18.5 m² |
| Porch | 1.3 m² |
| | 103.1 m² |
| Dwelling C | |
| Living | 89.3 m² |
| Garage | 19.2 m² |
| Alfresco | 7.2 m² |
| Porch | 1.4 m² |
| | 117.1 m² |
| Grand total | 321.0 m² |




## Door Schedule - Dwelling B

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 18 | Solid Core Entry Door | 2100 | 820 |
| 19 | Panel Lift Garage Door | 2100 | 2400 |
| 20 | Vinyl Slider | 2100 | 1100 |
| 21 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 22 | Hollow Core Internal Hinged Door | 2040 | 420 |
| 23 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 24 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 25 | Hollow Core Internal Hinged Door | 2040 | 820 |

## Door Schedule - Dwelling B

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 26 | Vinyl Slider | 2100 | 1100 |
| 27 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 28 | Hollow Core Internal Hinged Door | 2040 | 620 |
| 29 | External Hinge Full Glass Door | 2040 | 820 |
| 30 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 31 | Vinyl Slider | 2040 | 900 |
| 32 | Vinyl Slider | 2040 | 900 |
| 33 | Sliding Glass Door OX | 2100 | 1800 |
| 34 | Hollow Core Internal Hinged Door | 2040 | 720 |

## Window Schedule - Dwelling B

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 15 | Double Hung Glass Window | 1800 | 600 | Clear |
| 16 | Double Hung Glass Window | 1800 | 600 | Clear |
| 17 | Double Hung Glass Window | 1800 | 600 | Clear |
| 18 | Double Hung Glass Window | 1800 | 600 | Clear |
| 19 | Sliding Glass Window XO | 600 | 600 | Obs |
| 20 | Sliding Glass Window XO | 1200 | 1200 | Obs |
| 21 | Fixed Glass Window | 600 | 1800 | Clear |

## Window Schedule - Dwelling B

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 22 | Sliding Glass Window XO | 1800 | 1800 | Clear |
| 23 | Glass Louvre Window | 1800 | 600 | Clear |
| 24 | Sliding Glass Window XO | 600 | 1800 | Clear |
| 25 | Sliding Glass Window XO | 1800 | 1800 | Clear |
| 26 | Sliding Glass Window XO | 600 | 600 | Obs |
| 27 | Sliding Glass Window XO | 600 | 2100 | Clear |
| 28 | Sliding Glass Window XO | 600 | 1800 | Clear |

CLIENT
James Stokes

DRAWING NAME
Dwelling B Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

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| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 06 of 25 |

## NOTES

- All dimensions shown on plan are to the timber frame and brickwork
- Control joint positions are at 6m intervals starting at full height window or door. Full height windows and doors are classed as control joint
- Termite treatment is in accordance with AS 3660.0 parts A & B
- Windows to bath, ens & WC are clear glass unless otherwise stated.
- SD Denotes smoke detectors hard wired to electrical system by a qualified electrician and to comply with NCC class 1 and class 10 parts 3.7.2 to AS 3786

## External Floor Finishes

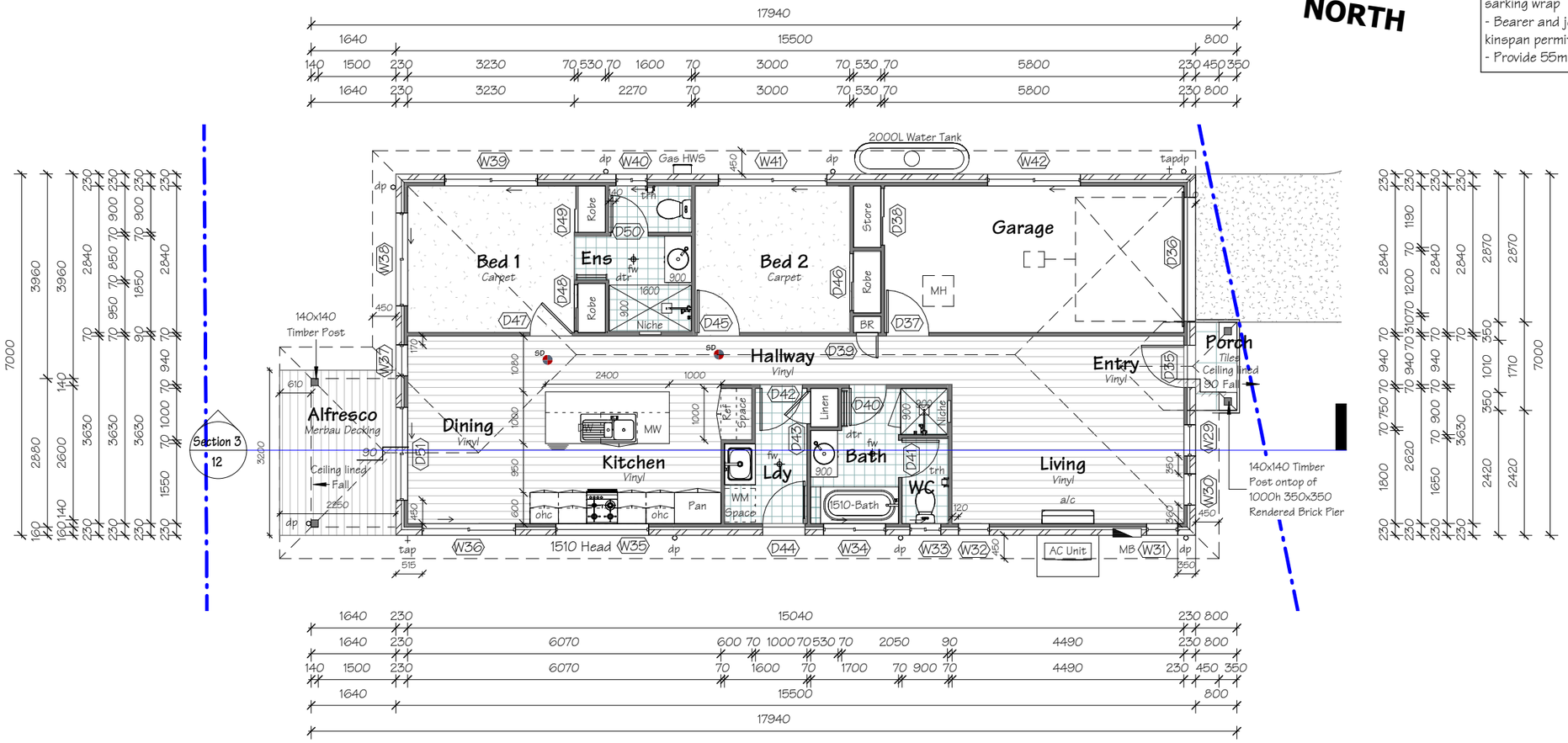
| Type | Area |
|---|---|
| Dwelling A | |
| External Tiled Slab | 1.64 |
| | |
| Dwelling B | |
| Decking on Conc. | 9.28 |
| External Tiled Slab | 1.28 |
| | |
| Dwelling C | |
| Decking on Conc. | 7.20 |
| External Tiled Slab | 1.37 |

## Internal Floor Finishes

| Type | Area |
|---|---|
| Dwelling A | |
| Carpet | 20.59 |
| Vinyl Flooring | 41.25 |
| Wet Area | 16.53 |
| | |
| Dwelling B | |
| Carpet | 39.28 |
| Vinyl Flooring | 82.20 |
| Wet Area | 31.93 |

## Proposed Areas

| Name | Area |
|---|---|
| Dwelling A | |
| Living | 80.6 m² |
| Garage | 18.5 m² |
| Porch | 1.6 m² |
| | 100.8 m² |
| Dwelling B | |
| Living | 83.3 m² |
| Garage | 18.5 m² |
| Porch | 1.3 m² |
| | 103.1 m² |
| Dwelling C | |
| Living | 89.3 m² |
| Garage | 19.2 m² |
| Alfresco | 7.2 m² |
| Porch | 1.4 m² |
| | 117.1 m² |
| Grand total | 321.0 m² |




NORTH

**Note:**

- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof

## Door Schedule - Dwelling C

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 35 | Solid Core Entry Door | 2100 | 820 |
| 36 | Panel Lift Garage Door | 2100 | 2400 |
| 37 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 38 | Vinyl Slider | 2100 | 1100 |
| 39 | Hollow Core Internal Hinged Door | 2040 | 420 |
| 40 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 41 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 42 | Hollow Core Internal Hinged Door | 2040 | 820 |

## Door Schedule - Dwelling C

| Mark | Door Type | Height | Width |
|---|---|---|---|
| 43 | Hollow Core Internal Hinged Door | 2040 | 620 |
| 44 | External Hinge Full Glass Door | 2040 | 820 |
| 45 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 46 | Vinyl Slider | 2100 | 1100 |
| 47 | Hollow Core Internal Hinged Door | 2040 | 820 |
| 48 | Vinyl Slider | 2040 | 900 |
| 49 | Vinyl Slider | 2040 | 900 |
| 50 | Hollow Core Internal Hinged Door | 2040 | 720 |
| 51 | Sliding Glass Door X0 | 2100 | 1800 |

## Window Schedule - Dwelling C

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 29 | Double Hung Glass Window | 1800 | 600 | Clear |
| 30 | Double Hung Glass Window | 1800 | 600 | Clear |
| 31 | Double Hung Glass Window | 1800 | 600 | Clear |
| 32 | Double Hung Glass Window | 1800 | 600 | Clear |
| 33 | Sliding Glass Window X0 | 600 | 600 | Obs |
| 34 | Sliding Glass Window X0 | 1200 | 1200 | Obs |
| 35 | Fixed Glass Window | 600 | 1800 | Clear |

## Window Schedule - Dwelling C

| Mark | Window Type | Height | Width | Glazing |
|---|---|---|---|---|
| 36 | Sliding Glass Window X0 | 1800 | 1800 | Clear |
| 37 | Glass Louvre Window | 1800 | 600 | Clear |
| 38 | Sliding Glass Window X0 | 600 | 1800 | Clear |
| 39 | Sliding Glass Window X0 | 1800 | 1800 | Clear |
| 40 | Sliding Glass Window X0 | 600 | 600 | Obs |
| 41 | Sliding Glass Window X0 | 600 | 2100 | Clear |
| 42 | Sliding Glass Window X0 | 600 | 1800 | Clear |

CLIENT
James Stokes

DRAWING NAME
Dwelling C Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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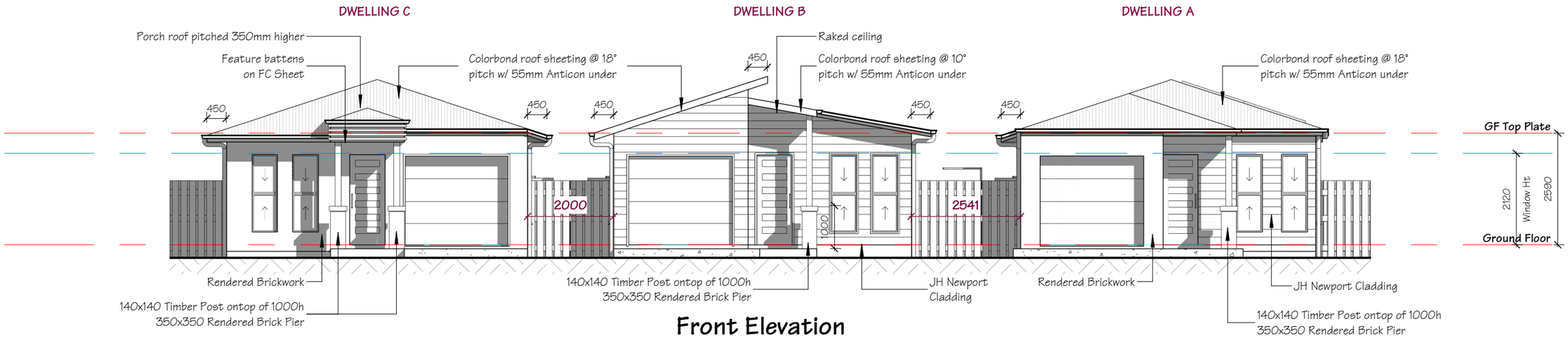
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

