

DEVELOPMENT APPLICATION

FOR

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY

177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/ DP1092892)

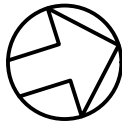
OWNER: LUTZ BENDIG (BUILDER TBC)

| DRG. No. | DRG. DESCRIPTION |
|----------|---|
| LB-00 | COVER PAGE |
| LB-0.1 | SITE VISUAL |
| LB-1.0 | SITE PLAN |
| LB-1.1 | SHADOW DIAGRAMS |
| LB-1.2 | MAIN HOUSE BASIX REPORT |
| LB-1.3 | DUAL OCCUPANCY BASIX REPORT |
| LB-2.0 | EXISTING LOWER FLOOR PLAN |
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| LB-3.0 | PROPOSED LOWER PLANS |
| LB-3.1 | PROPOSED BUILDING WORKS NOTES & DOOR/WINDOW SCHEDULES |
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| LB-5.0 | PROPOSED SECTION A |
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| LB-6.0 | PROPOSED ELEVATIONS 1 |
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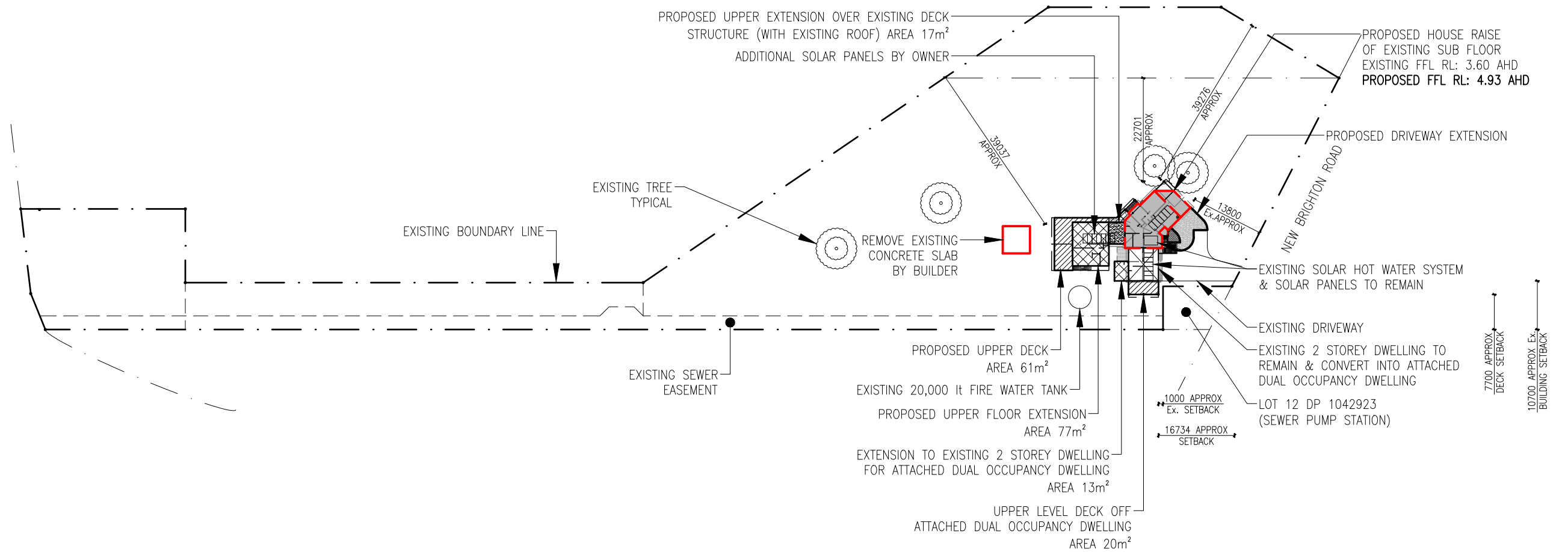
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| | No. | Date | Issue | Scale: | 1:100 U.N.O. | Sheet: COVER SHEET Project: ALTERATION AND ADDITIONS Location: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892) Client: LUTZ BENDIG | <div>LB</div> <div>Job No.</div> <div></div> | <div>00</div> <div>Sheet No.</div> <div></div> <div>DA</div> <div>Revision</div> |
| | DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | Designed: | DCDS | | | |
| | | | | Drafted: | DC | | | |
| | | | | Date: | NOV 2022 | | | |
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| | No. Date Issue | | | Scale: 1:100 U.N.O. | Sheet: SITE VISUAL ALTERATION AND ADDITIONS TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892) Client: LUTZ BENDIG | LB | 0.1 |
| | DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | Designed: DCDS | | | |
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NORTH



PROPERTY INFORMATION

LOT Number:- LOT 101/DP 1092892
Land Area: 8901m²

EXISTING PROPERTY AREAS

SUB FLOOR (TO BE RAISED) = 101m²
UPPER FLOOR = 45m²
GARAGE = 45m²
LAUNDRY = 8m²
DECKS = 33m²

PROPOSED PROPERTY AREAS

UPPER FLOOR HABITABLE AREA = 191m²
UPPER FLOOR DECK AREA = 88m²
(AFTER HOUSE RAISE & EXTENSION)
EXISTING UPPER FLOOR = 45m²
EXISTING GARAGE = 45m²
EXISTING LAUNDRY = 8m²

HOUSE RAISE NOTES

FINAL AERIAL POSITION TO BE AS PER EXISTING PLAN (SIDE, FRONT & REAR BOUNDARY OFFSETS TO REMAIN)

- RAISE:-
1330mm TO ACHIEVE UPPER FLOOR RL. 4.93 AHD
DEMOLITION (PRIOR TO THE ABOVE):-
- ALL EXISTING STAIRS TO BE DEMOLISHED
 - ALL EXISTING WALLS/SLABS/COLUMNS ETC. BELOW EXISTING HOUSE TO BE DEMOLISHED UNLESS NOTED OTHERWISE - REFER PLAN

BUILDER/OWNER NOTES:-

- WATER METER TO BE UPGRADED
- ELECTRIC METER TO BE UPGRADED
- NEW HOT WATER SYSTEM FOR EXTENSION TO BE INSTALLED (LOCATION TO BE CONFIRMED BY BUILDER/CONTRACTOR)
- 5000L WATER TANK TO BE INSTALLED (LOCATION TO BE CONFIRMED BY BUILDER/CONTRACTOR)
- ALL INTERNAL WALL LININGS TO BE 10mm PLASTER BOARD WITH SQUARE SET FINISH
- ALL INTERNAL SKIRTING BOARDS & ARCHITRAVES TO MATCH EXISTING
- ALL MATERIALS FOR BAL RATING 29
- ALL EXTERNAL CLADDING TO MATCH EXISTING (or BAL RATING 29 EQUIVALENT)
- ALL EXPOSED STEELWORK TO BE H.D.G.

REFER SHEET 3.1 FOR PROPOSED BUILDING WORKS NOTES & DOOR/WINDOW SCHEDULES

SITE PLAN

SCALE 1:1000

| No. | Date | Issue | Scale: |
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
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| | | | Date: NOV 2022 |
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Sheet:

Project:

Location:

Client:

