

PROPOSED NEW RESIDENCE FOR:

T & T NABUNG

AT: LOT 11 #132 MAFEKING ROAD
GOONENGERRY 2482

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GENERAL NOTES:

- All dimensions in millimetres.
- Dimensions take preference to scale and are to structure not finish.
- Check and verify dimensions and confirm any existing dimensions marked.
- Work shall comply with the National Construction Code and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
- Manufacturers specification means a current approved specification for use under the conditions applicable.
- UNO = Unless Noted Otherwise.
DPC = Damp Proof Course.
OMP = Outer Most Point.
- It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services

SITE WORKS

- Site to be excavated and or filled to levels shown.
- Footings shall be placed as per builders spec or engineers details.
- Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

POOL FENCING

All pool fencing shall be a min. 1200mm high and inaccordance with AS 1926.1

RETAINING WALLS

- All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- Position of retaining walls may vary and must be verified by builder prior to commencement.
- Any variation at construction stage to comply with Council policy.

These plans are to be read in conjunction with any structural and civil engineering computations and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

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All works shall comply with but not limited to the National Construction Code and the australian standards listed below.

AS 1288 - 2006 GLASS IN BUILDINGS SELECTION AND INSTALLATION

AS 1562 - 2006 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 2002 ROOF TILES

AS 2050 - 2002 INSTALLATION OF ROOF TILES

AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 2009 CONCRETE STRUCTURES

AS 3660 - 2000 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 2011 MASONRY STRUCTURES

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 2006 WIND LOADING FOR HOUSES

AS 4100 - 1998 STEEL STUCTURES

TILED DECKS:

Tiled decks over livable areas are to be, in the following order over the floor joists : 19mm compressed FC sheet, with one layer of parchem emerproof 750 with a second layer of sand seed with a DFT of 1300 micron, installed to manuf. specifications, and floor tiles over, all corners to have 20mm mastic sealant under parchem emerproof 720

SAFTEY GLAZING TO BE USED IN THE FOLLOWING CASES:

- All rooms - within 500mm vertical of the floor
- Bathrooms within 1500mm vertical of the floors
- Fully glazed doors
- Shower screens
- Within 300mm of a door and <1200mm above floor level
- window sizes are nominal only, actual sizes will vary with manufacturer, flashing all round

STAIR REQUIREMENTS

Min. tread 240mm, Min.riser 115mm, Max. riser 190mm. Space between open treads Max. 125mm. Treads to be a non slip surface. Balustrades : min. 1000mm above landings with max. opening of 125mm and in accordance with NCC 3.9.1. For stainless steel balustrade, refer to table 3.9.2.1 (Wire balustrade construction - required wire tension and maximum permissible deflection) of the NCC

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BLOCKWORK

- AS PER ENGINEERS DETAILS

BRICKWORK

- Brickwork to conform to AS 3700 2011 Masonry in buildings
- Walls to have a continuous cavity kept clear of mortar droppings.
- Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx. 1 brick sized vent every 2 metres.)
- Provide wall ties at 600mm spacings both vertical and horizontal and within 300mm of articulation joints. Brick ties to be galvanised.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 2010 National timber framing code

WET AREA SURFACES

- Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- All wet areas to comply with NCC 3.8.1 and AS 3740. Splashbacks shall be impervious for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

LEGEND

WIR	Walk in Robe	SD	Ionisation Smoke Alarm
L'DRY	Laundry	LB	Load Bearing
ENS	Ensuite	CJ	Construction Joint
PWD	Powder Room	AHD	Australian Height Datum
BRM	Broom Cupboard	FFL	Finished Floor Level
UBO	Under Bench Oven	AS	Australian Standards
WO	Wall Oven Tower	BCA	Building Code of Australia
OHC	Over Head Cupboard	TBC	To Be Confirmed
DW	Dishwasher	DEB	Deep Edge Beam
MW	Microwave	LBW	Load Bearing Wall
B.BAR	Breakfast Bar	RL	Relative Level
FW	Floor Waste	NGL	Natural Ground Level
HWS	Hot Water System	DP	Down Pipe
TAP	Ext. 12mm Hose Cock	SHS	Square Hollow Section

DESIGN LOADS

- All sizes of timber members deduced from AS 1684
- All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

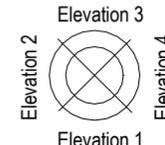
MATERIALS AND CONSTRUCTION

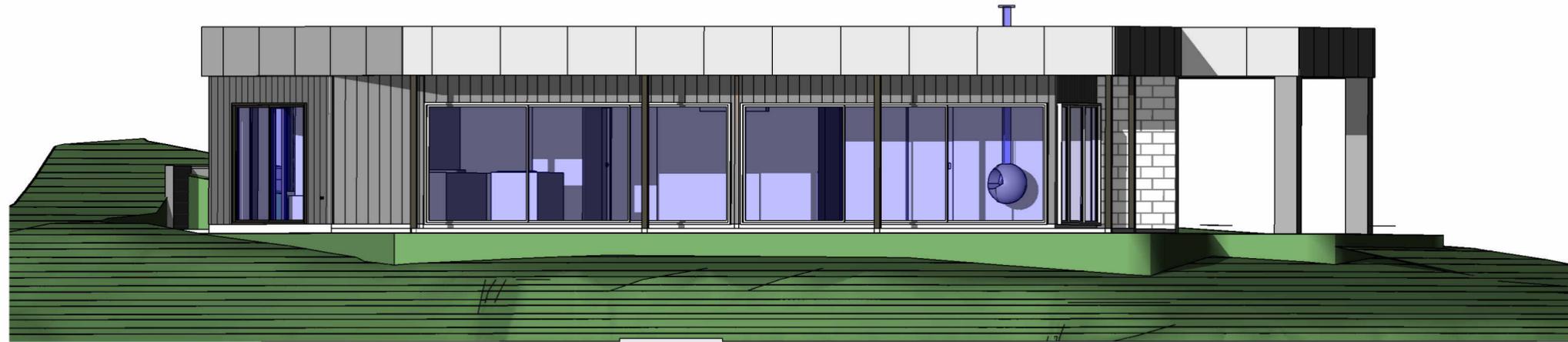
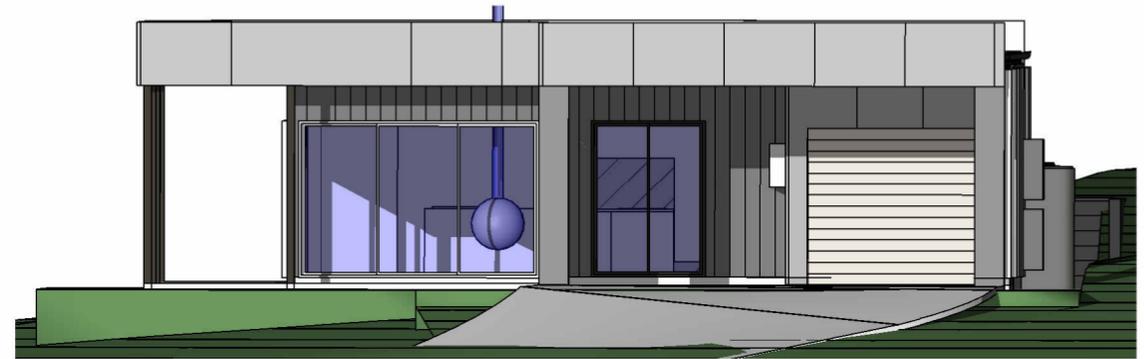
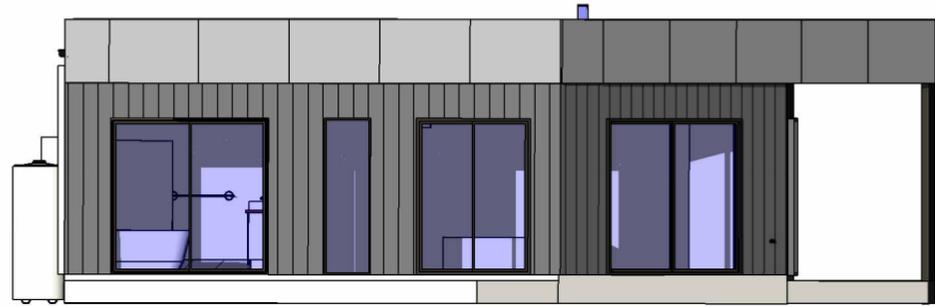
AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