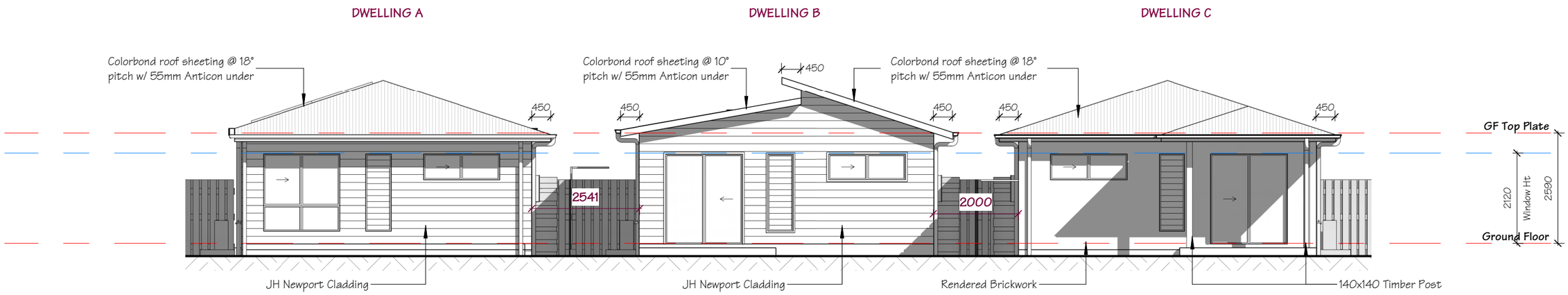
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 07 of 25 |

**Note:**
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof




# Front Elevation

1 : 100




# Rear Elevation

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations All Dwellings

SITE ADDRESS
Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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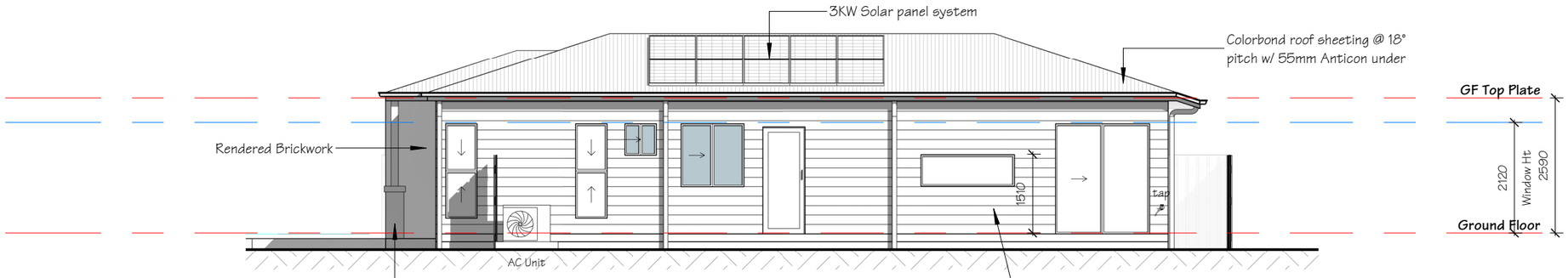
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

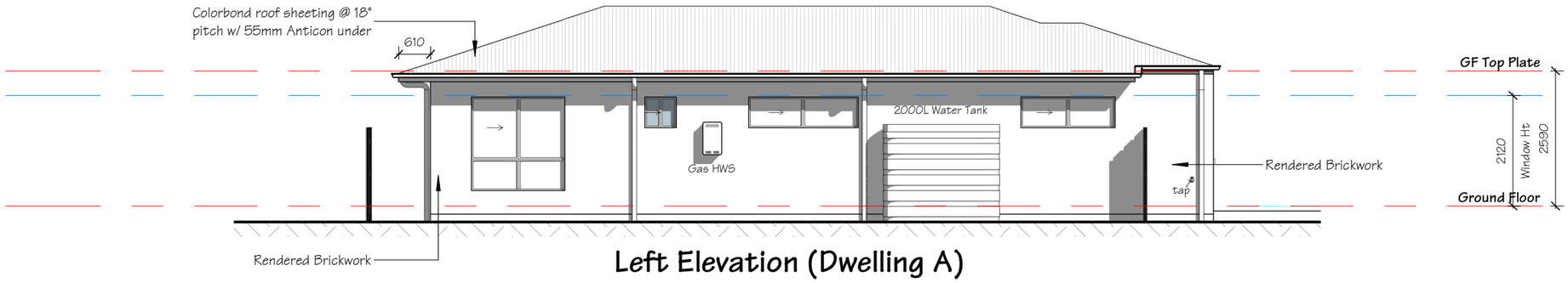
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 08 of 25 |

**Note:**
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof




## Right Elevation (Dwelling A)

1 : 100




## Left Elevation (Dwelling A)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling A

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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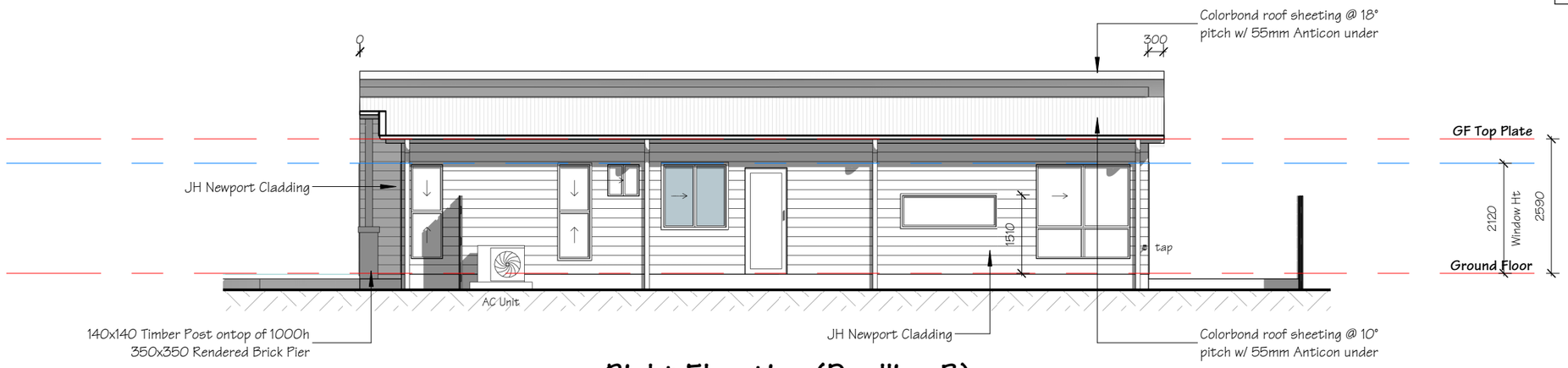
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

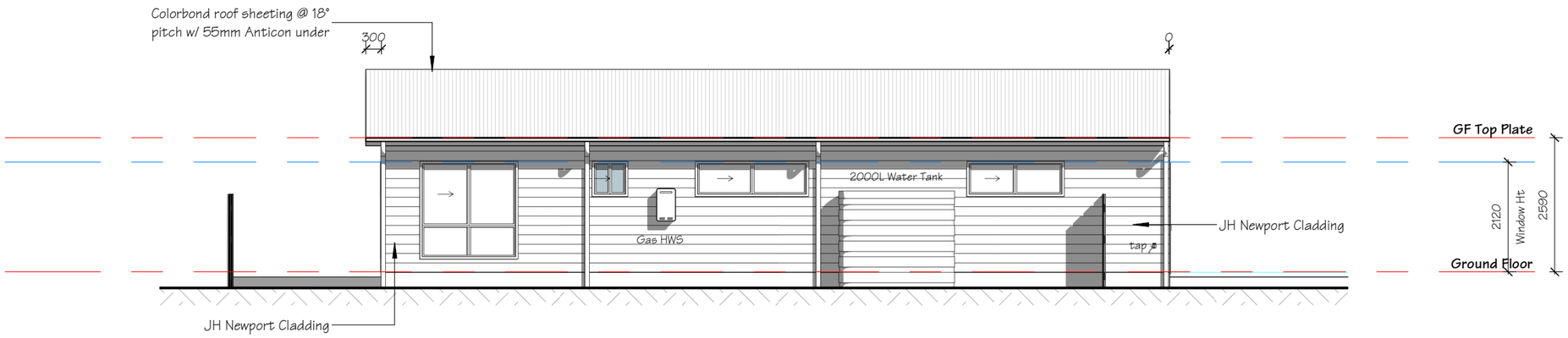
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 09 of 25 |

**Note:**
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
- Provide 55mm anticon blanket under roof




## Right Elevation (Dwelling B)

1 : 100




## Left Elevation (Dwelling B)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling B

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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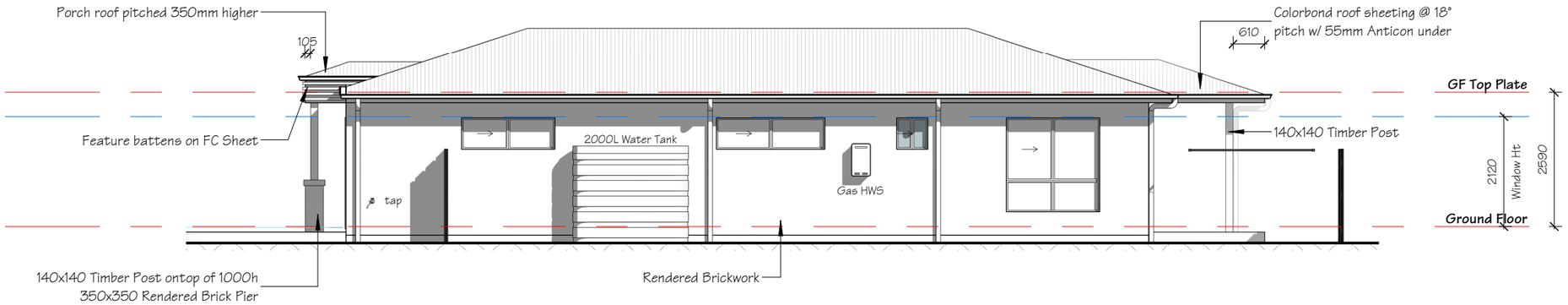
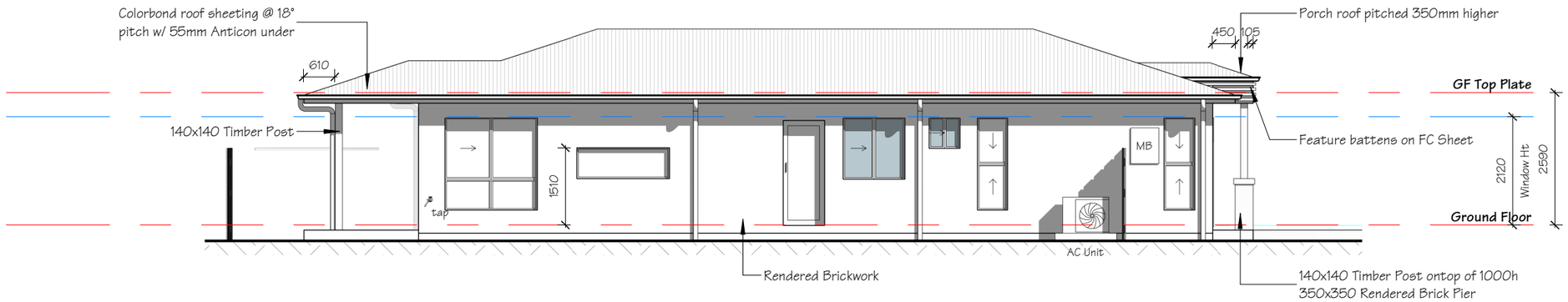
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 10 of 25 |

**Note:**
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kingspan permifloor insulation
- Provide 55mm anticon blanket under roof