SITE PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB

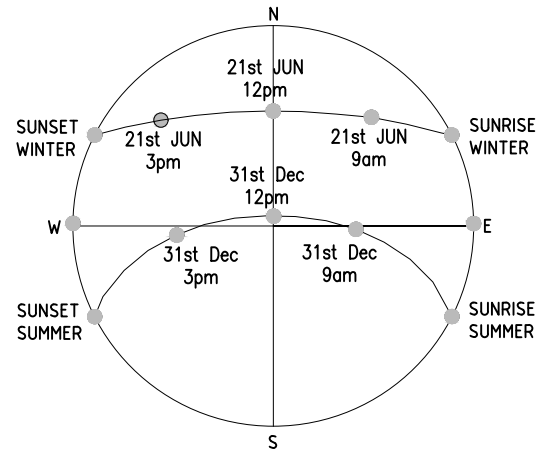
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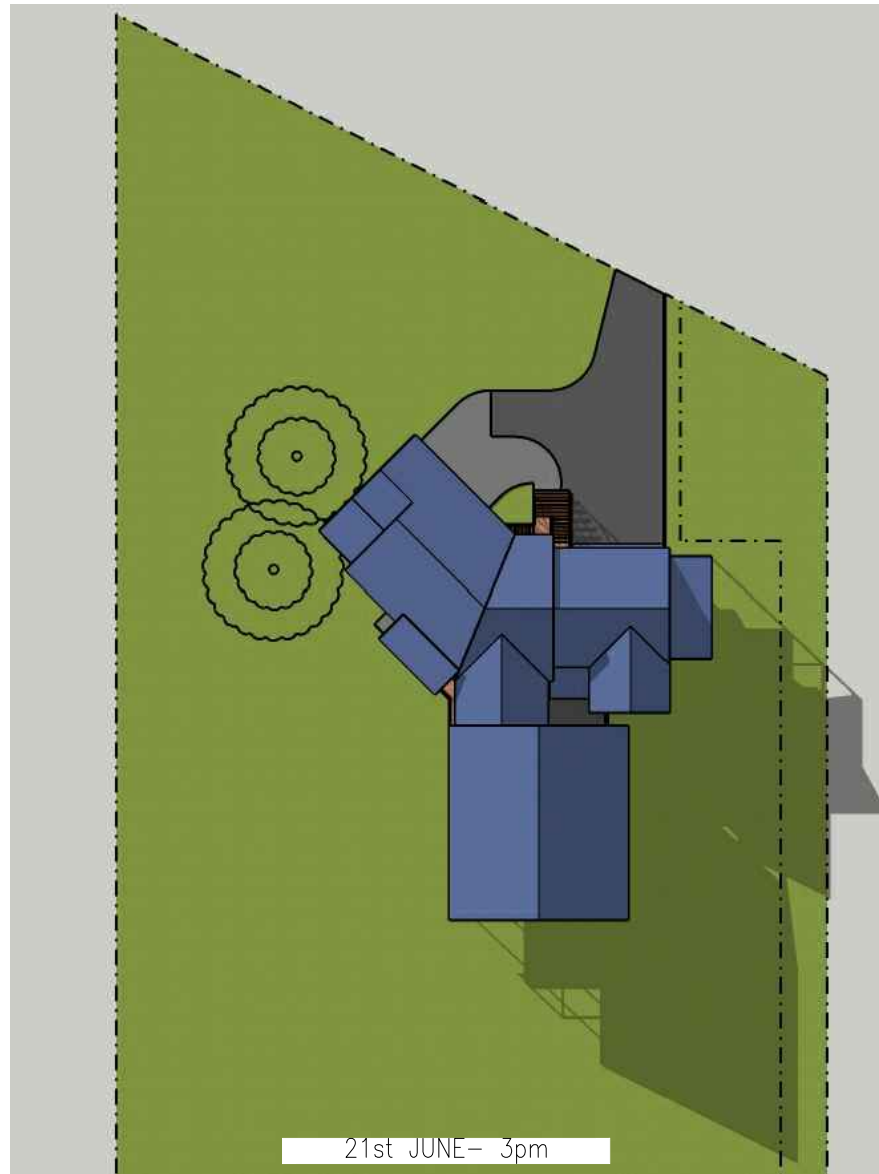
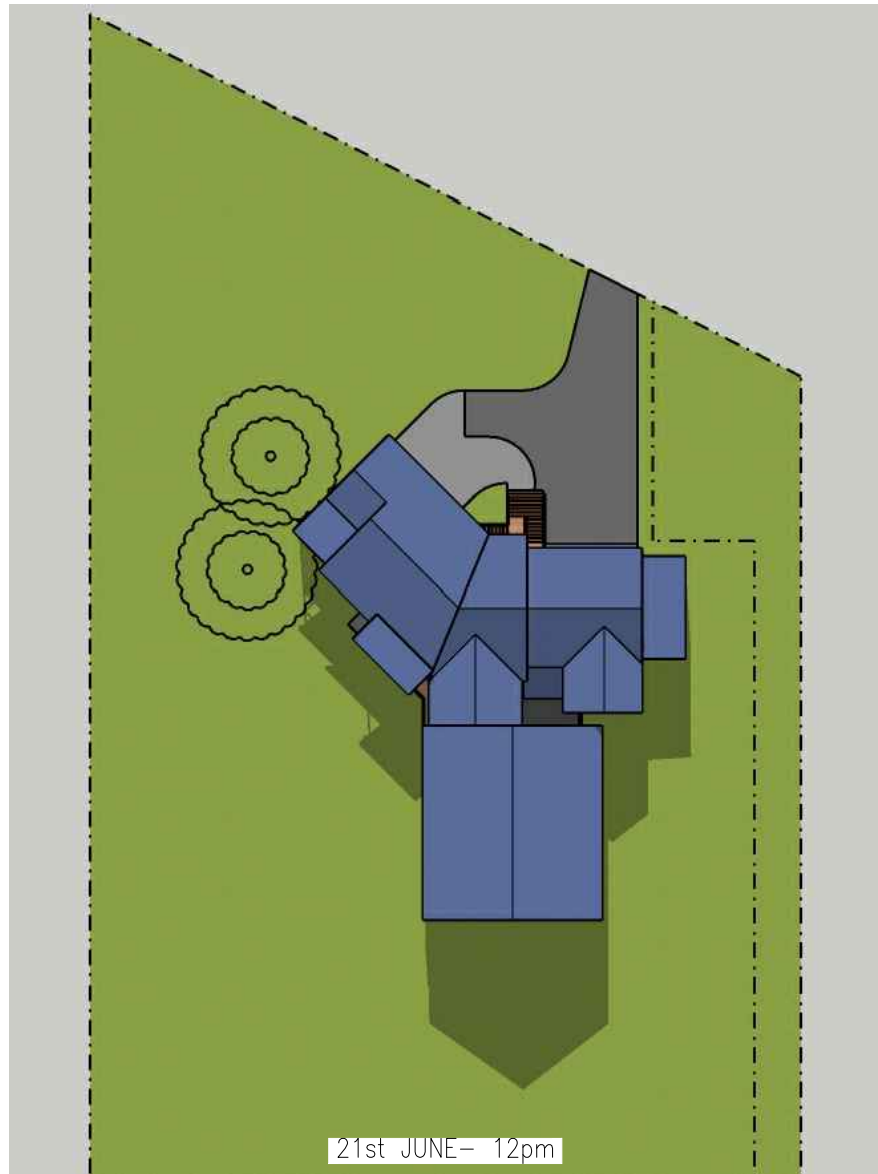
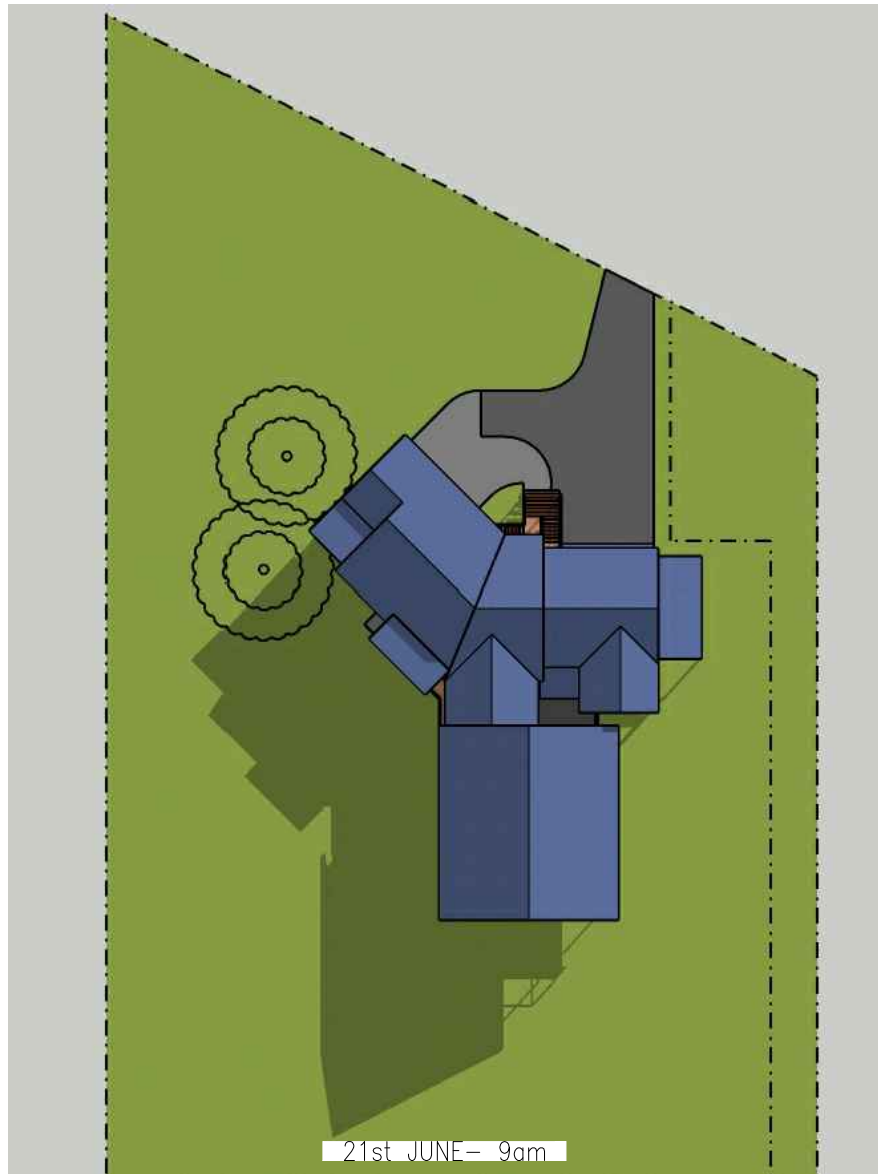
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DA

Revision



SUN DIAL



WINTER SHADOW DIAGRAMS

NTS

| No. | Date | Issue | Scale: |
|-----|------------|----------------------------|----------------|
| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
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| | | | Date: NOV 2022 |
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Sheet: SHADOW DIAGRAMS
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| | | |
|---------|----|-----------|
| Job No. | LB | 1.1 |
| | | Sheet No. |
| | | DA |
| | | Revision |

Single Dwelling

Certificate number: 1413784S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11 August 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

| Project address | |
|------------------------------------|---|
| Project name | 177 New Brighton Road |
| Street address | 177 New Brighton Road Ocean Shores 2483 |
| Local Government Area | Byron Shire Council |
| Plan type and plan number | Deposited Plan 1092892 |
| Lot no. | 101 |
| Section no. | - |
| Project type | |
| Project type | separate dwelling house |
| No. of bedrooms | 4 |
| Site details | |
| Site area (m²) | 6695 |
| Roof area (m²) | 200 |
| Conditioned floor area (m2) | 135.0 |
| Unconditioned floor area (m2) | 11.0 |
| Total area of garden and lawn (m2) | 100 |

| Project summary | | |
|---------------------------|---|-------------|
| Project name | 177 New Brighton Road | |
| Street address | 177 New Brighton Road Ocean Shores 2483 | |
| Local Government Area | Byron Shire Council | |
| Plan type and plan number | deposited 1092892 | |
| Lot no. | 101 | |
| Section no. | - | |
| Project type | separate dwelling house | |
| No. of bedrooms | 4 | |
| Project score | | |
| Water | ✔ 44 | Target 40 |
| Thermal Comfort | ✔ Pass | Target Pass |
| Energy | ✔ 51 | Target 50 |

| Certificate Prepared by | |
|---|--|
| Name / Company Name: Coastal Planning & Energy Services | |
| ABN (if applicable): 64279678110 | |

| Assessor details and thermal loads | | |
|---|--------|-------------|
| Assessor number | n/a | |
| Certificate number | n/a | |
| Climate zone | n/a | |
| Area adjusted cooling load (MJ/m²·year) | n/a | |
| Area adjusted heating load (MJ/m²·year) | n/a | |
| Ceiling fan in at least one bedroom | n/a | |
| Ceiling fan in at least one living room or other conditioned area | n/a | |
| Project score | | |
| Water | ✔ 44 | Target 40 |
| Thermal Comfort | ✔ Pass | Target Pass |
| Energy | ✔ 51 | Target 50 |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. | | ✔ | ✔ |
| The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development. | | ✔ | ✔ |
| The applicant must install taps with a minimum rating of 3 star in the kitchen in the development. | | ✔ | |
| The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development. | | ✔ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✔ | ✔ | ✔ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✔ | ✔ |
| The applicant must connect the rainwater tank to: | | | |
| • all toilets in the development | | ✔ | ✔ |
| • the cold water tap that supplies each clothes washer in the development | | ✔ | ✔ |
| • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) | | ✔ | ✔ |

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| General features | | | |
| The dwelling must not have more than 2 storeys. | ✔ | ✔ | ✔ |
| The conditioned floor area of the dwelling must not exceed 300 square metres. | ✔ | ✔ | ✔ |
| The dwelling must not contain open mezzanine area exceeding 25 square metres. | ✔ | ✔ | ✔ |
| The dwelling must not contain third level habitable attic room. | ✔ | ✔ | ✔ |
| Floor, walls and ceiling/roof | | | |
| The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below. | ✔ | ✔ | ✔ |

| Construction | Additional insulation required (R-Value) | Other specifications |
|---|--|---|
| floor - suspended floor above open subfloor, framed | nil | |
| external wall - framed (weatherboard, fibre cement, metal clad) | 1.80 (or 2.20 including construction) | |
| ceiling and roof - raked ceiling / pitched or skillion roof, framed | ceiling: 3.5 (down), roof: foil backed blanket (55 mm) | framed; medium (solar absorptance 0.475-0.70) |

| | |
|------|--|
| Note | • Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia. |
| Note | • In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials. |

