

LARC

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.235.1
Date: 18 April 2024

LANDSCAPE ARCHITECTURE

www.larc.la

CONCEPT DESIGN (DA)

Project: 119-123 Jonson Street, Byron Bay ●

LANDSCAPE CONCEPT PACKAGE (REV F) - 09.12.23

- Development Application
 - Plant species selection
 - Concept Landscape Plans & Elevations
-



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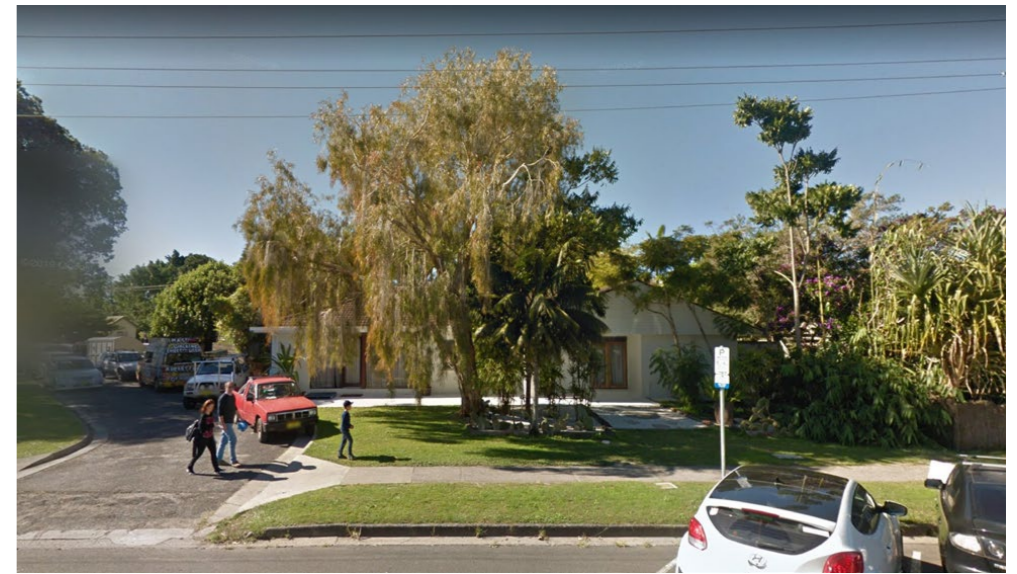
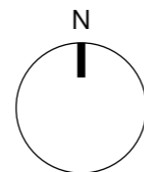


SITE CONTEXT PLAN
SCALENTS@A3

LEGEND

- 1. Retail & Cinema
- 2. Woolworths Mercato
- 3. Neighbouring church
- 4. Jonson Lane development
- 5. The Lord Byron Hotel
- 6. Club Byron Lawn Bowls
- 7. Retail & Hospitality outlets, with angled parking in front.

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EXISTING SITE

Views looking along Jonson & Kingsley Streets

STATEMENT OF LANDSCAPE INTENT

The overarching scheme has prioritised the landscape, the gardens and the pedestrian spaces. The building will interact and engage with the prominent streetscapes of Kingsley and Jonson and therefore has allocated traffic and underground parking to the rear Middleton lane.

With an emphasis on quality public spaces, robust materials and maximum planting, this building will be iconic and memorable. The internal courtyard and its prioritised walkways, will traverse the central courtyard, draped in greenery and garden. The access throughout the building will be legible and enjoyable, creating a safe, successful landscape outcome.

We have mapped the key and convenient desire lines for pedestrian pathways and formed islands of planting in the central courtyard adjacent to these pathways that will cool, soften and green the internal garden spaces as islands of refuge and a spot to pause from the busy Byron streets.

Located on the corner of Kingsley and Jonson Streets, the site is located central to Byron Bay's commercial hub. There are several large scale retail & apartment developments within walking distance of the development.



Occupy Outdoor Spaces

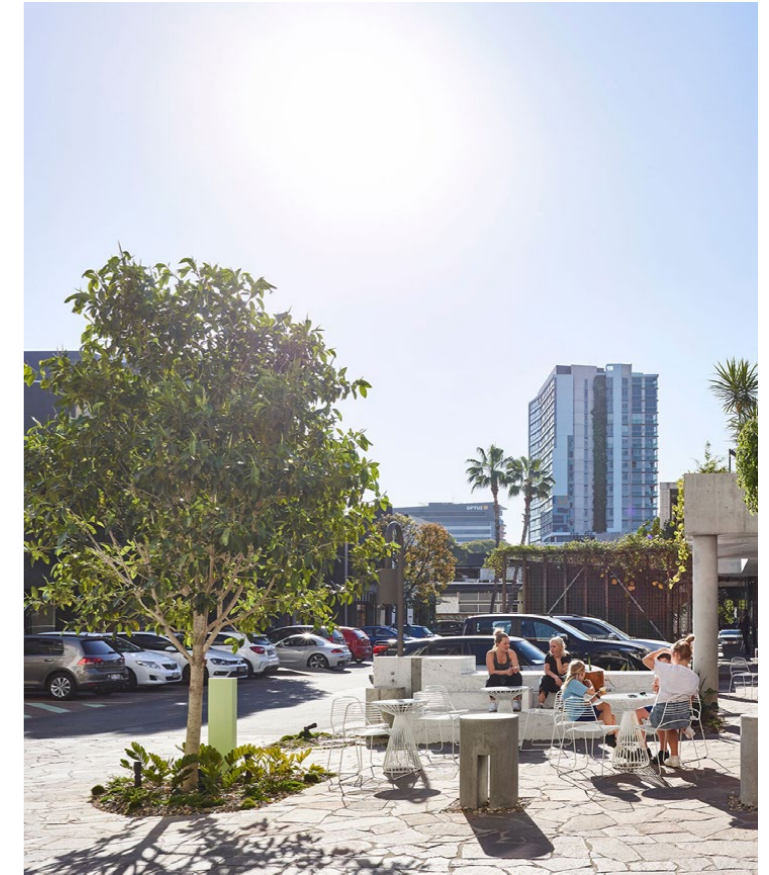
Landscaping will create beautiful microclimates in and around buildings and enhance the function of outdoor living spaces. Year-round shade, shelter and amenity will be provided to outdoor living areas. Landscaping will define the function of different outdoor spaces, providing spaces to pause and relax.



Building Overflowing With Foliage

We propose gardens up in the sky. Beautiful nooks and microclimates for local airborne fauna and flora to nest and visit our site too. Bee and butterfly attracting plants will welcome all native microorganisms and birdlife alike. Elevated gardens soften and green the facades and rooftops. The building form and scale will be more attractive, softer, referencing the natural environment.

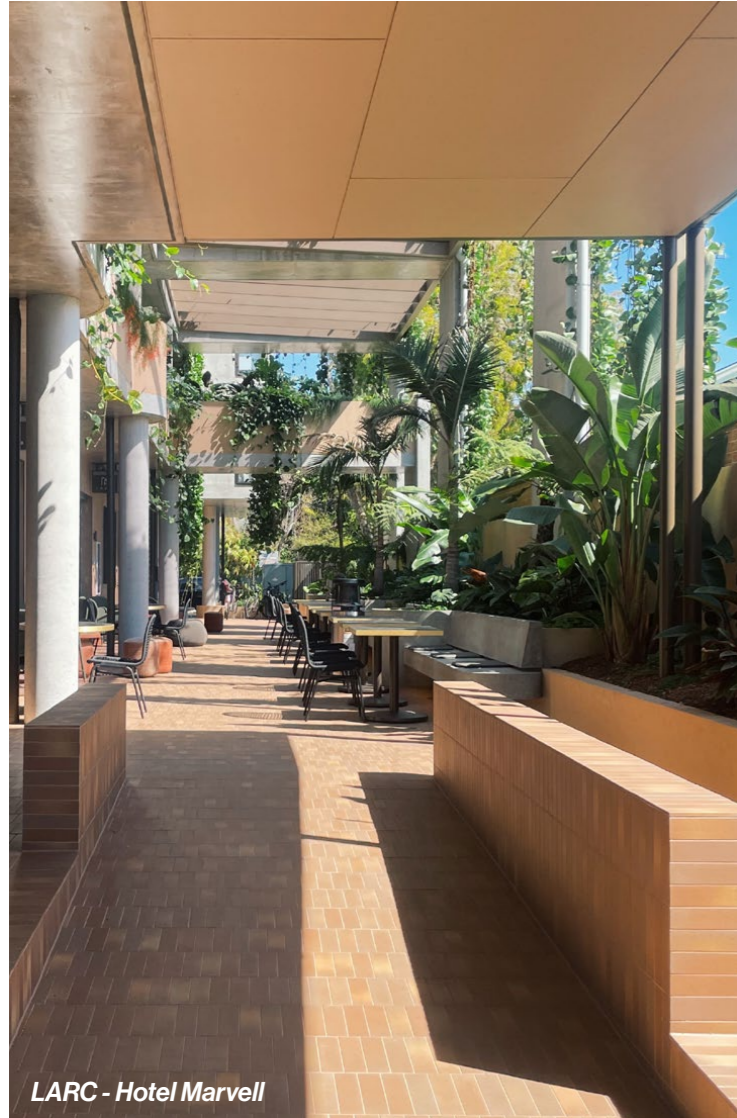
Podium planting to the internal courtyard and around the level 1+2 walkways, will drape the internal elevations in greenery and garden.



Street Actvation / Public Domain

Landscaping contributes positively to streetscape amenity and helps to integrate the development into the existing landscape setting.

The beautiful Melaleuca tree on the corner of Jonson and Kingsley Streets will be retained, and become a feature meeting space, with an activated landscape design underneath.



PEDESTRIAN PRIORITISED

Clearly defined pedestrian pathways and laneways through the site, leading from each street frontage into the central garden courtyard.

The building will interact and engage with the prominent streetscapes of Kingsley and Jonson and therefore has allocated traffic and underground parking to the rear Middleton lane.