# Right Elevation (Dwelling C)

1 : 100




# Left Elevation (Dwelling C)

1 : 100

CLIENT
James Stokes

DRAWING NAME
Elevations
Dwelling C

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 11 of 25 |

**Note:**
- 450mm Eaves U.N.O
- Termite treatment to comply with part 3.13 of the BCA & with A.S. 3660.1
- Refer to engineers details for slab and footing details
- Provide full height masonry articulation as per engineers soil test report
- External walls to be R1.5 batts with R1.5 sarking wrap
- Bearer and joist floor sections to have kinspan permifloor insulation
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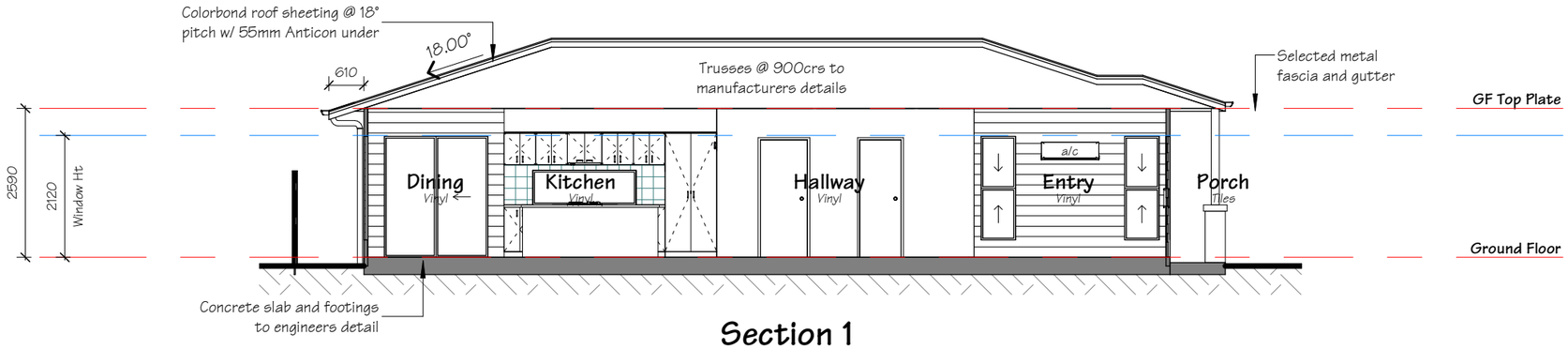
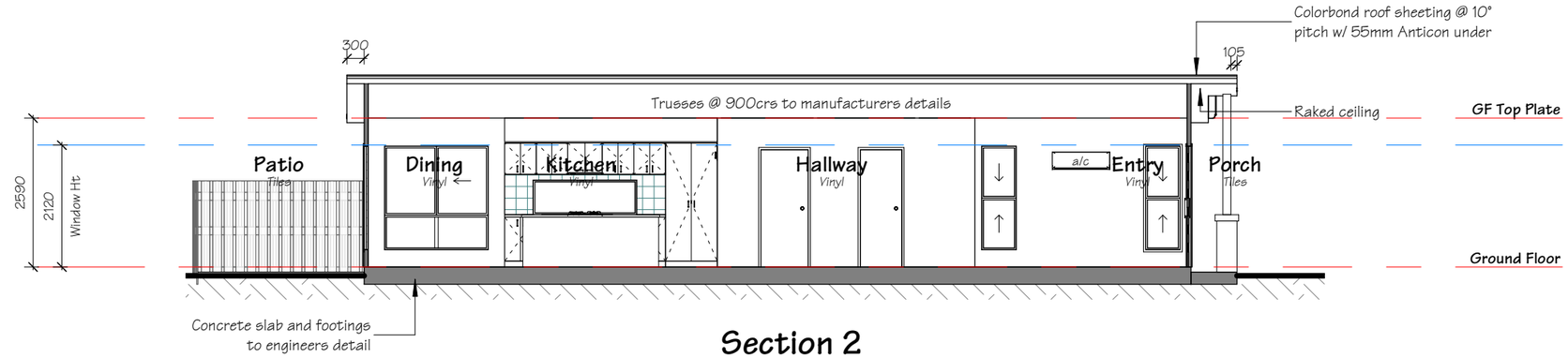


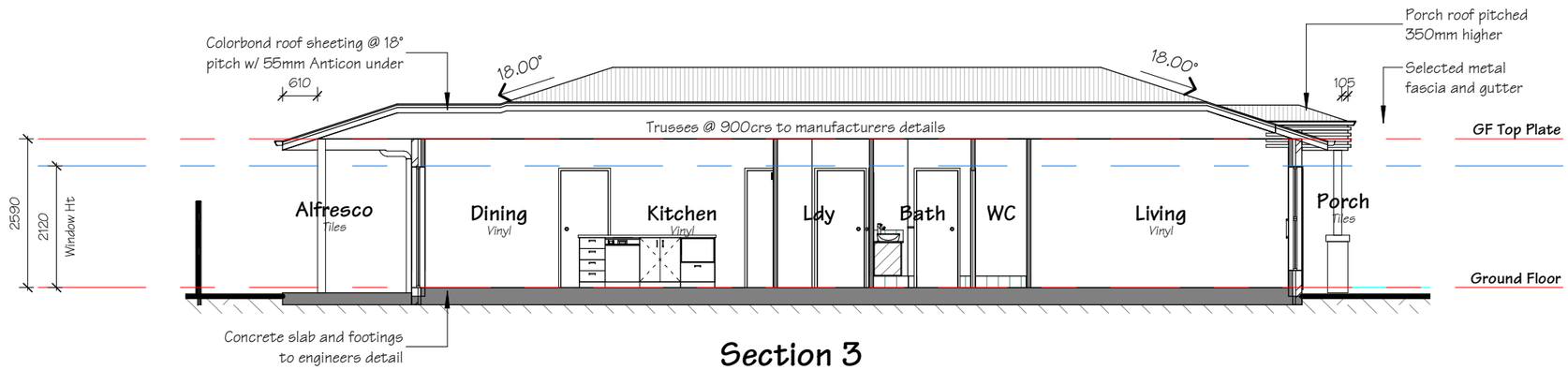

## Section 1

1 : 100




## Section 2

1 : 100




## Section 3

1 : 100

CLIENT
James Stokes

DRAWING NAME
Section

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 12 of 25 |

# ELECTRICAL LEGEND

| QTY | ICON | DESCRIPTION |
|---|---|---|
| 3 | AC | AC Unit |
| 3 | | Data Point |
| 36 | | Double GPO |
| 6 | | Exhaust Fan |
| | | Exhaust Fan/Light |
| 1 | | Meterboard |
| 3 | NBN | NBN Outlet |
| | FOX | Foxtel Outlet |
| | PH | Phone Outlet |
| 18 | | Single GPO |
| 6 | SD | Smoke Detector |
| | | Quad GPO |
| 3 | | Double GPO w/ USB |
| 6 | TV | TV |
| 3 | WP | Waterproof GPO |
| | | Light Switch Location |
| | | Security Keypad<br>*Security sensors to be located by installer* |
| | | Intercom |
| 6 | | Ceiling Fan |
| | | Ceiling Fan w/ Light |
| | | Antenna |

# LIGHT POINTS

| | | |
|---|---|---|
| 59 | D | Downlight |
| | R | Round Fluro |
| 3 | | Single Fluro |
| | | Double Fluro |
| | | Batten Light |
| | | Oyster Light |
| | P | Pendant Light |
| | | Up/Down Light |
| | | Bunker Wall Light |
| | | Single Floodlight |
| 2 | | Double Floodlight |
| | | 4 Bulb Heat Lamp |
| | | 3 Bulb Heat Lamp |
| | | 2 Bulb Heat Lamp |
| | S | Spotlight |
| | | Light Point |
| | | External Wall Light |
| | | Oyster Light 45mm |
| 64 | | **Total Light Points** |

**NOTES:**
- Position of lights are indicative only and will be confirmed by the electrician on site

**STANDARD INCLUSION**

1 x DOUBLE POWER POINT WITH USB CHARGER

**ADDITIONAL ELECTRICAL PLAN ITEMS LISTED**

| | |
|---|---|
| WP | - WEATHER PROOF GPO FIXTURE |
| 2 WAY | - 2 WAY SWITCHING |
| D | - DIMMER SWITCH |
| DW | - DISHWASHER SINGLE GPO x 1 |
| R | - RANGEHOOD SINGLE GPO x 1 |
| G | - GARAGE DOOR SINGLE GPO x 1 |
| 1100 | - EXAMPLE HEIGHT |

- Light switches @ 1150 AFL
- Wall mounted lights @ 1800 AFL
- Power outlets @ 300mm AFL (except for the following)

1500 - Ref Space
1800 - Rangehood
1100 - Kitchen Bench
1000 - Garage D.F.P.O
1000 - Vanities
1000 - Laundry Bench
1000 - Washing Machine
600 - Dishwasher
600 - Microwave

NORTH

| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turn | [illegible]/07/21 | VKP |
| D | Amended Working | [illegible]/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Elec. Floor Plan

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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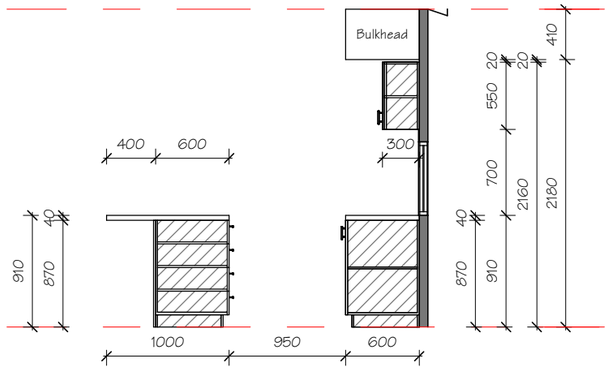
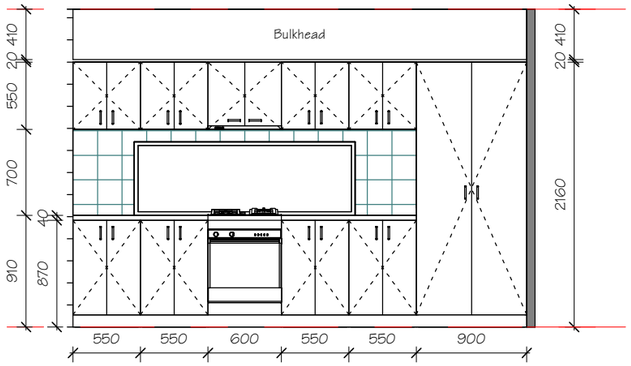
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE As indicated @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 13 of 25 |