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✔ | ✔ | ✔ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.. | ✔ | ✔ | ✔ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✔ | ✔ | ✔ |
| • For the following glass and frame types, the certifier check can be performed by visual inspection. | | ✔ | ✔ |
| • Aluminium single clear | | | |
| • Aluminium double (air) clear | | | |
| • Timber/uPVC/fibreglass single clear | | | |
| • Timber/uPVC/fibreglass double (air) clear | | | |
| • Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. | ✔ | ✔ | ✔ |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--------------------------|--|------------------|
| East facing | | | | | |
| W04 | 900 | 1200 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | not overshadowed |
| W05 | 900 | 2100 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | not overshadowed |
| South facing | | | | | |
| W01 | 2400 | 900 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| W02 | 2400 | 750 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| W02 | 2400 | 750 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--------------------------|--|------------------------|
| D9 | 2400 | 3600 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| D10 | 2400 | 2700 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| South-West facing | | | | | |
| D4 | 2400 | 820 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | not overshadowed |
| West facing | | | | | |
| W03 | 2400 | 1200 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | >4 m high, 8-12 m away |
| W03 | 2400 | 1200 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | >4 m high, 8-12 m away |
| W1 | 2400 | 900 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | >4 m high, 8-12 m away |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars. | ✔ | ✔ | ✔ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a | | ✔ | ✔ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a | | ✔ | ✔ |
| Heating system | | | |
| The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✔ | ✔ |
| The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system. | | ✔ | ✔ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a Kitchen: no mechanical ventilation (ie. natural); Operation control: n/a Laundry: natural ventilation only, or no laundry; Operation control: n/a | | ✔ | ✔ |
| Natural lighting | | | |
| The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. | ✔ | ✔ | ✔ |
| The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting. | ✔ | ✔ | ✔ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✔ | |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions. | | ✔ | |
| The applicant must install a fixed outdoor clothes drying line as part of the development. | | ✔ | |

| Legend |
|--|
| In these commitments, "applicant" means the person carrying out the development. |
| Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development). |
| Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development. |
| Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued. |

| No. | Date | Issue | Scale: | 1:100 U.N.O. |
|-----|------------|----------------------------|------------|--------------|
| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | Designed: | DCDS |
| | | | Drafted: | DC |
| | | | Date: | NOV 2022 |
| | | | PAGE SIZE: | A3 |

Sheet:

Project:

Location:

Client:

MAIN HOUSE BASIX REPORT
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| | |
|---------|-----------|
| LB | 1.2 |
| Job No. | Sheet No. |
| | DA |
| | Revision |

Alterations and Additions

Certificate number: A505016

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Friday, 11, August 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

| Project address | |
|---------------------------------|---|
| Project name | 177 New Brighton Road |
| Street address | 177 New Brighton Road Ocean Shores 2483 |
| Local Government Area | Byron Shire Council |
| Plan type and number | Deposited Plan 1092892 |
| Lot number | 101 |
| Section number | |
| Project type | |
| Dwelling type | Separate dwelling house |
| Type of alteration and addition | My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa). |

| |
|--|
| Certificate Prepared by (please complete before submitting to Council or PCA) |
| Name / Company Name: Coastal Planning & Energy Services |
| ABN (if applicable): 84279678110 |

| Fixtures and systems | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|------------------|------------------------------|-----------------|
| Lighting | | | |
| The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Fixtures | | | |
| The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. | | ✓ | ✓ |
| The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating. | | ✓ | |

| Construction | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check |
|--|--|---|--------------------|
| Insulation requirements | | | |
| The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists. | | ✓ | ✓ |
| Construction | Additional insulation required (R-value) | Other specifications | ✓ |
| suspended floor with open subfloor: framed (R0.7). | nil | | |
| suspended floor with enclosed subfloor: framed (R0.7). | nil | | |
| suspended floor above garage: framed (R0.7). | nil | | |
| external wall: framed (weatherboard, fibro, metal clad) | R1.00 (or R1.40 including construction) | | |
| internal wall shared with garage: single skin masonry (R0.18) | nil | | |
| raked ceiling, pitched/skillion roof: framed | ceiling: R1.76 (down), roof: foil backed blanket (55 mm) | medium (solar absorptance 0.475 - 0.70) | |

| Glazing requirements | Show on DA Plans | Show on CC/CDC Plans & specs | Certifier Check | | | |
|--|------------------|-------------------------------|-----------------|----------------|--|--|
| Windows and glazed doors | | | | | | |
| The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ | | | |
| The following requirements must also be satisfied in relation to each window and glazed door: | | ✓ | ✓ | | | |
| Each window or glazed door with improved frames, or pyrolytic low-e glass, or clear/air gap/clear glazing, or toned/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. | | ✓ | ✓ | | | |
| For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. | ✓ | ✓ | ✓ | | | |
| Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. | | ✓ | ✓ | | | |
| Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm. | | ✓ | ✓ | | | |
| Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below. | ✓ | ✓ | ✓ | | | |
| Windows and glazed doors glazing requirements | | | | | | |
| Window / door no. | Orientation | Area of glass inc. frame (m2) | Overshadowing | Shading device | Frame and glass type | |
| | | | Height (m) | Distance (m) | | |
| d13 | E | 4.2 | 8 | 12 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |
| d14 | E | 4 | 8 | 12 | eave/verandah/pergola/balcony >=450 mm | standard aluminium, single pyrolytic low-e, (U-value: 5.7, SHGC: 0.47) |

| Thermal Comfort Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Windows, glazed doors and skylights | | | |
| The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door. | ✓ | ✓ | ✓ |
| The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table. | ✓ | ✓ | ✓ |
| The following requirements must also be satisfied in relation to each window and glazed door: | ✓ | ✓ | ✓ |
| <ul style="list-style-type: none">For the following glass and frame types, the certifier check can be performed by visual inspection.<ul style="list-style-type: none">Aluminium single clearAluminium double (air) clearTimber/uPVC/fibreglass single clearTimber/uPVC/fibreglass double (air) clearOvershadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column. | ✓ | ✓ | ✓ |

| Window/glazed door no. | Maximum height (mm) | Maximum width (mm) | Type | Shading Device (Dimension within 10%) | Overshadowing |
|------------------------|---------------------|--------------------|--------------------------|--|------------------|
| East facing | | | | | |
| W04 | 900 | 1200 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | not overshadowed |
| W05 | 900 | 2100 | aluminium, single, clear | eave 1000 mm, 200 mm above head of window or glazed door | not overshadowed |
| South facing | | | | | |
| W01 | 2400 | 900 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| W02 | 2400 | 750 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |
| W02 | 2400 | 750 | aluminium, single, clear | eave 4600 mm, 500 mm above head of window or glazed door | not overshadowed |

| No. | Date | Issue | Scale: |
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
| | | | Drafted: DC |
| | | | Date: NOV 2022 |
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Sheet: DUAL OCCUPANCY BASIX REPORT
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| | |
|-----------|------------|
| LB | 1.3 |
| Job No. | Sheet No. |
| | DA |
| | Revision |



NORTH

— = EXISTING TO REMAIN
— = EXISTING TO BE DEMOLISHED

ELECTRICAL WORKS

ALL ELECTRICAL WORKS TO BE CARRIED OUT BY LICENSED CONTRACTOR
OWNERS TO OBTAIN DESIGN & QUOTE FROM CONTRACTOR

PLUMBING WORKS

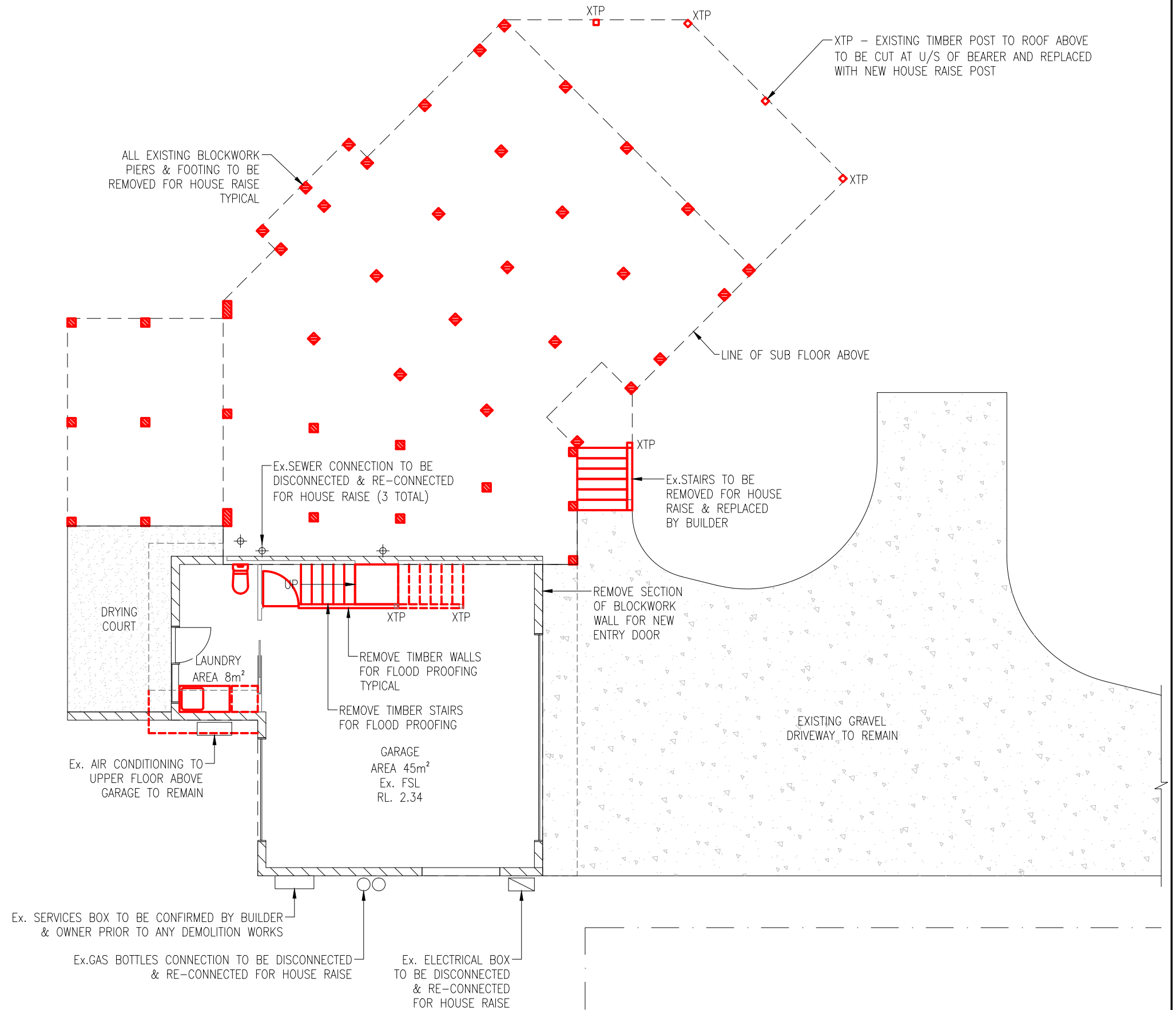
ALL PLUMBING WORKS TO BE CARRIED OUT BY LICENSED CONTRACTOR
OWNERS TO OBTAIN DESIGN & QUOTE FROM CONTRACTOR