NATIVE ENDEMIC SPECIES

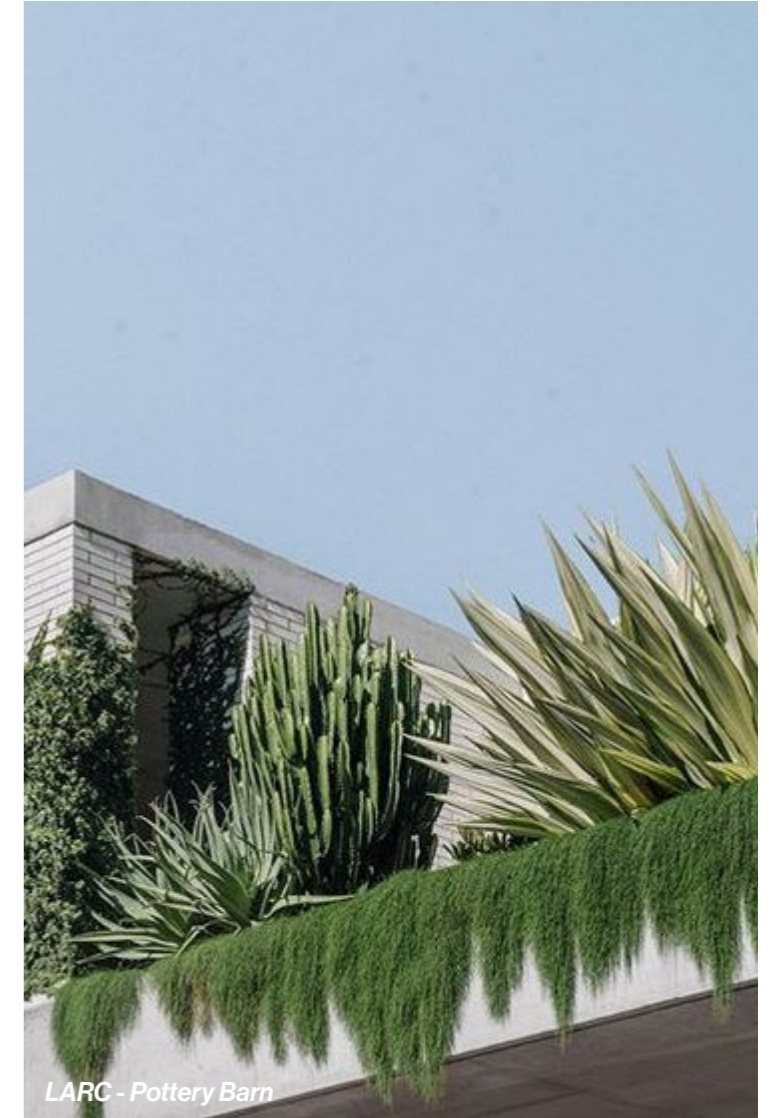
The selected plant species are both endemic and native and suited to the local environment. These are selected for long term survival & site appropriateness.

The various micro-climates of sun, shade and winds within this building will call for various groupings situated in different aspects of the site, and this variation will enliven and enrich the garden aesthetic.



RECYCLED & NATURAL MATERIALS

Where possible, feature pavements, decking, and landscape materials will be locally sourced and used. Combined with endemic planting & boulders, this will ground the building and settle it into its natural place.



PODIUM PLANTING

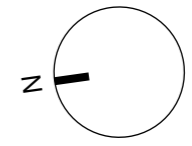
Podium planting on this site will include a proven successful program of soil, drainage and irrigation. We have extensive experience in delivering these highly efficient and nourishing gardens up in the sky. With elevated gardens softening and greening the facades and rooftops, the building form and scale will be more attractive, softer, reference the natural environment and be healthier. The foliage draped over the external faces will diminish the bulk and scale of the built form and make for an attractive facade.



LEGEND

1. Feature paving, to key areas of the groundfloor landscape, eg. laneways / pedestrian entries, courtyard and the street corner.
2. Existing Melaleuca tree retained with TPZ on the corner of Kingsley and Jonson Streets. Refer to Streetscape detail plans.
3. Raised podium garden beds on ground floor level. Refer to DCP requirements for required soil depth and width for Large trees, Medium trees, Small trees, Shrubs & Groundcovers.
4. Walls within podium garden areas to achieve required soil depth.
5. Small pockets of in ground planting on ground floor, in front of retail tenancies.
6. Native garden beds along verge, With street trees each 5 meters, and layers of lower native species underneath to provide site lines and views through to building.
7. Raised podium garden on ground floor to the back of the central courtyard. Services within garden, local bushrock used to build up soil pockets to achieve depth.
8. Advanced native trees and palms planted in podium gardens, to grow where voids or clear space is above.
9. Raised podium garden beds along Middleton lane, east facing, shade loving planting. Tank under garden, local bushrock used to build up soil pockets to achieve depth.
10. Commercial premises in courtyard, with greenroof over, refer to Level 1.
11. Opportunity for clusters of potted plants in laneways, to future design.

LANDSCAPE PLAN - GROUND FLOOR
SCALE 1:200 @ A3



CONCEPT DESIGN

REVISION F

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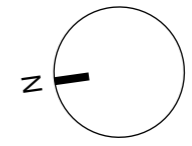


LEGEND

1. Stairs from landscaped courtyard up to level 1 internal balconies.
2. Line of awning over streets. Refer to Streetscape Detail Plans.
3. Raised podium garden beds on level 1 private balconies, along the street facing facades. Refer to DCP requirements for required soil depth and width for Shrubs & Groundcovers.
4. Raised podium garden beds on level 1 (to cascade down into void / laneway below where possible). Refer to DCP requirements for required soil depth and width for Shrubs & Groundcovers.
5. Podium garden areas outside private rooms. With shrubs, groundcovers & vines. Trellis species to climb over the privacy breeze block screen.
6. Compliant balustrades to meet AS and building codes, balconies provide additional CPTED & passive surveillance.
7. Greenroof podium garden bed above the commercial premises in the courtyard. 750mm soil depth with groundcovers, grasses and shrubs. Refer to DCP requirements for required soil depth and width.
8. Feature paving to outdoor walkway circulation spaces.
9. Feature paving to private balconies outdoor spaces.
10. Advanced trees planted on level below, to reach up to level 1.

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LANDSCAPE PLAN - FIRST FLOOR
 SCALE 1:200 @ A3

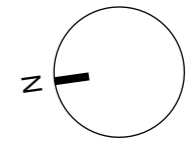


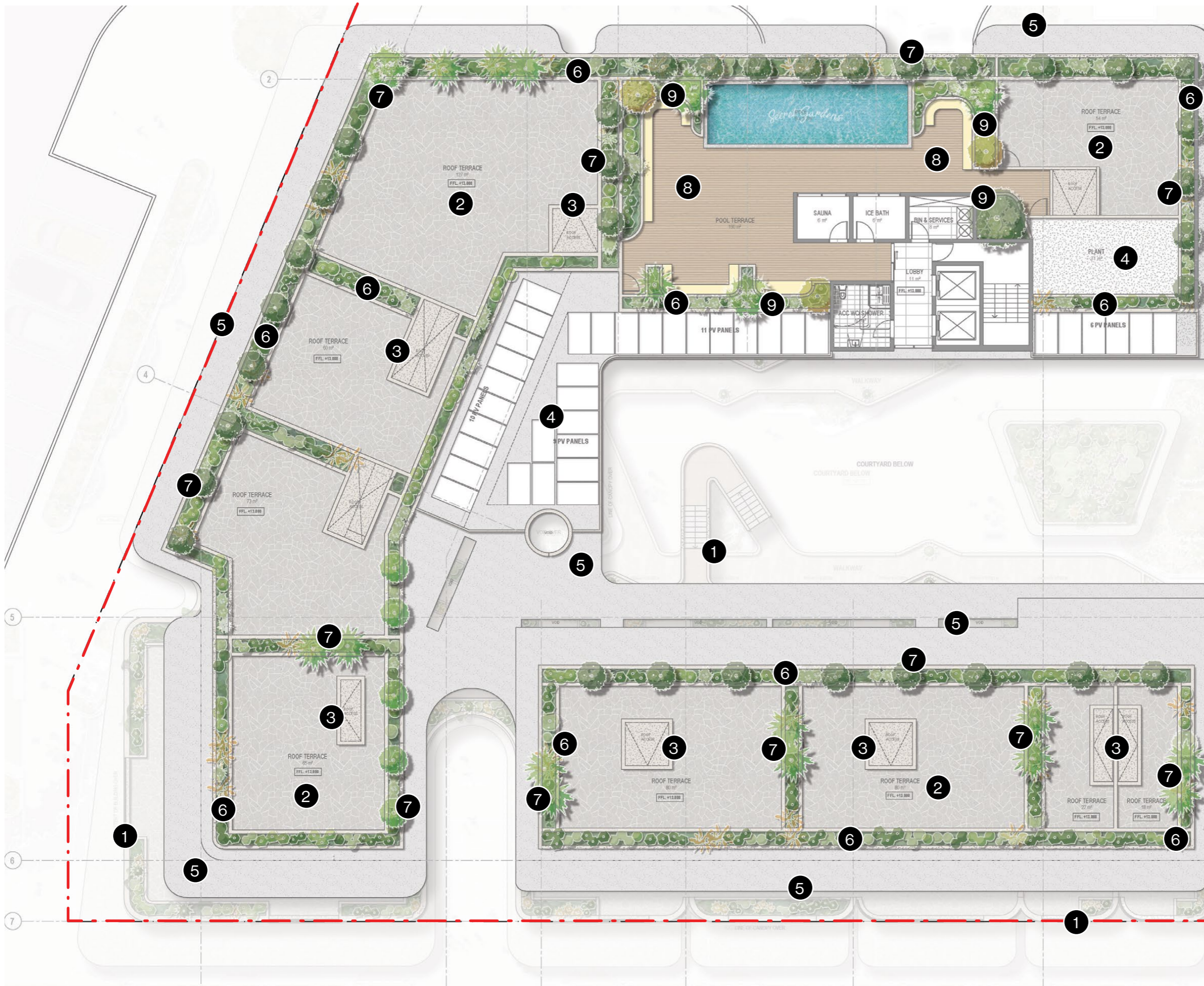


- LEGEND**
1. Stairs from landscaped ground level courtyard up to level 2 internal balconies.
 2. Line of awning on level 1 below
 3. Raised podium garden beds on level 2 private balconies, along the street facing facades. Refer to DCP requirements for required soil depth and width for Shrubs & Groundcovers.
 4. Raised podium garden beds on level 2 (to cascade down into laneway below where possible). Refer to DCP requirements for required soil depth and width for Shrubs & Groundcovers.
 5. Podium garden areas outside private rooms. With shrubs, groundcovers & vines. Trellis species to climb over the privacy breeze block screen.
 6. Compliant balustrades to meet AS and building codes, balconies provide additional CPTED & passive surveillance.
 7. Greenroof below.
 8. Feature paving to outdoor walkway circulation spaces.
 9. Feature paving to private balconies outdoor spaces.