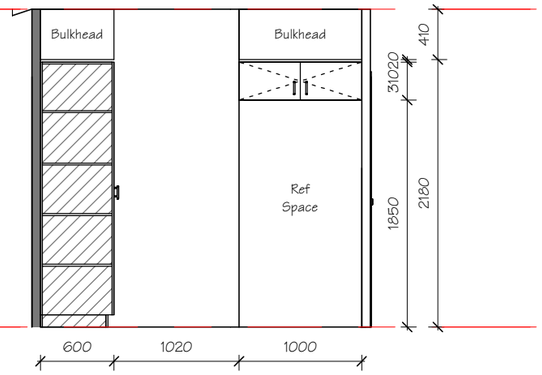

## Kitchen Elevation 1

1 : 50



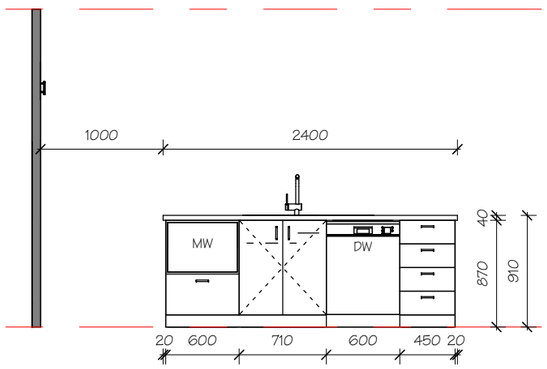

## Kitchen Elevation 2

1 : 50



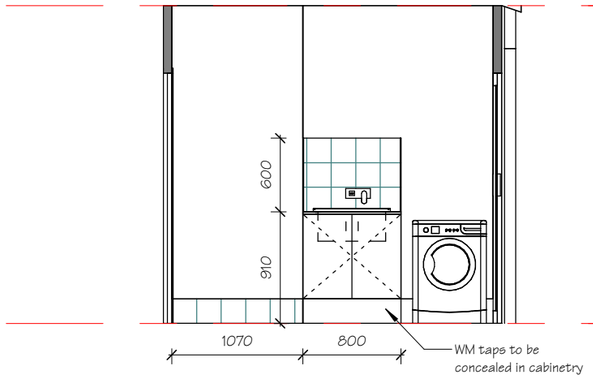

## Kitchen Elevation 3

1 : 50



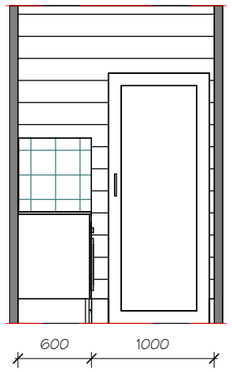

## Kitchen Elevation 4

1 : 50



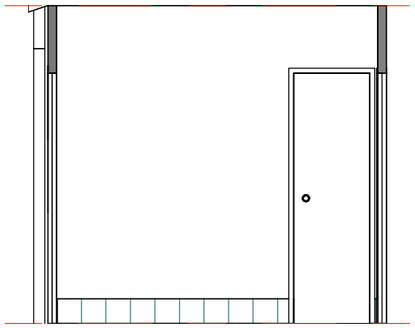

## Ldy Elevation 5

1 : 50



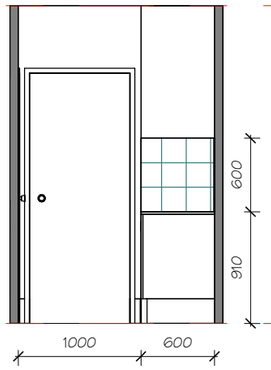

## Ldy Elevation 6

1 : 50



## Ldy Elevation 7

1 : 50




## Ldy Elevation 8

1 : 50

**NOTE:**

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

| Rev | Revision Description | Date | By |
|---|---|---|---|
| E | Revised DA | 24/06/22 | AM |
| ~~E~~ | ~~Amended Car Turning~~ | ~~06/07/21~~ | VKP |
| D | Amended Working | 02/07/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Dwelling A & B
Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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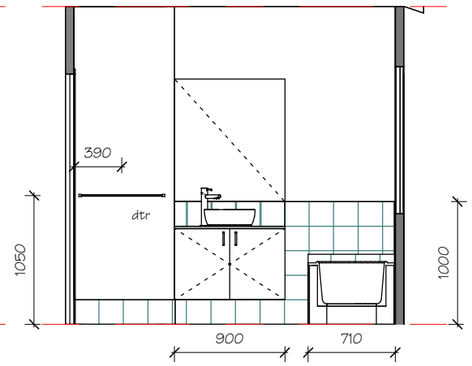
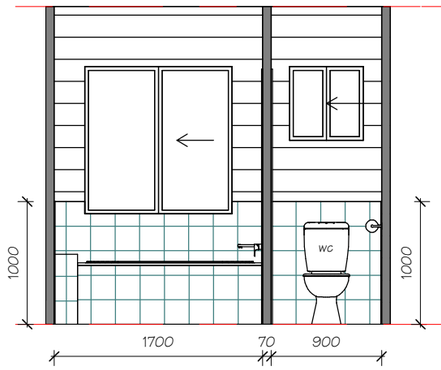
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 50 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 14 of 25 |



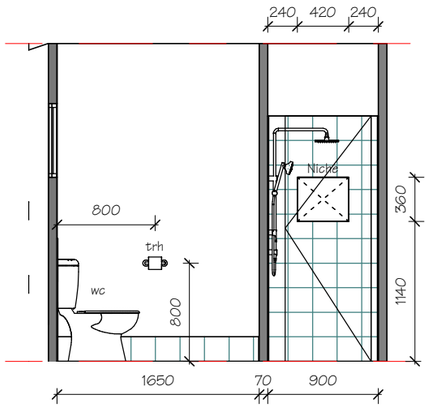

## Bath Elevation 1

1 : 50



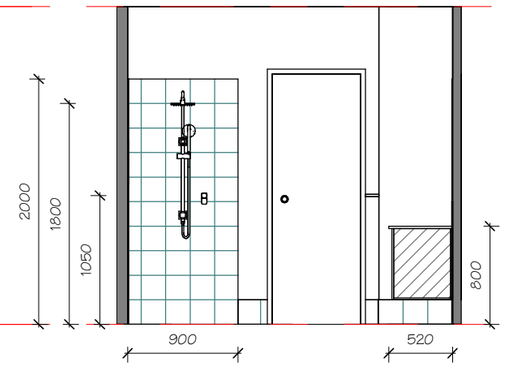

## Bath Elevation 2

1 : 50



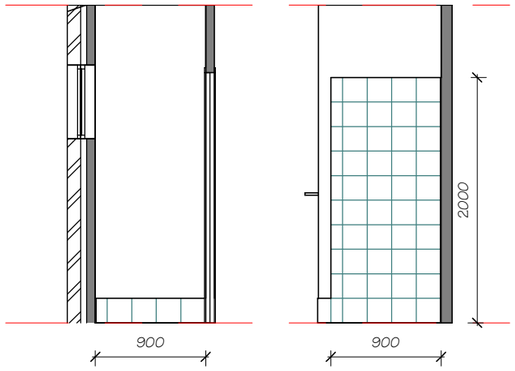

## Bath Elevation 3

1 : 50



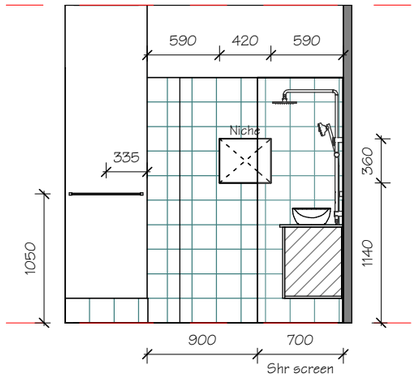

## Bath Elevation 4

1 : 50



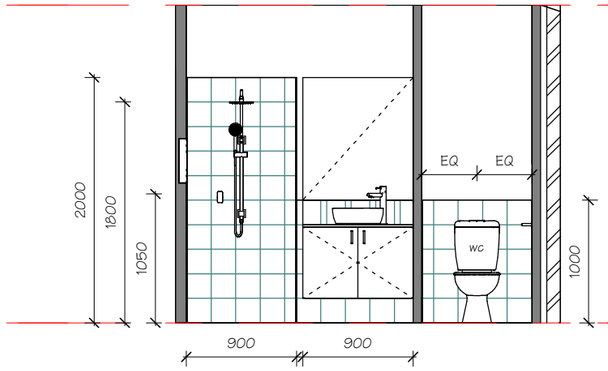

## Ens Elevation 5

1 : 50



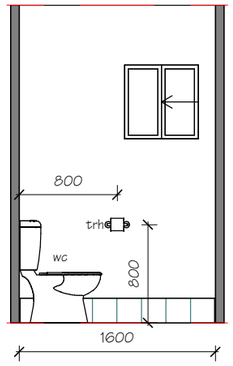

## Ens Elevation 6

1 : 50




## Ens Elevation 7

1 : 50




## Ens Elevation 8

1 : 50

**NOTE:**

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- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

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| ~~E~~ | ~~Amended Car Turning~~ | ~~06/07/21~~ | VKP |
| D | Amended Working | 02/07/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Dwelling A & B
Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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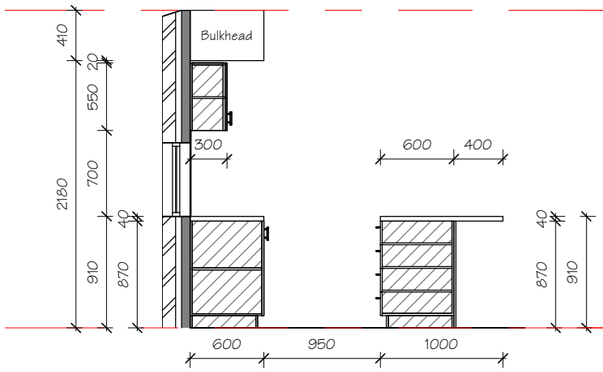
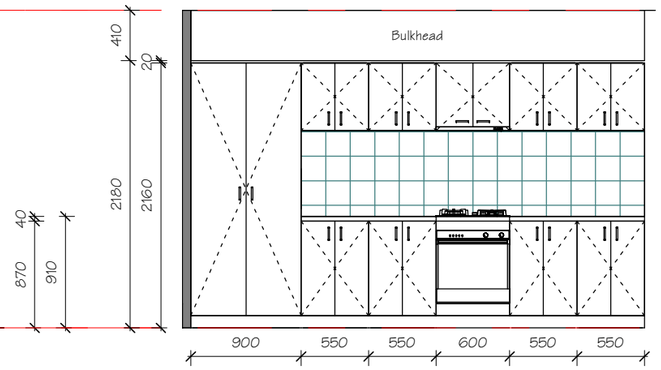
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 50 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 15 of 25 |



