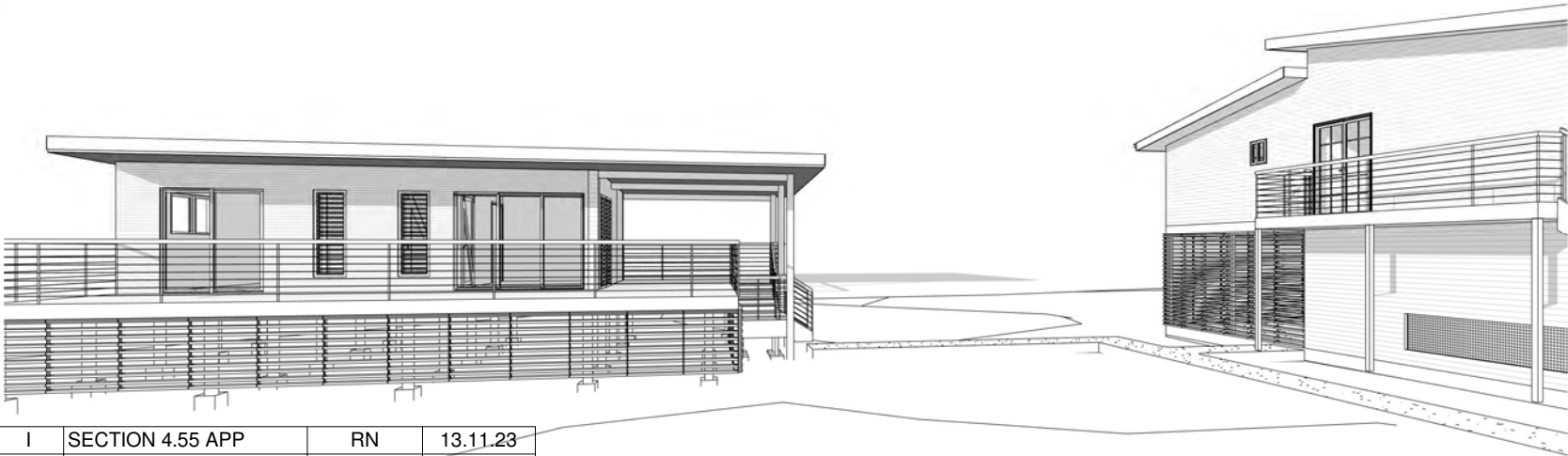


PROPOSED DWELLING & ADDITIONS TO EXPANDED  
DWELLING HOUSE (EXISTING SHED)  
14 CASONS ROAD  
NEW BRIGHTON



PROPOSED DWELLING - ILLUSTRATIVE PURPOSES ONLY



I	SECTION 4.55 APP	RN	13.11.23
H	REV DA ISSUE	RN	07.07.23
G	RFI RESPONSE	RN	16.0523
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
TITLE PAGE



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD00  
Issue :  
1

Sheet List			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
SD00	TITLE PAGE	I	13.11.23
SD01	SITE LOCATION PLAN	E	16.0523
SD02	SITE PLAN	I	07.07.23
SD03	DEMOLITION PLAN	E	07.07.23
SD04	SITE ANALYSIS	E	07.07.23
SD05	EXP DWELLING	I	07.07.23
SD06	EXP DWELLING ROOF PLAN	G	07.07.23
SD07	EXP DWELLING ELEVATIONS	G	07.07.23
SD08	EXP DWELLING ELEVATIONS	G	07.07.23
SD110	HOUSE-GROUND FLOOR PLAN	H	13.11.23
SD201	HOUSE-FIRST FLOOR PLAN	H	13.11.23
SD300	HOUSE-ELEVATIONS SOUTH & WEST	F	13.11.23
SD301	HOUSE-ELEVATIONS NORTH & EAST	F	13.11.23
SD400	HOUSE-SECTION	E	20.01.23
SD500	OVERALL ELEVATIONS AND MATERIAL SCHEDULE	G	13.11.23
SD501	BUILDING HEIGHT PLANE AND SET BACK DIAGRAM	E	16.0523
SD502	SHADOW DIAGRAMS	E	07.07.23
SD503	STORMWATER MANAGEMENT PLAN	E	07.07.23
SD504	EROSION AND SEDIMENT CONTROL PLAN	E	07.07.23





SITE LOCATION:  
14 CASONS ROAD, NEW BRIGHTON  
LOT 361  
PLAN DP755687

E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE LOCATION PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD01

Scale : @ A3  
1 : 1  
Issue :  
E

SITE

**SITE DESCRIPTION**  
PROPOSED DWELLING &  
ADDITIONS TO EXPANDED  
DWELLING HOUSE (EXISTING  
SHED)

**ADDRESS**  
14 CASONS ROAD  
NEW BRIGHTON

**SITE INFORMATION**  
LOT - 1  
DP - 1207731  
LOT - 361  
DP - 755687

**SITE AREA**  
1133.6m<sup>2</sup>

**ZONING**  
R2 - LOW DENSITY RESIDENTIAL

DESIGN CRITERIA

BYRON SHIRE COUNCIL DCP

REQUIRED	ACHIEVED	COMPLY
1a) DEEP SOIL ZONE MIN 25% OF SITE	<255m <sup>2</sup> <25%	✓
2a) FLOOR SPACE RATIO 0.2:1	0.20:1 (228.5m <sup>2</sup> )	✓
2) SETBACKS (LOTS 300m <sup>2</sup> - 600m <sup>2</sup> )		
FRONT = 6.5m (GROUND FLOOR)	6.95m	✓
SIDE = 0.9m TO WALL UP TO 4.5m	>1.98m	✓
REAR TO WALL = 0.9m TO WALL UP TO 4.5m	>1.53m	✓
GARAGE 1m SETBACK FROM FRONT FACADE	17.13m	✓
3) SITE COVERAGE		
SITE AREA - 1133.3m <sup>2</sup>	263.4m <sup>2</sup>	✓
MAX 50%	43%	
4) HEIGHT MAX 9m	7.22m	✓

**NOTE**  
ALL CONSTRUCTION AS PER BASIX REPORT

**BUSHFIRE CONSTRUCTION REQUIREMENTS - SUMMARY**

REFER NCCC vol 2,c3.7 & AS3959-2018 SEC 3 & 8 - BAL 40  
PLANNING FOR BUSHFIRE PROTECTION 2019  
FOR FULL DETAILS & INFORMATION

EXTERNAL STUD WALLS  
FRAMING - MIN 90mm STEEL OR TIMBER  
SARKING - NON-COMBSUTIBLE  
CLADDING - FC SHEET MIN 9mm THICK  
POSTS - NON COMBUSTIBLE

**EXTERNAL WINDOWS, GLASS DOORS**

FIRE SHUTTER - NON REMOVABLE  
- METAL FRAME  
- MAX 2mm APERTURE  
- METAL  
FRAMING  
GLAZING  
WINDOWS - TOUGHENED GLASS MIN 6mm  
DOORS - TOUGHENED GLASS MIN 6mm

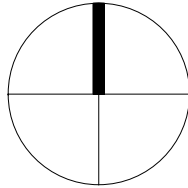
**ROOF inc VERANDAH**

DECK/EAVES LINING - FC SHEET MIN 4.5mm THICK  
SARKING - FLAMMABILITY INDEX NOT MORE THAN 5  
ALL JOINTS SEALED - OVERLAPPED, BACKED OR BUTT-JOINTED  
- FASCIA SEALED WITH MINERAL WOOL  
PENETRATIONS - FULLY SEALED  
ROOF LIGHTS - FRL (-/30/-)  
FASCIA - METAL FIXED AT 450crs  
GUTTERS - NON-COMBUSTIBLE EMBER GUARDS