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LANDSCAPE PLAN - SECOND FLOOR
SCALE 1:200 @ A3

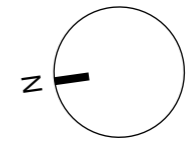




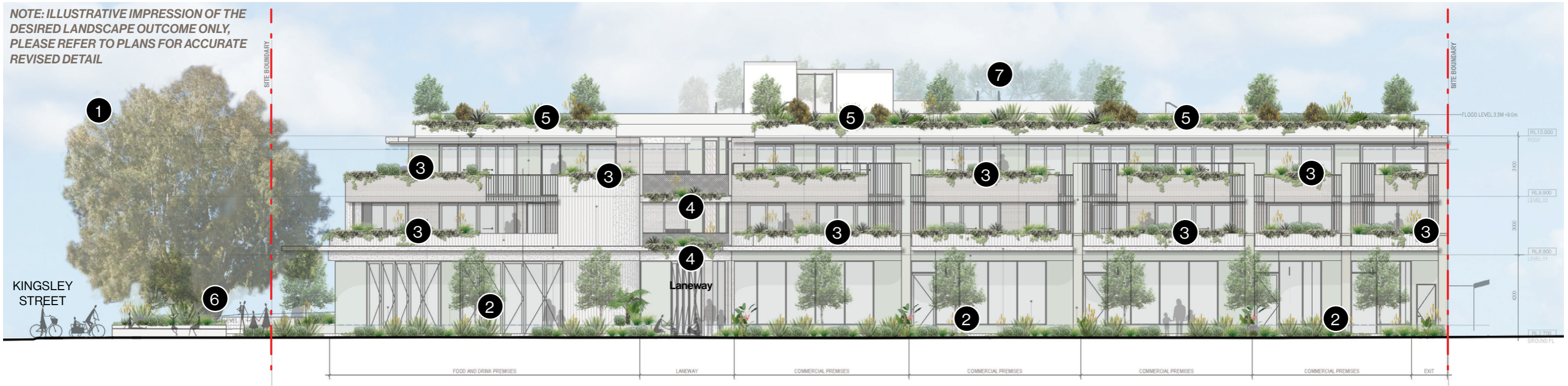
- LEGEND**
1. External balconies and walkways on levels below.
 2. Feature paving to private roof terrace outdoor spaces.
 3. Roof of stairs to roof terrace shown.
 4. Rooftop plant & service area.
 5. Edge of roof slab and voids shown.
 6. Raised podium garden beds on roof level, along building frontages and between roof terraces to cascade over, and provide privacy. Refer to DCP requirements for required soil depth and width for Small trees, Shrubs & Groundcovers.
 7. Small trees shown to provide privacy and screening.
 8. Pool Area on Roof Terrace, with hardwood decking, and private seating nooks, movable furniture and fencing to comply with Pool fencing regulations.
 9. Feature trees on rooftop, wind and coastal tolerant species, eg. Pandanus / Banksia

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LANDSCAPE PLAN - ROOF LEVEL
 SCALE 1:200 @ A3

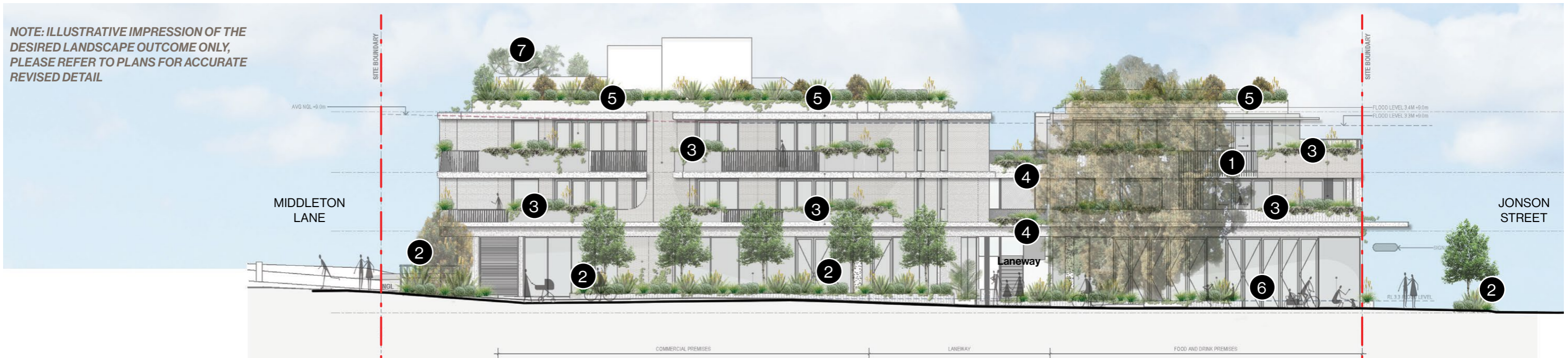


NOTE: ILLUSTRATIVE IMPRESSION OF THE DESIRED LANDSCAPE OUTCOME ONLY, PLEASE REFER TO PLANS FOR ACCURATE REVISED DETAIL



LANDSCAPE ELEVATION - JONSON ST
(WEST ELEVATION)
SCALE 1:200 @ A3

NOTE: ILLUSTRATIVE IMPRESSION OF THE DESIRED LANDSCAPE OUTCOME ONLY, PLEASE REFER TO PLANS FOR ACCURATE REVISED DETAIL



LANDSCAPE ELEVATION - KINGSLEY ST
(NORTH ELEVATION)
SCALE 1:200 @ A3

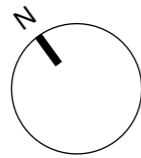
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LEGEND

- | | | |
|--|--|--|
| <p>1. Existing Melaleuca tree retained with TPZ on the corner of Kingsley and Jonson Streets. Refer to Streetscape detail plans.</p> <p>2. Native garden beds along verge, With street trees each 5 & 7.5m, on Kingsley & Jonson Streets respectively and layers of lower native species underneath to provide site lines and views through to building.</p> | <p>3. Raised podium garden beds on level 1&2 private balconies, along the street facing facades.</p> <p>4. Raised curved podium garden beds on level 1&2 to cascade over the edge & soften the built form.</p> <p>5. Raised podium garden beds on roof level, along building</p> | <p>frontages and between roof terraces to cascade over, and provide privacy.</p> <p>6. Key landscape area, activated public domain space on the corner of Kingsley and Jonson streets</p> <p>7. Feature planting & native mature trees in pool area on roof.</p> |
|--|--|--|



STREETSCAPE PLAN - KINGSLEY ST
 SCALE 1:200 @ A3

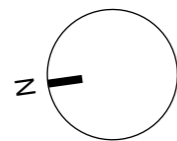


LEGEND

- | | | |
|--|--|---|
| <p>1. Existing beautiful Melaleuca tree retained with TPZ on the corner of Kingsley and Jonson Streets. Proposed landscaped usable public space underneath the tree.</p> <p>2. Raised garden beds on natural ground level along the streetscape, with street trees (#8) where shown, and layers of lower native species underneath to provide site lines and views through to building.</p> <p>3. Garden beds on natural ground level along the streetscape planted with native local endemic species.</p> | <p>4. Seating, lawn, bike parking areas, and landscape elements providing for usable amenity around the feature tree.</p> <p>5. Feature pavement treatment.</p> <p>6. Exposed ag. concrete pavement or similar along verge.</p> <p>7. Large tree at corner of Kingsley St & Middleton Lane.</p> <p>8. Street Trees along Kingsley Street, planted each 5 meters. Refer to planting schedule for proposed native species.</p> | <p>9. Pavement type to Middleton Lane, to slow traffic and provide safe pedestrian flow. To future detail.</p> <p>10. Car parking spaces on Kingsley St (x14)</p> |
|--|--|---|



STREETSCAPE PLAN - JONSON ST
 SCALE 1:200 @ A3



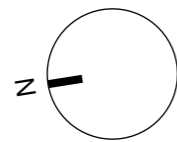
LEGEND

- 1. Existing beautiful Melaleuca tree retained with TPZ on the corner of Kingsley and Jonson Streets. Proposed landscaped usable public space underneath the tree.
- 2. Raised garden beds on natural ground level along the streetscape where shown.
- 3. Garden beds on natural ground level along the streetscape planted with native local endemic street trees (4), and layers of lower native species underneath to provide site lines and views through to building.
- 4. Street Trees along Jonson Street, planted each 7.5 meters. Refer to planting schedule for proposed native species.
- 5. Steppers through garden to provide safe pedestrian flow from carparking space to paved verge.
- 6. In-ground garden area along verge in front of retail tenancy.
- 7. Feature pavement treatment.
- 8. Exposed ag. concrete pavement or similar along verge.
- 9. Car parking spaces on Kingsley St (x18)



DETAIL PLAN - CENTRAL COURTYARD
SCALE 1:100 @ A3

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LEGEND

1. Large sub-tropical rainforest native trees, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth.
2. Medium, small and palm sub-tropical rainforest native trees and tree ferns, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth.
3. Lower layer of shade tolerant native sub-tropical rainforest species (gingers, cunjevoi, shrubs and groundcovers). 600mm minimum depth planter.
4. Large coastal native trees (eg. Pandanus / Banksia), planted in raised gardens on ground floor courtyard areas, refer to DCP requirements for soil depth.
5. Medium, small and palm coastal native trees, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth. Slightly more sun available.
6. Lower layer of coastal native shrubs and groundcover species. 600mm minimum depth planter.
7. Raised podium garden on ground floor to the back of the central courtyard. Services within garden, local bushrock used to build up soil pockets to achieve depth.
8. Walls within podium garden to raise soil volume to meet minimum depth requirements.
9. Feature pavement to courtyard areas.
10. External staircases with podium planting around and under.
11. Line of level 1 walkways and building over.
12. Dashed line of greenroof over, refer plans.

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DETAIL SECTION - COURTYARD
SCALE 1:100 @ A3

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LEGEND

1. Large sub-tropical rainforest native trees, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth.
2. Medium, small and palm sub-tropical rainforest native trees and tree ferns, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth.
3. Lower layer of shade tolerant native sub-tropical rainforest species (gingers, cunjevoi, shrubs and groundcovers). 825mm minimum depth planter, as per DCP.
4. Large coastal native trees (eg. Pandanus / Banksia), planted in raised gardens on ground floor courtyard and pool areas, refer to DCP requirements for soil depth.
5. Medium, small and palm coastal native trees, planted in raised garden area on ground floor courtyard space, refer to DCP requirements for soil depth. Slightly more sun available.
6. Lower layer of coastal native shrubs and groundcover species. 825mm minimum depth planter, as per DCP.
7. Linear raised podium garden area along boundary wall. 825mm depth minimum. Planted with native lush tall screening sun tolerant shrubs and groundcovers.
8. Vertical trellis greenery. Webnet or approved equivalent tensile mesh fixed suitably to wall as a climbing trellis to span from groundfloor to level 2.
9. Podium garden on level 1 & 2 balcony edges, with groundcovers to spill over into the courtyard space. 775mm depth min.
10. Raised podium gardens on roof level. Small trees, Shrubs & Groundcovers planted on roof terraces.
11. Webnet or similar tensile woven stainless steel mesh as handrail / balustrade along balconies to internal courtyard (refer to architects documentation for product) with trellis species planted in podium gardens to creep and cover the mesh.