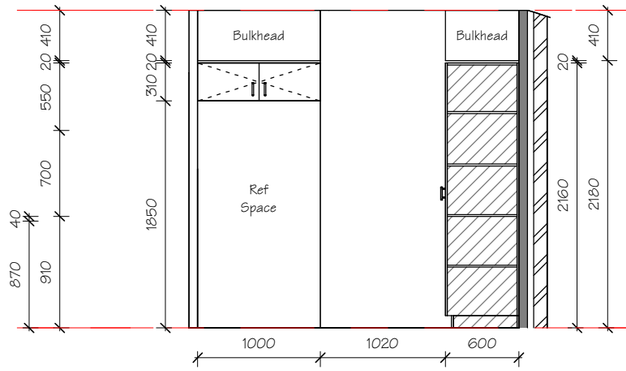

## Kitchen Elevation

1 : 50



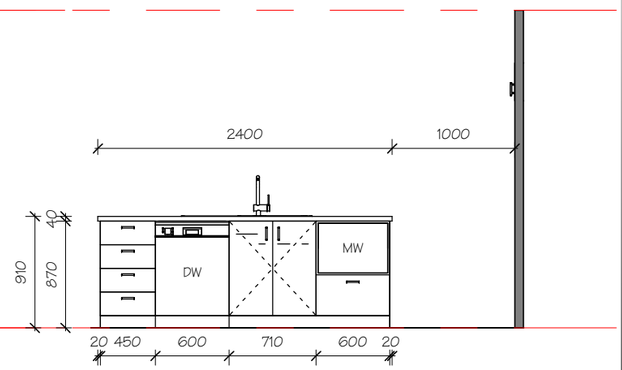

## Kitchen Elevation

1 : 50



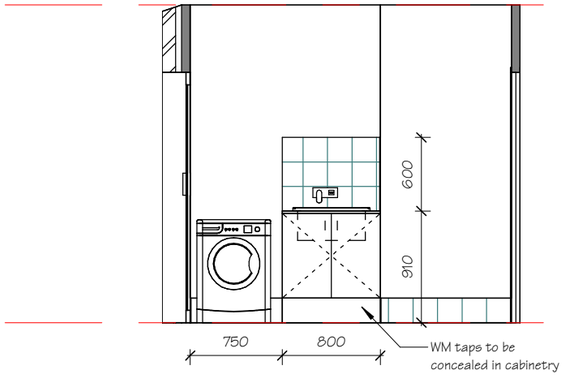

## Kitchen Elevation

1 : 50



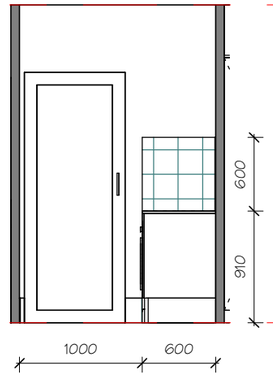

## Kitchen Elevation

1 : 50



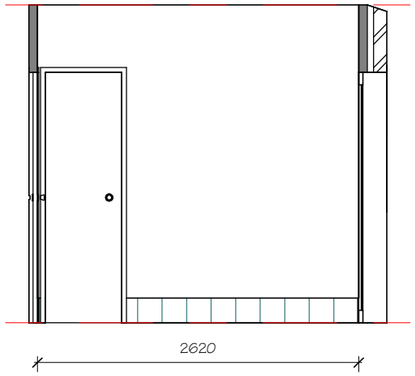

## Ldy Elevation

1 : 50



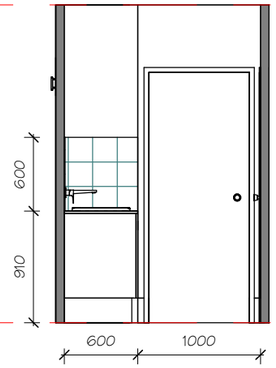

## Ldy Elevation

1 : 50




## Ldy Elevation

1 : 50




## Ldy Elevation

1 : 50

**NOTE:**

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

| Rev | Revision Description | Date | By |
|---|---|---|---|
| E | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Dwelling C Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD P'ty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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| | |
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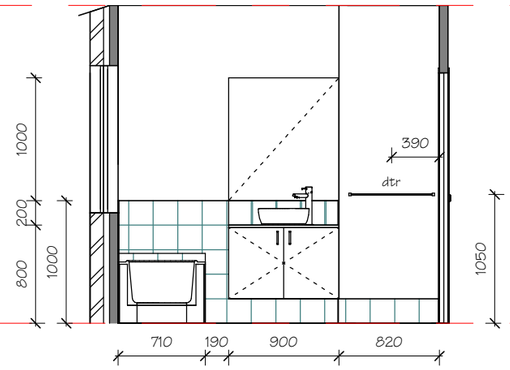
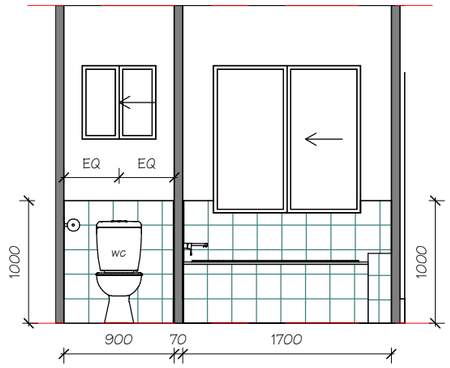
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 50 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 16 of 25 |



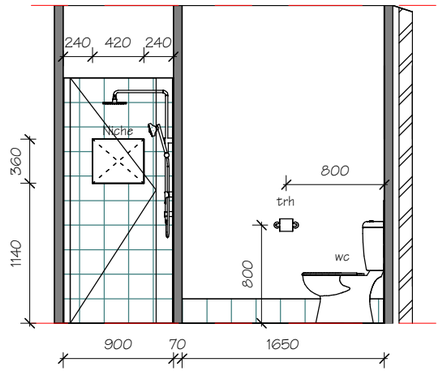

## Bath Elevation

1 : 50




## Bath Elevation

1 : 50

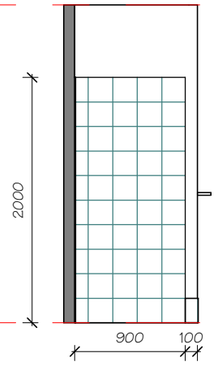


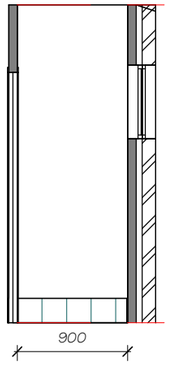

## Bath Elevation

1 : 50

## Bath Elevation

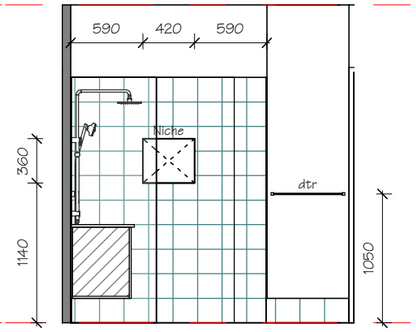
1 : 50



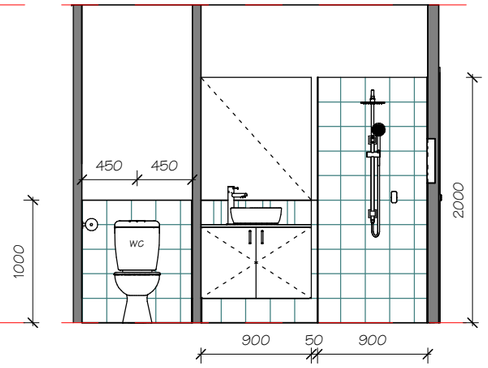

## Ens Elevation

1 : 50



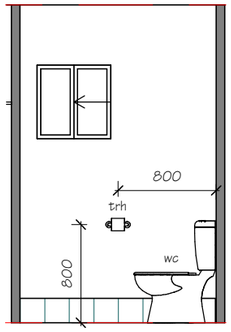

## Ens Elevation

1 : 50




## Ens Elevation

1 : 50




## Ens Elevation

1 : 50

**NOTE:**

- All taps and shower roses as per specifications
- Splashbacks to client and builder specifications
- Number and width of doors will be determined by the cabinet maker to optimise functionality of cabinetry
- Refer to client tile selection for full extent of tiling and feature tiling as selected

| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| ~~E~~ | ~~Amended Car Turning~~ | ~~06/07/21~~ | VKP |
| D | Amended Working | 02/07/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Dwelling C Joinery

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1 : 50 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 17 of 25 |

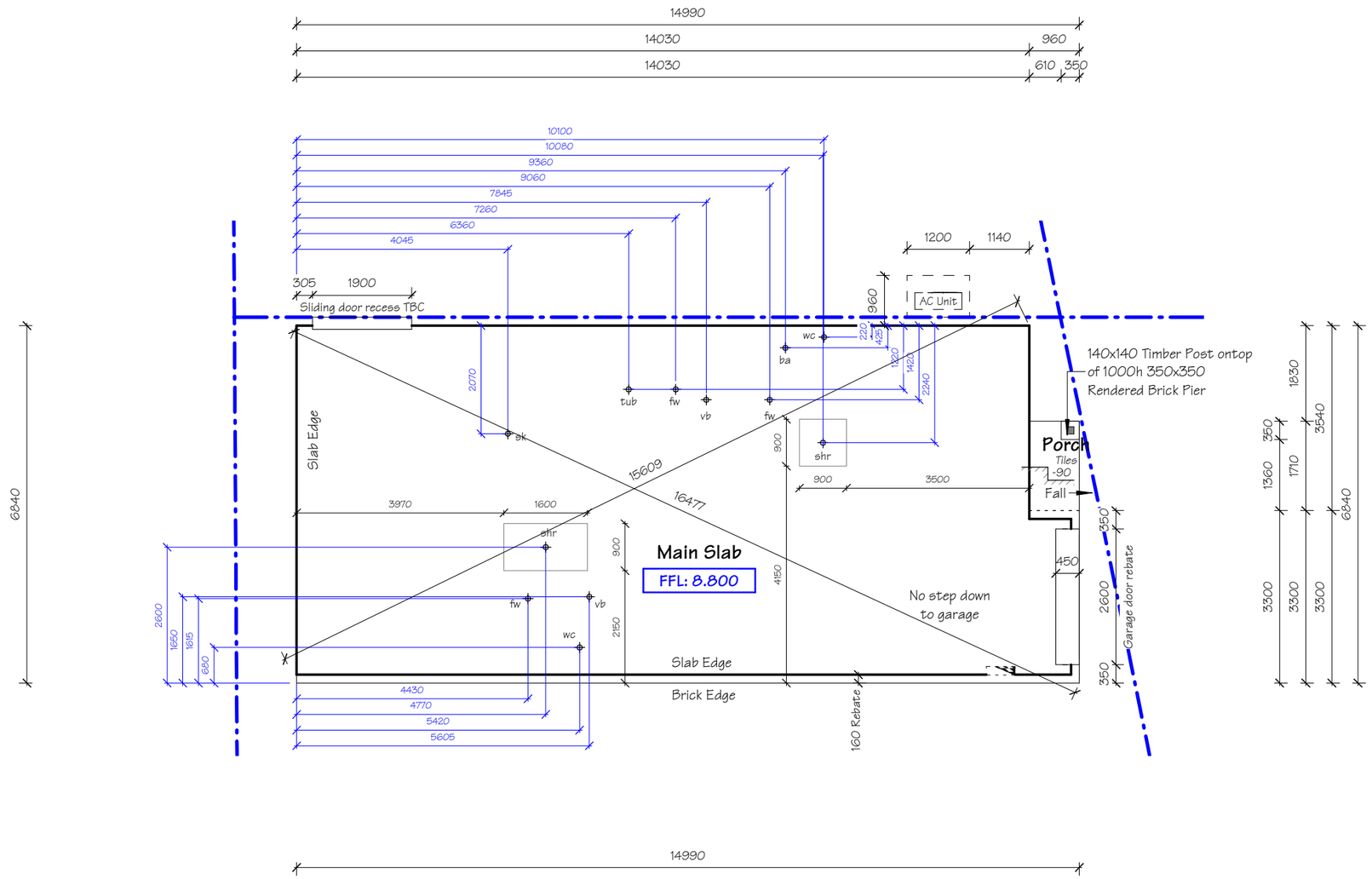
**NOTES**
Dimensions to outside of Brickwork unless stated otherwise

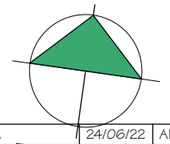
**NOTES**
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

**Note:**
Floors to bathrooms, ensuites & laundry do not fall to waste

**NOTE:**
**Slab rebate lengths TBC by manufacturer prior to slab pour**

**Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications**




| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turn | 27/07/21 | VKP |
| D | Amended Working | 21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Slab Set Out Plan
A

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 18 of 25 |

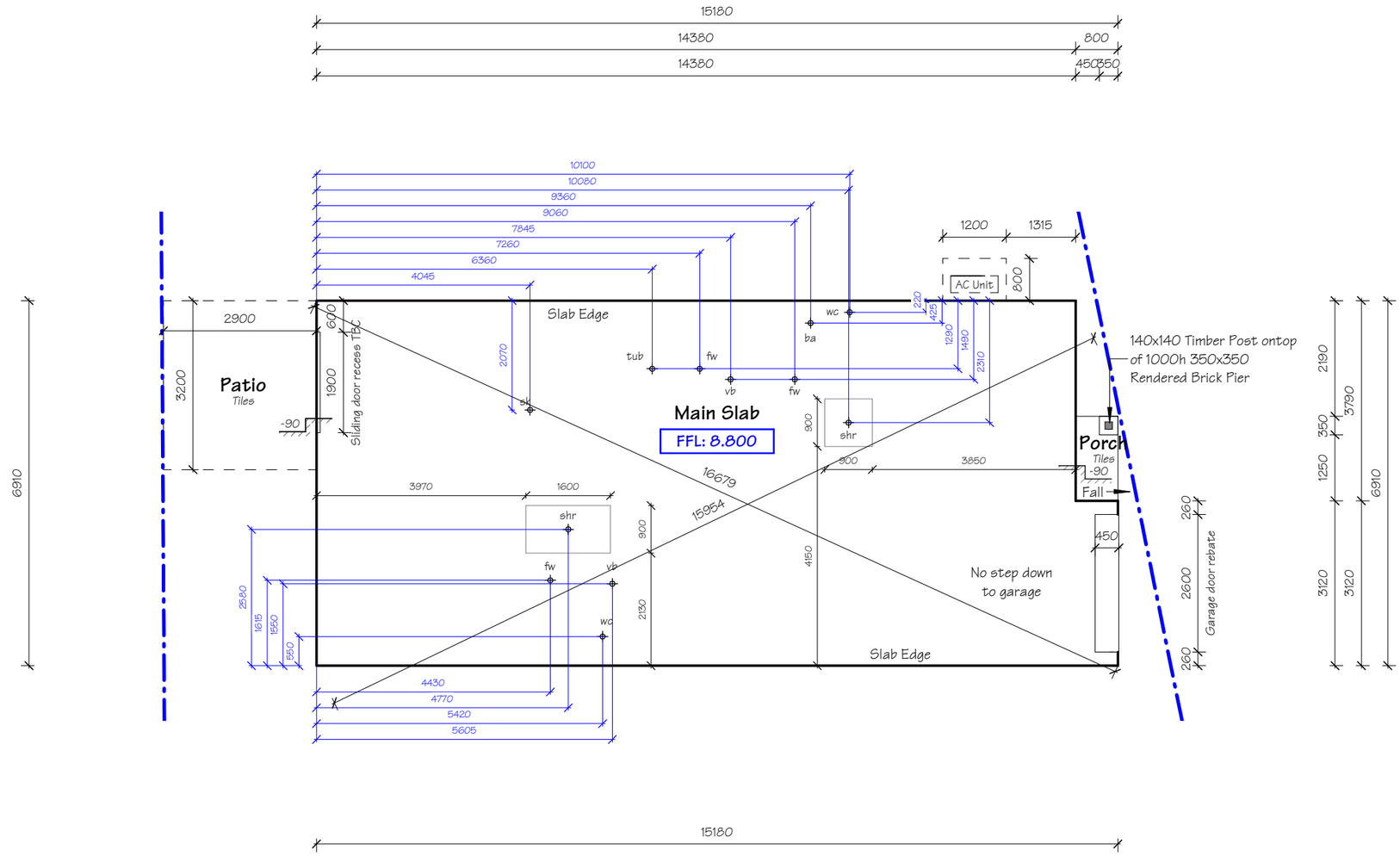
**NOTES**
Dimensions to Slab Edge unless stated otherwise