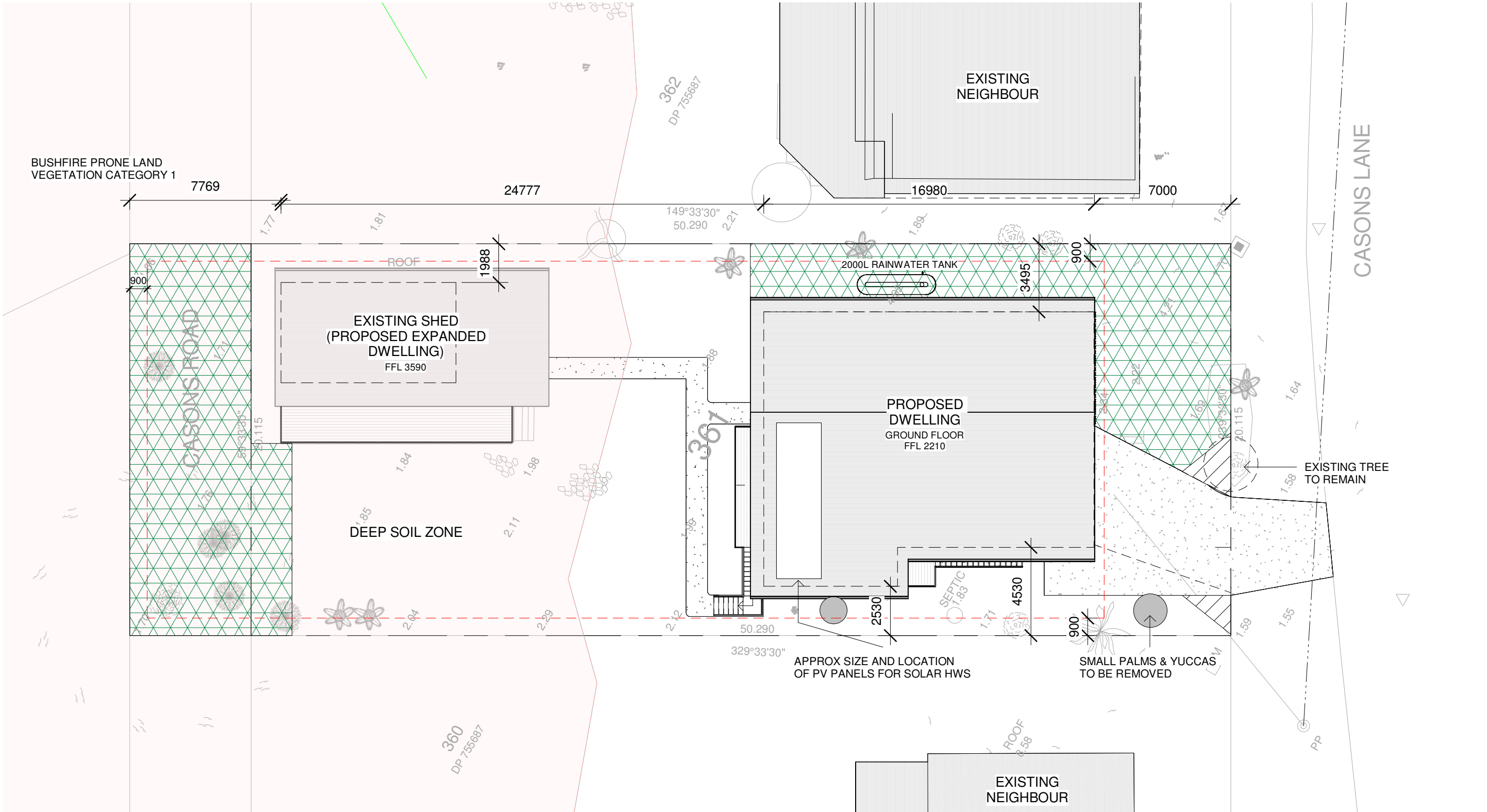
BALUSTRADE - NON COMBUSTIBLE

NOTE

1. ALL EXISTING OPENABLE WINDOWS TO BE FITTED WITH METAL MESH  
SCREENS TO PROTECT AGAINST EMBER ATTACK. REFER BUSHFRIE REPORT &  
SPECIFICATION FOR FURTHER DETAIL
2. TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE
3. EXISTING EXTERNAL DOORS TO BE FITTED WITH DRAUGHT EXCLUDERS -  
REFER SPECIFICATION
4. EXISTING WINDOWS AND DOORS SCHEDULED IN 'E'
5. SIZE PROVIDED OF EXISTING WINDOWS AND DOORS FOR INFORMATION TO  
BE CONFIRMED ONSITE







LEGEND

- SITE BOUNDARY ————
- SUPPORTING STRUCTURE - - - - -
- SET BACK - - - - -
- POWERLINE . . . . .

I	REV DA ISSUE	RN	07.07.23
H	REV DA ISSUE	RN	14.06.23
G	RFI RESPONSE	RN	16.05.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

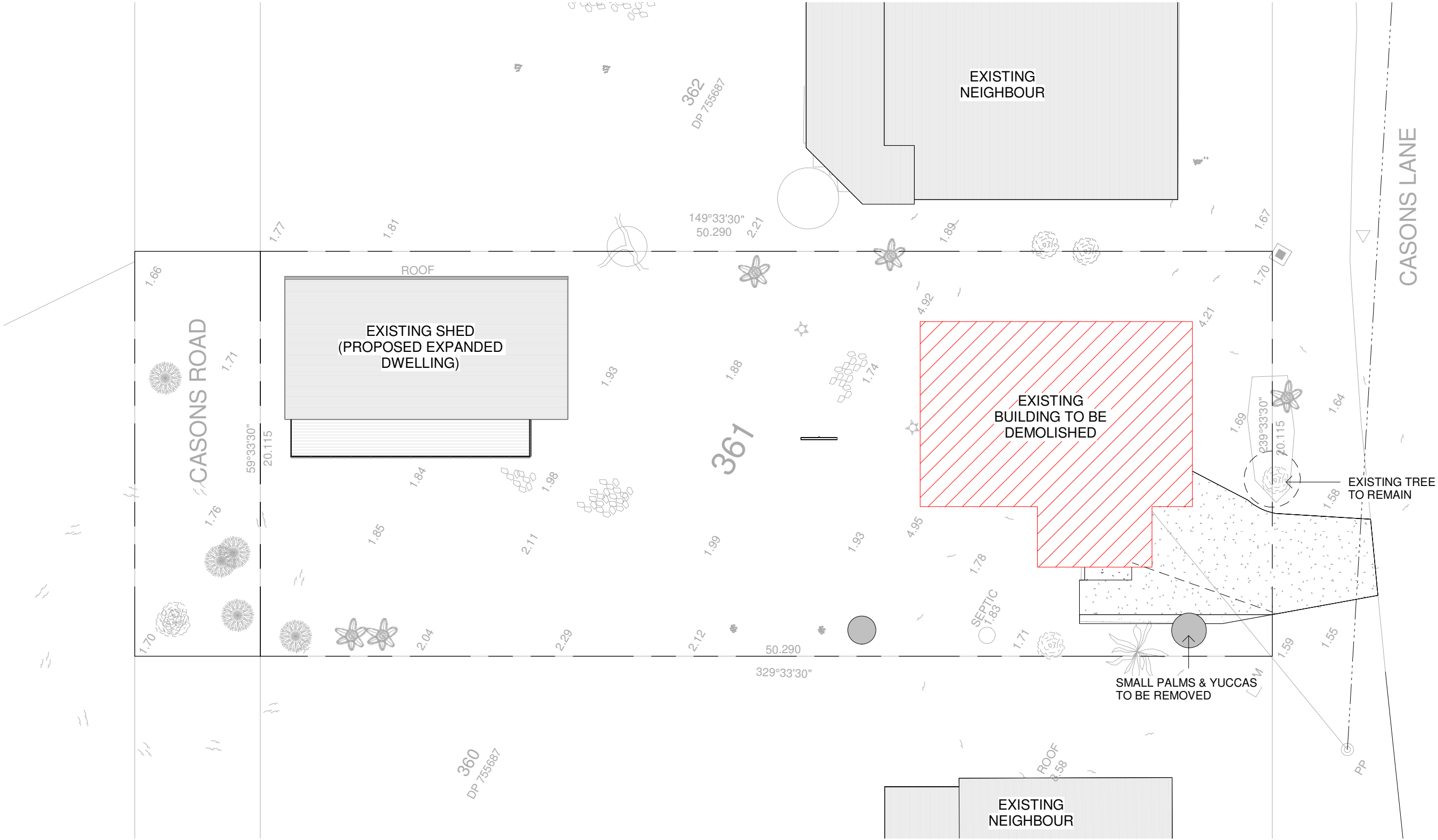
Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE PLAN

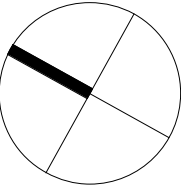


RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD02  
Scale : @ A3  
1 : 200  
Issue :  
1



LEGEND  
SITE BOUNDARY



AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

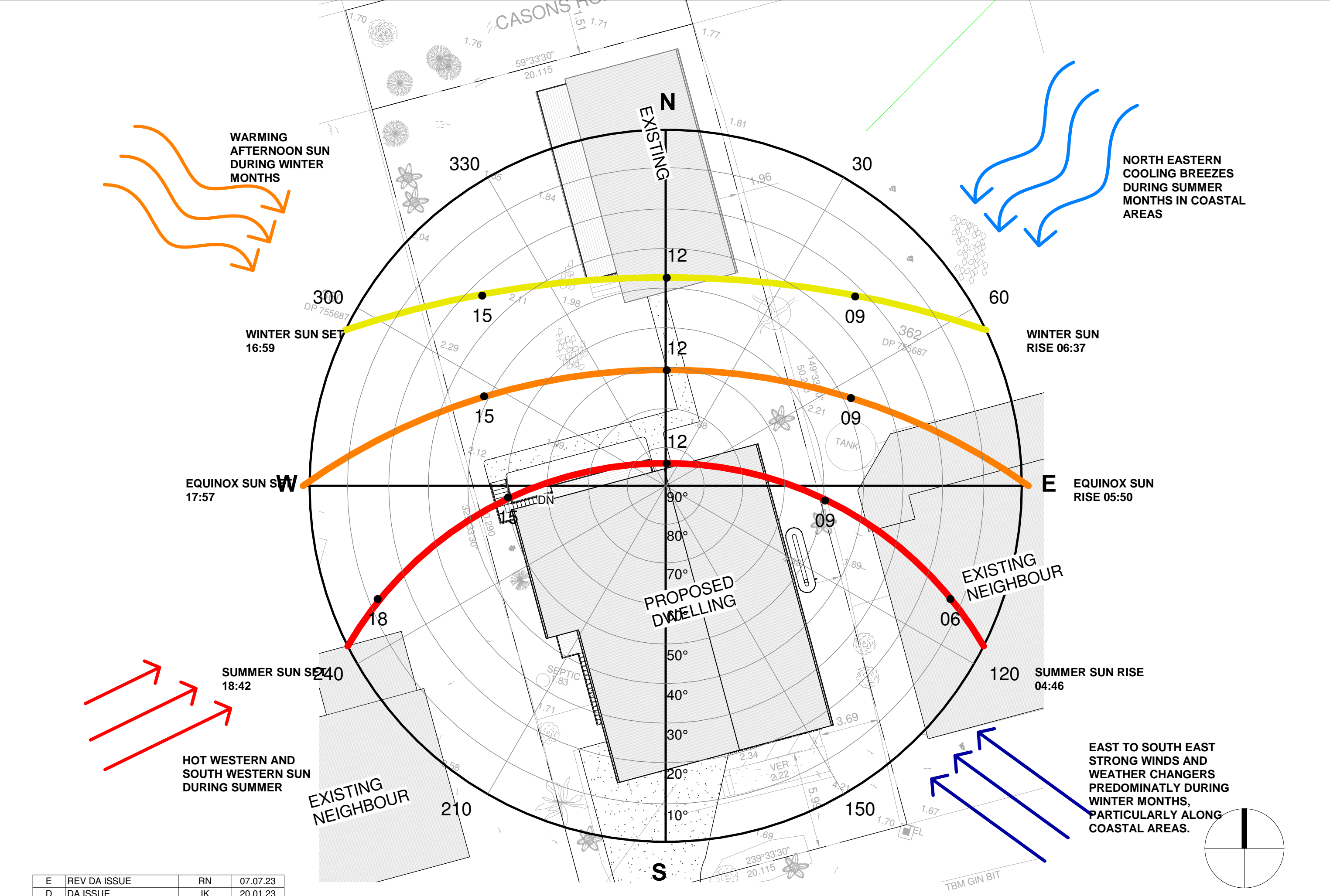
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
DEMOLITION PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD03  
Scale : @ A3  
1 : 200  
Issue :  
E  
13/11/2023 3:01:38 PM





AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE ANALYSIS

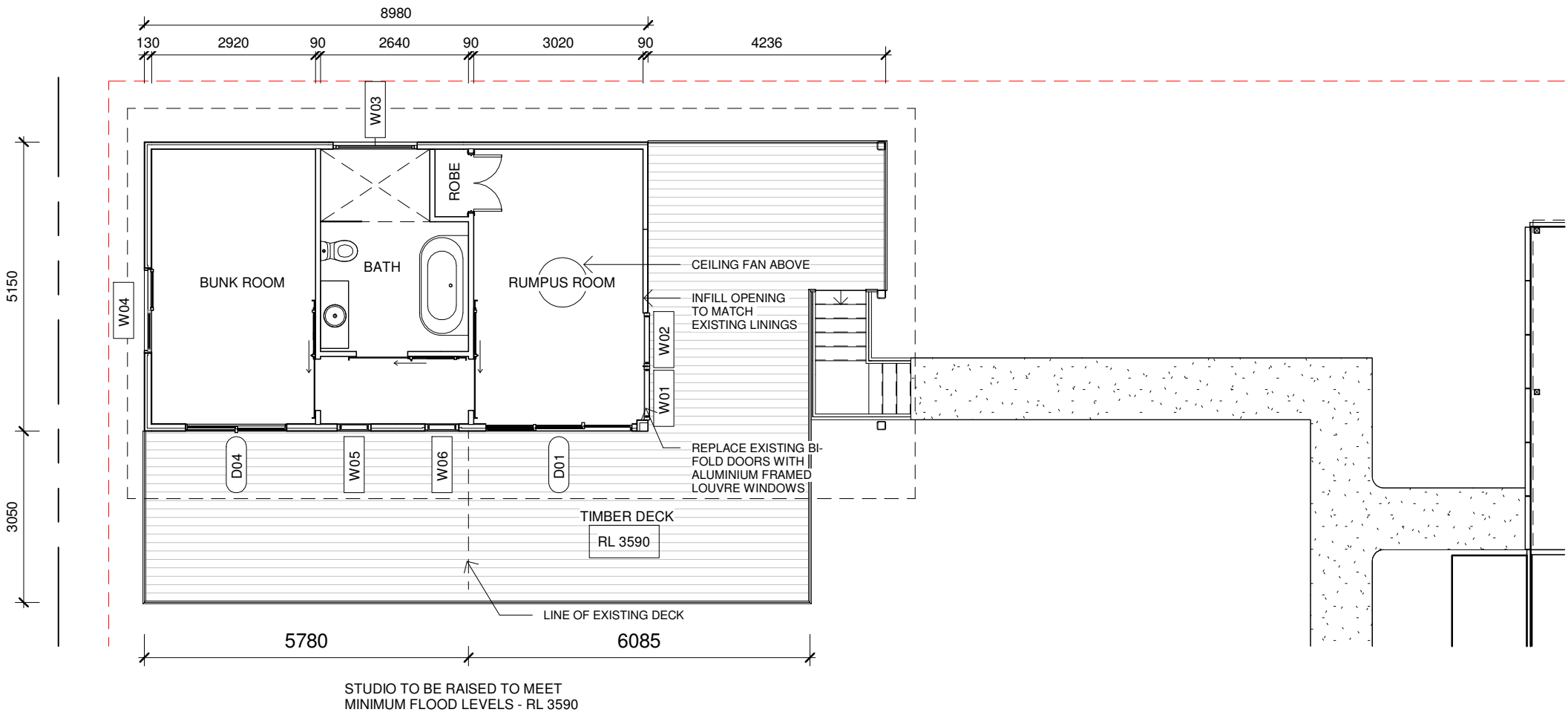


RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD04

Scale : @ A3  
1 : 200  
Issue :  
E

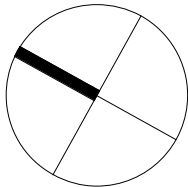




**THERMAL PERFORMANCE SPECIFICATIONS: (23114\_03 – 14 Casons Road)**  
The following specifications take precedence over other plan notations for the construction of this building.  
**NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:  
- Building Fabric Thermal Insulation  
(NOTE: If steel framing is used a thermal break may be required)  
- Building Sealing  
- Building Services  
(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)  
**WINDOWS (total product specification – glass + frame)**  
U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)  
- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)  
  
U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)  
- Applies to Group B (e.g. fixed, louvred and sliding) glass  
  
NB: the glazing above can be sourced as single glazed glass.  
U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)  
- Applies to D01 – Rumpus sgd only.  
  
**EXTERNAL WALL (Medium and Dark colour as specified on the drawings)**  
Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier  
Garage – No insulation  
**INTERNAL WALL**  
Cavity Panel – No Insulation (generally)  
**EXTERNAL FLOOR**  
Concrete Slab on Ground – No insulation – Garage only  
Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation  
**CEILING SPACE with CEILING ABOVE**  
Plasterboard – R2.0 bulk insulation (between garage and living areas above)  
**CEILING SPACE with ROOF ABOVE**  
Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)  
**ROOF (Medium – Shale Grey colour) (Non-ventilated)**  
Sheet Metal Roofing – 60mm Reflective Foil Blanket  
**CEILING FANS**  
2 x 1200mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room  
**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**  
  
Refer to current HERS Certificate to validate these thermal specification details.

Door Schedule				
Mark	Level	Height	Width	Comments
D01	FFL SHED NEW	2100	2600	3 PANE STACKER DOOR
D04	FFL SHED NEW	2100	1800	ALUMINIUM FRAMED SLIDING DOOR
D18	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D31	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D32	FFL SHED NEW	2040	500	ROBE DOOR

Window Schedule				
Mark	Level	Height	Width	Comments
W01	FFL SHED NEW	2100	950	LOUVRE WINDOW
W02	FFL SHED NEW	2100	950	LOUVRE WINDOW
W03	FFL SHED NEW	900	1500	AWNING WINDOW TO REPLACE EXISTING
W04	FFL SHED NEW	900	1510	EXISTING WINDOW
W05	FFL SHED NEW	1800	600	LOUVRE WINDOW
W06	FFL SHED NEW	1800	600	LOUVRE WINDOW



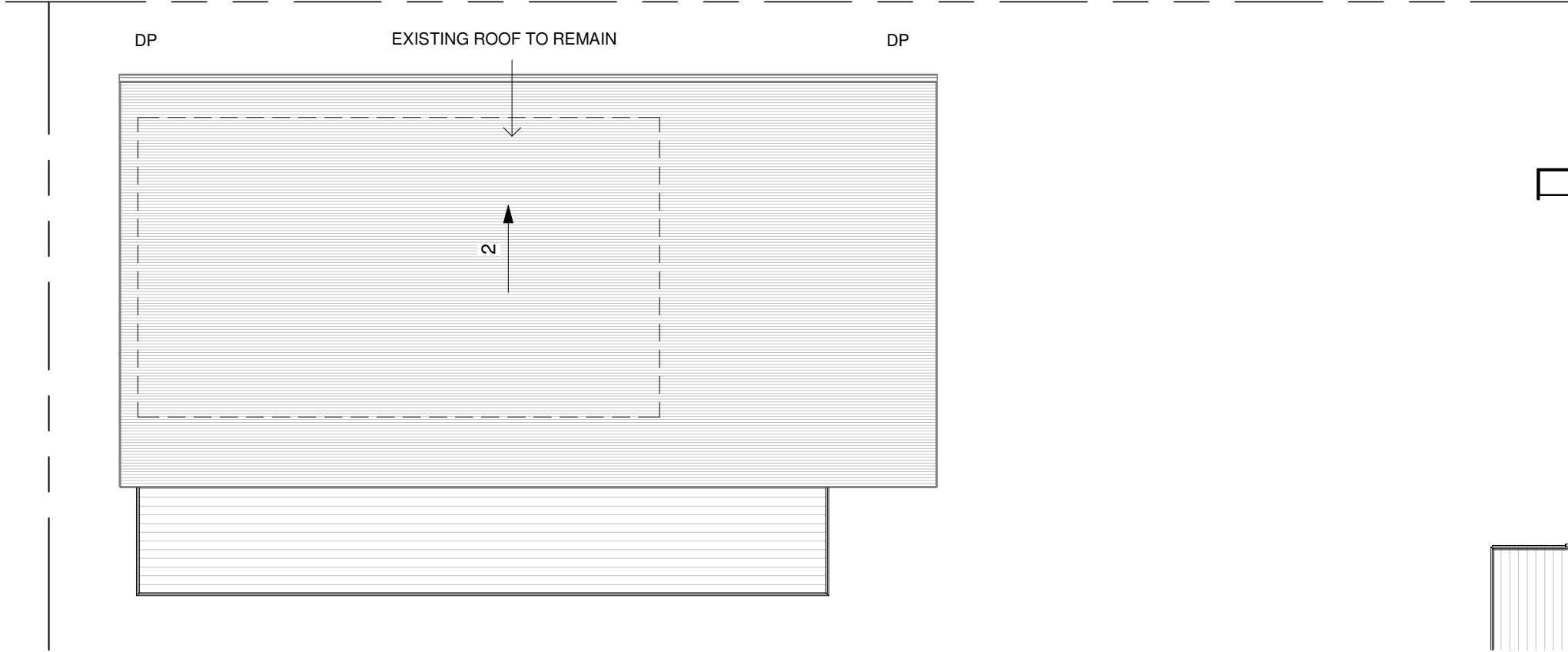
AMENDMENT	I	REV DA ISSUE	RN	07.07.23
	H	REV DA ISSUE	RN	14.06.23
	G	RFI RESPONSE	RN	16.05.23
	F	DA ISSUE	IK	20.01.23
	E	DRAFT DA ISSUE	RN	30.11.22
	D	REV REVIEW ISSUE	RN	18.11.22
	C	REVIEW ISSUE	RN	04.11.22
	B	UPDATED STUDIO PLAN	RN	10.10.22
	A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION		ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD  
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au  
Project number :  
2219  
Drawing number :  
SD05  
Scale : @ A3  
1 : 100  
Issue :  
1  
13/11/2023 3:01:40 PM





LEGEND

SUPPORTING STRUCTURE    - - - - -

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

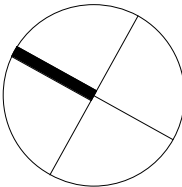
Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING ROOF PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD06  
Scale : @ A3  
1 : 100  
Issue :  
G