CONCEPT DESIGN

REVISION F

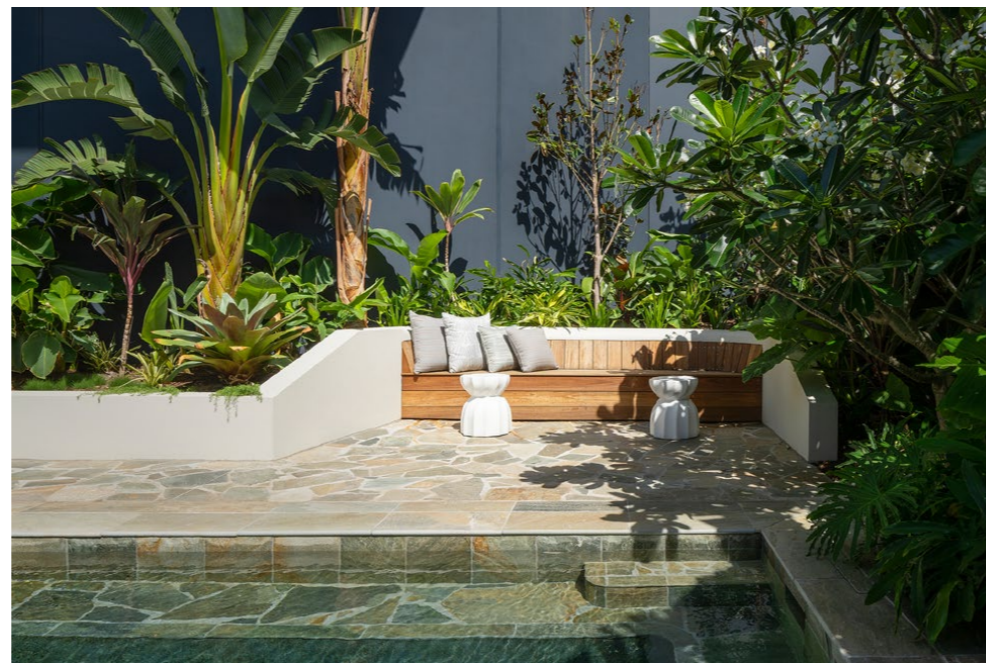
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EXAMPLE OF SIMILAR SCALE DEVELOPMENTS AND LANDSCAPE TREATMENT STYLES

Clockwise top L-R:
 Hotel Marvel (Larc Landscape Architects)
 James Street, Brisbane (Richards & Spence)
 Mount Martha (Edition Office)
 West Village, Brisbane (Larc Landscape Architects)
 Hotel Marvel (Larc Landscape Architects)

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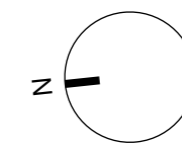
LEGEND

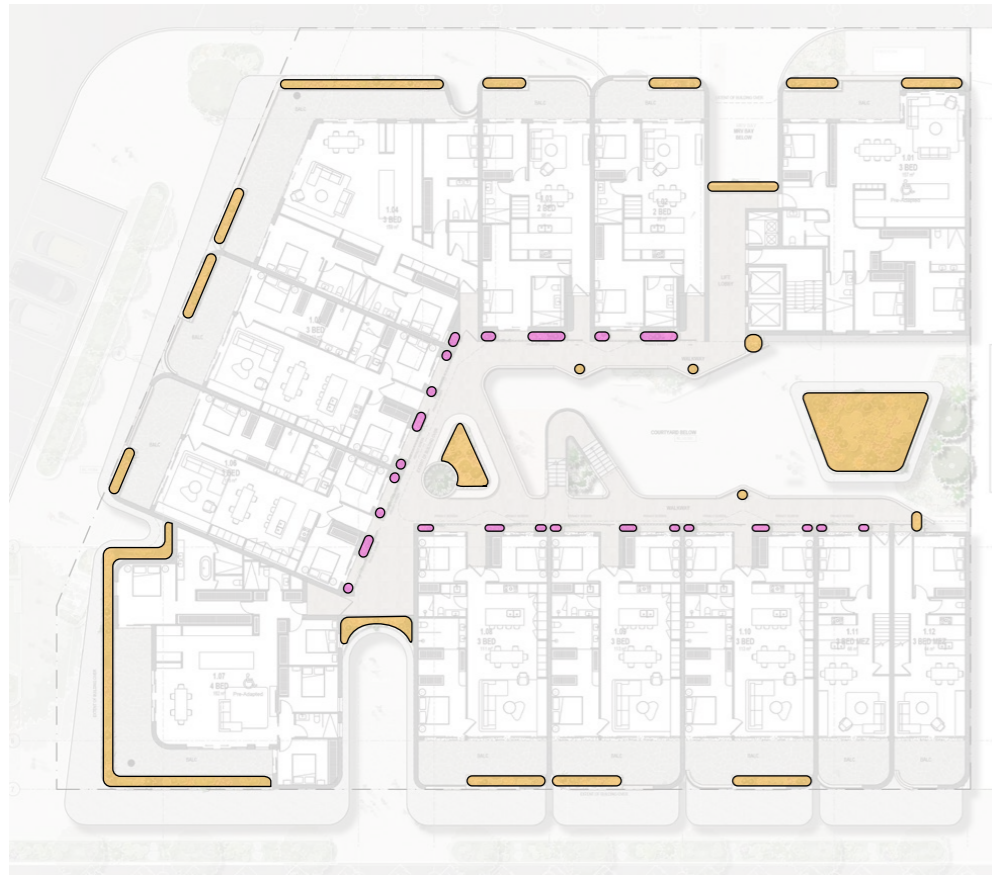
1. Existing Melaleuca Tree to be protected and retained.
2. Proposed retail space on ground floor
3. Proposed landscaping along Middleton Lane
4. Proposed new trees and landscaping along Kingsley & Jonson Streets
5. Public throughfare laneways

- Planting type: Coastal / Littoral Rainforest
- Planting type: Sub-tropical Rainforest
- Planting type: Native Public Domain

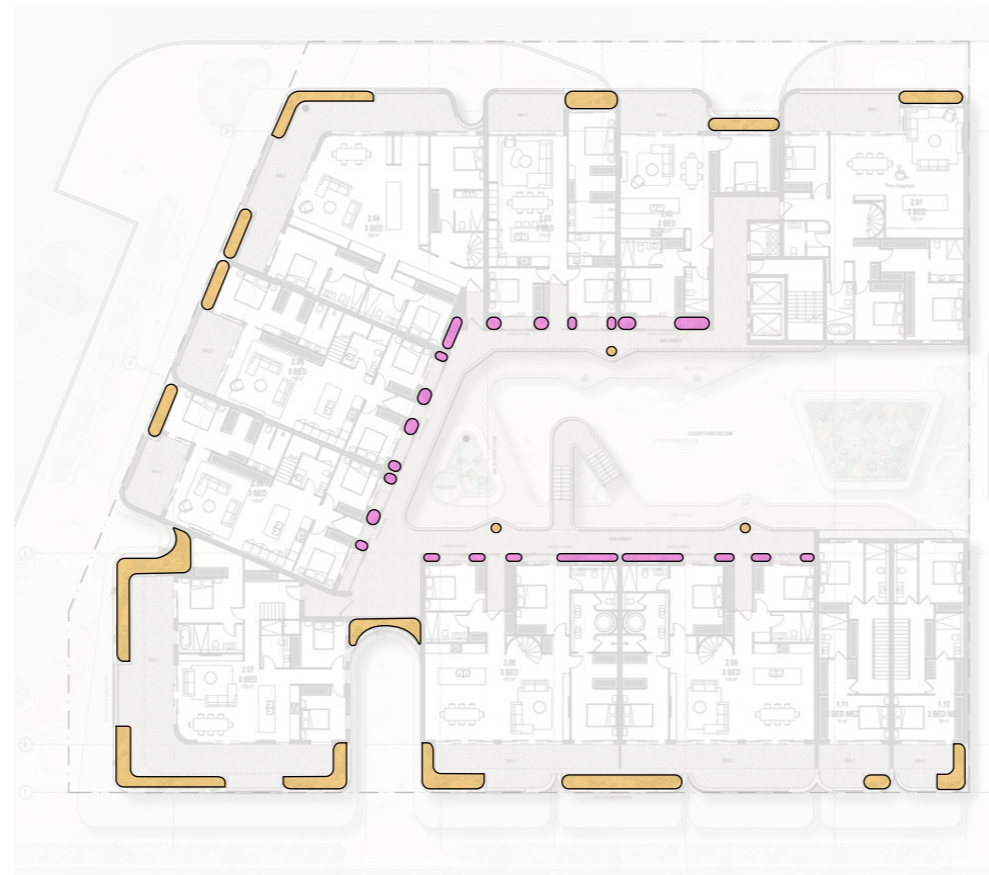
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PLANT SPECIES DIAGRAM
 SCALE NTS @ A3





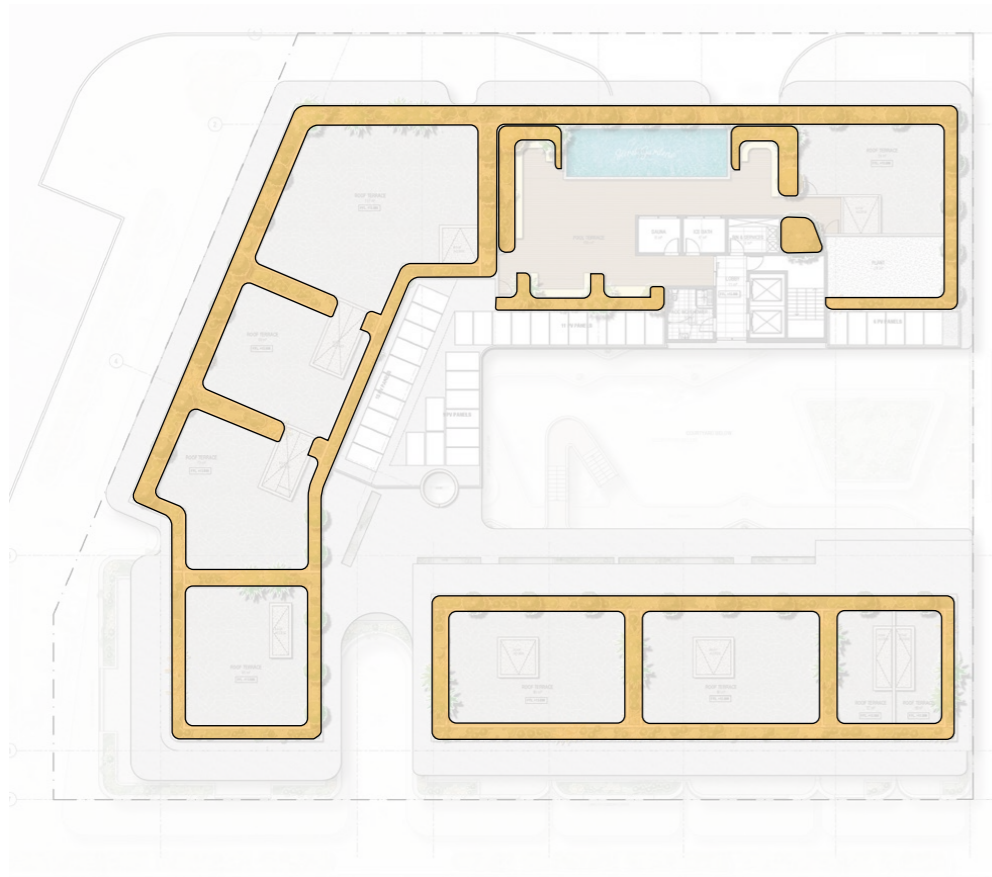


FIRST FLOOR



SECOND FLOOR

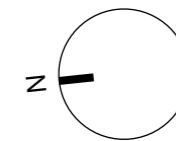
-  Planting type: Podium w/ trellis
-  Planting type: Podium / Rooftop