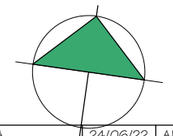
**NOTES**
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

**Note:**
Floors to bathrooms, ensuites & laundry do not fall to waste

**NOTE:**
**Slab rebate lengths TBC by manufacturer prior to slab pour**

**Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications**




| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turn | 26/07/21 | VKP |
| D | Amended Working | [illegible]/21 | VKP |

CLIENT
James Stokes

DRAWING NAME
Slab Set Out Plan
B

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any reeponsibility or back charges without our written agreement to do so.

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| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 19 of 25 |

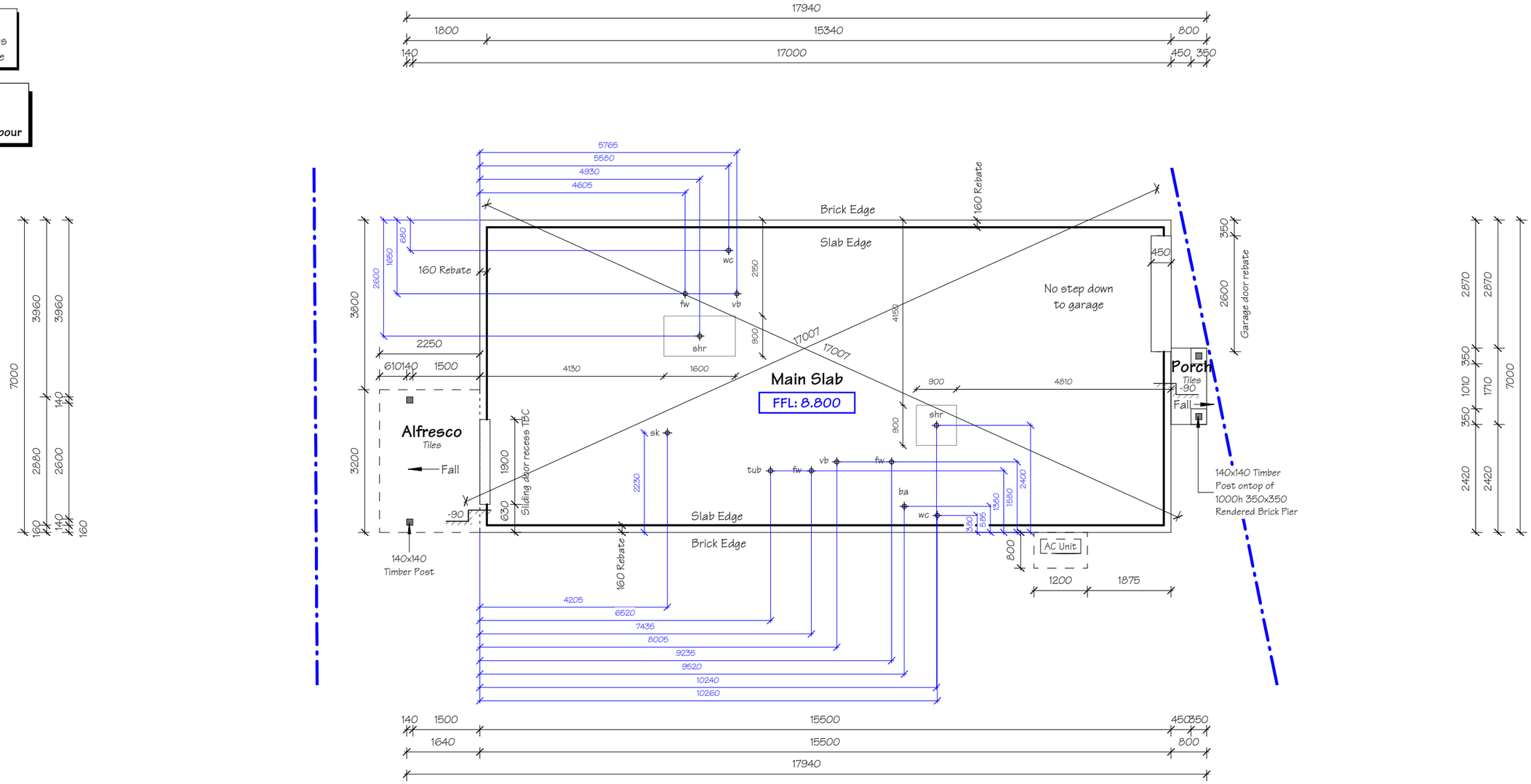
**NOTES**
Dimensions to outside of Brickwork unless stated otherwise

**NOTES**
Foundation Engineer to confirm location of external & internal load bearing points if required. Refer to bracing plan for detail.

**Note:**
Floors to bathrooms, ensuites & laundry do not fall to waste

**NOTE:**
**Slab rebate lengths TBC by manufacturer prior to slab pour**

**Dimensions for plumbing penetrations are indicative and subject to change to specific plumbing manufacturer specifications**




| | |
|---|---|
| CLIENT | James Stokes |
| DRAWING NAME | Slab Set Out Plan C |
| SITE ADDRESS | Lot 161 Tuckeroo Ave, Mullumbimby NSW 2482 |
| REAL PROPERTY DESCRIPTION | |
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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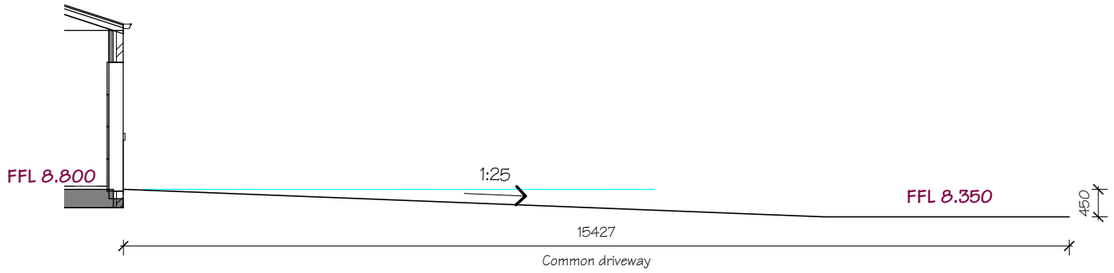
NORTH

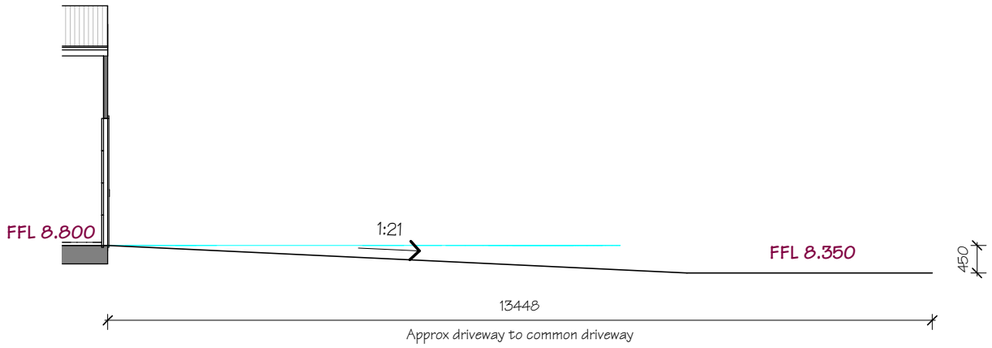
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turn | 26/07/21 | VKP |
| D | Amended Working | [illegible]/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 20 of 25 |



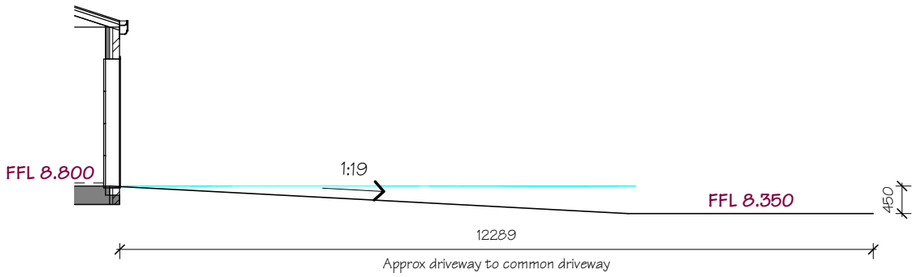

## Driveway Detail - Dwelling A

1 : 100



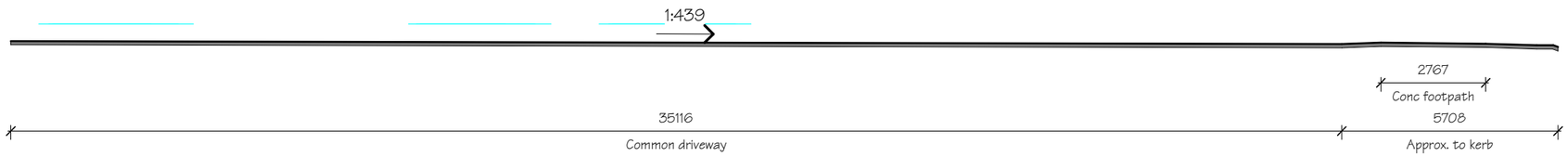

## Driveway Detail - Dwelling B

1 : 100




## Driveway Detail - Dwelling C

1 : 100




## Common Driveway Detail

1 : 150

CLIENT
James Stokes

DRAWING NAME
Driveway Detail

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

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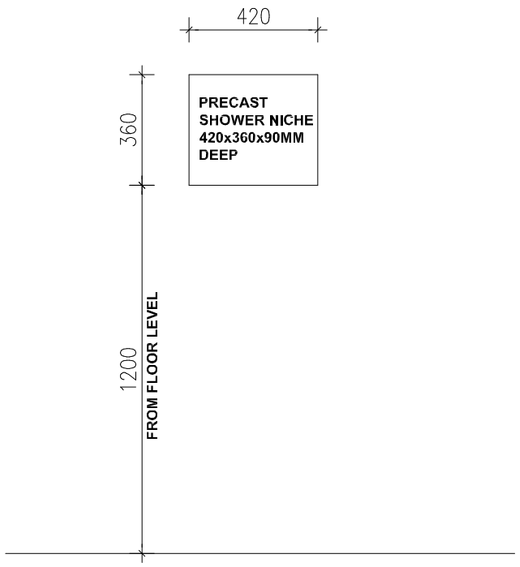
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

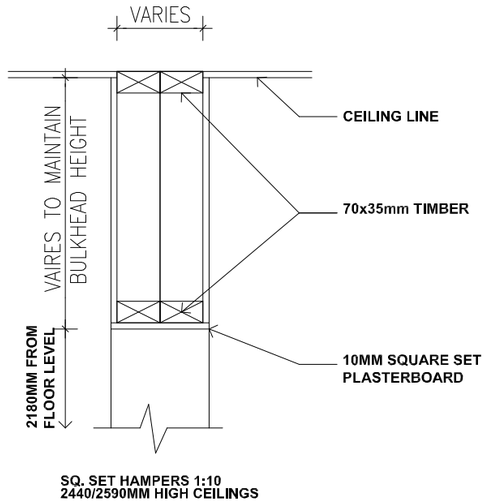
| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE As indicated @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 21 of 25 |