▼ SHED ROOF LEVEL  
6040

▼ FFL SHED NEW  
3590

▼ FFL SHED EXISTING  
2730



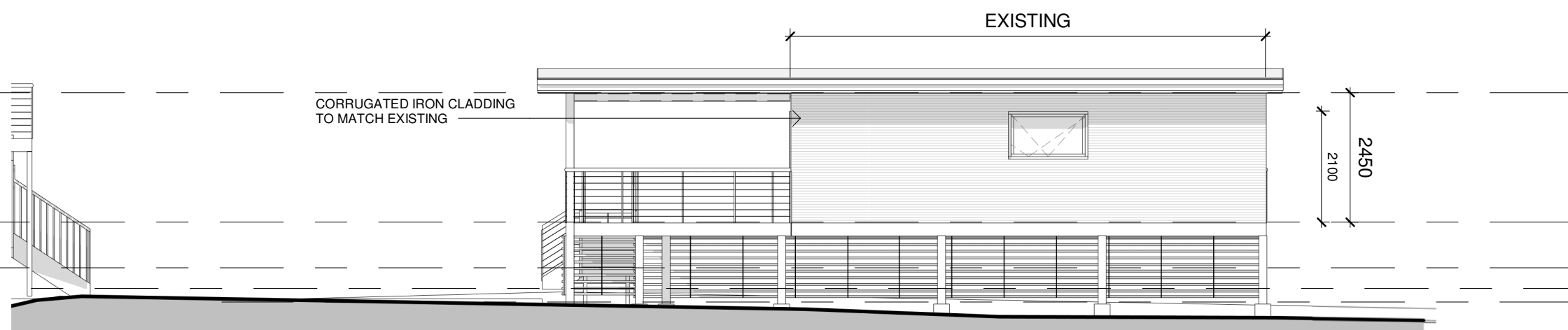
1 NORTH ELEVATION  
1 : 100

▼ SHED ROOF LEVEL  
6040

▼ FFL SHED NEW  
3590

▼ FFL SHED EXISTING  
2730

▼ Deck Level  
2340



2 EAST ELEVATION  
1 : 100

AMENDMENT

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING

Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON

Drawing Title :  
EXP DWELLING ELEVATIONS



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539

M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

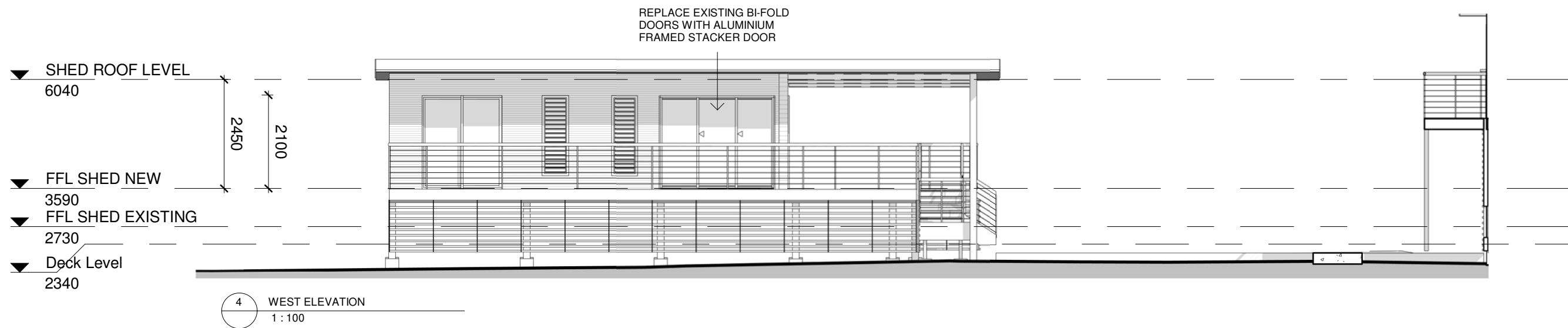
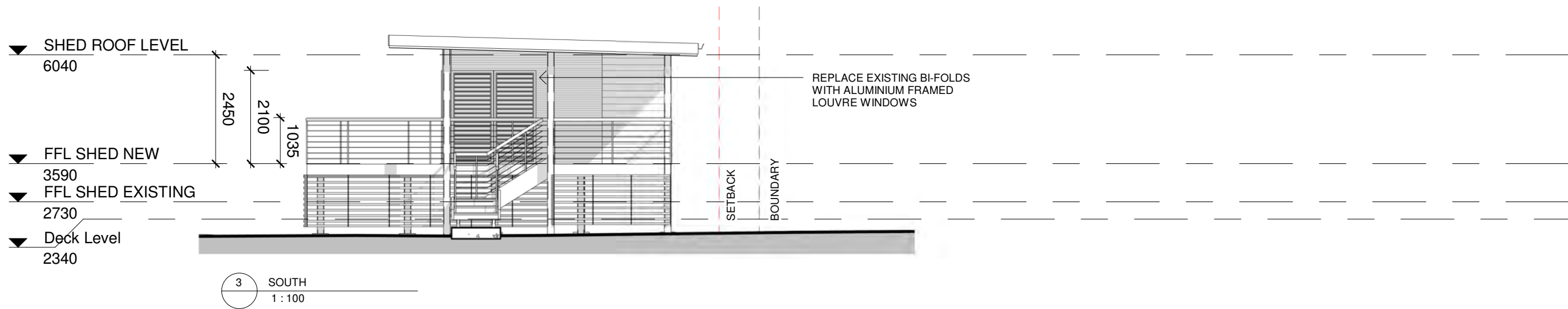
Project number :  
2219

Drawing number :  
SD07

Scale : @ A3  
1 : 100

Issue :  
G

13/11/2023 3:01:41 PM



REV.	DESCRIPTION	ISSUED BY	DATE
G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING ELEVATIONS



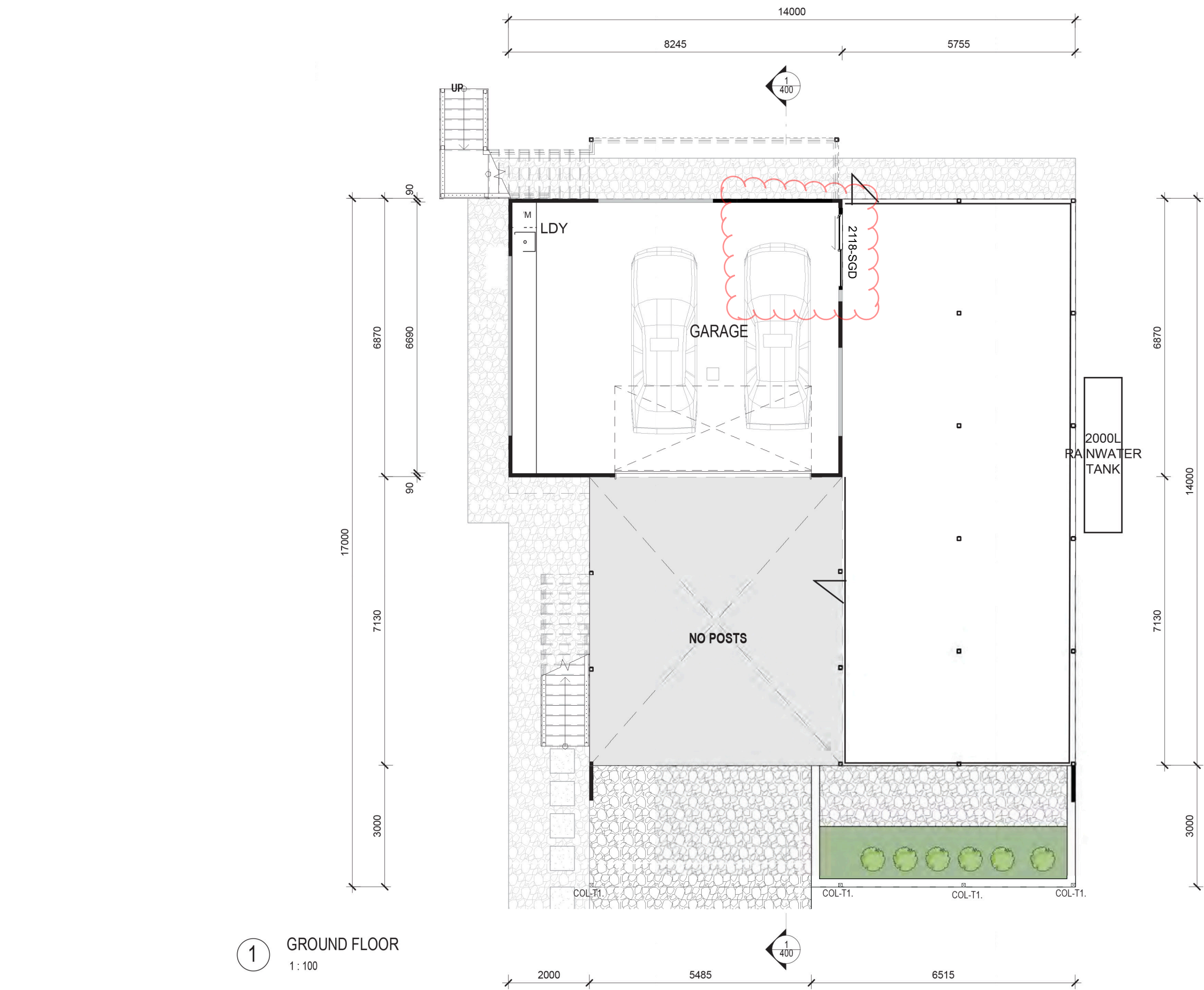
RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD08

Scale : @ A3  
1 : 100  
Issue :  
G



ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING



**THERMAL PERFORMANCE SPECIFICATIONS:** (23114\_03 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

**NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

(NOTE: If steel framing is used a thermal break may be required)

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

**WINDOWS (total product specification – glass + frame)**

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

NB: the glazing above can be sourced as single glazed glass.

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 – Rumpus sgd only.

**EXTERNAL WALL (Medium and Dark colour as specified on the drawings)**

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

**INTERNAL WALL**

Cavity Panel – No Insulation (generally)

**EXTERNAL FLOOR**

Concrete Slab on Ground – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

**CEILING SPACE with CEILING ABOVE**

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

**CEILING SPACE with ROOF ABOVE**

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

**ROOF (Medium – Shale Grey colour) (Non-ventilated)**

Sheet Metal Roofing – 60mm Reflective Foil Blanket

**CEILING FANS**

2 x 1200mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room

**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**

Refer to current HERS Certificate to validate these thermal specification details.

## Ground Floor Plan

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P:	ISSUE: <b>H</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>110</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				H	13.11.23	RELOCATE SLIDING DOOR	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129  
Phone: +61 73806 5100

**imagine**  
by design

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AREA SCHEDULE	
Name	Area
DECK	36.5 m²
FIRST FLOOR LIVING	179.4 m²
PORCH	4.2 m²
REAR DECK	9.5 m²
GARAGE	56.6 m²
Grand total	286.3 m²

LEGEND	
COL-T1.	COLUMN - 90x90 HWD.
REF	REFRIGERATOR SPACE

**THERMAL PERFORMANCE SPECIFICATIONS:** (23114\_03 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

**NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- (NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c. (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

**WINDOWS (total product specification – glass + frame)**

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

NB: the glazing above can be sourced as single glazed glass.