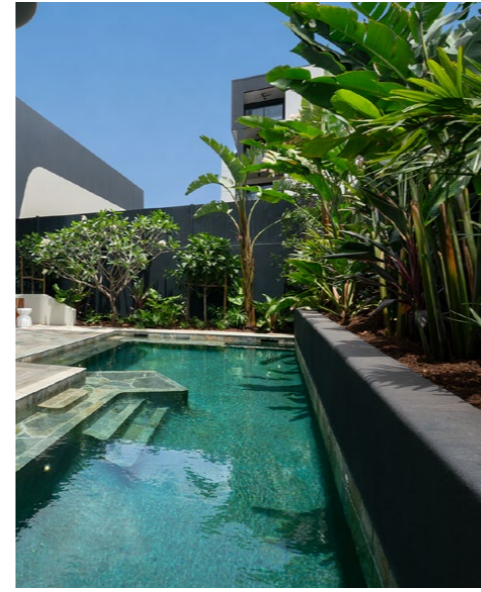


ROOF LEVEL

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PODIUM GARDENS - PLANTING AREAS DIAGRAM
 SCALE NTS @ A3





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LANDSCAPED PUBLIC DOMAIN

Existing mature the Melaleuca tree located on the corner will create a space below its shade canopy that will be an activated public meeting space for people to enjoy and relax under.

Flexible spaces. Raised garden bed areas, and usable landscape areas.

SHADED GARDENS

Gardens fronting Middleton lane and internally within the development will create a long term healthy microclimate. Proposed native trees, shrubs and groundcovers contribute to the local native bio-diversity. Shade tolerant sub-tropical species required.

COASTAL GARDENS

Within the central void between the built form, private tranquil garden areas will provide courtyard garden spaces to relax. Mature native trees, shrubs and groundcovers.

VERTICAL TRELLIS

Architectural screen with natives vines will grow up and soften the built form.

PODIUM & ROOF GARDENS

Podium gardens on upper levels and roof will provide additional planting zones to soften the built form. Native small trees, shrubs and groundcovers will drape the building and contribute to the local native bio-diversity.

STREETSCAPE / PUBLIC DOMAIN

STREET TREES, EDIBLE WHERE POSSIBLE, LARGE SHRUBS. NATIVE ENDEMIC SPECIES TO CONTRIBUTE TO THE LOCAL BIODIVERSITY.



CUPANIOPSIS parvifolia



BANKSIA integrifolia



ELEOCHARPUS prima donna



SYZIGIUM riberry



BACKHOUSIA citriodora

NATIVE SUN TOLERANT SHRUBS, AND GRASSES

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XANTHORRHOEA johnsonii



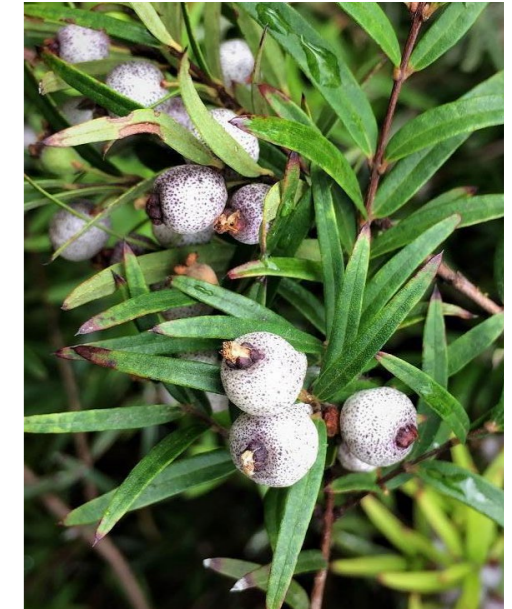
LOMANDRA confertifolia



WESTRINGIA zena



CASAURINA greenwave



AUSTROMYRTUS dulcis (midgen berry)

SPRAWLING NATIVE GROUNDCOVERS, AND EDIBLE ROSEMARY. TO SPILL OVER RAISED PLANTERS & EDGES.



CASAURINA cousin it



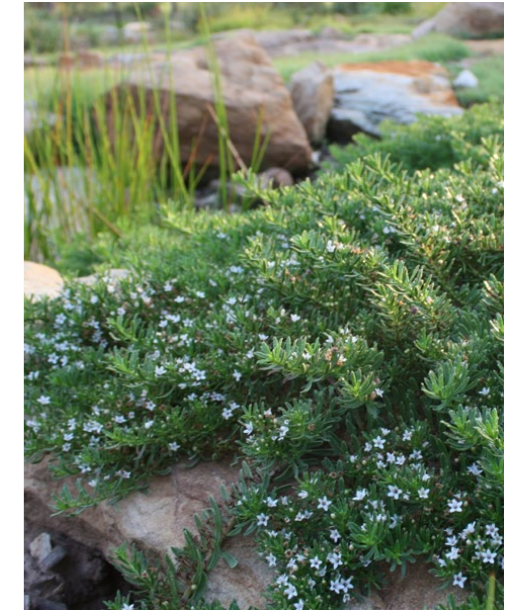
ROSEMARY huntington carpet



CARPOBROTUS glaucascens



SCAEVOLA fan flower



MYOPORUM parvifolium

**CENTRAL COURTYARD
MIDDLETON LANE**

SUB-TROPICAL RAINFOREST

MATURE TREES, PALMS AND LARGE SHRUBS. SOME TOLERANT TO A LOT OF SHADE, BEING BETWEEN THE BUILT FORM, AND ON THE EAST FACING LANEWAY,



BANGALOW palm



DAVIDSONIA jerseyana (davison plum)



RANDIA native gardenia



SYZIGIUM riberry



ELEOCLADUS eumundii

MID-STORY LARGE SHRUBS AND SUB-TROPICAL LUSH PLANTS, BIG LEAVES, LOW LIGHT TOLERANT



CYATHEA cooperii



ALPINEA caerulea



DORYANTHES palmerii



ALOCASSIA brisbanensis



CORDYLINA petiolaris

SHADE TOLERANT SMALL SHRUBS, FERNS, GRASSES AND GROUNDCOVERS

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ASPLENIDIUM aus.



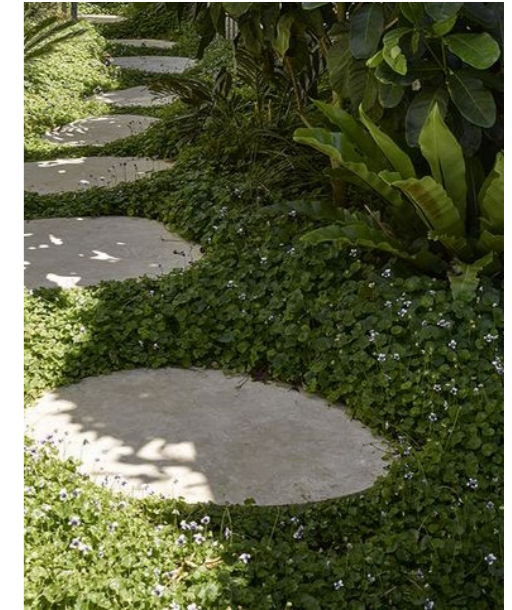
DIANELLA caerulea



BLECHNIUM gibbum



HIBBERTIA scandens



VIOLA hederacea

**POOL AREA
PODIUM & ROOF GARDEN AREAS**

**COASTAL SPECIES &
LITTORAL RAINFOREST AREAS**

PLANT SPECIES AS PER "MYLOCAL
NATIVE GARDEN" GUIDE FROM
COUNCIL.

A COASTAL MIXTURE OF SUN
TOLERANT NATIVE TREES, WITH
SHRUBS, NATIVE GRASSES AND
CASCADING GROUNDCOVERS TO
SPILL OVER SIDES & SOFTEN THE BUILT
FORM.

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PANDANUS utilis / tectorius



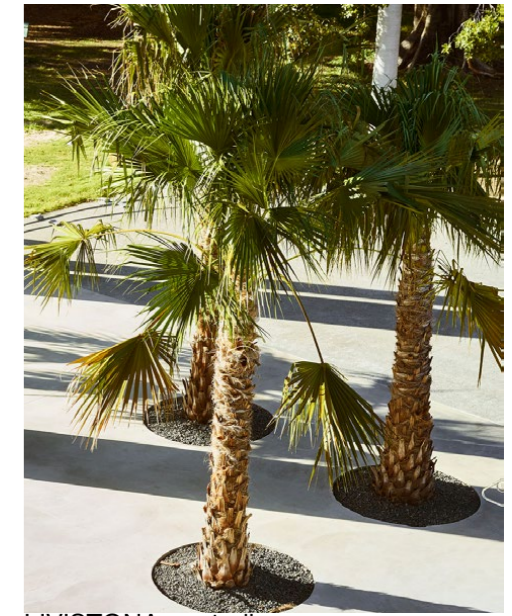
BANKSIA integrifolia



OLIVE manzanillo



BANKSIA robur



LIVISTONA australis



XANTHORRHOEA johnsonii



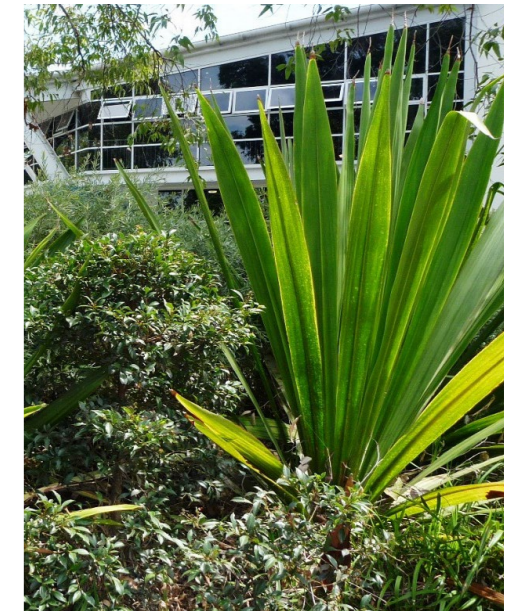
LOMANDRA confertifolia



WESTRINGIA zena



CASAURINA greenwave



DORYANTHES palmerii

CASCADING & GROUNDCOVERS

SALT TOLERANT COASTAL DUNE SPE-
CIES, TO CASCADE OVER THE BUILT
FORM



CASAURINA cousin it



SCAEVOLA fan flower



CARPOBROTUS glaucascens



IPOMEA pes-carpae



HARDENBERGIA snow white violacea

**VERTICAL / TRELLIS
GARDEN AREAS**

ARCHITECTURAL BLOCK SCREEN WITH
NATIVE VINES GROWING TO SOFTEN
THE BUILT FORM.
ALSO FICUS PUMILA PROPOSED TO
OTHER GARDEN AREAS