**NOTE:**
**SHOWER NICHE'S ARE TO BE INSTALLED IN A 90MM STUD WALL ONLY**



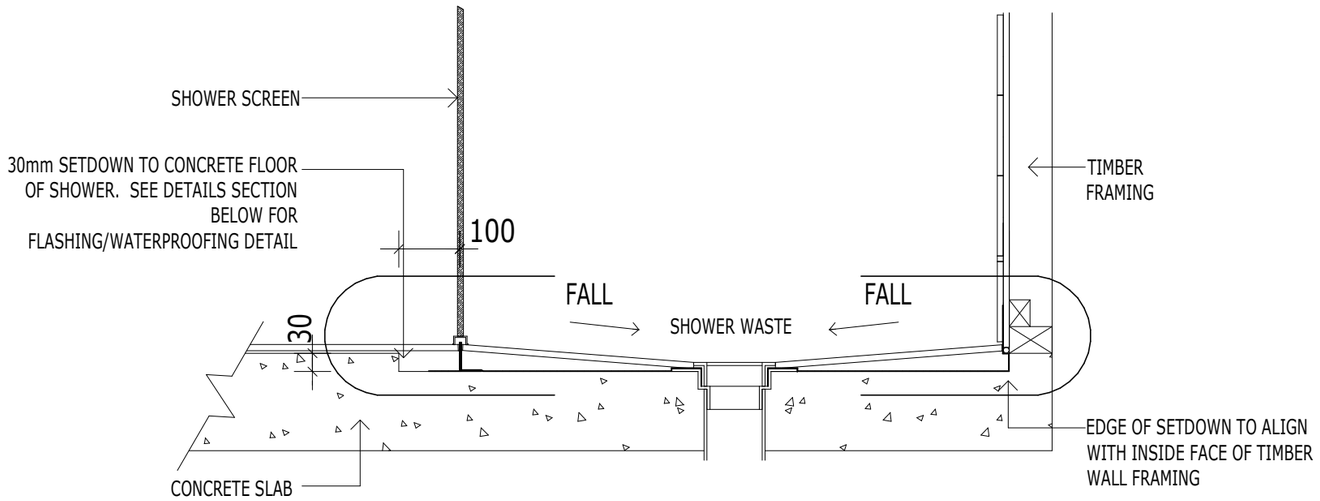

## Shower Niche Detail

1 : 20



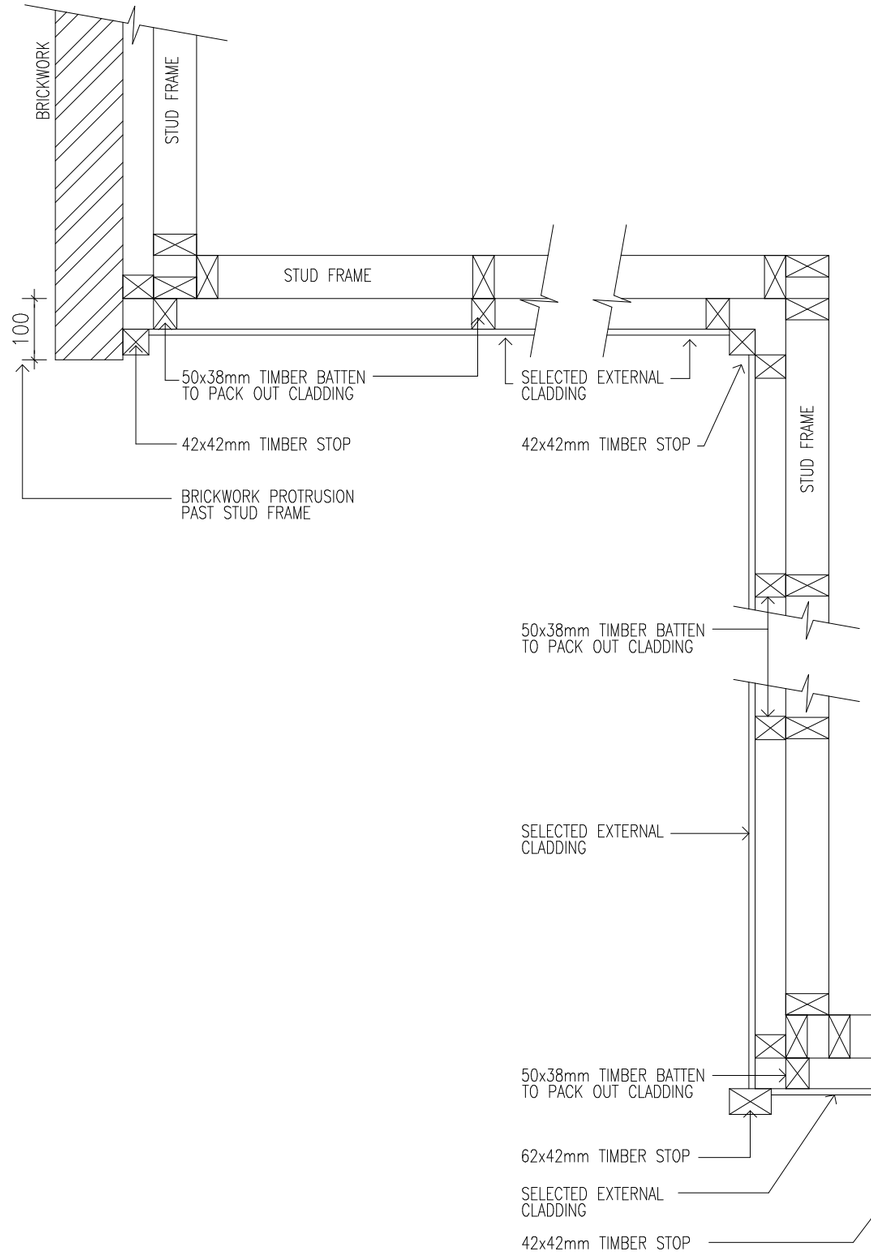

## Bulkhead Detail

1 : 10




## Shower Recess Detail

1 : 10




## Cladding External Finish Detail

1 : 10

CLIENT
James Stokes

DRAWING NAME
Standard Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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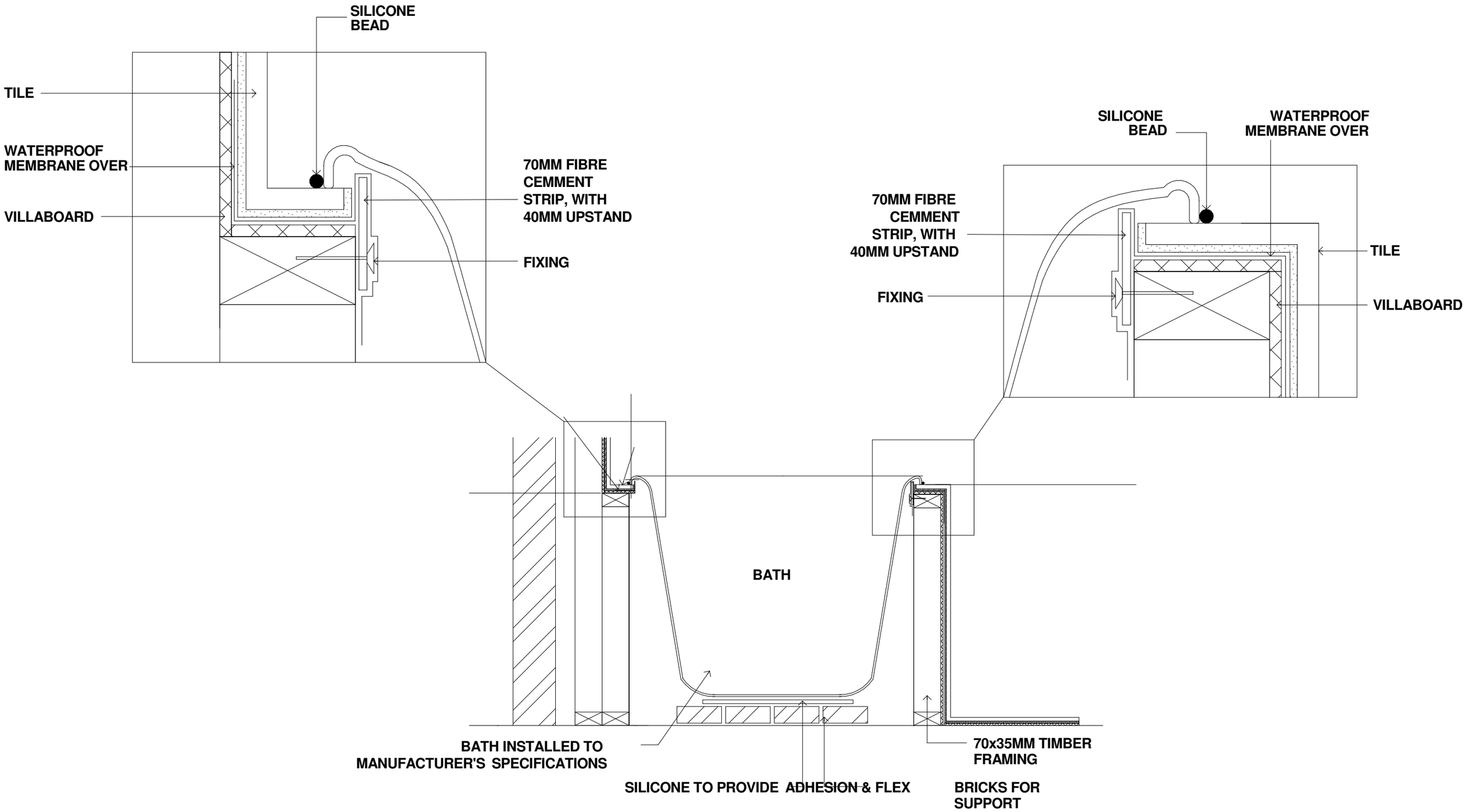
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE As indicated @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 22 of 25 |




# BATH/WALL CONNECTION END SECTION

CLIENT
James Stokes

DRAWING NAME
Bath Hob Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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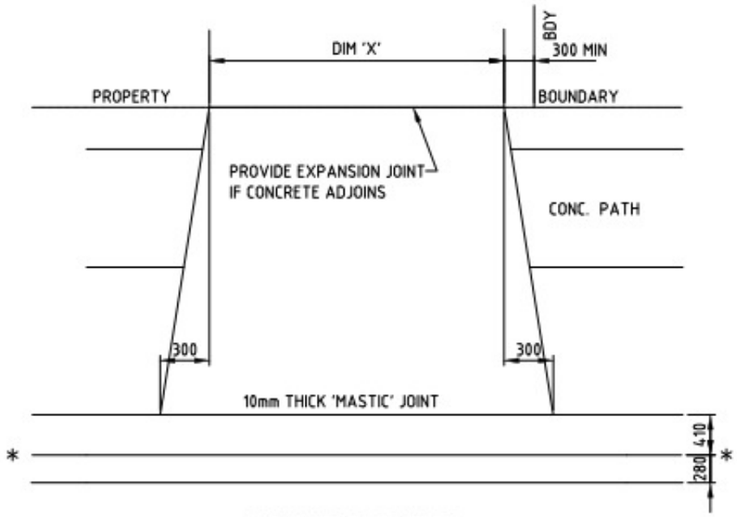
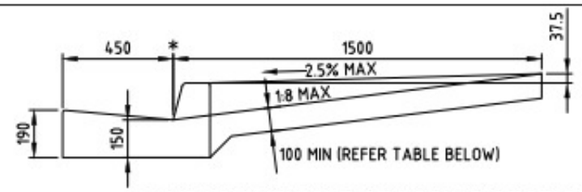
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE 1:100 @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 23 of 25 |