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 – Rumpus sgd only.

**EXTERNAL WALL (Medium and Dark colour as specified on the drawings)**

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

**INTERNAL WALL**

Cavity Panel – No Insulation (generally)

**EXTERNAL FLOOR**

Concrete Slab on Ground – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

**CEILING SPACE with CEILING ABOVE**

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

**CEILING SPACE with ROOF ABOVE**

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

**ROOF (Medium – Shale Grey colour) (Non-ventilated)**

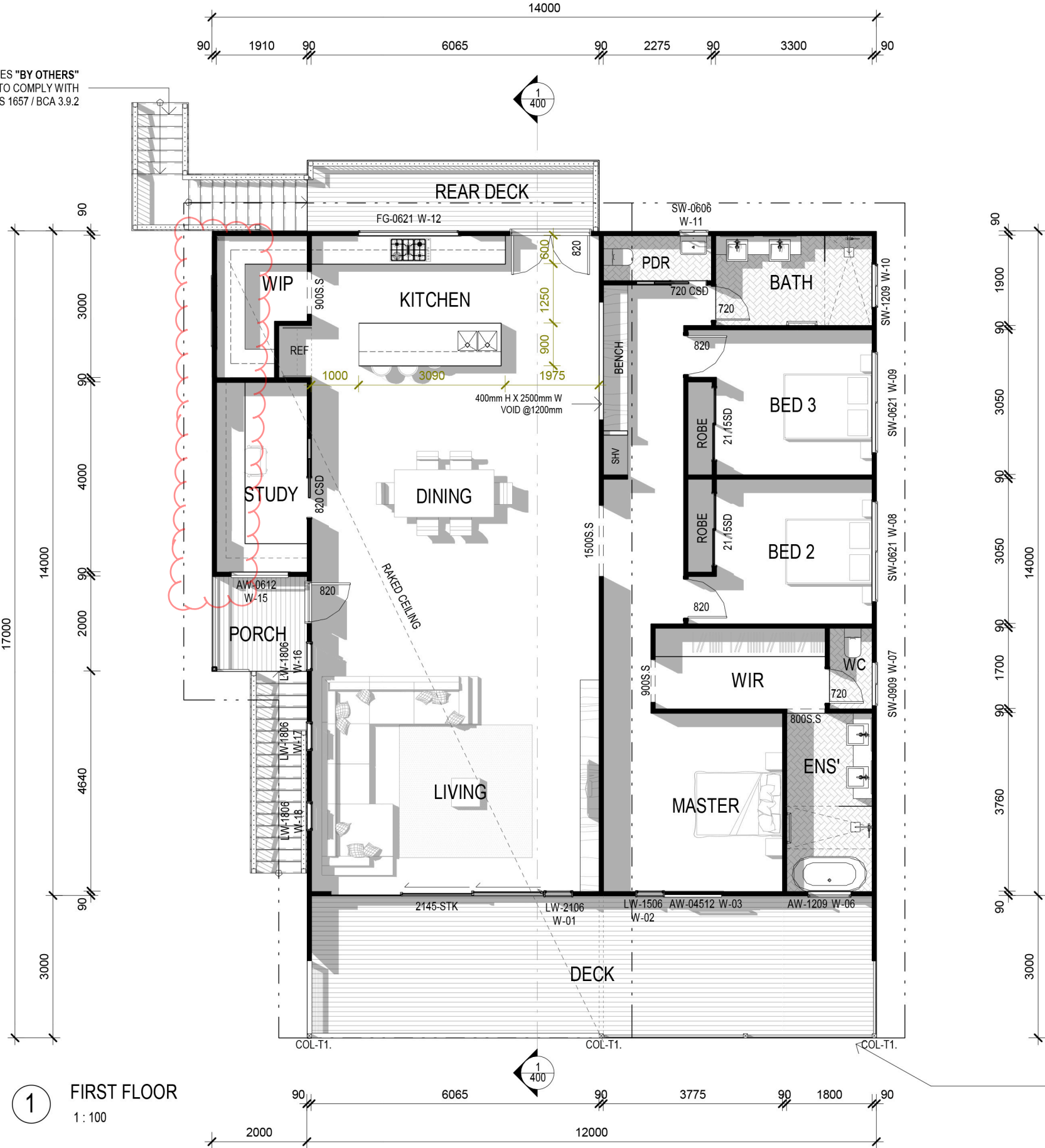
Sheet Metal Roofing – 60mm Reflective Foil Blanket

**CEILING FANS**

2 x 1200mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room

**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**

Refer to current HERS Certificate to validate these thermal specification details.



**ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING**

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	LW-2106	2100	610	Window-Louvre-Trend-Quantum-130mm
02	LW-1506	1500	610	Window-Louvre-Trend-Quantum-130mm
03	AW-04512	450	1200	Awning Window X
04	AW-04512	450	1200	Awning Window X
05	AW-04512	450	1200	Awning Window X
06	AW-1209	1200	910	Awning Window X
07	SW-0909	900	910	Sliding Window - XO
08	SW-0621	600	2110	Sliding Window - XO
09	SW-0621	600	2110	Sliding Window - XO
10	SW-1209	1200	910	Sliding Window - XO
11	SW-0606	600	610	Sliding Window - XO
12	FG-0621	600	2110	Fixed Glass - O
13	SW-0615	600	1510	Sliding Window - XO
14	SW-0615	600	1510	Sliding Window - XO
15	AW-0612	600	1200	Awning Window X
16	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
17	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
18	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm

DOOR SCHEDULE.				
Mark	Type	Height	Width	Description.
01	2145-STK	2100	4500	STACKER DOOR
02	820	2040	820	2/820 EXTERNAL DOOR
03	820	2040	820	820 FULL GLASS EXTERNAL DOOR

## First Floor Plan

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P.:	ISSUE: <b>H</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>201</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE PANTRY & KITCHEN WINDOW	AM	JMW

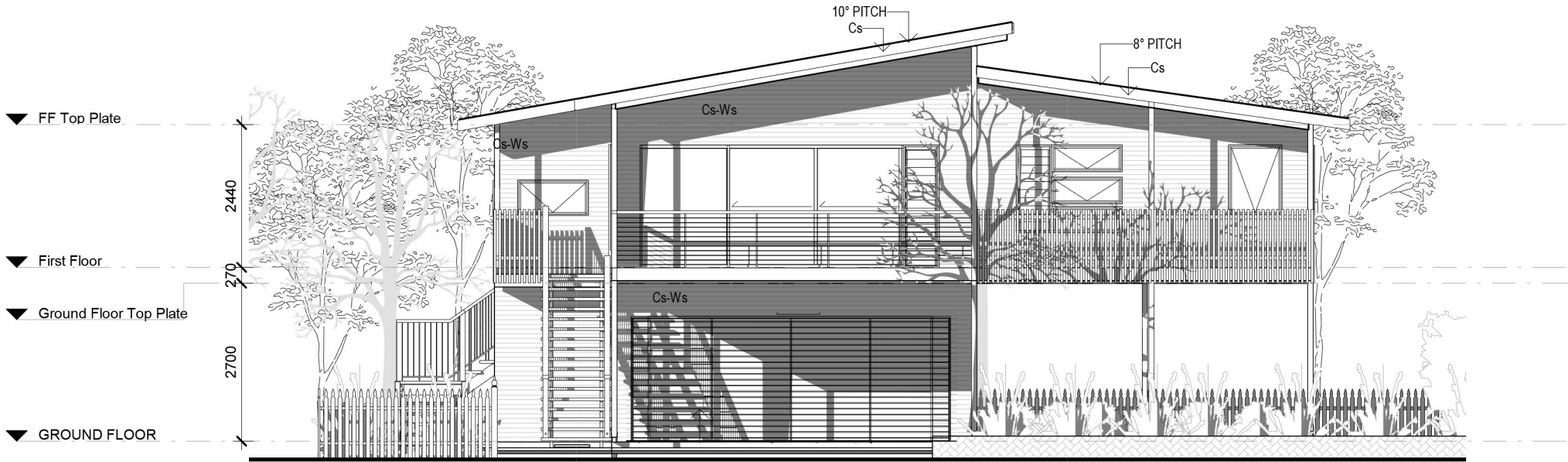
3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129  
Phone: +61 73806 5100

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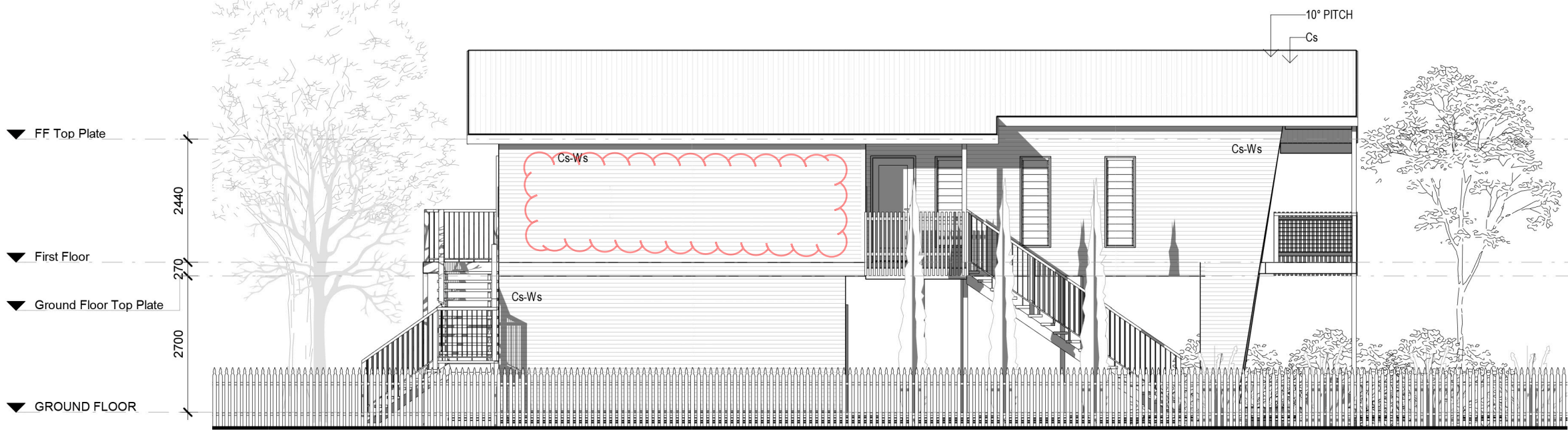
**imagine**  
by design



LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting



1 SOUTH. ELEVATION  
1 : 100



2 WEST. ELEVATION  
1 : 100

## Elevations - South&West

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P:	ISSUE: <b>F</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
				B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE PANTRY WINDOW	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>300</b>	LAND AREA: <b>1134m²</b>					

PRELIM - NOT FOR CONSTRUCTION

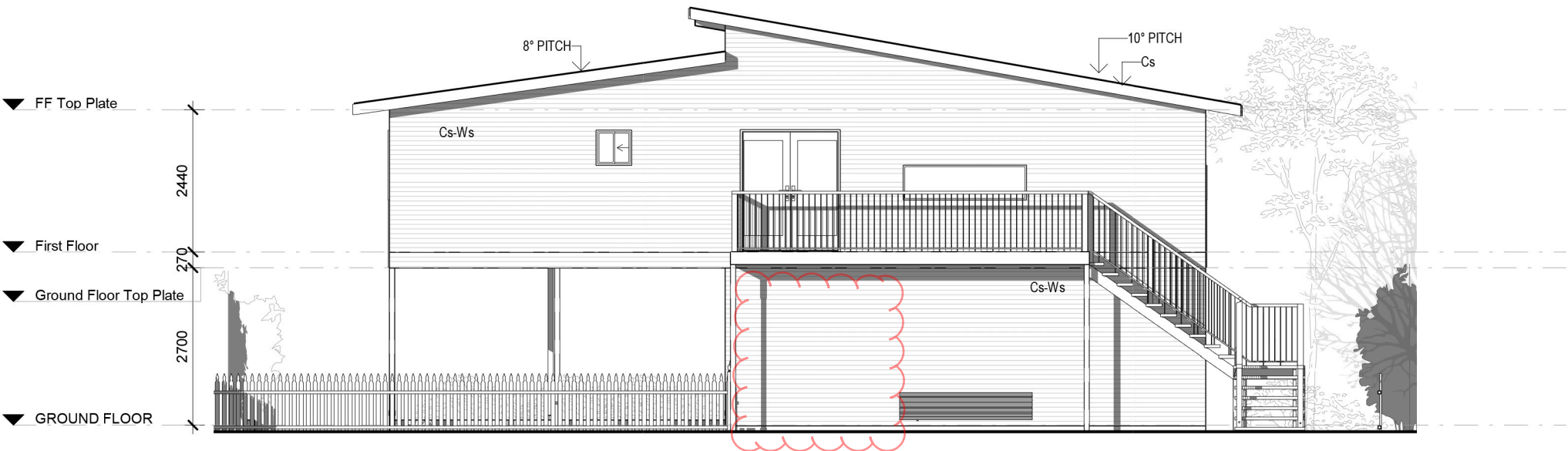
**imagine**  
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LOGANHOLME, QLD 4129

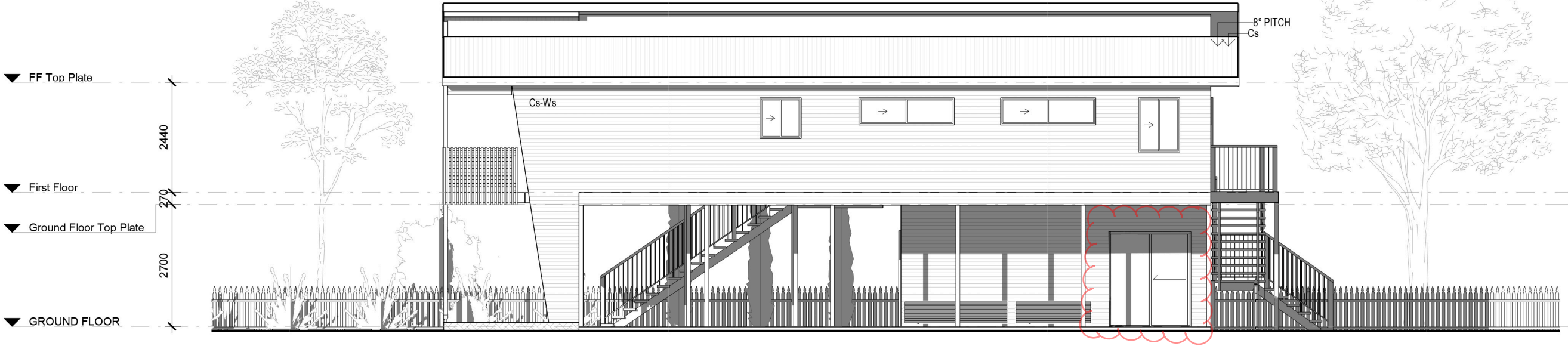
Phone: +61 73806 5100

QBCC: 1511 1256

LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting



3 NORTH ELEVATION  
1 : 100



4 EAST ELEVATION  
1 : 100

Elevations - North&East

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P:	ISSUE: <b>F</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>301</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE KITCHEN WINDOW & RELOCATE DOOR	AM	JMW





1

Section 1  
1 : 75

## Sections

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P:	ISSUE: <b>E</b>	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>07.09.22</td><td>PRELIMINARY DESIGN</td><td>AM</td><td>JMW</td></tr><tr><td>B</td><td>09.09.22</td><td>CLIENT REVIEW</td><td>AM</td><td>JMW</td></tr><tr><td>C</td><td>12.09.22</td><td>MINOR AMEND</td><td>AM</td><td>JMW</td></tr><tr><td>D</td><td>12.09.22</td><td>ADD LOUVERES / MINOR AMEND</td><td>AM</td><td>JMW</td></tr><tr><td>E</td><td>16.09.22</td><td>REMOVE ONE LW</td><td>AM</td><td>JMW</td></tr></table>	REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	07.09.22	PRELIMINARY DESIGN	AM	JMW	B	09.09.22	CLIENT REVIEW	AM	JMW	C	12.09.22	MINOR AMEND	AM	JMW	D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW	E	16.09.22	REMOVE ONE LW	AM	JMW
REV	DATE	DESCRIPTION	DRAWN	CHECKED																														
A	07.09.22	PRELIMINARY DESIGN	AM	JMW																														
B	09.09.22	CLIENT REVIEW	AM	JMW																														
C	12.09.22	MINOR AMEND	AM	JMW																														
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E	16.09.22	REMOVE ONE LW	AM	JMW																														
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 75 @ A3</b>																																
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>400</b>	LAND AREA: <b>1134m²</b>																															

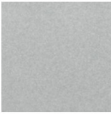

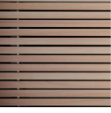

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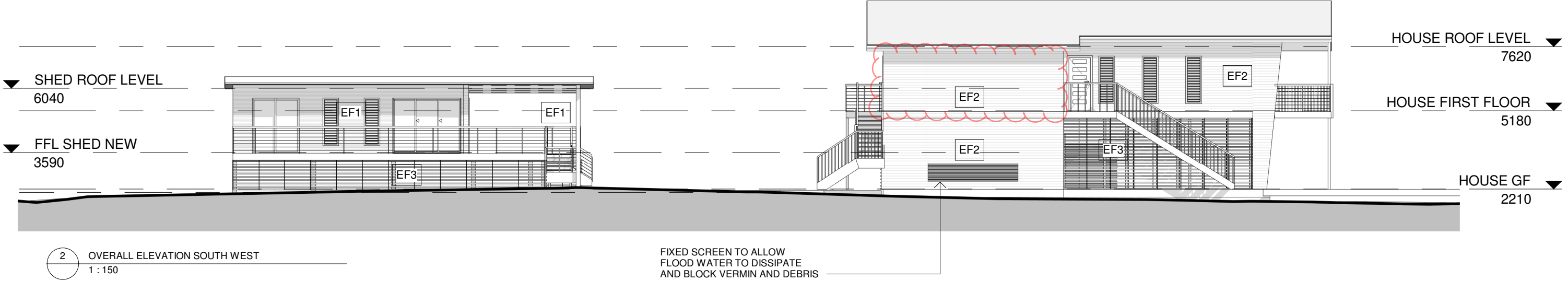
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LOGANHOLME, QLD 4129  
Phone: +61 73806 5100  
QBCC: 1511 1256

NOTE: ALL BALUSTRADES TO BE CONSTRUCTED TO NCC REQUIREMENTS

MATERIAL KEY SCHEDULE

REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



G	SECTION 4.55 APP	RN	13.11.23
F	REV DA ISSUE	RN	07.07.23
E	RFI RESPONSE	RN	16.05.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD



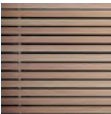

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
OVERALL ELEVATIONS AND MATERIAL  
SCHEDULE

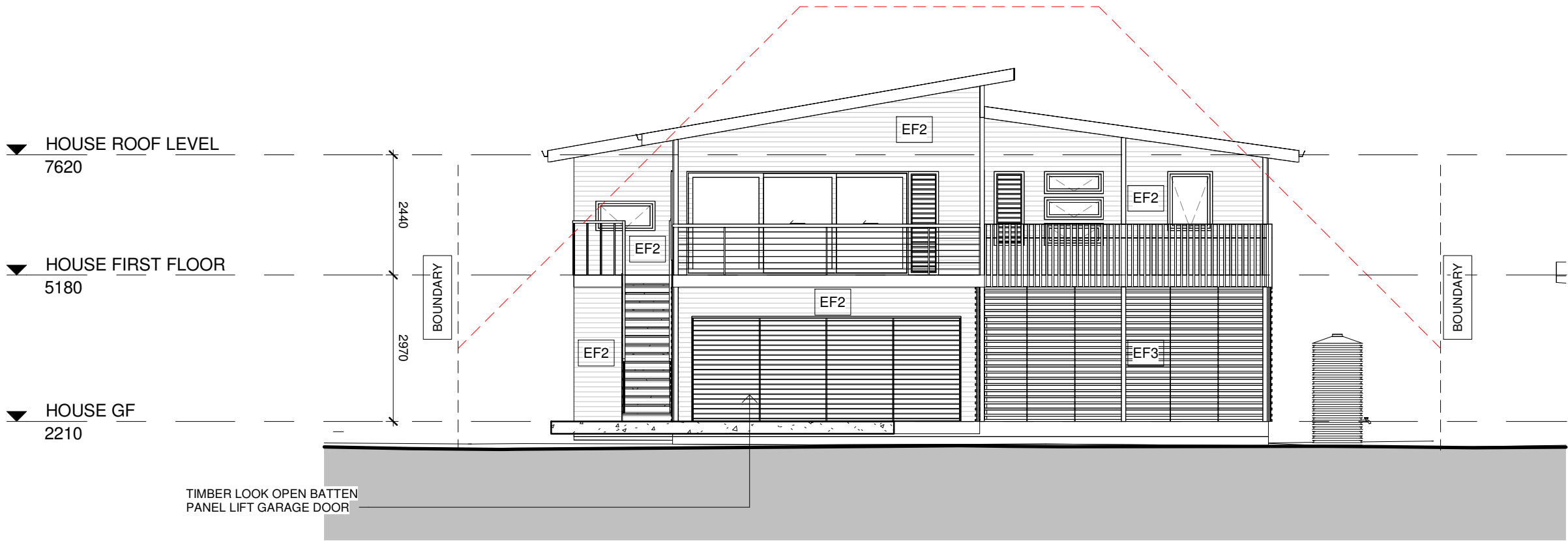


RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Scale : @ A3  
1 : 150  
Project number :  
2219  
Drawing number :  
SD500  
Issue :  
G



MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 BUILDING HEIGHT PROJECTION DIAGRAM  
1 : 100

LEGEND  
BUILDING HEIGHT PLANE — — — —  
SET BACK - - - - -

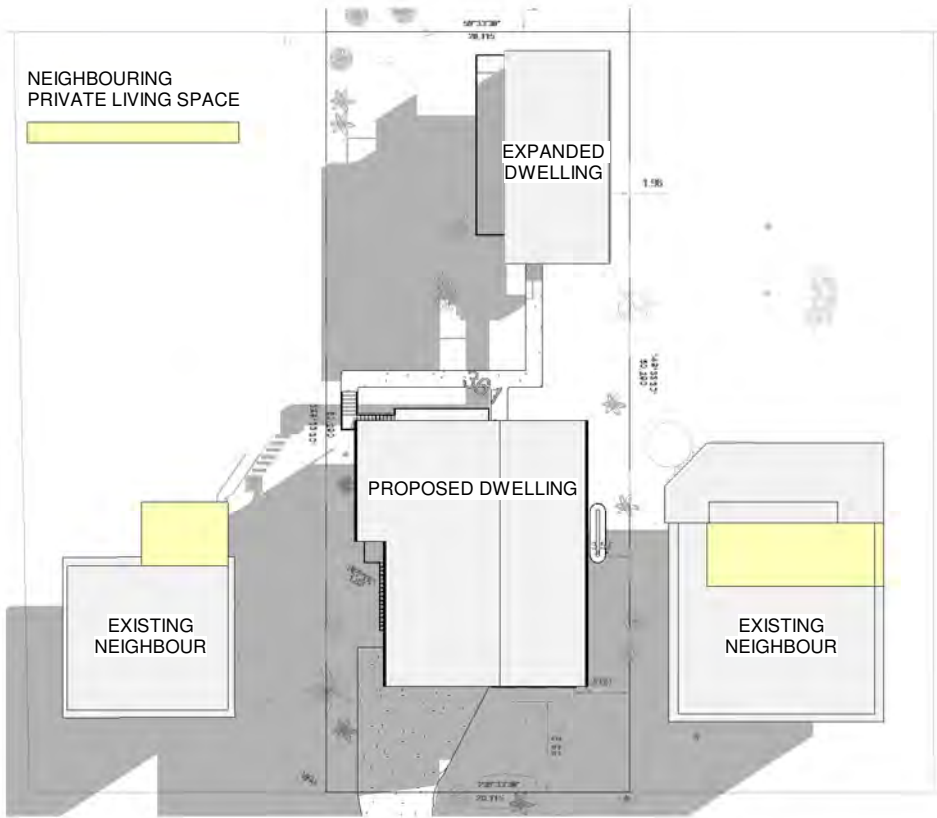
AMENDMENT

E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

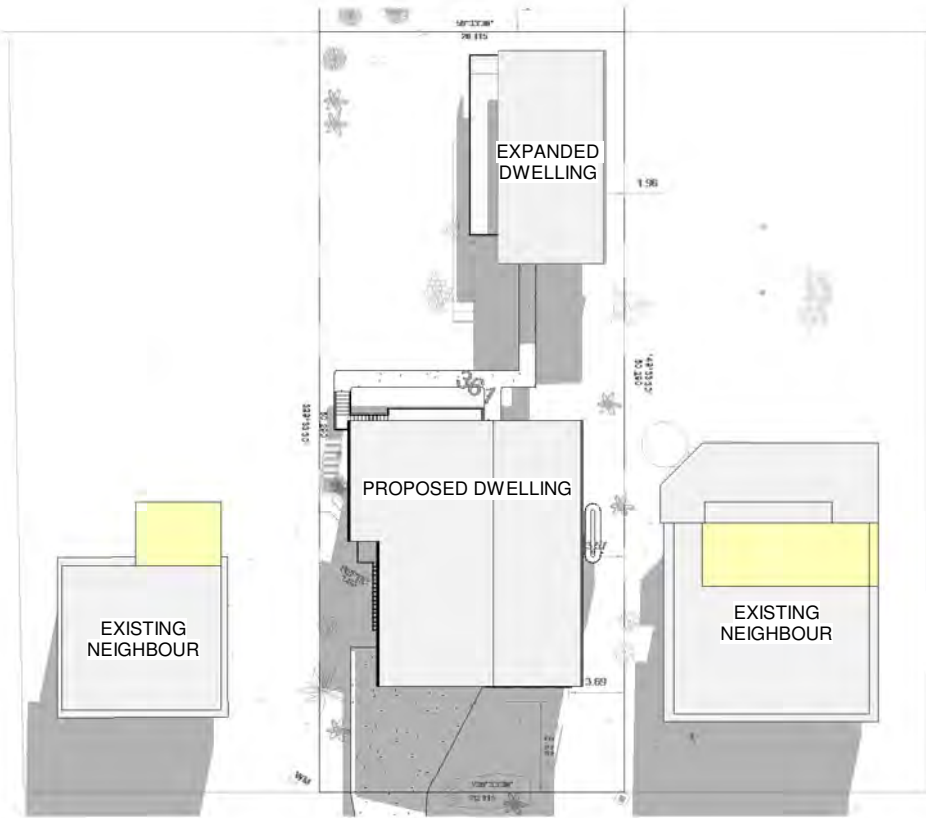
Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD  
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
BUILDING HEIGHT PLANE AND SET BACK  
DIAGRAM



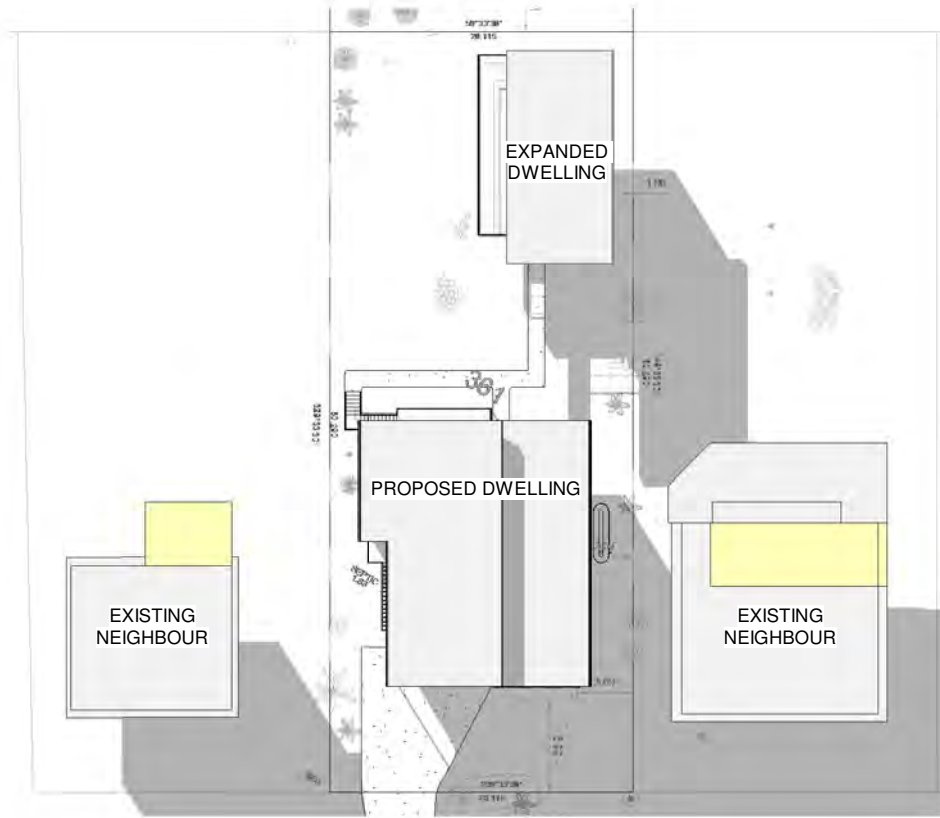
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QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au  
Project number :  
2219  
Drawing number :  
SD501  
Scale : @ A3  
1 : 100  
Issue :  
E  
13/11/2023 3:01:47 PM