CISSUS antartica (shade)



HARDENBERGIA white violacea (sun)



Material: Breezeblock with trellis



FICUS pumila (creeping on walls)

MATERIALS

Image credits:
Plummer & Smith Landscape
Larc Landscape Architects
Breathe Architects



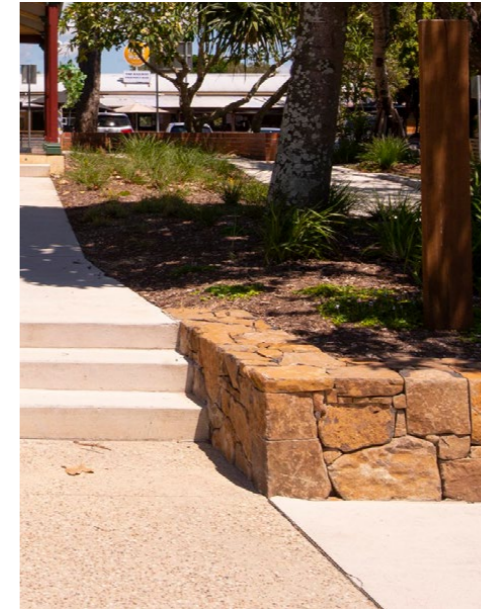
Material: Hinterland bushrock & furniture



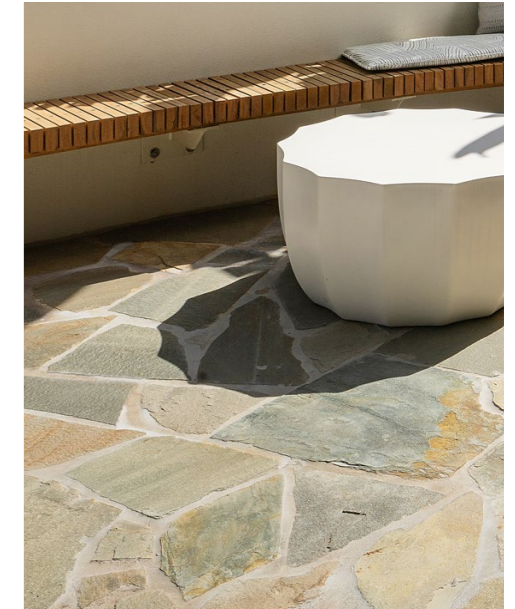
Material: Exposed ag. concrete



Materials: Recycled brick, timber & deco

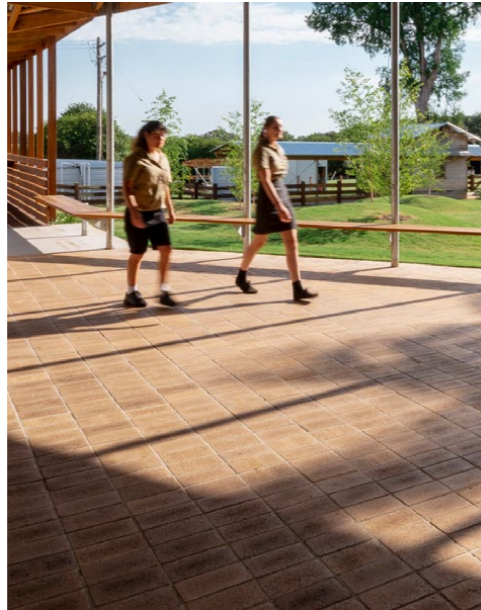


Materials: Exposed ag, bushrock & deco

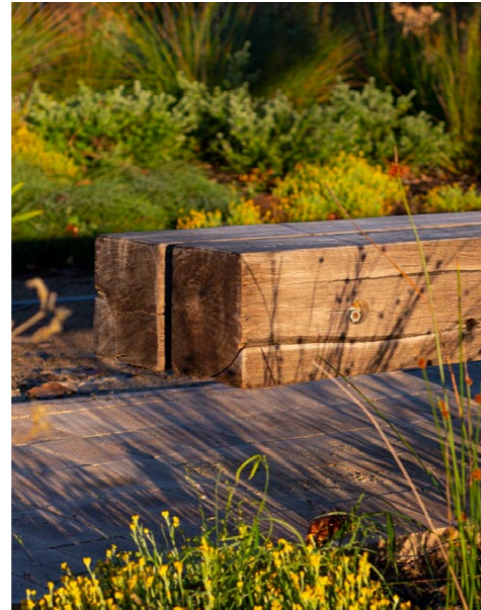


Material: Stone pavement & timber

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Material: Recycled brick / pavement



Material: recycled local timbers



Material: Breezeblock with trellis



Material: Happy Hoops Public Art Bike Racks - by Larc Landscape Architects

The following details of the proposed landscaping areas is derived from both, DCP Chapter B9 & Landscaping & Residential Design Flat Code (Planning NSW) – Planting on Structures.

Streetscape

1 street tree for each 8 metres of street frontage is required.

Podium Planting Areas

Rooftop and balcony planting (or vertical landscaping) is proposed on the upper levels to promote a more attractive facade, soften the bulk and height of the building, provide privacy between upper level balconies and apartments & create the typical local subtropical ambience.

Large Trees (16m) - 1625mm deep (1300mm soil, 200mm drainage gravel, 100mm mulch, 25mm setdown from top of planter.)

Medium trees (8m) - 1325mm deep (1000mm soil, 200mm drainage, 100mm mulch, 25mm setdown below top of planter.)

Small Trees (4m) - 1125mm deep (800mm soil, 200mm drainage, 100mm mulch, 25mm setdown below top of planter.)

Shrubs - 825mm deep (500mm soil, 200mm drainage, 100mm mulch, 25mm setdown below planter)

Groundcover/climbers - 775mm deep(450mm soil, 200mm drainage, 100mm mulch, 25mm setdown from planter.)

600mm wide soil profile plus planter structure width.

Provide irrigation to planter boxes.