AIR CONDITIONING

OWNERS TO RECONNECT & LOCATED EXISTING AIR CONDITIONING SYSTEMS

NOTE

EXISTING WATER SUPPLY & METER NOT FOUND AT TIME OF INSPECTION BUILDER TO CONFIRM LOCATION PRIOR TO DEMOLITION



EXISTING GROUND FLOOR PLAN

SCALE 1:100

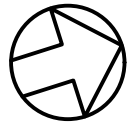
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| Date: | NOV 2022 |
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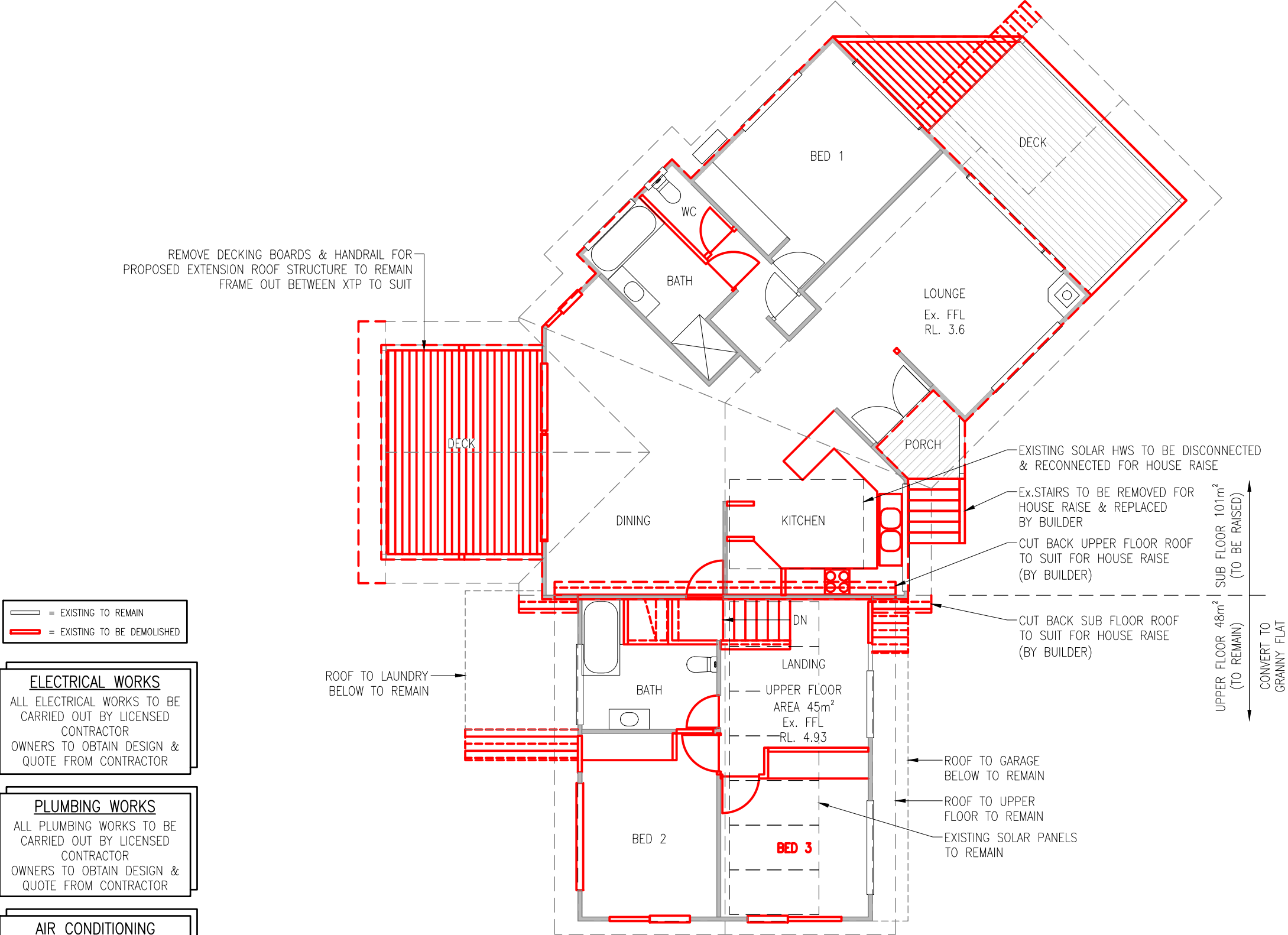
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Project:
Location:
Client:

EXISTING GROUND FLOOR PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

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| LB | 2.0 |
| Job No. | Sheet No. |
| | DA |
| | Revision |



NORTH



EXISTING UPPER FLOOR PLAN

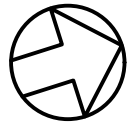
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) |
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| Designed: | DCDS |
| Drafted: | DC |
| Date: | NOV 2022 |
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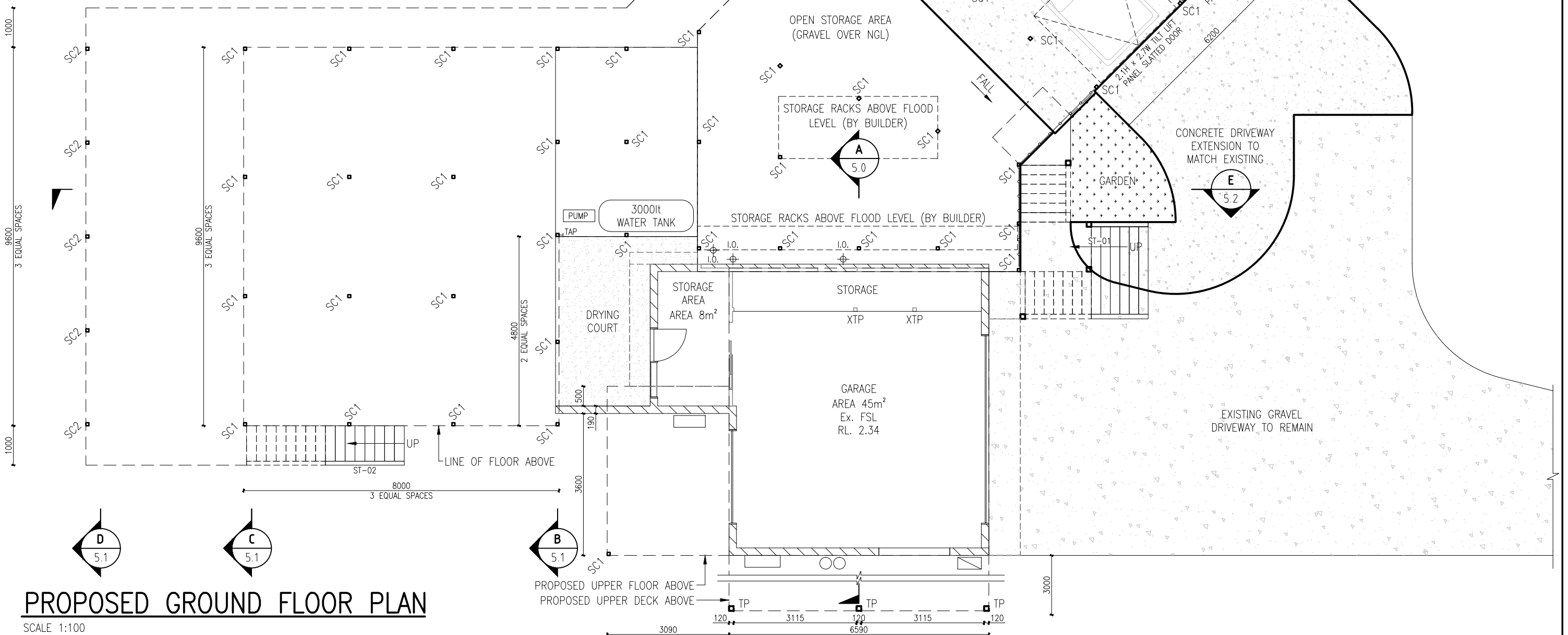
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Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

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|---------|-----------|
| LB | 2.1 |
| Job No. | Sheet No. |
| | DA |
| | Revision |



NORTH

| ABBREVIATIONS LEGEND | |
|--|--|
| PRE. | DESCRIPTION |
| XTP | EXISTING TIMBER POST (TO REMAIN) |
| SC1 | NEW STEEL 75 SHS COLUMN (TO ENG. DETAIL) |
| SC2 | NEW STEEL 89 SHS COLUMN (TO ENG. DETAIL) |
| TP | 120 SQ. HARDWOOD TIMBER POST (TO ENG. DETAIL) |
| ST-01 | HARDWOOD TIMBER STAIR STRINGERS, TREADS AND HANDRAIL TO MATCH EXISTING CHARACTER ENTRY |
| ST-02 | STEEL STRINGERS, HARDWOOD TIMBER TREADS AND HANDRAIL, BALUSTRADE TO MATCH EXISTING |
| ST-03 | INTERNAL TIMBER STAIRS TO SUIT HOUSE RAISE |
| I.O. | RELOCATED SEWER INSPECTION OPENING |
| REFER SHEET 3.1 FOR DOOR & WINDOW SCHEDULE | |
| REFER SHEET 1.0 FOR BUILDER/OWNER NOTES | |



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

| No. | Date | Issue | Scale: |
|-----|------------|----------------------------|----------------|
| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
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| | | | Date: NOV 2022 |
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Sheet:
Project:
Location:
Client:

PROPOSED GROUND FLOOR PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| LB | 3.0 |
|---------|-----------|
| Job No. | Sheet No. |
| | DA |
| | Revision |

ALL PROPOSED BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA COMPLIANCE.

1. DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3–2021.
2. EARTH RETAINING STRUCTURES: BCA 2022 PART H1D3.
3. FOOTINGS AND SLABS ARE TO COMPLY WITH AS 2870–2011.
4. SUB–FLOOR VENTILATION IS TO COMPLY WITH BCA 2022 PART H2D5.
5. STEEL FRAMING TO COMPLY WITH:
- a) STEEL STRUCTURES: AS 4100–2020,
- b) COLD FORMED STEEL STRUCTURES: AS/NZS 4600–2018, OR
6. RESIDENTIAL & LOW–RISE STEEL FRAMING: NASH STANDARD 'RESIDENTIAL & LOW–RISE STEEL FRAMING' PART 1–2005 AMDT A, B & C PART 2–2014 AMDT A.
7. STEEL STRUCTURES: AS 4100–2020,
8. COLD FORMED STEEL STRUCTURES: AS/NZS 4600–2018.
9. ROOF CLADDING IS TO COMPLY WITH:
- a) METAL ROOFING: AS1562.1–2018,
10. GUTTERS AND DOWNPIPES TO COMPLY WITH AS/NZS 3500.3–2021.
11. SMOKE ALARMS ARE TO COMPLY WITH BCA 2022 PART H3D6 AND AS 3786– 2014 AMDT 1 & 2.
12. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH BCA 2022 TABLE 10.2.2 TO 10.2.5 & COMPLY WITH AS 3740–2021.
13. ROOM HEIGHTS ARE TO COMPLY WITH BCA 2022 PART H4D4
14. CONSTRUCTION OF SANITARY COMPARTMENTS IS TO COMPLY WITH BCA 2022 PART 10.4.2.
15. NATURAL LIGHTING IS TO COMPLY WITH BCA 2022 PART 10.5.1.
16. ARTIFICIAL LIGHTING IS TO COMPLY WITH AS/NZS 1680.0–2009.
17. MECHANICAL VENTILATION IS TO COMPLY WITH AS 1668.2–2012 AMDT 1 & 2.
18. AN EXHAUST FAN FROM A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM MUST COMPLY WITH BCA 2022 PART 10.6.2(C).
19. NATURAL VENTILATION IS TO COMPLY WITH BCA 2022 PART 10.6.2.
20. LOCATION OF SANITARY COMPARTMENTS IS TO COMPLY WITH BCA 2022 PART 10.6.3.
21. STAIR CONSTRUCTION IS TO COMPLY WITH BCA 2022 PART H5D2 & 11.2.
22. BARRIERS AND HANDRAILS ARE TO COMPLY WITH BCA 2022 PART H5D3 & 11.3.
23. PROTECTION OF OPENABLE WINDOWS IS TO COMPLY WITH BCA 2022 PART 11.3.7 & 11.3.8.
24. CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS IS TO COMPLY WITH ABCB STANDARD FOR CONSTRUCTION IN FLOOD HAZARD AREAS, VERSION 2012.3.
25. ENERGY EFFICIENCY MEASURES IN ACCORDANCE WITH BASIX REPORT A490341 DATED 22/03/2023
26. EXHAUST FANS ARE TO BE FITTED WITH A SEALING DEVICE SUCH AS A SELF–CLOSING DAMPER, FILTER OR THE LIKE AS REQUIRED BY BCA 2022 PART 13.4.5,
27. A HEATED HOT WATER SUPPLY SYSTEM IS TO COMPLY WITH PART B2 OF NCC 2023 VOLUME THREE – PLUMBING CODE AUSTRALIA.
28. INSULATION OF SERVICES: BCA 2022 PART 13.7.2 & AS/NZS 4859.1–2018