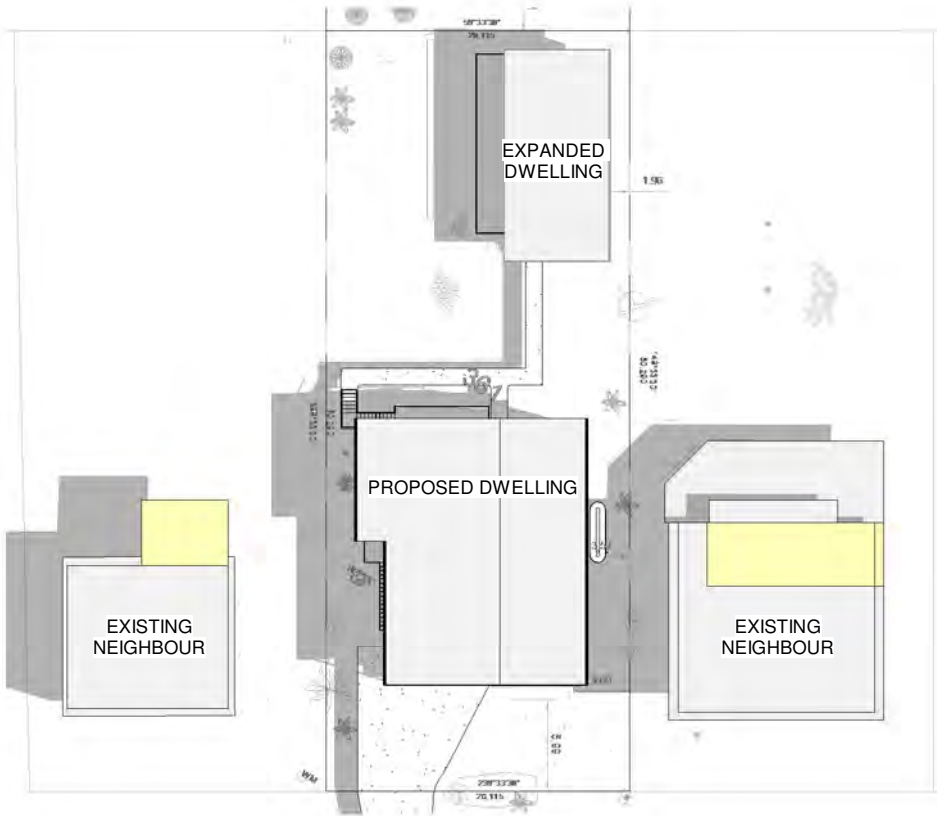
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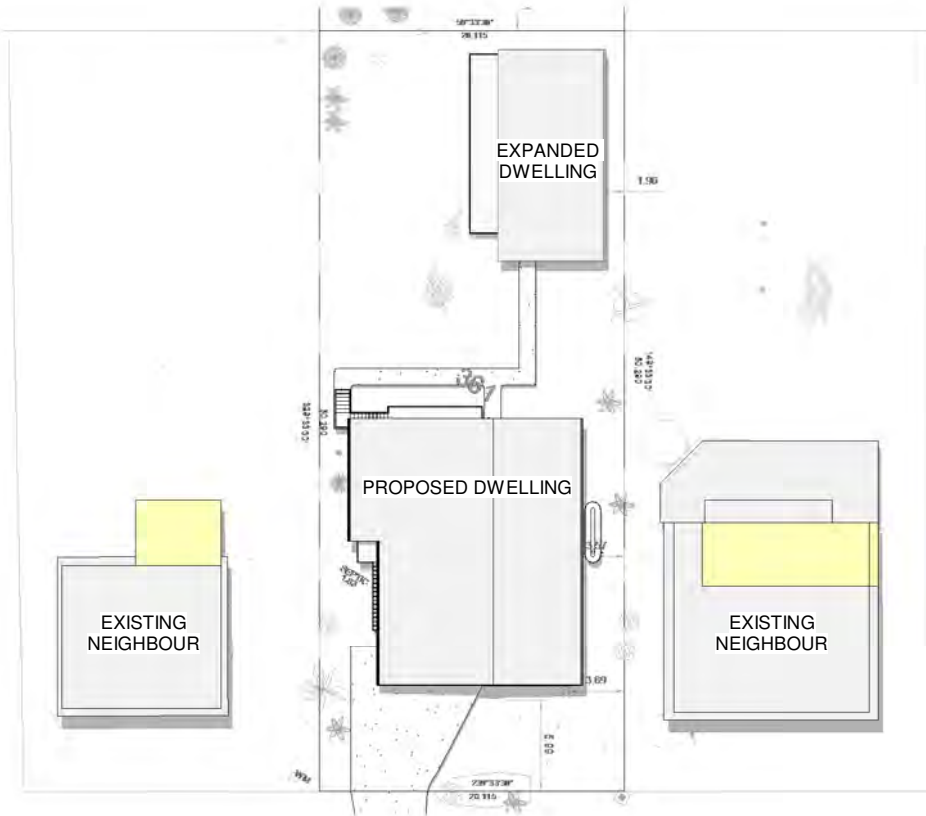
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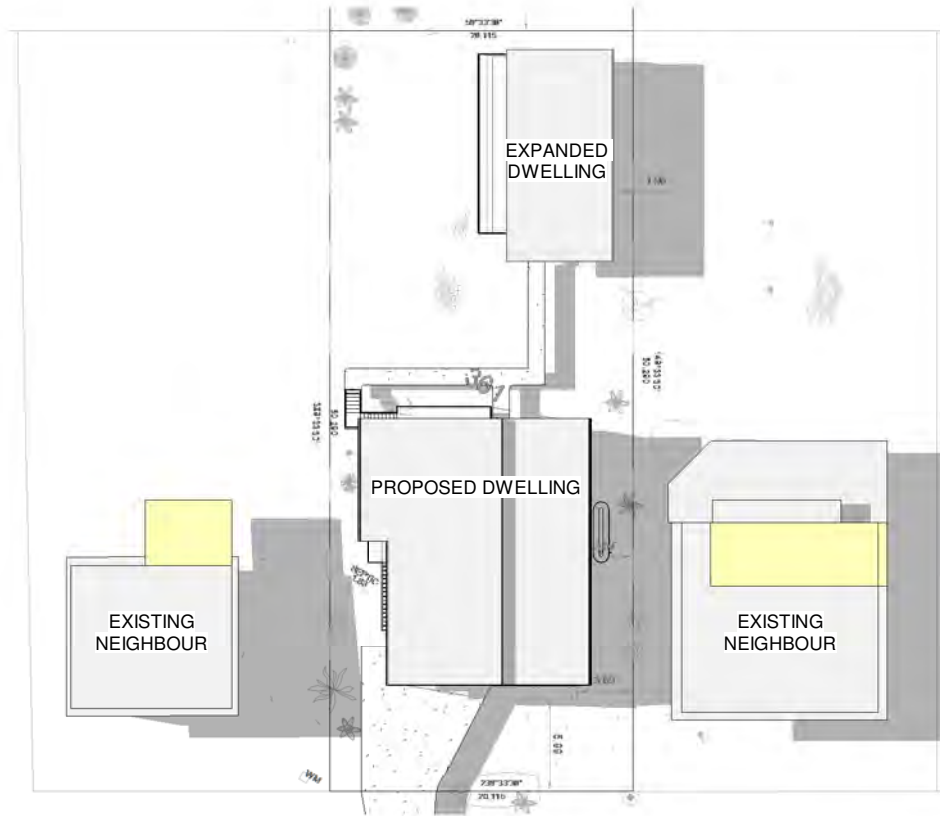
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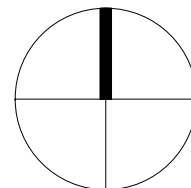
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SD07 1 : 500



5 DEC 21 - 12PM  
SD07 1 : 500



6 DEC 21 - 3PM  
SD07 1 : 500



AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SHADOW DIAGRAMS



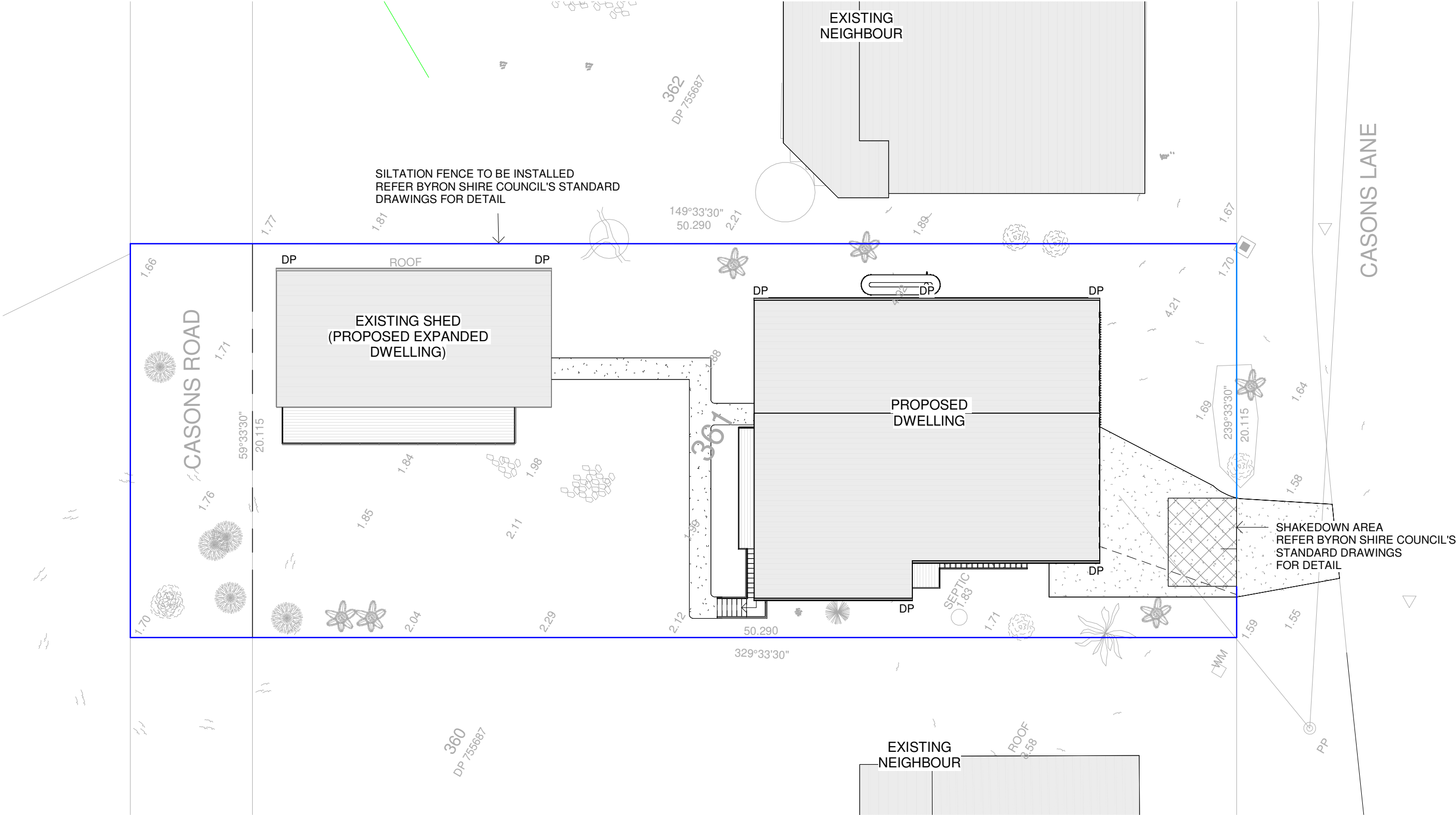
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QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD502  
Issue :  
E

Scale : @ A3  
1 : 500







AMENDMENT	REV.	DESCRIPTION	ISSUED BY	DATE
	E	REV DA ISSUE	RN	07.07.23
	D	DA ISSUE	IK	20.01.23
	C	DRAFT DA ISSUE	RN	30.11.22
	B	REV REVIEW ISSUE	RN	18.11.22
	A	REVIEW ISSUE	RN	04.11.22

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EROSION AND SEDIMENT CONTROL  
PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD504

Scale : @ A3  
1 : 200  
Issue :  
E