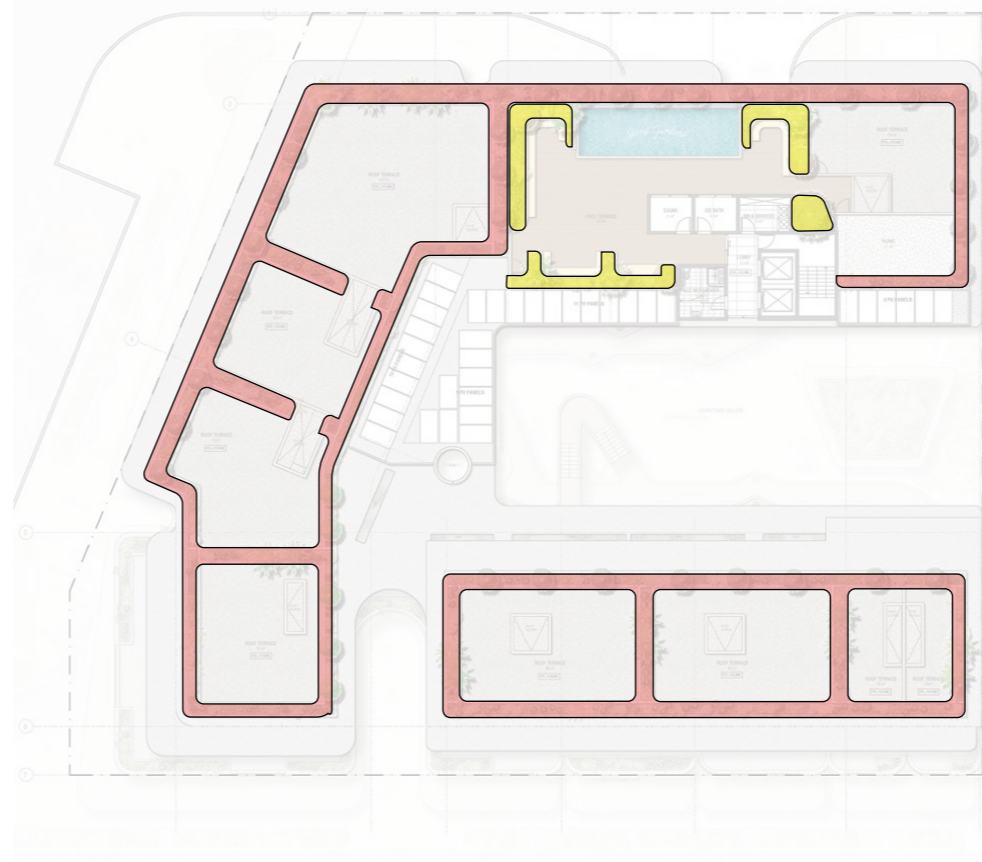
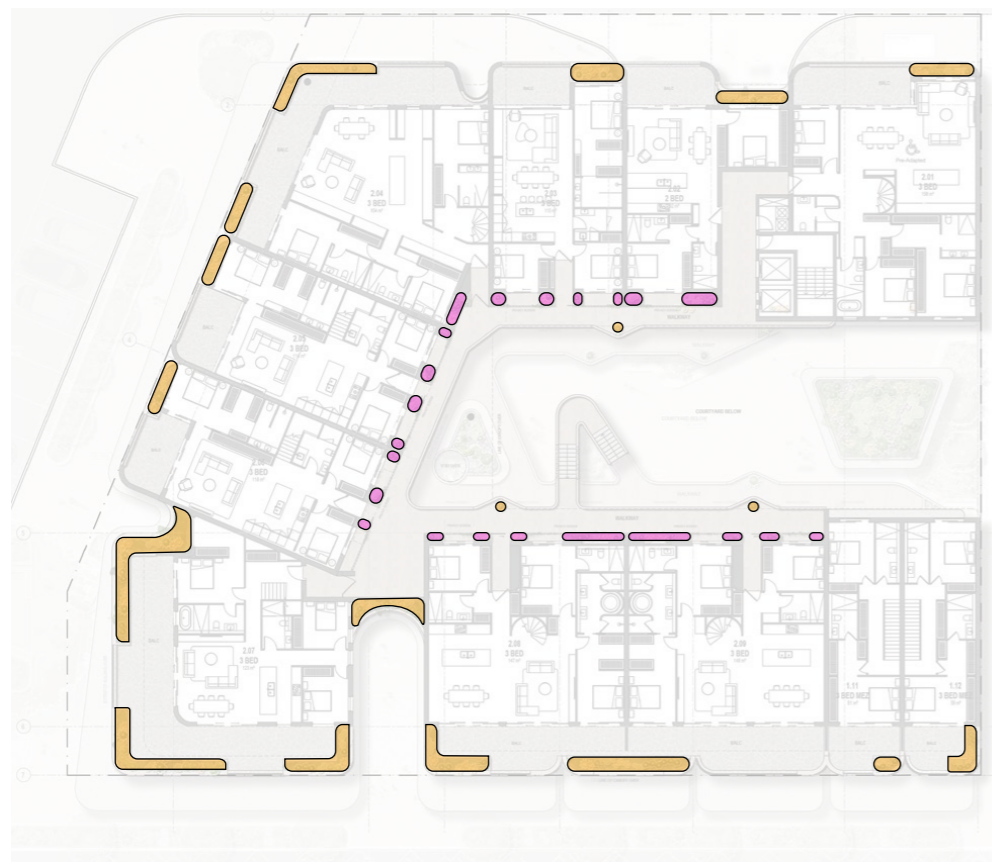
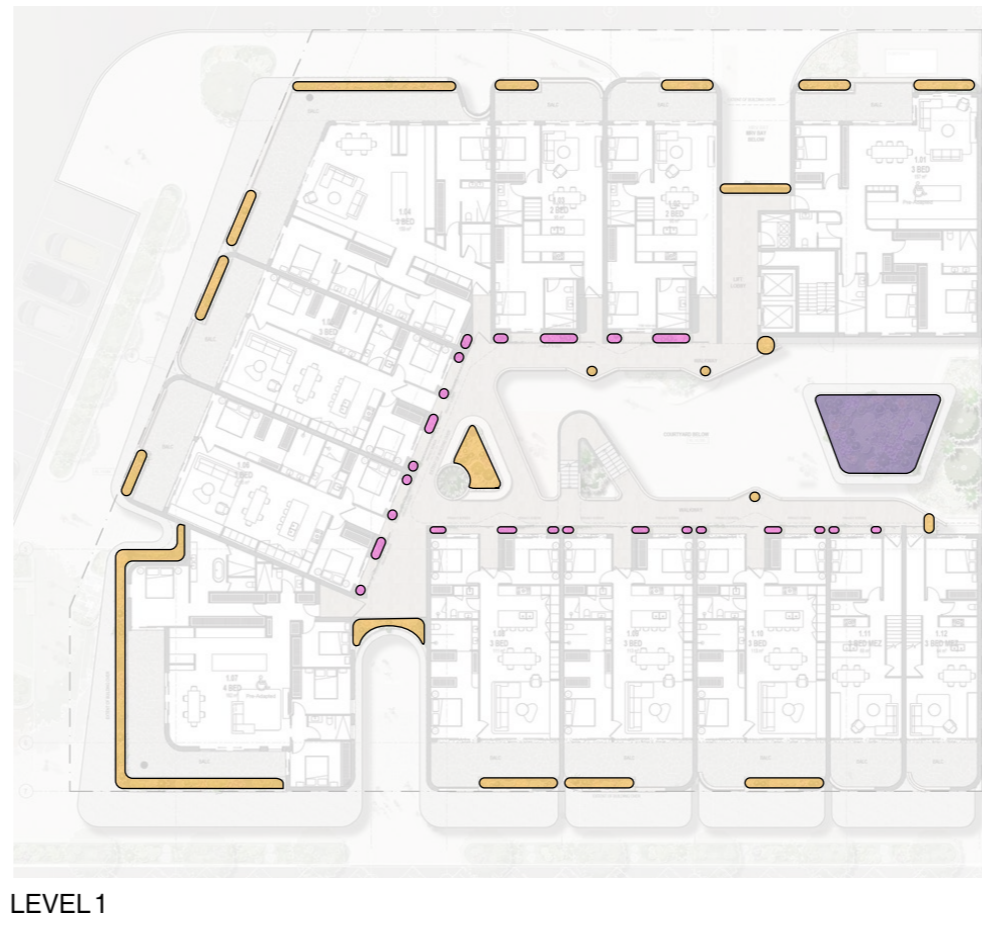
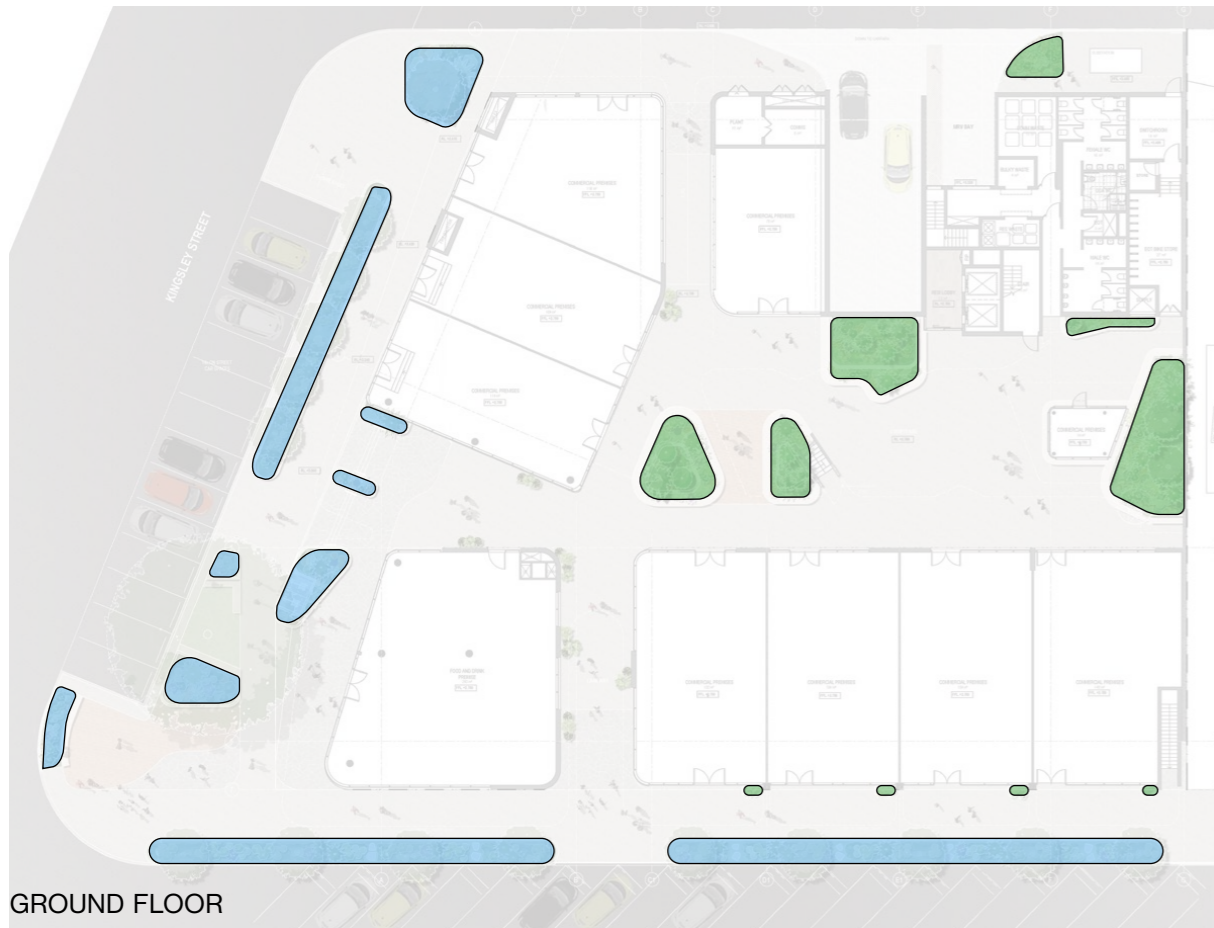
Planting Generally

The following planting sizes are the minimum required to achieve an initial impact in the landscape design:

- a) street and feature trees: 45 litre minimum
- b) trees: 300mm minimum pot size
- c) large shrubs: 200mm minimum pot size
- d) groundcovers: 140mm minimum pot size

A minimum of 90% of all plants used shall be locally indigenous. Proposed plant species are detailed within this document and comply with this sufficiently.

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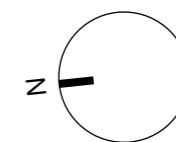


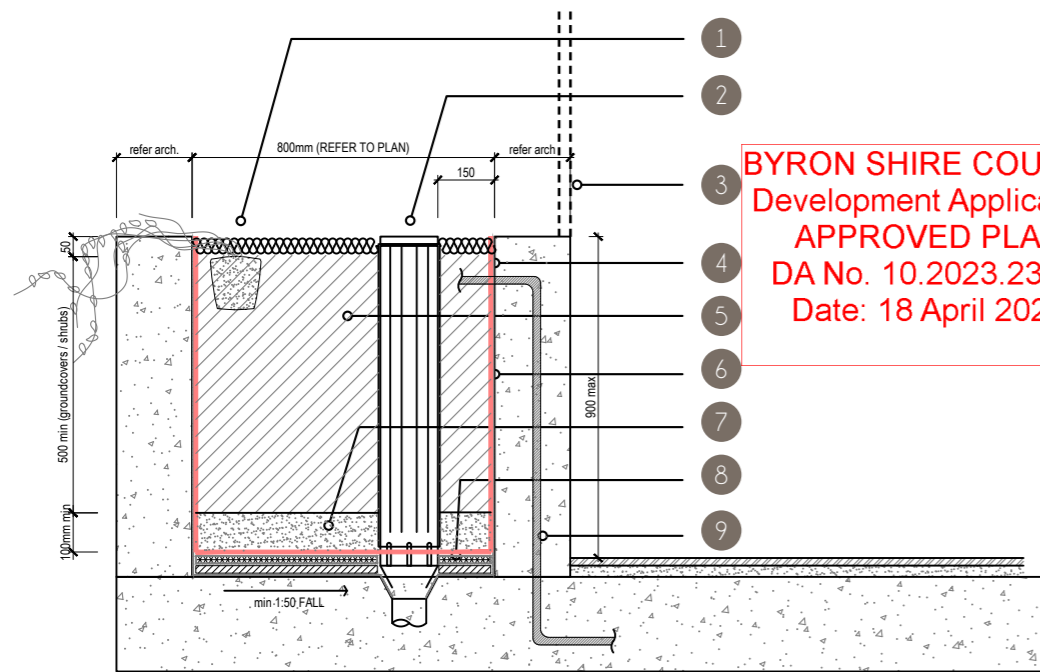
**SOIL DEPTH
ANALYSIS PLAN
SCALE NTS @ A3**

Minimum planting depths have been considered into the design of the building. All containerised podium planting on ground and upper levels is proposed in accordance with Byron Shire Council Development Control Plan (DCP). Minimum soil depths are shown below.