Cover Sheet

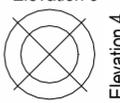
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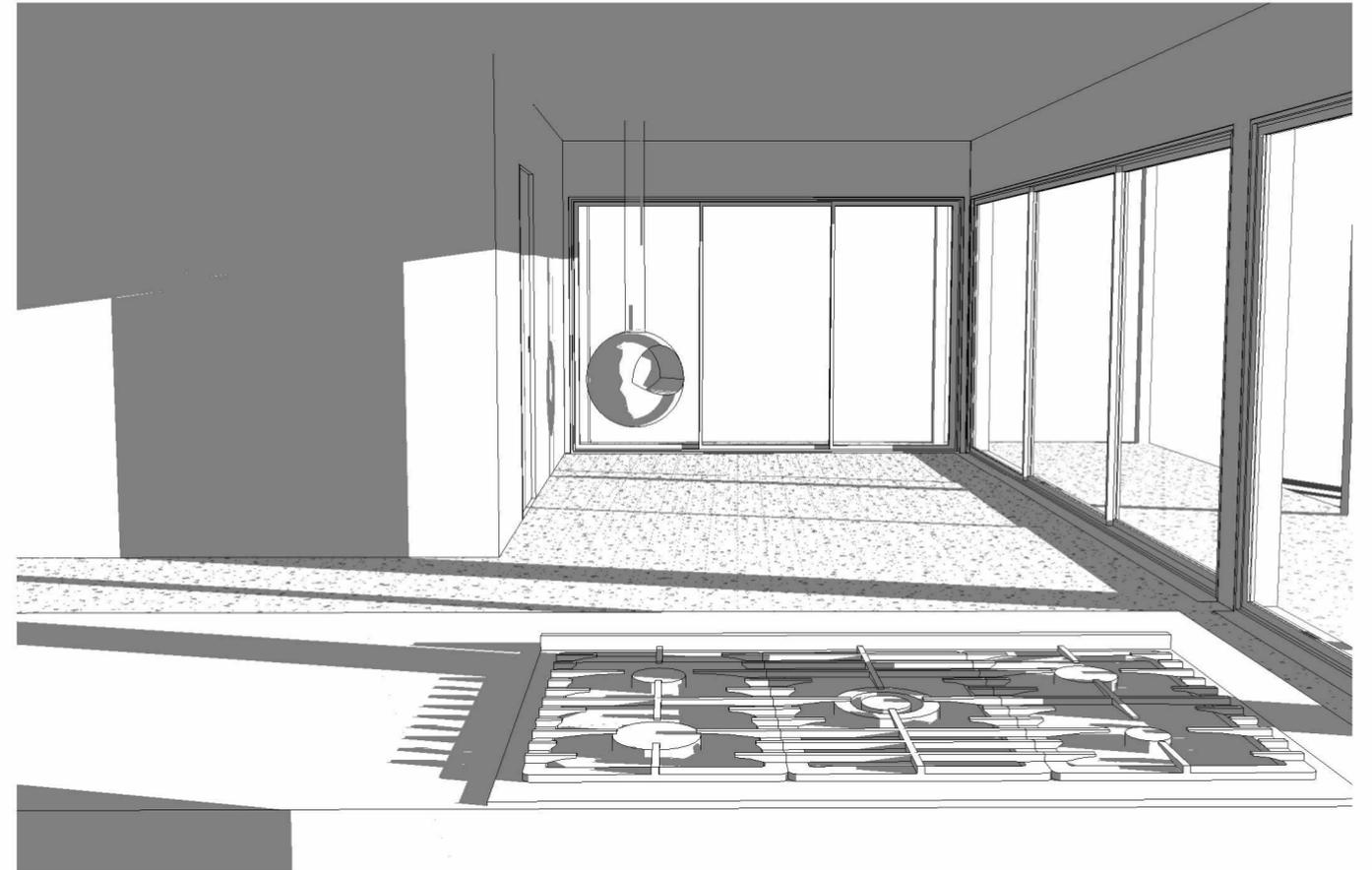
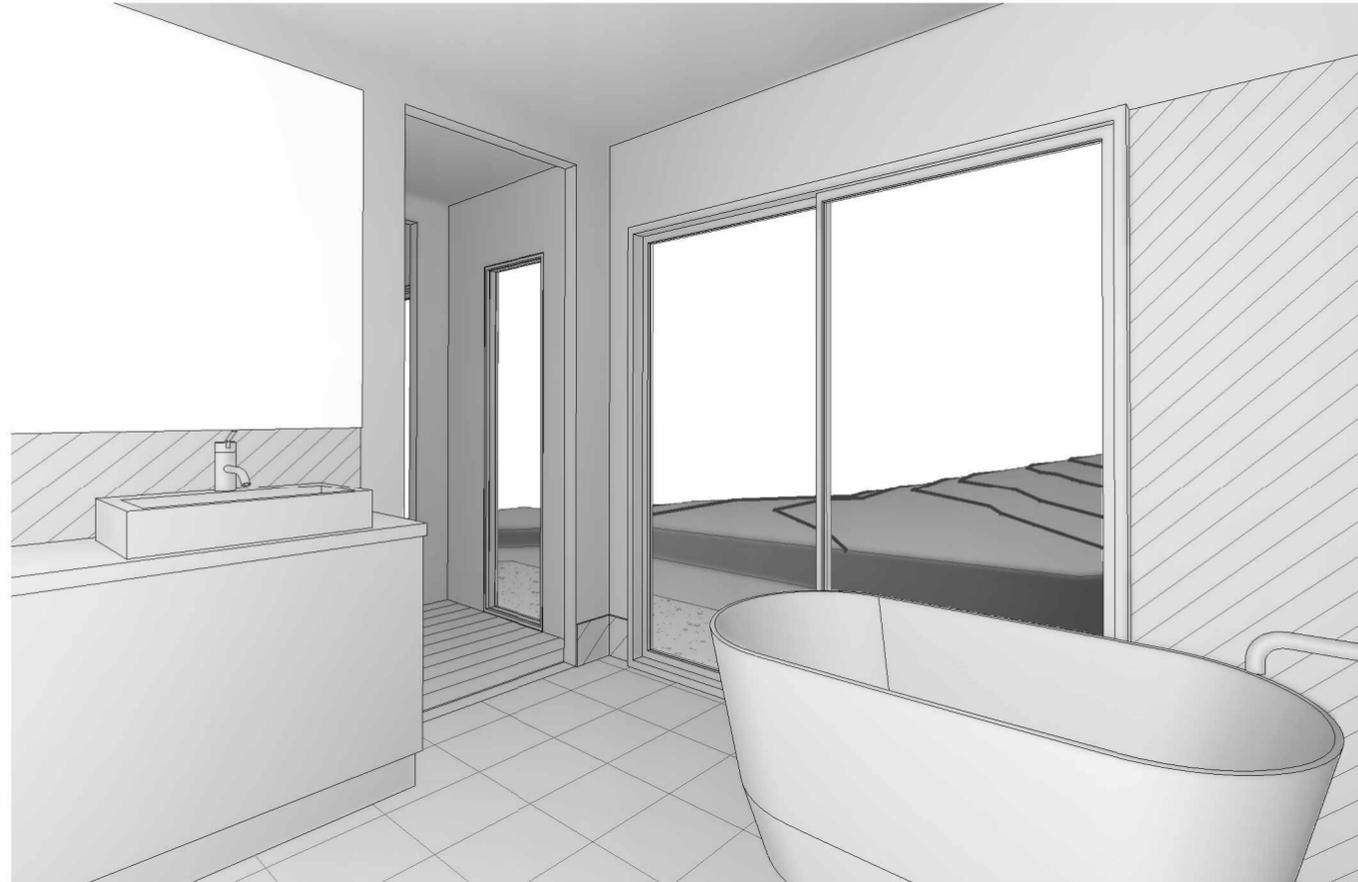
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LOCAL AUTH: BYRON SHIRE					
AREA: 9988m2	ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au	ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578	DRAWN: BC CHECKED: BC JOB NO: 0256	STAGED PLAN: WORKING DRAWINGS	A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI
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3D Perspectives