UPPER FLOOR NOTES:–

EXTERNAL:–
ALL EXTERNAL WALL CLADDING, SOFFITS, FIXTURES, FITTINGS, DECK MATERIALS, SUPPORTING STRUCTURAL POST TO MATCH EXISTING WHERE POSSIBLE.
BUILDER TO ENSURE EXISTING BUILDING MATERIALS MEET BAL 29 FIRE RATING STIPULATED IN THE BUSH FIRE REPORT
ALL INSULATION REQUIREMENTS TO MEET BASIX CERTIFICATES, REFER SHEET 1.2

INTERNAL:–
ALL CEILINGS TO BE LINED WITH PLASTERBOARD
ALL WALLS TO BE LINED WITH PLASTERBOARD
CORNICE TO MATCH EXISTING
FLOORING TO MATCH EXISTING (HWD FLOOR BOARDS, TILES TO BATHROOMS & LAUNDRY)
ALL INSULATION REQUIREMENTS TO MEET BASIX CERTIFICATES, REFER SHEET 1.2

LOWER FLOOR NOTES:–

PRIVACY SCREENING:–
ALL VERTICAL SCREENING TO BE 100mm WIDE x 10mm THK. PAILINGS SPACED WITH 50mm GAPS or TO OWNERS SELECTION (MUST BE 50% PERMEABLE)
ALL HORIZONTALS TO BE 100mm WIDE x 50mm THK. RAILINGS SPACED AT TOP, BOTTOM & MID SPAN or TO OWNERS SELECTION
BUILDER TO ENSURE ALL MATERIALS MEET BAL 29 FIRE RATING STIPULATED IN THE BUSH FIRE REPORT

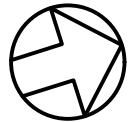
PROPOSED UPPER FLOOR PLAN (SHEET 4.0)

| DOOR & WINDOW SCHEDULE | | |
|---|--|------|
| ITEM | DISCRIPTION | QTY. |
| D03 | 2100H x 820W HOLLOW CORE SWING SET (INTERNAL) | 2 |
| D04 | 2100H x 820W SOLID HWD SWING SET WITH GLASS PANEL (EXTERNAL) | 1 |
| D05 | 2100H x 820W HOLLOW CORE CAVITY SLIDING SET (INTERNAL) | 1 |
| D06 | 2100H x 720W HOLLOW CORE CAVITY SLIDING SET (INTERNAL) | 1 |
| D07 | 2400H x 820W HOLLOW CORE CAVITY SLIDING SET (INTERNAL) | 1 |
| D08 | 2400H x 820W HOLLOW CORE SWING SET (INTERNAL) | 2 |
| D09 | 2400H x 3600W ALUMINIUM STACKER SLIDING SET (EXTERNAL) | 1 |
| D10 | 2400H x 2700W ALUMINIUM STACKER SLIDING SET (EXTERNAL) | 1 |
| D11 | 2100H x 1800W FROSTED GLASS ALUMINIUM STACKER SLIDING SET (INTERNAL) | 1 |
| D12 | 2100H x 920W SOLID HWD SWING SET WITH GLASS PANEL (EXTERNAL) | 1 |
| D13 | 2100H x 2100W ALUMINIUM STACKER SLIDING SET (EXTERNAL) | 1 |
| D14 | 2100H x 1800W ALUMINIUM STACKER SLIDING SET (EXTERNAL) | 1 |
| W01 | 2400H x 900W ALUMINIUM LOUVRE SET WINDOW | 2 |
| W02 | 2400H x 750W ALUMINIUM LOUVRE SET WINDOW | 2 |
| W03 | 2400H x 2400W ALUMINIUM WINDOWS 2400H x 1200W FIX PANEL (LEFT) 2400H x 1200W FIX PANEL (RIGHT) | 2 |
| W04 | 900H x 1200W ALUMINIUM SLIDING SET (FROSTED) | 1 |
| W05 | 900H x 2100W ALUMINIUM SLIDING SET (HIGH LEVEL) | 1 |
| ALL EXISTING DOORS & WINDOWS TO REMAIN U.N.O. | | |

PROPOSED GROUND FLOOR PLAN (SHEET 3.0)

| DOOR & WINDOW SCHEDULE | | |
|---|--|------|
| ITEM | DISCRIPTION | QTY. |
| D01 | 2100H x 900W SOLID HWD SWING SET (EXTERNAL) | 1 |
| D02 | 2100H x 820W HOLLOW CORE BARN SLIDING SET (INTERNAL) | 1 |
| ALL EXISTING DOORS & WINDOWS TO REMAIN U.N.O. | | |

| | | | | | | | | | | |
|--|-----|------------|----------------------------|-------|------------|--------------|--|--|----------|-----------|
| | No. | | Date | Issue | Scale: | 1:100 U.N.O. | Sheet: Project: Location: Client: | PROPOSED GROUND FLOOR PLAN ALTERATION AND ADDITIONS TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892) LUTZ BENDIG | LB | 3.1 |
| | DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | | Designed: | DCDS | | | Job No. | Sheet No. |
| | | | | | Drafted: | DC | | | | DA |
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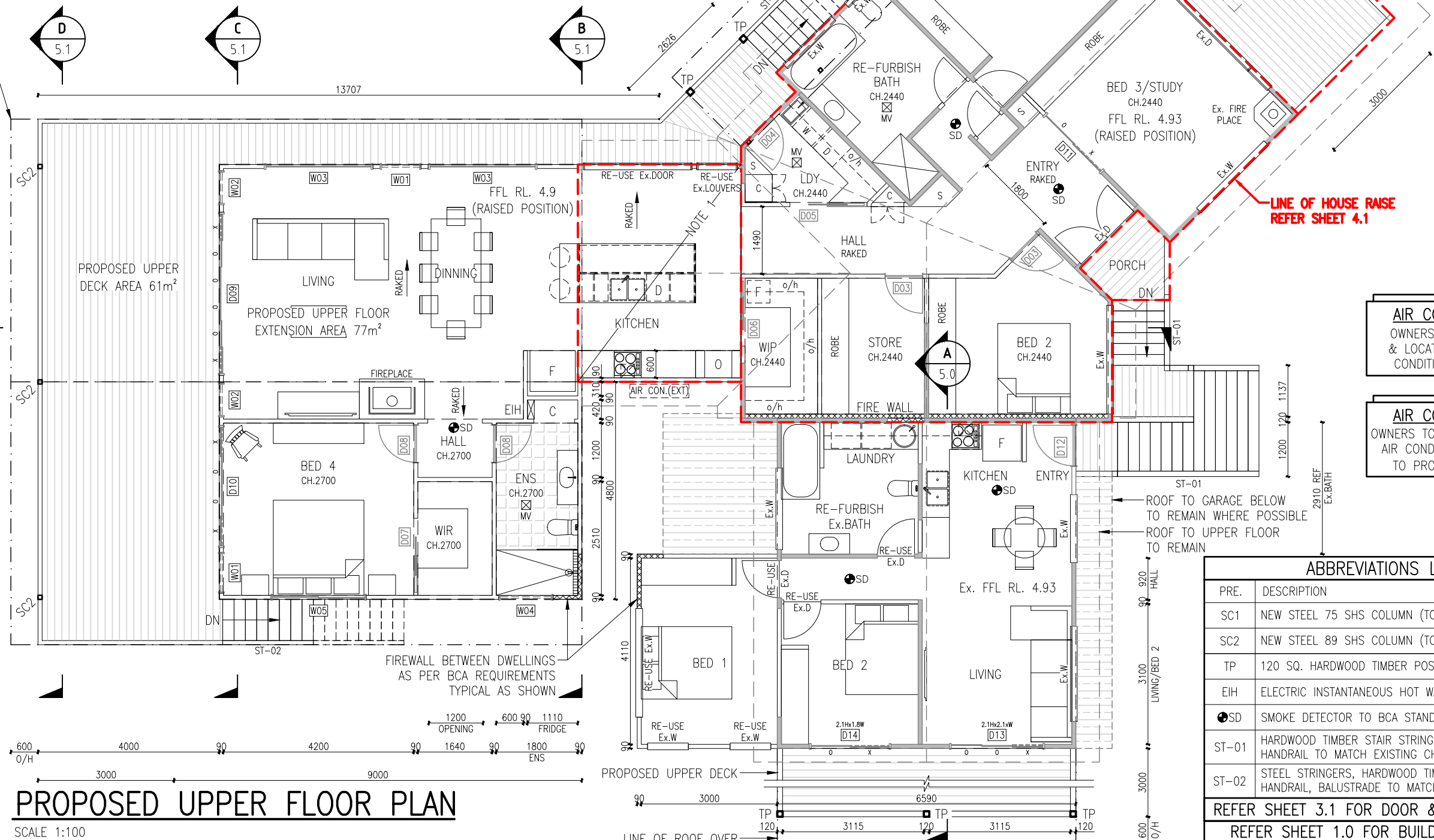
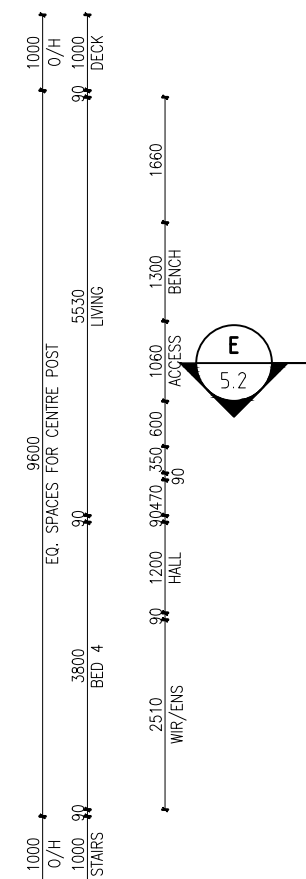


NORTH

ALL STEELWORK/TIMBER & FOOTING SIZES
TO BE DESIGNED & CERTIFIED BY A
REGISTERED STRUCTURAL ENGINEER
(DO NOT CONSTRUCT OFF THIS DRAWING SET)

NOTE 1:- PROPOSED UPPER
EXTENSION OVER EXISTING DECK
STRUCTURE (WITH EXISTING ROOF)
AREA 17m²

COLORBOND CUSTOM ORB
ROOF SHEETING (SURF MIST)
COLORBOND FASCIA &
GUTTERS TO MATCH EXISTING



PROPOSED UPPER FLOOR PLAN

SCALE 1:100

AIR CONDITIONING

OWNERS TO RECONNECT
& LOCATED EXISTING AIR
CONDITIONING SYSTEMS

AIR CONDITIONING

OWNERS TO PROVIDE DUCTED
AIR CONDITIONING SYSTEM
TO PROPOSED AREA'S

ABBREVIATIONS LEGEND

| PRE. | DESCRIPTION |
|-------|--|
| SC1 | NEW STEEL 75 SHS COLUMN (TO ENG. DETAIL) |
| SC2 | NEW STEEL 89 SHS COLUMN (TO ENG. DETAIL) |
| TP | 120 SQ. HARDWOOD TIMBER POST (TO ENG. DETAIL) |
| EIH | ELECTRIC INSTANTANEOUS HOT WATER SYSTEM |
| SD | SMOKE DETECTOR TO BCA STANDARDS |
| ST-01 | HARDWOOD TIMBER STAIR STRINGERS, TREADS AND HANDRAIL TO MATCH EXISTING CHARACTER ENTRY |
| ST-02 | STEEL STRINGERS, HARDWOOD TIMBER TREADS AND HANDRAIL, BALUSTRADE TO MATCH EXISTING |

REFER SHEET 3.1 FOR DOOR & WINDOW SCHEDULE

REFER SHEET 1.0 FOR BUILDER/OWNER NOTES

| No. | Date | Issue |
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) |
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| Designed: DCDS |
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Location:

Client:

**PROPOSED UPPER FLOOR PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG**

LB

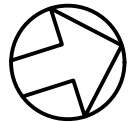
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4.0

Sheet No.