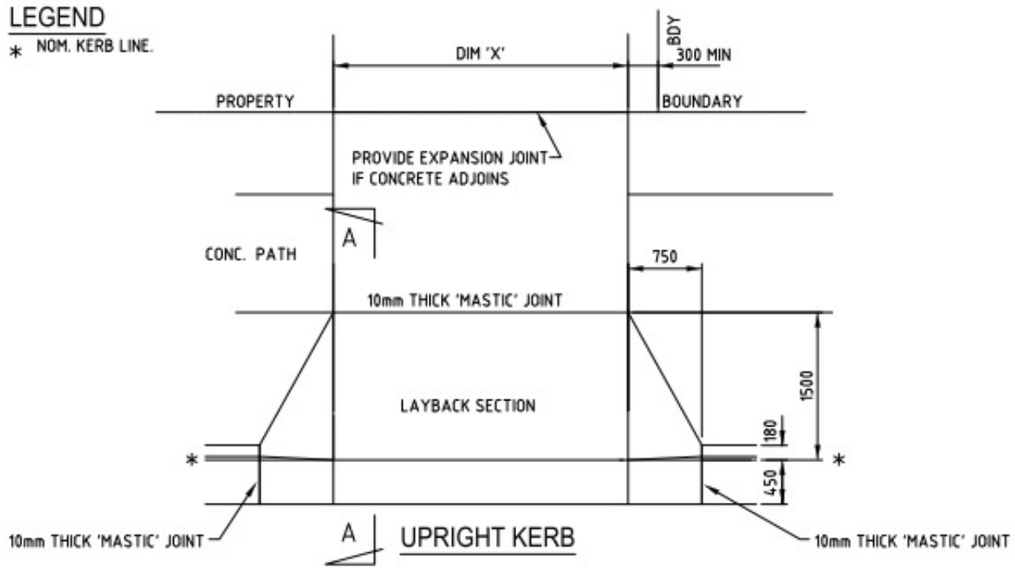

MOUNTABLE KERB




LAYBACK VEHICLE CROSSING SECTION A-A

## LEGEND

* NOM. KERB LINE.




UPRIGHT KERB

## NOTES:

1. THESE DETAILS ARE FOR TYPICAL URBAN SITUATIONS. ANY VARIATIONS FROM THESE STANDARDS SHALL REQUIRE SUBMISSION OF DETAILED ALTERNATIVE DESIGN & GRADING TO COUNCIL FOR APPROVAL PRIOR TO COMMENCEMENT OF WORKS
2. FOOTPATH SECTION TO VARY WHERE NECESSARY TO MATCH CONCRETE FOOTPATHS AND VERGE PROFILES. FOOTPATH EARTHWORKS ADJOINING CONCRETE MUST BE WELL COMPACTED.
3. CONCRETE SURFACE TOLERANCE TO BE $^{+5MM}_{-0MM}$ OVER 3 METRE SECTIONS.
4. CONCRETE N25 IN ACCORDANCE WITH AS 1379 AND AS 3600.
5. REINFORCEMENT FABRIC TO AS 1304, 50 TOP AND EDGE COVER, LAP FABRIC 250.
6. EXPANSION JOINTS TO BE 10 THICK, FULL DEPTH CLOSED CELL CROSS LINKED POLYETHYLENE FOAM (85 – 150 KG/M ) OR 10MM THICK COMPRESSED GRANULATED CORKBOARD, INSTALLATION TO MANUFACTURES' INSTRUCTIONS.
7. A STREET OPENING PERMIT OR DRIVEWAY APPLICATION MUST BE OBTAINED FROM COUNCIL. THE APPLICANT SHALL OBTAIN APPROVAL OF LOCATION & LEVELS PRIOR TO EXCAVATION
8. REFER TO STANDARD DRAWING NO R14 FOR RURAL OR W.S.U.D. APPLICATIONS
9. GRADE NOT TO EXCEED 1 IN 14 WHERE DISABILITY ACCESS IS REQUIRED.
10. ALL DIMENSIONS IN MILLIMETRES.
11. EXISTING FOOTPATH PROFILE TO BE MAINTAINED WHERE POSSIBLE. THE COST OF ANY ADJUSTMENTS OR VARIATIONS SHALL BE BORNE IN FULL BY THE APPLICANT
12. COMPACTION FOR SUBGRADE 95% STANDARD TO AS 1289.5.1.1.
13. CONCRETE DRIVEWAY UNLESS OTHERWISE APPROVED
14. PAVER AND/OR PROPRIETARY CONCRETE SURFACE FINISHES TO DRIVEWAY SHALL ONLY BE USED WHEN APPROVED BY LOCAL AUTHORITY.

| TYPE OF DRIVEWAY | WIDTH AT BOUNDARY 'X' mm | THICKNESS 'T' mm @ REINFORCEMENT |
|---|---|---|
| SINGLE DWELLING OR DUPLEX UNIT | 3000 min. 6000 max | 100mm with SL62 |
| UNITS LOCAL STREETS | REFER TO A.S.2890 | 150mm with SL72 |
| × UNITS COLLECTOR ROADS | REFER TO A.S.2890 | 150mm with SL72 |
| × COMMERCIAL/ × INDUSTRIAL | REFER TO A.S.2890 | 200mm with SL82 |

NOT TO SCALE

| | | | |
|---|---|---|---|
| | | | |
| | | | |
| | | | |
| D | NOTES GENERALLY UPGRADED | MPK | 6/3/2018 |
| C | NOTES GENERALLY UPGRADED | | 18/6/2012 |
| B | NOTES GENERALLY UPGRADED | | 7/7/10 |
| A | ORIGINAL ISSUE | | 3/10/06 |
| REVISIONS | | APP'D | DATE |

STANDARD DRAWINGS

# NORTHERN RIVERS LOCAL GOVERNMENT

URBAN RESIDENTIAL DRIVEWAY LAYOUTS & LAYBACK VEHICULAR CROSSING FOR KERBED ROADS

ROAD/STREET STANDARD DRAWING

R-05

A B C D

CLIENT
James Stokes

DRAWING NAME
Driveway Details

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

Whilst due care has been taken in the preparation of these building plans, should construction of this dwelling differ from the details shown on these plans, ReziCAD Pty Ltd must be contacted immediately and works cease until a solution is reached. We will not accept any responsibility or back charges without our written agreement to do so.

ReziCAD BUILDING DESIGN
www.rezicad.com
drafting@rezicad.com Ph: (07) 3363 8188
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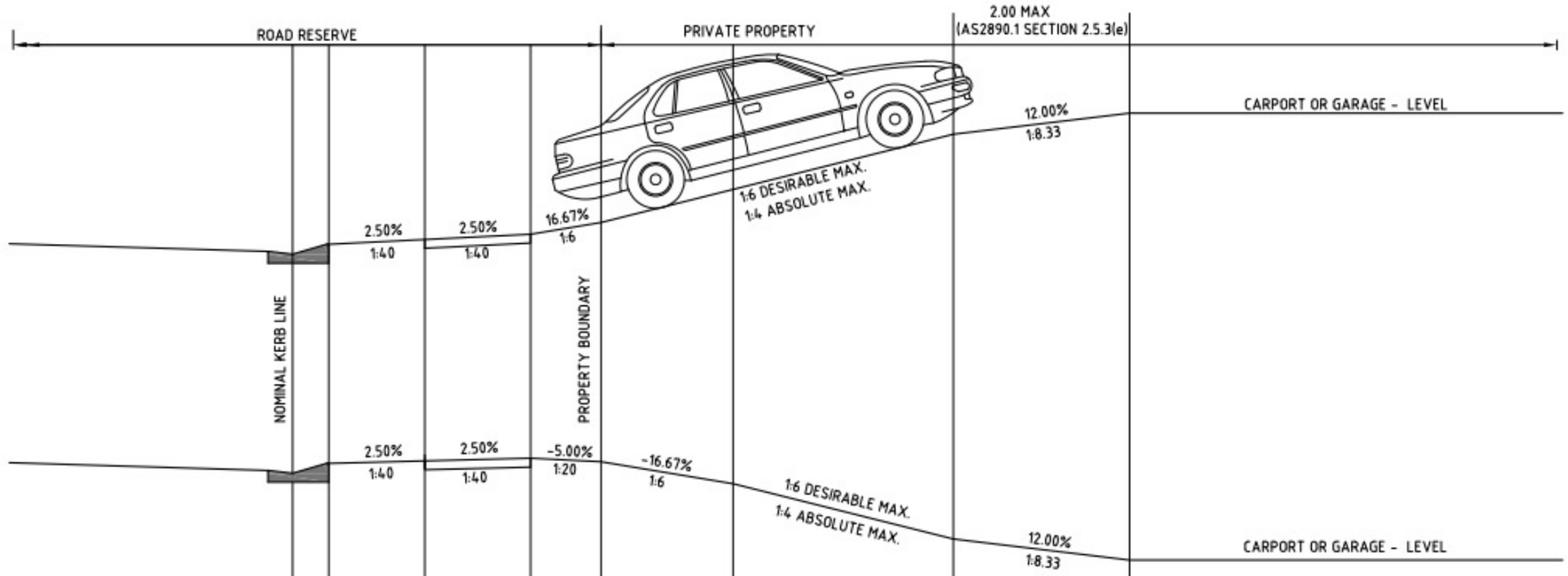
| Rev | Revision Description | Date | By |
|---|---|---|---|
| F | Revised DA | 24/06/22 | AM |
| E | Amended Car Turning | 06/07/21 | VKP |
| D | Amended Working | 02/07/21 | VKP |

| | |
|---|---|
| WIND LOADING (BY OTHERS) N3 (W33) | SCALE @ A3 |
| LICENCE 1153526 | DATE 28/4/21 |
| SITE No. 2102773 | SHEET No. 24 of 25 |




| | | | | | | | | |
|---|---|---|---|---|---|---|---|---|
| HIGH SIDE | 00 | +0.110 | +0.1327 | +0.167 | +0.300 | +0.675 | +1.300 | +1.540 |
| LOW SIDE | 00 | +0.110 | +0.327 | 0.167 | +0.127 | -0.123 | -0.748 | -0.988 |
| DISTANCE | 00 | 0.41 | 1.50 | 2.70 | 3.50 | 5.00 | 7.50 | 9.50 |

## HIGH & LOW DRIVEWAY PROFILE (FOR MIN. 6.0m SETBACK)

### NOTES

1. REFER TO DRAWING R-05 FOR PLAN LAYOUTS
2. FOOTPATH CROSSOVERS MUST BE PERPENDICULAR TO THE ROAD OR STREET, OR UP TO 20° (UNLESS OTHERWISE APPROVED IN EXCEPTIONAL CIRCUMSTANCES).
3. REFER TO STANDARD DRAWINGS NO R14 & R16 FOR NON KERBED APPLICATIONS
4. THIS STANDARD IS A GUIDE ONLY. VARIATIONS TO THIS DETAIL SHALL REQUIRE DETAILED LONGITUDINAL SECTIONS TO BE SUBMITTED. CHANGES OF GRADE SHALL COMPLY WITH AS.2890 & THE DESIGN VEHICLE CLEARANCES.
5. MAX CHANGE OF GRADE 12.5% FOR CREST, 15% FOR SAG (AS2890.1 SECTION 2.5.3(d)

NOT TO SCALE

| | | | |
|---|---|---|---|
| D | GENERALLY AMENDED | | 24/10/12 |
| C | GENERALLY AMENDED | | 18/6/2012 |
| B | NOTES & TITLE AMEMDED | | 7/7/10 |
| A | ORIGINAL ISSUE | | 3/10/06 |
| | REVISIONS | APP'D | DATE |

STANDARD DRAWINGS

# NORTHERN RIVERS LOCAL GOVERNMENT

RESIDENTIAL DRIVEWAYS
FOR KERBED ROADS
LONGITUDINAL GRADING DETAILS

ROAD/STREET STANDARD DRAWING

R-06

A B C D

CLIENT
James Stokes

DRAWING NAME
Driveway Details 2

SITE ADDRESS
Lot 161 Tuckeroo Ave,
Mullumbimby NSW 2482

REAL PROPERTY DESCRIPTION

| | |
|---|---|
| Lot | Lot 161 |
| RP | DISCLOSURE |
| Site Area | 1060m² |

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