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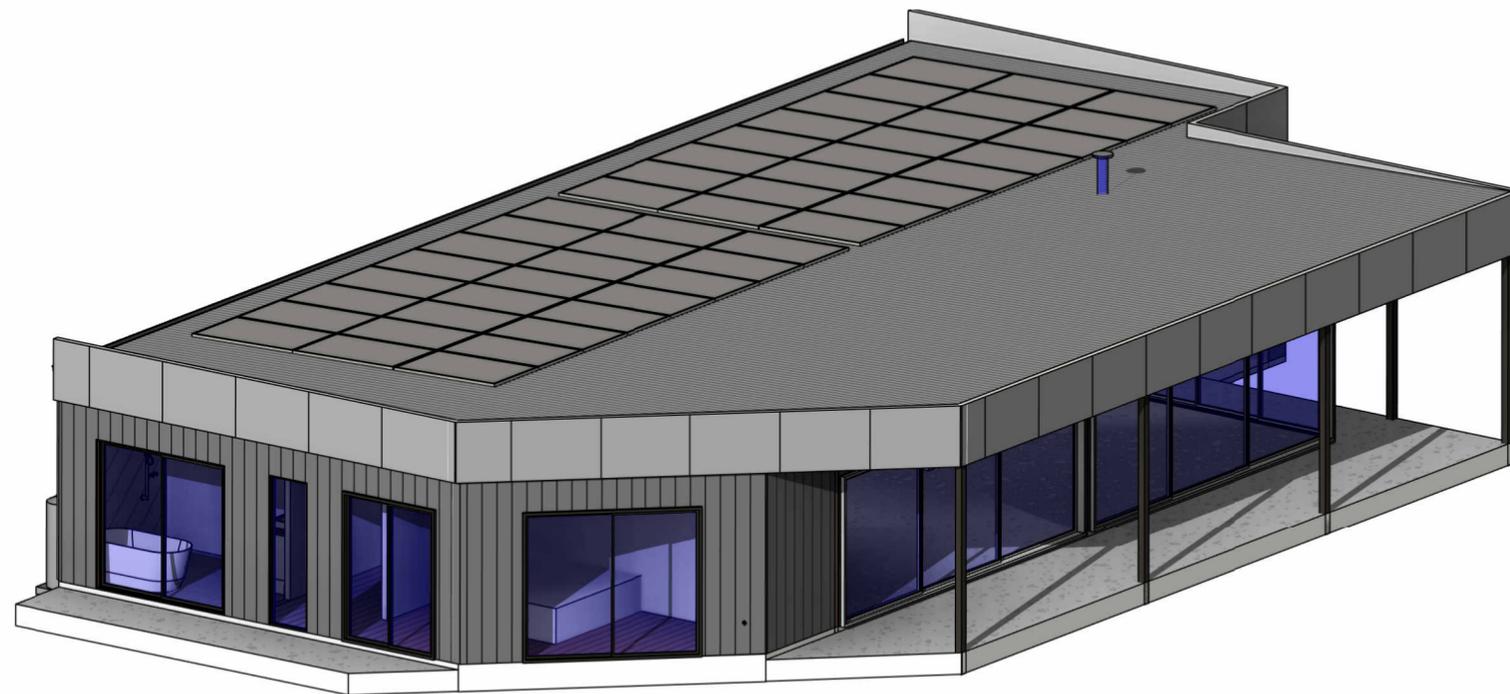
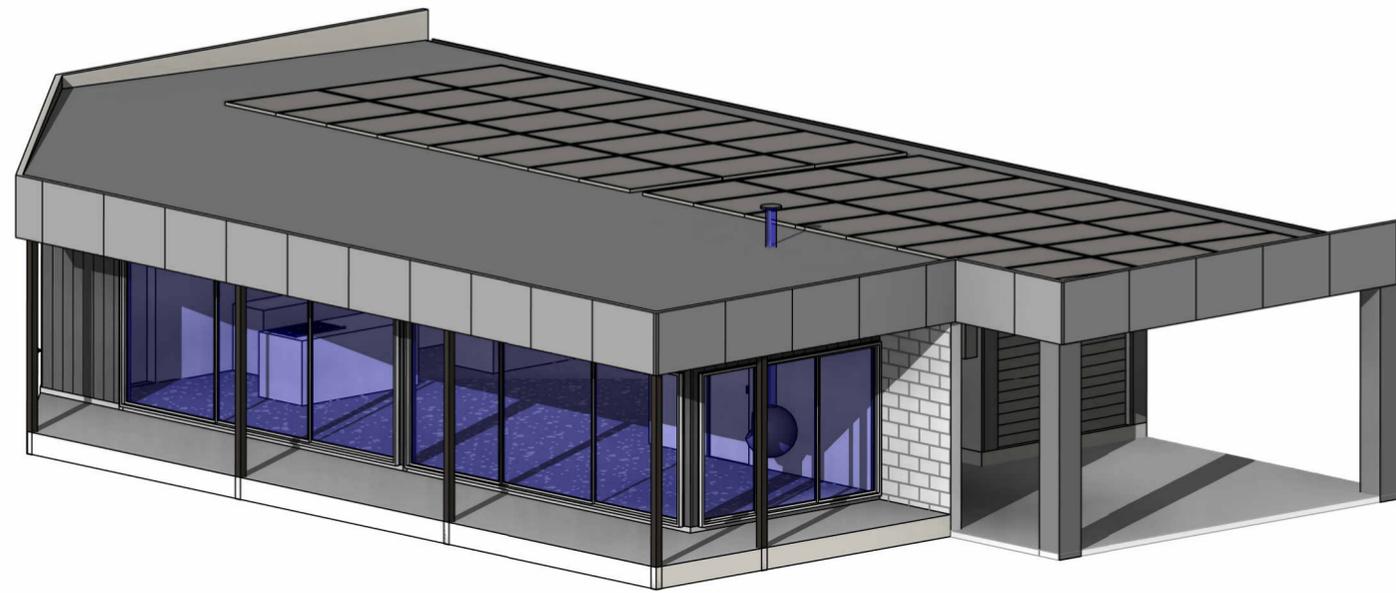
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3D Perspectives

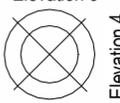
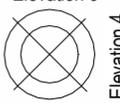
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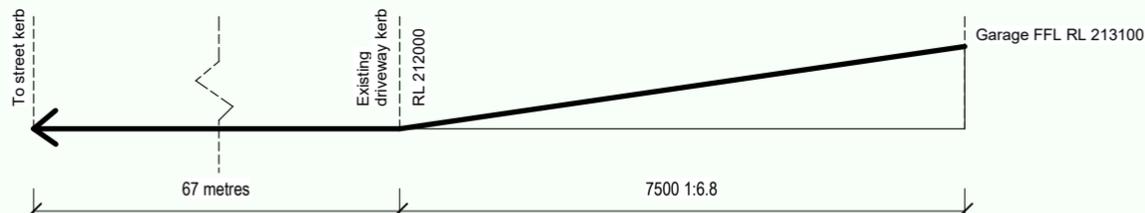
3D Model

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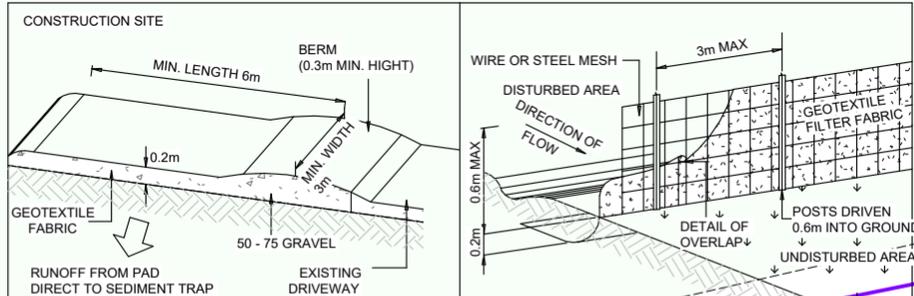
NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
 MIN 100x75 DOWNPIPES (EACH TO DRAIN MAX 40.00m SQU ROOF AREA) DISCHARGING INTO 100mm S/W DRAINAGE PIPEWORK (EACH RUN CARRYING MAX CAPACITY OF 8 litres/sec) MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.