DA

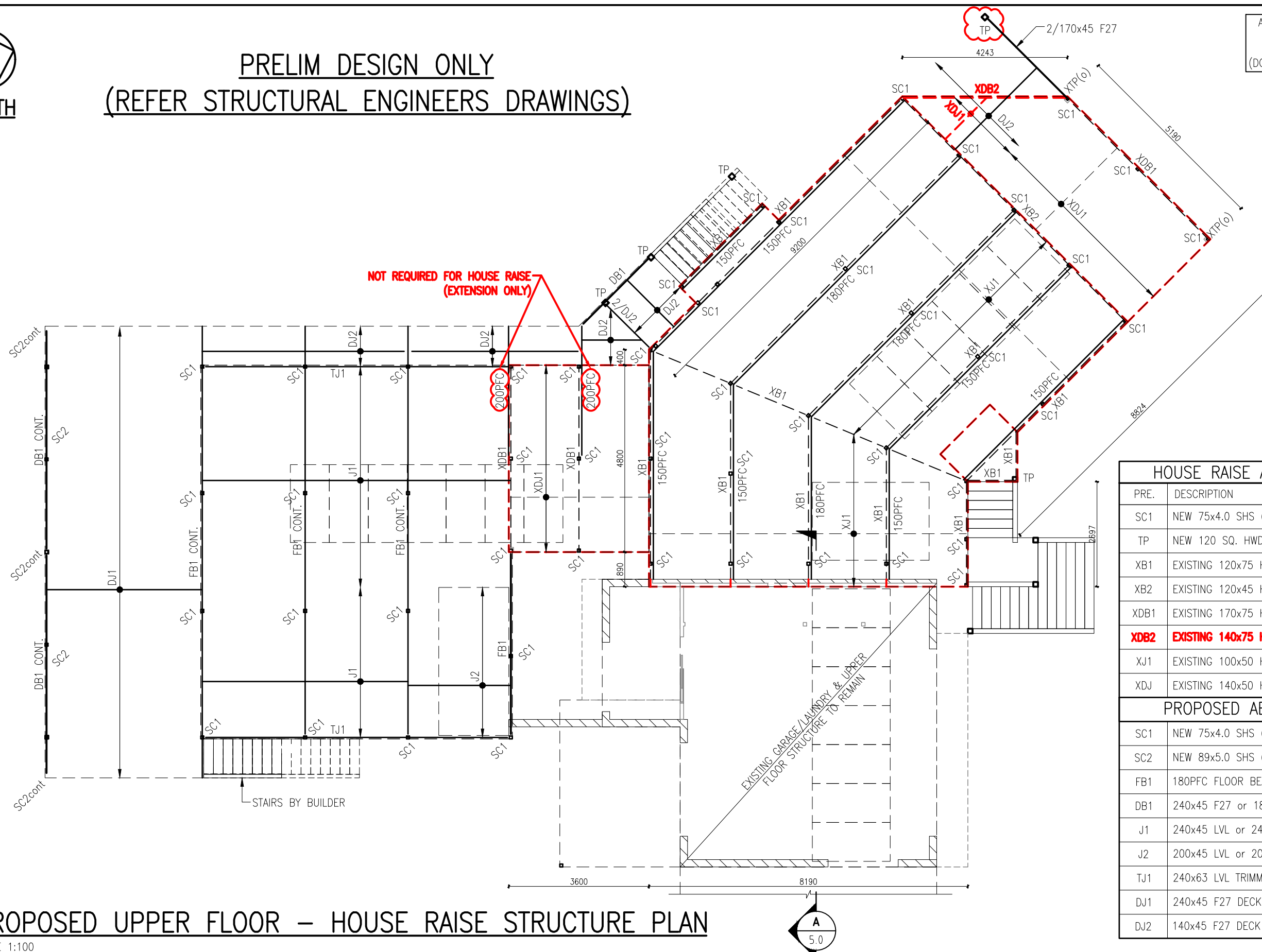
Revision



NORTH

PRELIM DESIGN ONLY
(REFER STRUCTURAL ENGINEERS DRAWINGS)

ALL STEELWORK/TIMBER & FOOTING SIZES
TO BE DESIGNED & CERTIFIED BY A
REGISTERED STRUCTURAL ENGINEER
(DO NOT CONSTRUCT OFF THIS DRAWING SET)



| HOUSE RAISE ABBREVIATIONS LEGEND | |
|----------------------------------|--|
| PRE. | DESCRIPTION |
| SC1 | NEW 75x4.0 SHS (HDG) STEEL COLUMN (TO ENG. DETAIL) |
| TP | NEW 120 SQ. HWD POST (TO ENG. DETAIL) |
| XB1 | EXISTING 120x75 HWD BEARER |
| XB2 | EXISTING 120x45 HWD BEARER |
| XDB1 | EXISTING 170x75 HWD DECK BEARER |
| XDB2 | EXISTING 140x75 HWD DECK BEARER (REMOVED) |
| XJ1 | EXISTING 100x50 HWD JOIST |
| XDJ | EXISTING 140x50 HWD JOIST |
| PROPOSED ABBREVIATIONS LEGEND | |
| SC1 | NEW 75x4.0 SHS (HDG) STEEL COLUMN (TO ENG. DETAIL) |
| SC2 | NEW 89x5.0 SHS (HDG) STEEL COLUMN (TO ENG. DETAIL) |
| FB1 | 180PFC FLOOR BEARER (TO ENG. DETAIL) |
| DB1 | 240x45 F27 or 180PFC DECK BEARER (TO ENG. DETAIL) |
| J1 | 240x45 LVL or 240 'I' JOIST AT 450 CRS. (TO ENG. DETAIL) |
| J2 | 200x45 LVL or 200 'I' JOIST AT 450 CRS. (TO ENG. DETAIL) |
| TJ1 | 240x63 LVL TRIMMER JOIST AT 450 CRS. (TO ENG. DETAIL) |
| DJ1 | 240x45 F27 DECK JOIST AT 450 CRS (TO ENG. DETAIL) |
| DJ2 | 140x45 F27 DECK JOIST AT 450 CRS (TO ENG. DETAIL) |

PROPOSED UPPER FLOOR – HOUSE RAISE STRUCTURE PLAN

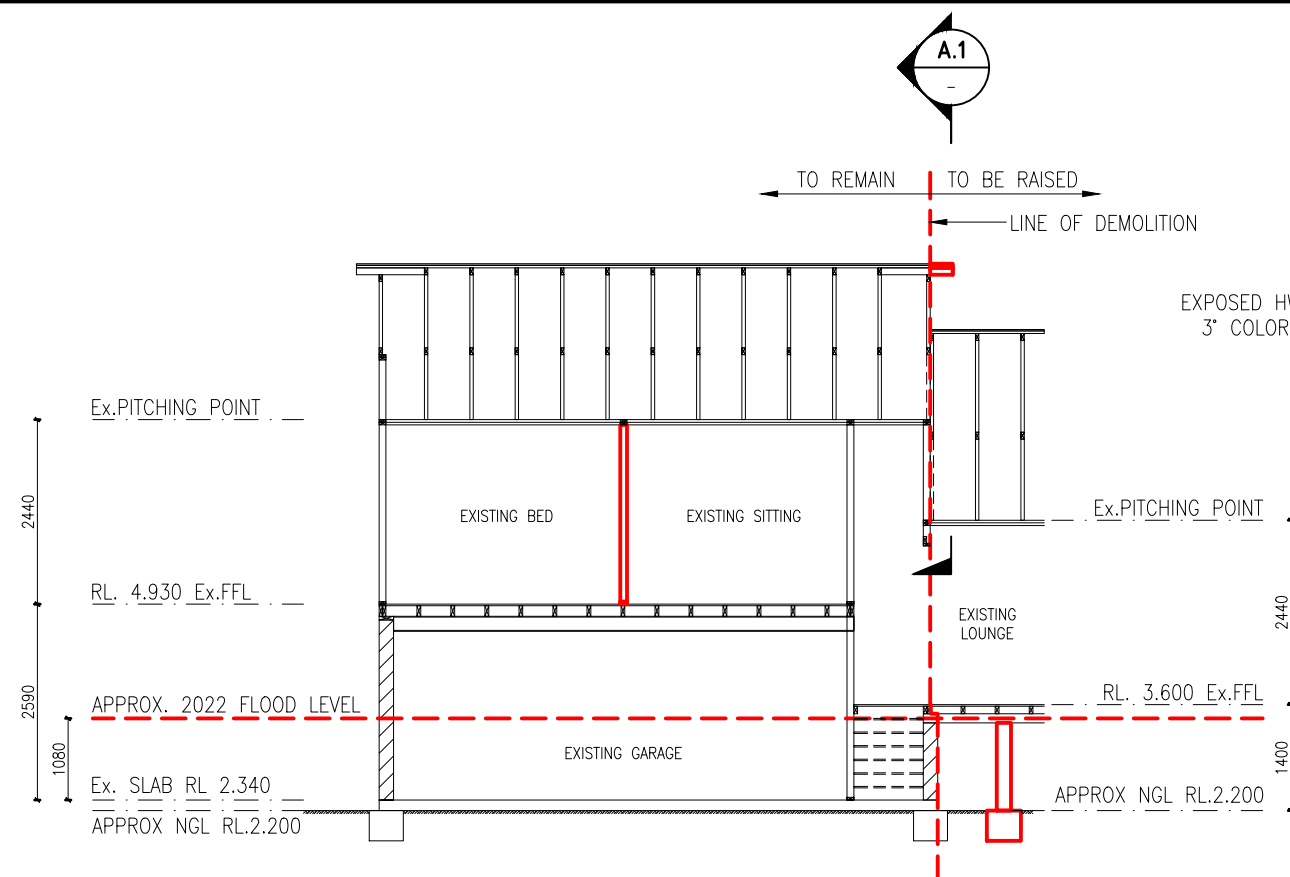
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| | | | Date: NOV 2022 |
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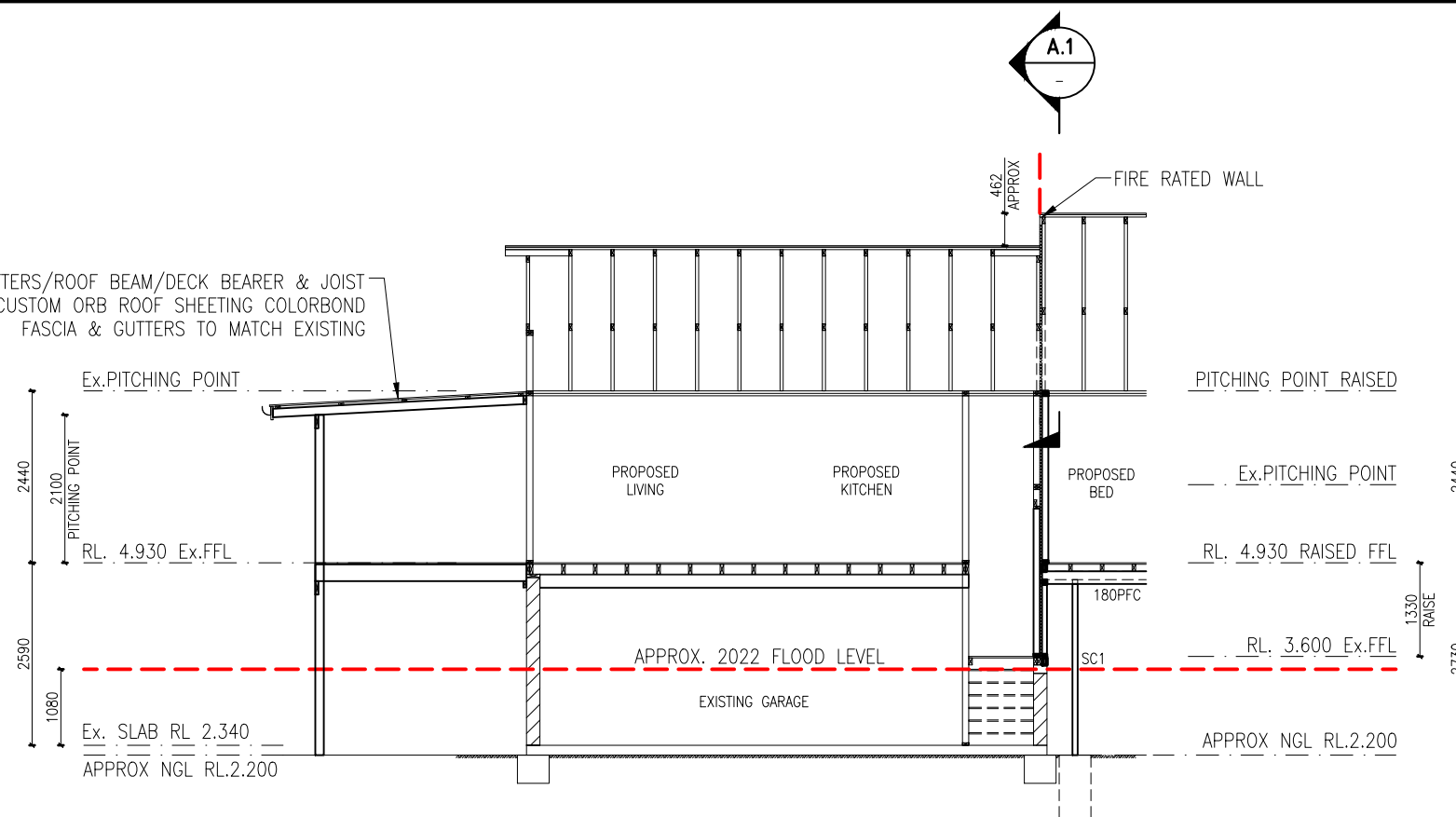
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Project:
Location:
Client:

PROPOSED UPPER FLOOR - STRUCTURAL PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

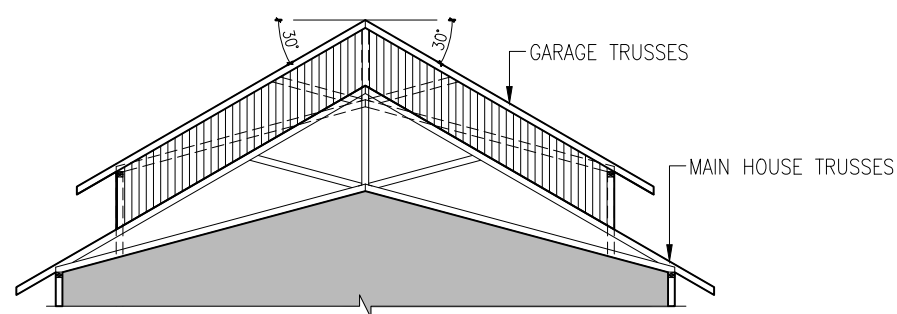
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| Job No. | Sheet No. |
| | DA |
| | Revision |



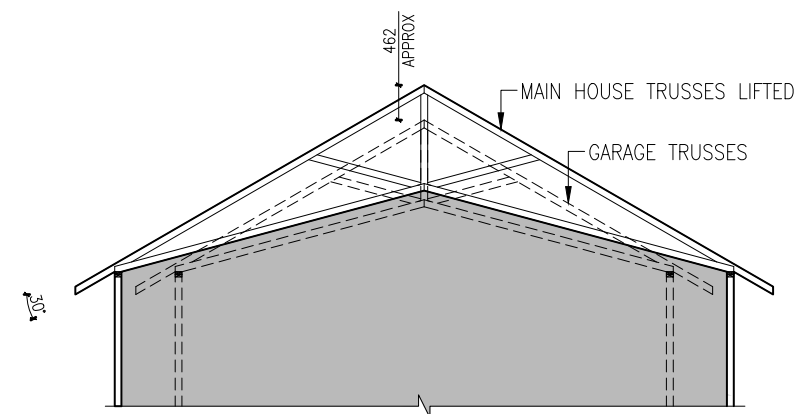
EXISTING SECTION A
SCALE 1:100



PROPOSED SECTION A
SCALE 1:100



EXISTING SECTION A.1
SCALE 1:100

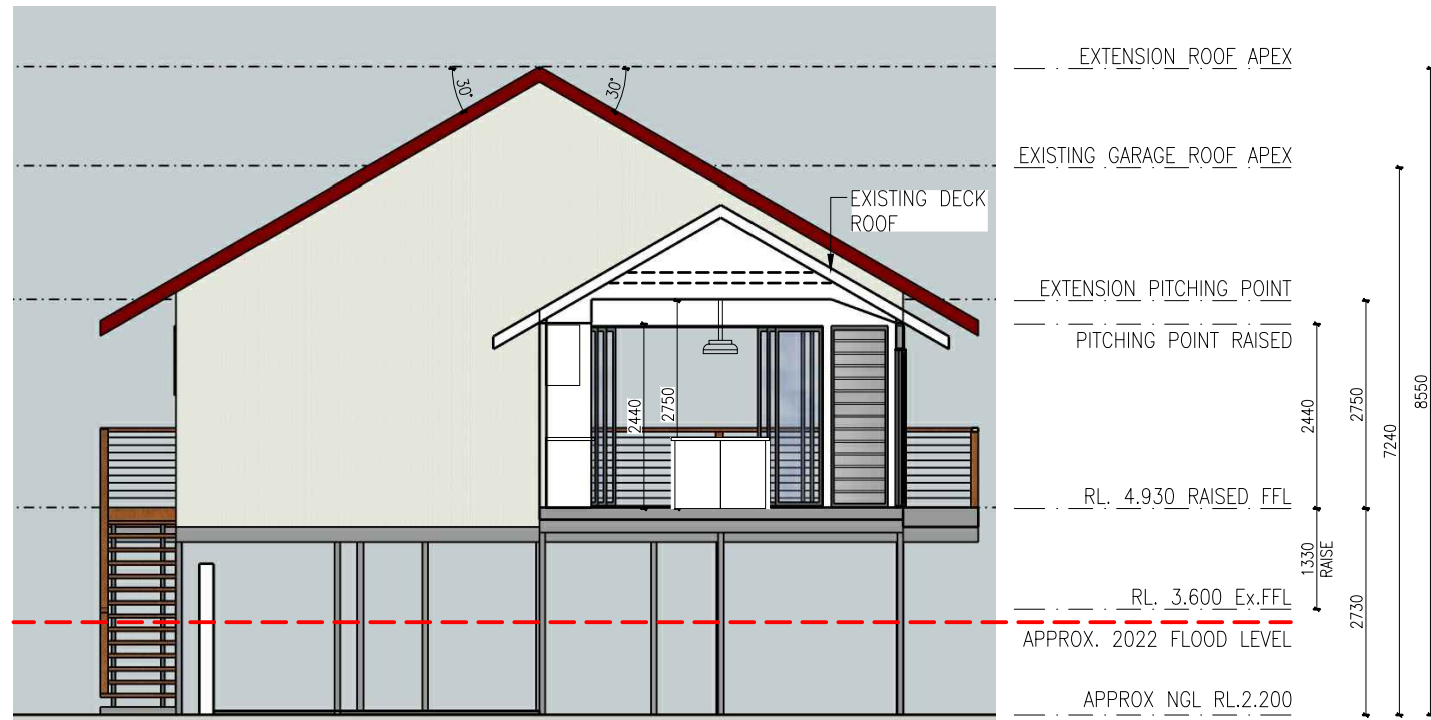


PROPOSED SECTION A.1
SCALE 1:100

| No. | Date | Issue | Scale: |
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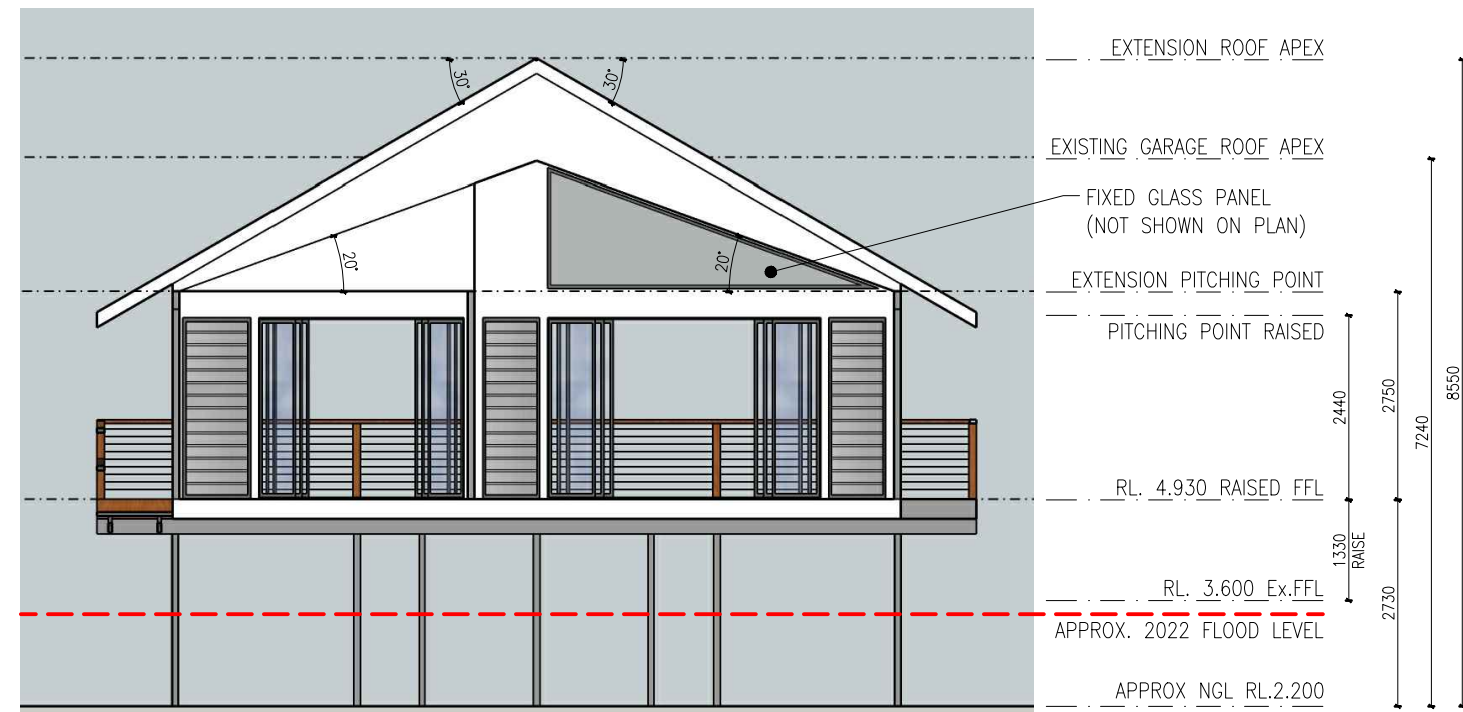
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Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