-  500mm min depth podium planting on Level 1 and 2 internal balconies.
-  1000mm min depth Podium planting on Level 1 & Level 2 podium garden areas.
-  Depths vary, 1625mm min depth where large trees proposed, stepping down to lower garden levels with medium trees, small trees, shrubs and groundcovers, to ground floor courtyard.
-  Streetscape Planting, in ground & raised planters on natural ground.
-  1125mm min depth Podium planting on rooftop terrace level, allowing for small trees, shrubs and groundcovers.
-  Rooftop planting, 700mm - 1200mm depth podium gardens around private terraces.
-  Greenroof on level 1 over commercial premises. 750mm soil depth.

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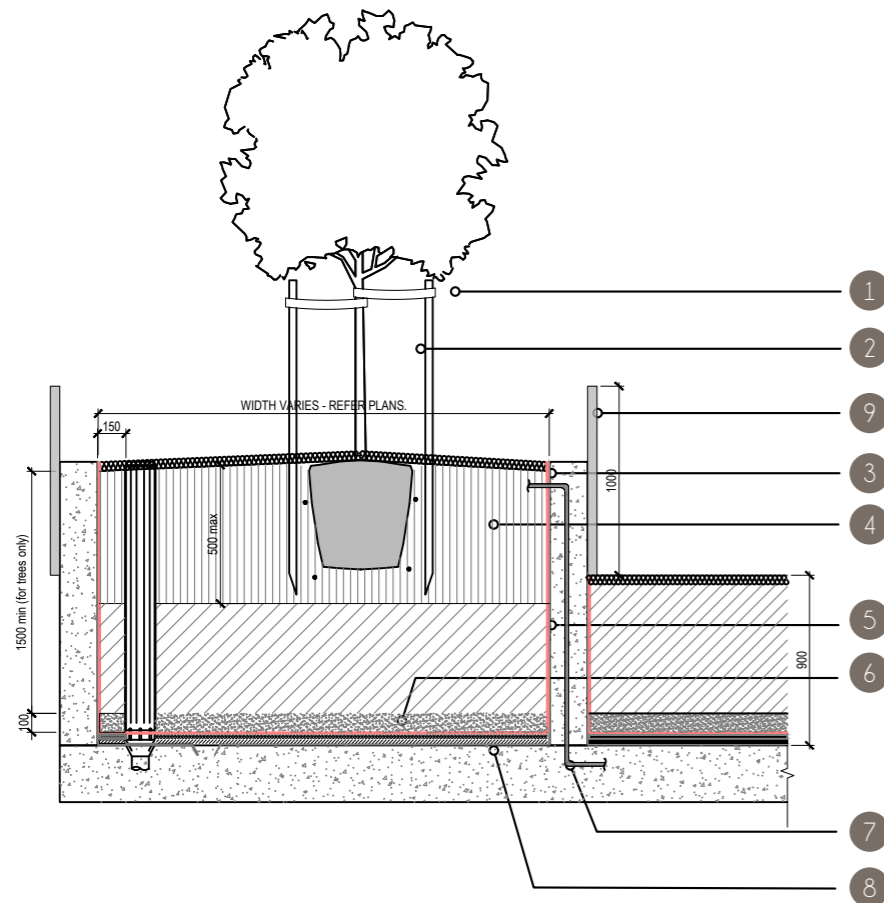
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LEGEND (DETAIL):

- 1 Plants as specified in pallette & to future detailed design.
- 2 Drainage Riser, with inspection opening, at 10m cntrs & 150mm from edge. Rigid slotted pipe socked in geotextile fabric.
- 3 Screening / Balustrade if required - to be developed in detail design
- 4 Geotextile filter fabric layer
- 5 Imported lightweight podium soil blend
- 6 Waterproofing of entire walls & floors of planting area of roof. Waterproofing as specified in detailed design.
- 7 100mm thick min layer of washed river sand
- 8 Slimline drainage cell layer in base.
- 9 Allow for penetrations in built form, to allow conduits to supply water / fertigated / irrigation to planting area.

DETAIL SECTION - PODIUM PLANTER

Scale 1:10 @ a3



LEGEND (DETAIL):

- 1 Trees as specified, refer to planting pallette.
- 2 Stake trees as specified in detailed design.
- 3 Geotextile filter fabric layer
- 4 Imported lightweight podium soil blend. 2 types of soil media used where trees are required. Soil to comply with Table 1, 'AS4419-2003.
- 5 Waterproofing of entire walls & floors of planting area of roof. Waterproofing as specified in detailed design.a
- 6 100mm thick min layer of washed river sand
- 7 Allow for penetrations in built form, to allow conduits to supply water / fertigated / irrigation to planting area.
- 8 Slimline drainage cell in base of planter.
- 9 Screen to planter wall, to restrict climbable zone & fall risk over 1.5m. To be developed in detail design.

DETAIL SECTION - TREE PODIUM PLANTER

scale 1:20 @ a3

PLANTING DEPTHS

All podium planting is proposed in accordance with Landscape Works Code (PO4). Refer to BSD-9004

- Trees: 1500mm depth
- Palms / large shrubs: 900mm depth
- Small shrubs / groundcovers: 600mm depth
- Cascading groundcovers: 300mm depth



ESTABLISHMENT MAINTENANCE

Establish and maintain landscaping works following the issue of the Certificate of Practical Completion. Maintain works of a maintenance nature including but not limited to watering, weeding, fertilising, pest and disease and weed control, planting replacements, pruning and the like with accepted horticultural practices.

All plants shall be watered as per watering program below (unless unnecessary due to rain) from time of planting until the end of the establishment period (12 weeks).

Replace any plant that has been planted by the contractor, which dies from any cause during the planting establishment period. Plant replacement shall be of equivalent size and species as detailed in the plant schedule.

Removal of Weeds, Debris and Rubbish in planting areas shall occur at monthly intervals through the construction and defects liability/ establishment period. Any specified plant material damaged during this practice shall be replaced.

COMPLETION MAINTENANCE

Upon completion of the works all works shall be maintained for a period of 52 weeks from the date of practical completion.

Maintenance shall include:

- replacement of dead, damaged or stolen plants
- watering as required to maintain plant growth in a healthy condition
- replenish soil and mulch to specified depths if required following settlement
- pruning if required to maintain good form and safety
- pest and disease control
- fertilising if required to encourage growth (inline irrigation fertilisation proposed)
- regular removal of rubbish and litter

PODIUM PLANTING MAINTENANCE

The planting species selected for podium planting zones, are of low-maintenance requirements. These plants are predominately native sprawling ground covers, succulent cascading species, tried and tested shrubs and trees. These will only require periodic cutting back, fertilising, and weed & pest control.

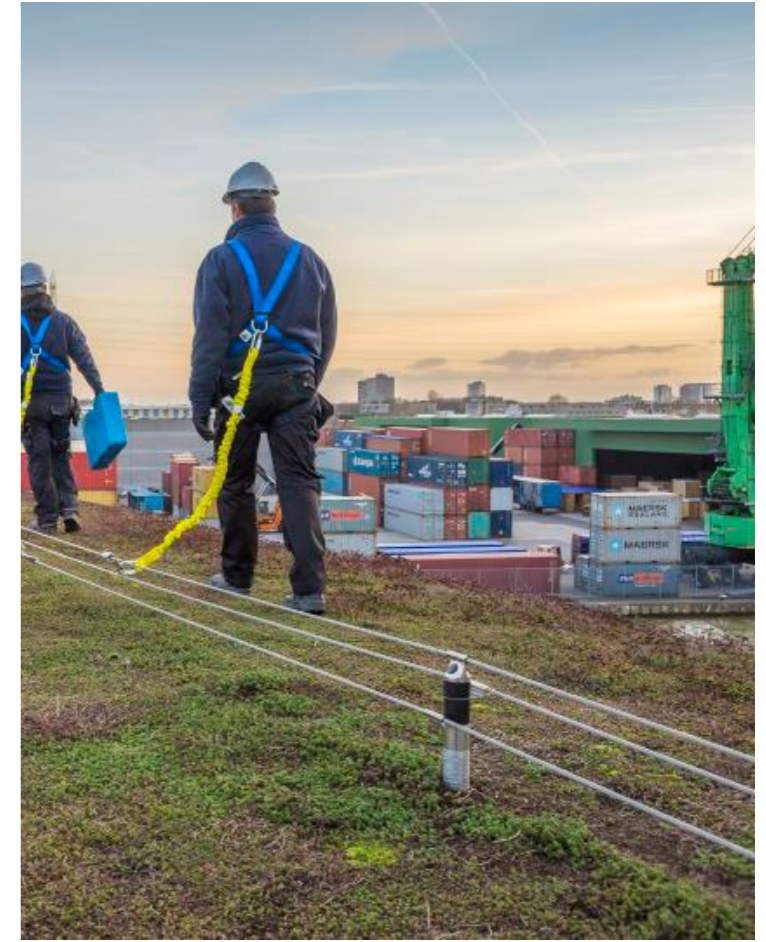
MAINTENANCE ACCESS

Podium garden areas on Level 1 and Level 2. When maintaining within these zones, it is proposed appropriate anchor connections and static lines will be used. Static lines should be run central through podium planting areas. This will be outlined further in detail design.

MAINTENANCE METHODOLOGY

Garden beds within balustrades, have accessible maintenance access. When accessing gardens outside balustrades, appropriate anchor connections and static lines are proposed.

Low maintenance species planted to ensure minimal care is required.

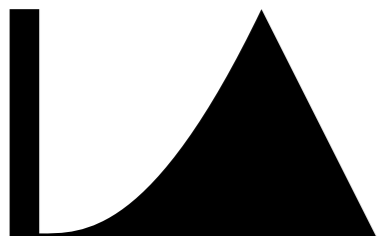


Example of static line fall arrest system

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We acknowledge the Bundjalung of Byron Bay Arakwal people, the Minjungbal people, the Widjabul people and The Turrbal people as the Traditional Owners of the lands on which we work and create. We also acknowledge the traditional custodians throughout Aboriginal and Torres Strait Islander lands. We recognise their ongoing connection to country, land and waters that were never ceded and pay our respects to Elders, past, present and future.

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