Driveway Section

1 : 100



TEMPORARY CONSTRUCTION DRIVEWAY (NOT TO SCALE)

SEDIMENT FENCE (NOT TO SCALE) DRAINAGE AREA 0.6 ha MAX. SLOPE GRADIENT 12 MAX. SLOPE LENGTH 60M MAX

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE HAZARD AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

Rough-shelled Queensland Nut (*Macadamia tetraphylla*) should not be impacted

Approx. location of 10kl Fire Fighting Tank - The final positioning should ensure that the two (2) Rough-shelled Queensland Nut (*Macadamia tetraphylla*) located nearby are not impacted

SITE WORKS

These plans are to be read in conjunction with any structural and civil engineering design & detail.

- Site to be excavated and or filled to levels shown. Step downs to be excavated **1.0m** past actual step down to allow for steel and form works.
- Footings shall be placed as per slab plan & engineers details.
- Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

Excavate and relocate existing retaining wall. Widen driveway to 5m

ANCHOR MARK
RL 211.16

location of future swim spa
4.49L x 2.3W x 1.3D
(by owner)

proposed pumped lilac HDPE buried @min 150mm (300mm trafficable) ROUTE TO FOLLOW VEHICLE PATH (refer to HMC report for more detail)

APPROX. LOCATION OF AWTS REFER TO HMC REPORT FOR DETAIL

BAL 40

WIND CLASSIFICATION 'N5'
 SOIL CLASSIFICATION 'H1/P'

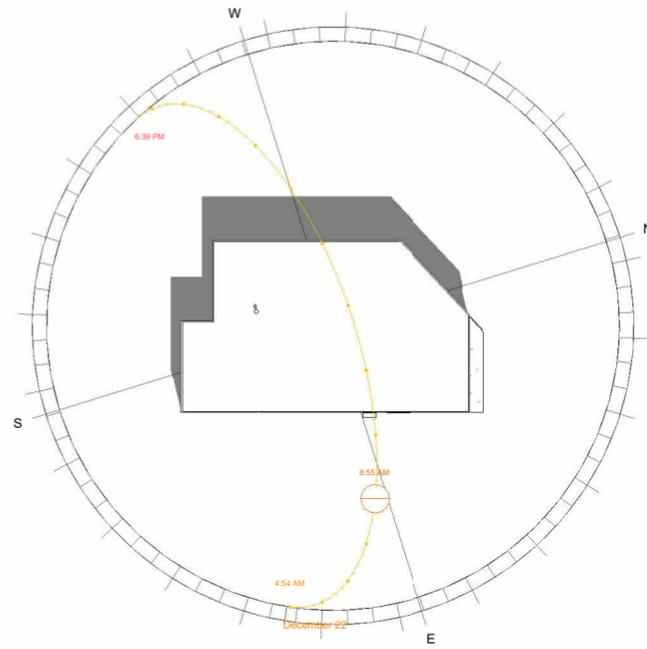
Site Plan

1 : 200

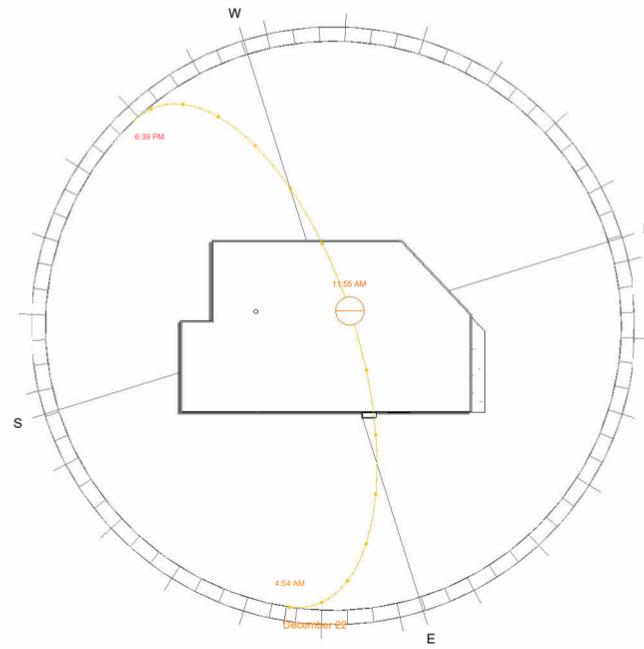
Site Plan

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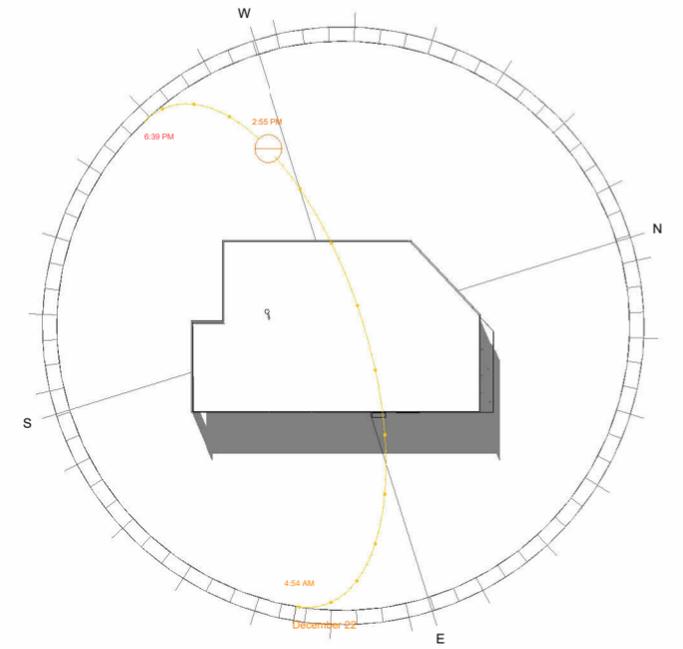
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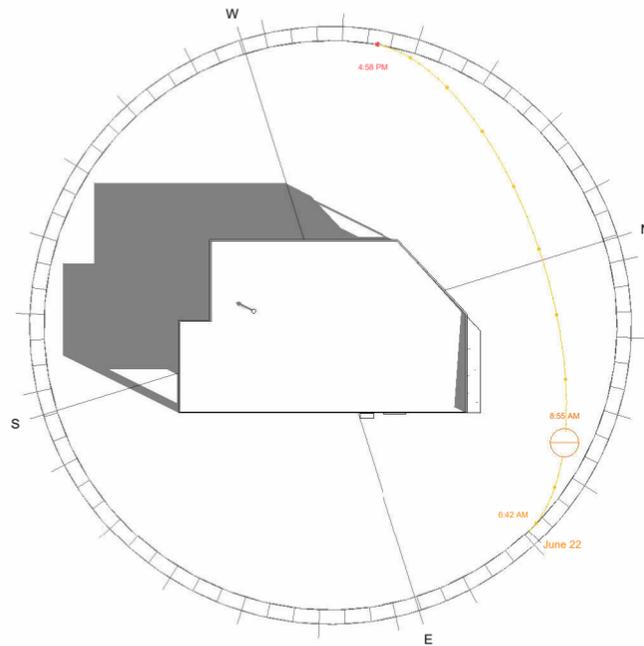
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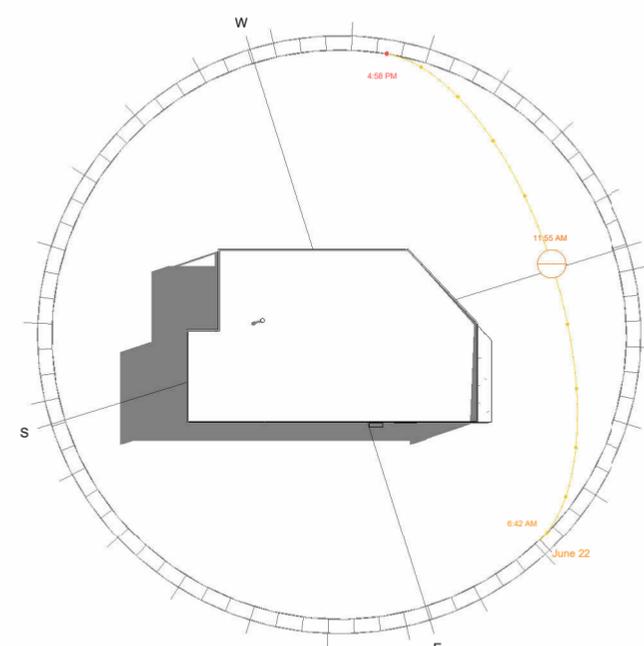
Dec 22 12pm
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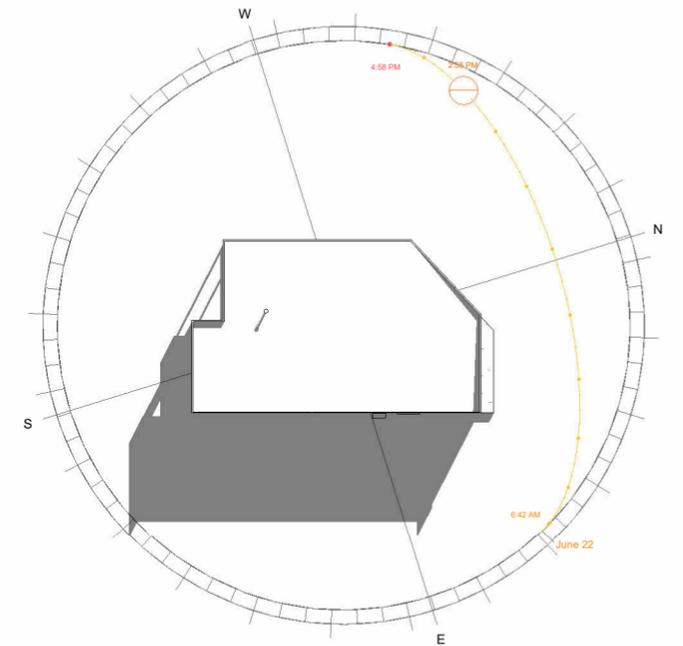
Dec 22 3pm
1 : 500