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| LB | 5.0 |
| Job No. | Sheet No. |
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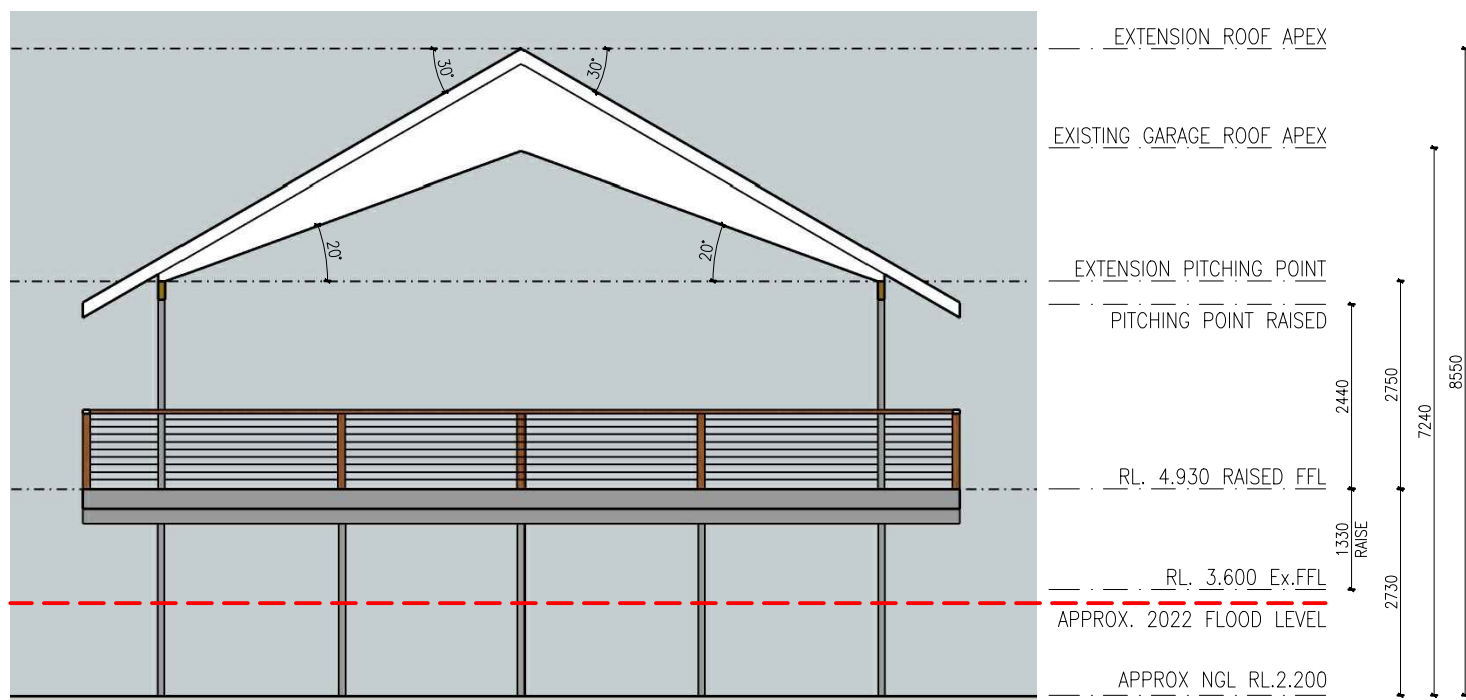
PROPOSED SECTION B

SCALE 1:100



PROPOSED SECTION C

SCALE 1:100



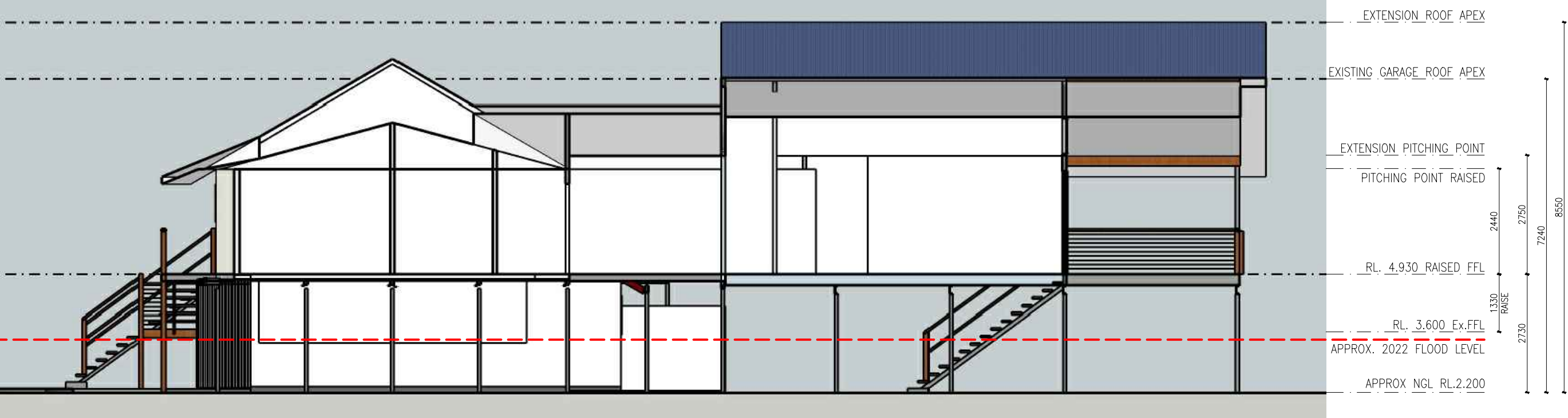
PROPOSED SECTION D

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Sheet: PROPOSED SECTIONS B - D
Project: ALTERATION AND ADDITIONS
Location: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
Client: LUTZ BENDIG

| LB | 5.1 |
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| Job No. | Sheet No. |
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PROPOSED SECTION E
SCALE 1:100

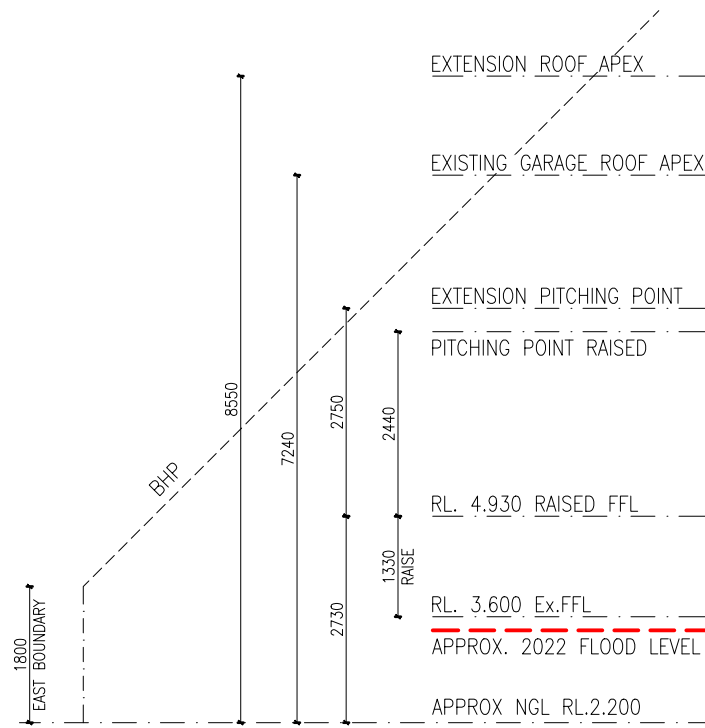


PROPOSED SECTION E ISOMETRIC VIEW
NOT TO SCALE

| No. | Date | Issue | Scale: |
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
| | | | Drafted: DC |
| | | | Date: NOV 2022 |
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Sheet: PROPOSED SECTIONS E & ISOMETRIC VIEW
Project: ALTERATION AND ADDITIONS
Location: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
Client: LUTZ BENDIG

| LB | 5.2 |
|---------|-----------|
| Job No. | Sheet No. |
| | DA |
| | Revision |



PROPOSED NORTH ELEVATION

SCALE 1:100



PROPOSED SOUTH ELEVATION

SCALE 1:100

| No. | Date | Issue | Scale: |
|-----|------------|----------------------------|----------------|
| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) | 1:100 U.N.O. |
| | | | Designed: DCDS |
| | | | Drafted: DC |
| | | | Date: NOV 2022 |
| | | | PAGE SIZE: A3 |

Sheet:
Project:

Location:
Client:

ELEVATIONS 1
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| LB | 6.0 |
|---------|-----------|
| Job No. | Sheet No. |
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PROPOSED NORTH ELEVATION

SCALE 1:100



PROPOSED SOUTH ELEVATION

SCALE 1:100

| No. | Date | Issue | Scale: |
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Sheet:
Project:
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Client:

ELEVATIONS 2
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

| LB | 6.1 |
|---------|-----------|
| Job No. | Sheet No. |
| | DA |
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PROPOSED SOUTH WEST ISOMETRIC VIEW

NOT TO SCALE



PROPOSED SOUTH EAST ISOMETRIC VIEW

NOT TO SCALE



PROPOSED NORTH WEST ISOMETRIC VIEW

NOT TO SCALE



PROPOSED NORTH EAST ISOMETRIC VIEW

NOT TO SCALE

| No. | Date | Issue |
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| DA | 14.08.2023 | DESIGN APPROVAL ISSUE (DA) |
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| Scale: | 1:100 U.N.O. |
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Sheet: ISOMETRIC VIEWS 1
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

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| Job No. | LB | 7.0 |
| | | Sheet No. |
| | | DA |
| | | Revision |



PROPOSED SOUTH WEST ISOMETRIC VIEW (NO ROOF)

NOT TO SCALE



PROPOSED LOWER STRUCTURE ISOMETRIC VIEW

NOT TO SCALE

| No. | Date | Issue | Scale: |
|-----|------------|----------------------------|----------------|
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Sheet: ISOMETRIC VIEWS 2
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

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| LB | 7.1 |
| Job No. | Sheet No. |
| | DA |
| | Revision |