June 22 9am
1 : 500



June 22 12pm
1 : 500

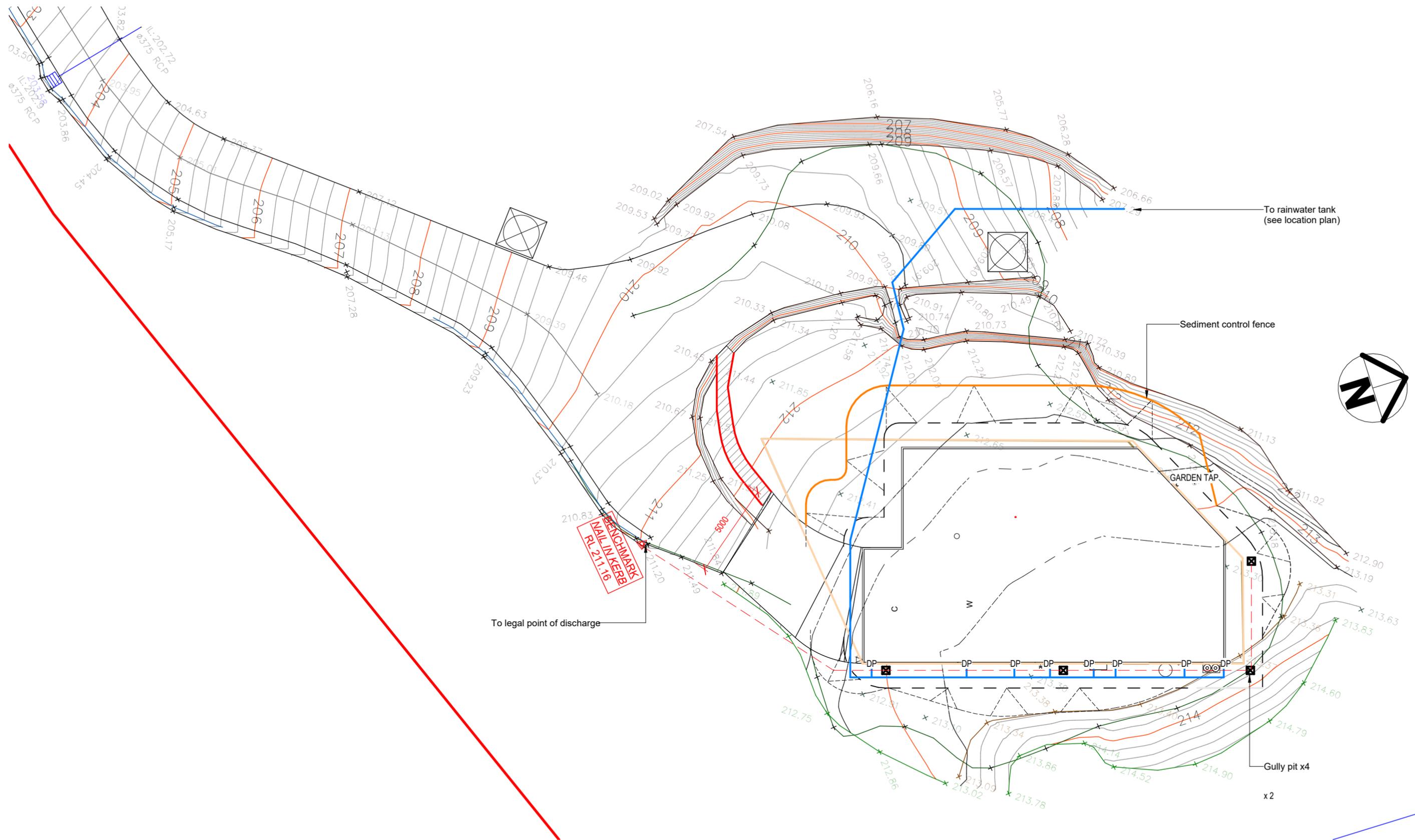


June 22 3pm
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Shadow Diagrams

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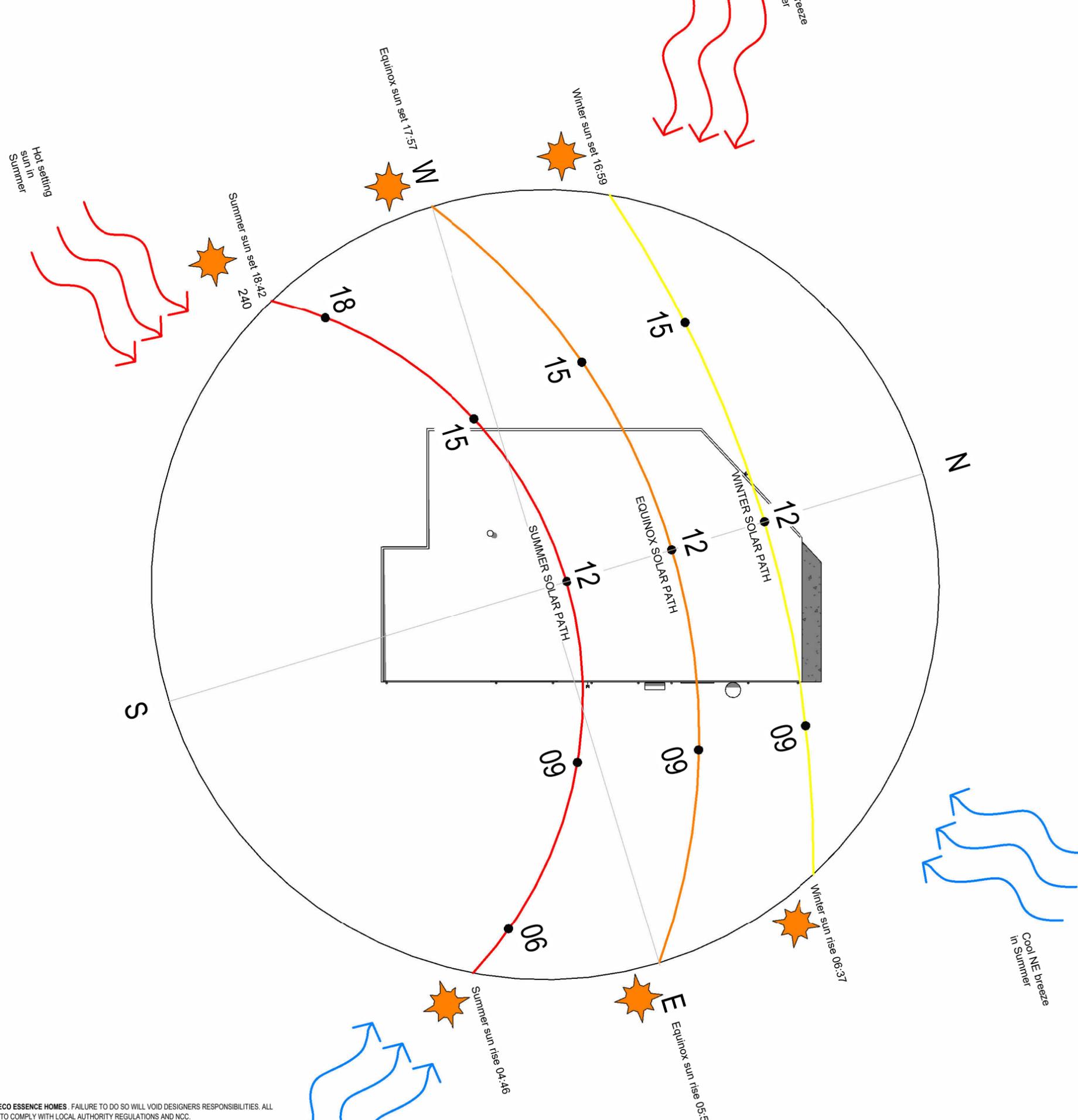


Stormwater and erosion management plan

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CLIENT SIGNATURES:



Sun and Wind paths

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REAL PROPERTY DESCRIPTION		PROJECT ADDRESS: LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482		CLIENT: T & T NABUNG		BUILDER: Eco-Essence Homes		DESIGN: NEW RESIDENCE		ISSUE: I		<ul style="list-style-type: none"> A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NATHERS NOTES) I 15/02/24 ECOLOGY RFI 	
PLAN NUMBER: DP1202684	LOCAL AUTH: BYRON SHIRE	AREA: 9988m ²	JOB NO: 0256	DATE: 23/02/23	DRAWN: BC	CHECKED: BC	SCALE: 1 : 200	DWG NO: 203	A3	ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au	ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578	STAGED PLAN: WORKING DRAWINGS	<div style="display: flex; align-items: center;"> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Elevation 2</div> <div style="writing-mode: vertical-rl; transform: rotate(180deg);">Elevation 4</div> </div>

- NOTES:**
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
 - LIFT OFF HINGES TO WC DOOR
 - SARKING TO EXTERNAL WALLS
 - INSULATION TO CEILINGS AS PER SPECIFICATION
 - ALL SHOWER ROSES TO BE AAA RATED
 - WATER PRESSURE LIMITED TO 500 KPA AT THE METER
 - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED
 - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE
 - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER

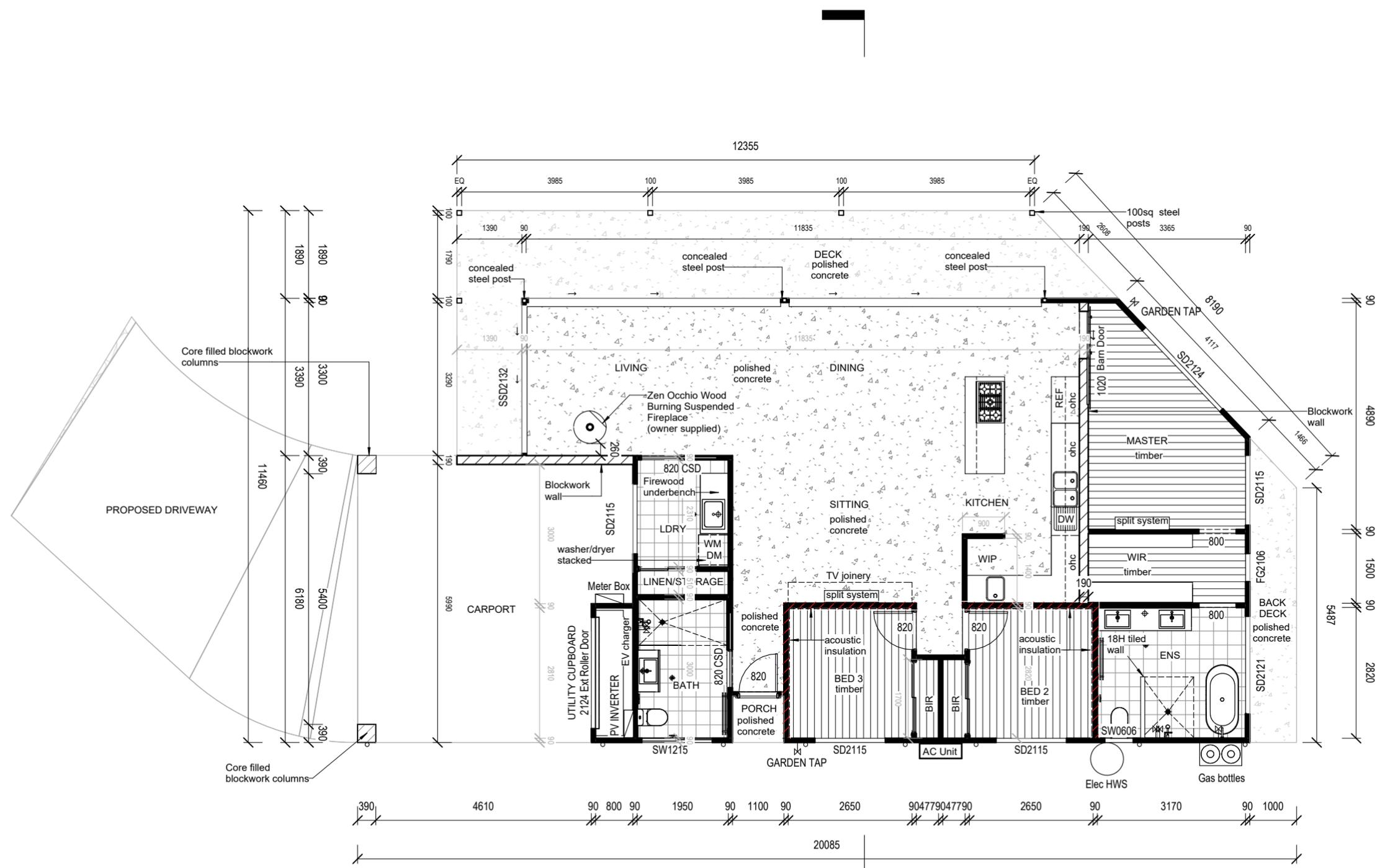
BAL 40

HEIGHTS:
 * INTERNAL DOORS - 2040H UNO
 * WINDOW H.HEIGHT - 2100H UNO

Conditioned	113.75
Unconditioned	12.09

ROOF:
 Trimdeck - 200sqm

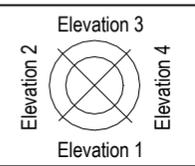
Area Schedule	
Back Deck	6.02 m ²
Carport	36.23 m ²
Deck	29.70 m ²
Main House	128.91 m ²
Porch	1.24 m ²
Grand total	202.11 m²



Ground Floor Plan

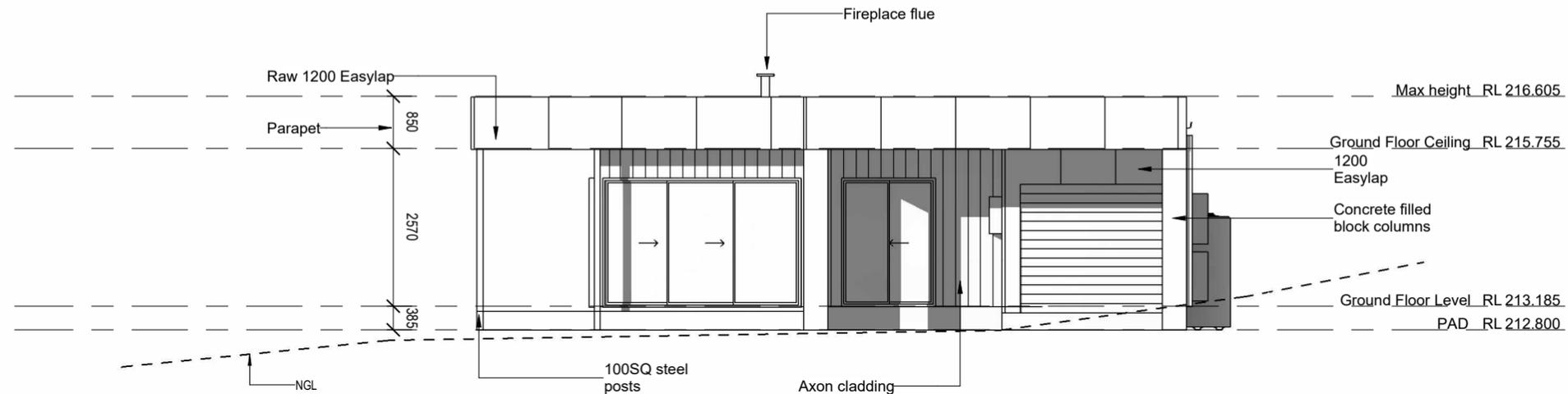
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

REAL PROPERTY DESCRIPTION PLAN NUMBER: DP1202684 LOCAL AUTH: BYRON SHIRE AREA: 9988m ²	BUILDER: ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578	PROJECT ADDRESS: LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482	CLIENT: T & T NABUNG BUILDER:	PROJECT: NEW RESIDENCE STAGED PLAN: WORKING DRAWINGS	ISSUE: A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI



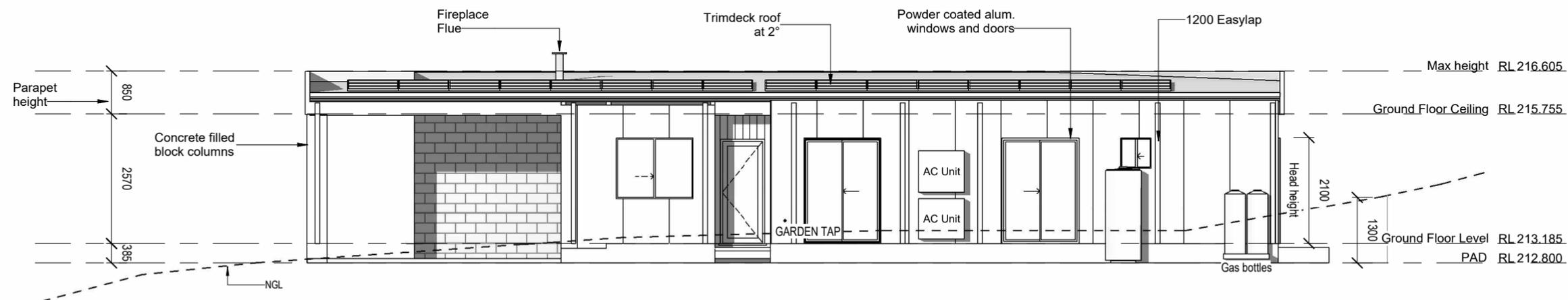
NOTE: ALL EXTERIOR WINDOWS + DOORS ALUMINIUM

NOTE: ALL WINDOWS BRADNAMS CERTIFIED TO BAL40



Elevation 2 (South)
1 : 100

BAL 40



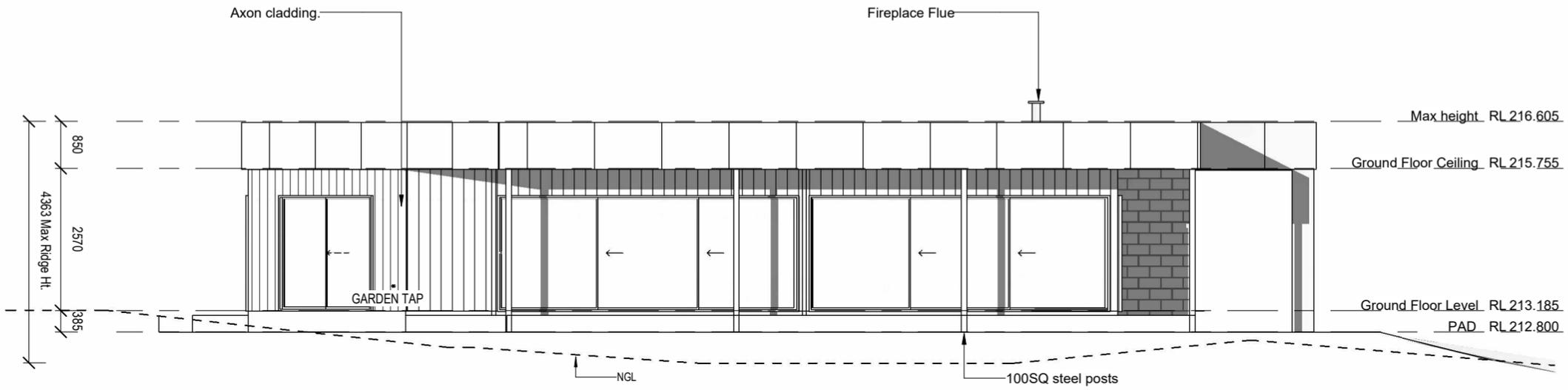
Elevation 1 (East)
1 : 100

Elevations

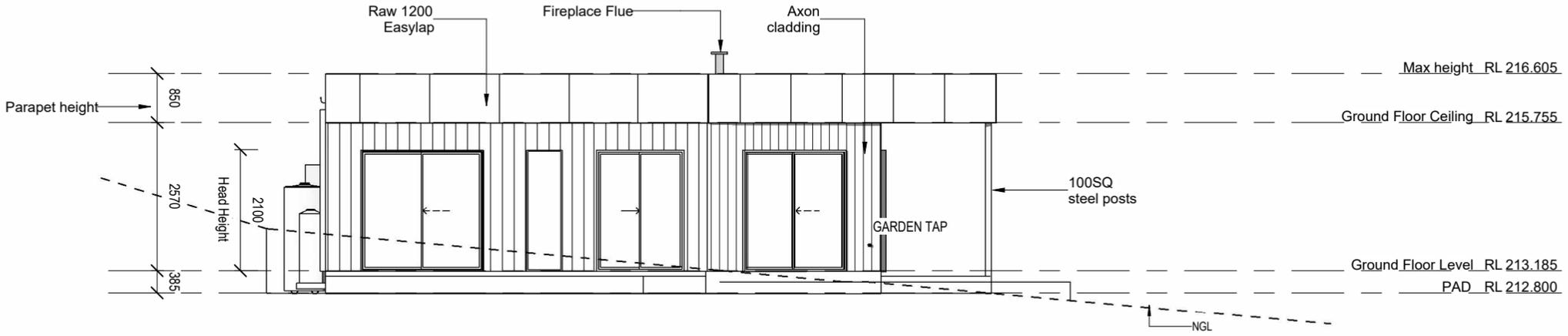
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		DWG NO: 303 SCALE: 1 : 100 DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES		A3				

NOTE: ALL WINDOWS BRADNAMS CERTIFIED TO BAL40



Elevation 3 (West)
1 : 100

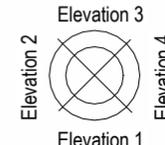


Elevation 4 (North)
1 : 100

BAL 40

Elevations

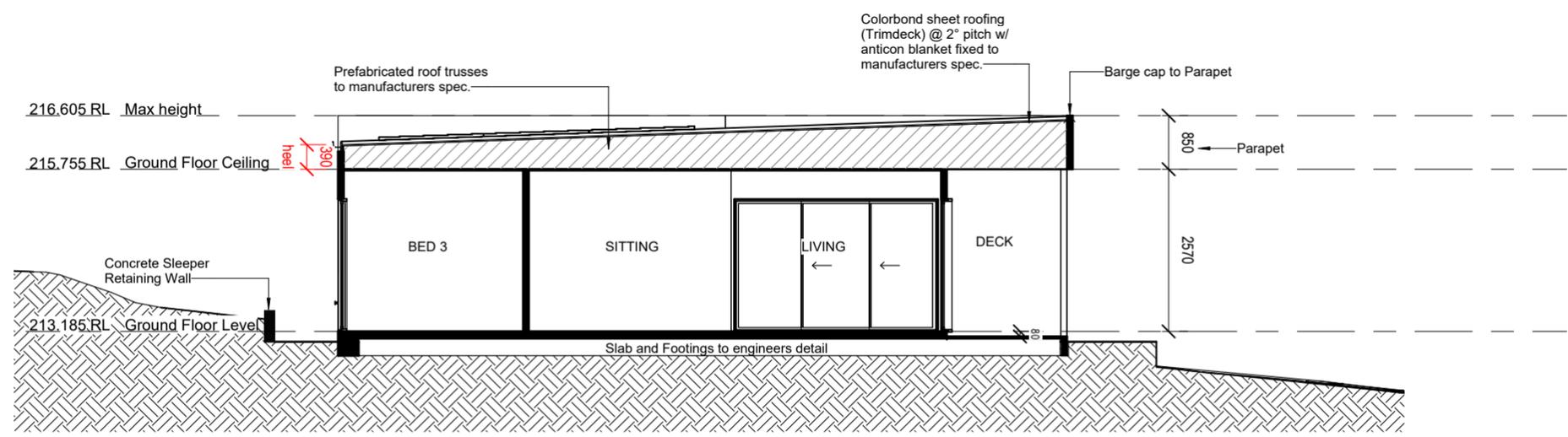
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DWG NO: 304 SCALE: 1 : 100 DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES		A3							

- NOTES:**
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
 - BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL

- INSULATION NOTES:**
- CEILING INSULATION - R3.5 CEILING BATTS EXCLUDING DECKS.
 - WAFFLE POD SLAB 300MM
 - MINIMUM R2.0 INSULATION TO EXTERNAL WALLS(EXCLUDING CONCRETE BLOCK)
 - R3.5 INSULATION TO CEILINGS
 - R2.0 INSULATION TO THE INTERNAL WALLS OF THE BATH & LAUNDRY
 - FOIL + R1.0 INSULATION BLANKET TO UNDERSIDE OF ROOF

- THERMAL COMFORT NOTES:**
- MEDIUM WALL & MEDIUM ROOF COLOURS
 - WEATHERSEALS TO ALL EXTERNAL DOORS & WINDOWS
 - FLOOR COVERINGS AS PER DETAIL ON FLOOR PLANS
 - INSULATION MUST BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS.
 - RECESSED DOWNLIGHTS HAVE BEEN INCLUDED IN THE NATHERS RATING(TO BE SEALED LED DOWNLIGHTS & COVERED BY INSULATION)
 - LAUNDRY 2115M, BATH 1215, BED 2 2115, BED 3 2115 TO HAVE A U VALUE LESS THAN OR = TO 5.60 & WITHIN 10% OF SHGC 0.41
 - ALL OTHER WINDOWS & GLAZED DOORS TO BE SINGLE GLAZED CLEAR WITH ALUMINIUM FRAME(LESS THAN OR = TO U 6.70, WITHIN 10% OF SHGC 0.70/0.57)
 - CEILING FANS TO DINING, SITTING, MASTER, BED 2 & BED 3



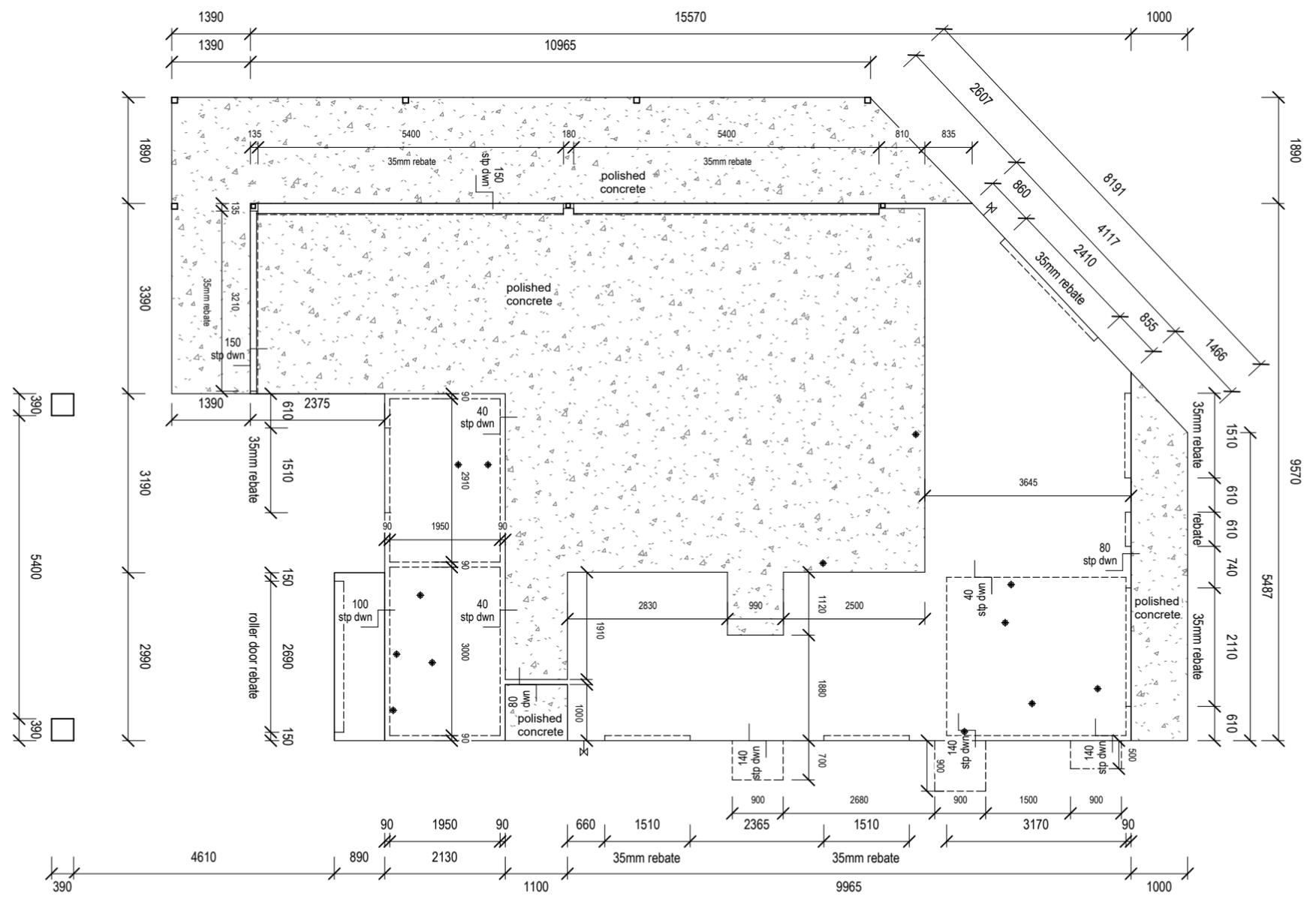
Section

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		DWG NO: 305 SCALE: 1:100	DATE: 23/02/23	DRAWN: BC CHECKED: BC	JOB NO: 0256	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES	A3		

- NOTES:**
- EXTERNAL PATIO & PORCH SLABS TO HAVE A 1:100 FALL AWAY FROM HOUSE
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - TERMITE TREATMENT TO BE INSTALLED AS PER MANUFACTURERS SPEC. & IN ACCORDANCE WITH AS 3660.1
 - ALL DIMENSIONS TO BE CHECKED AGAINST FLOOR PLAN DIMENSIONS
 - ALL DIMENSIONS, LEVELS, HEIGHTS TO BE CONFIRMED ON SITE

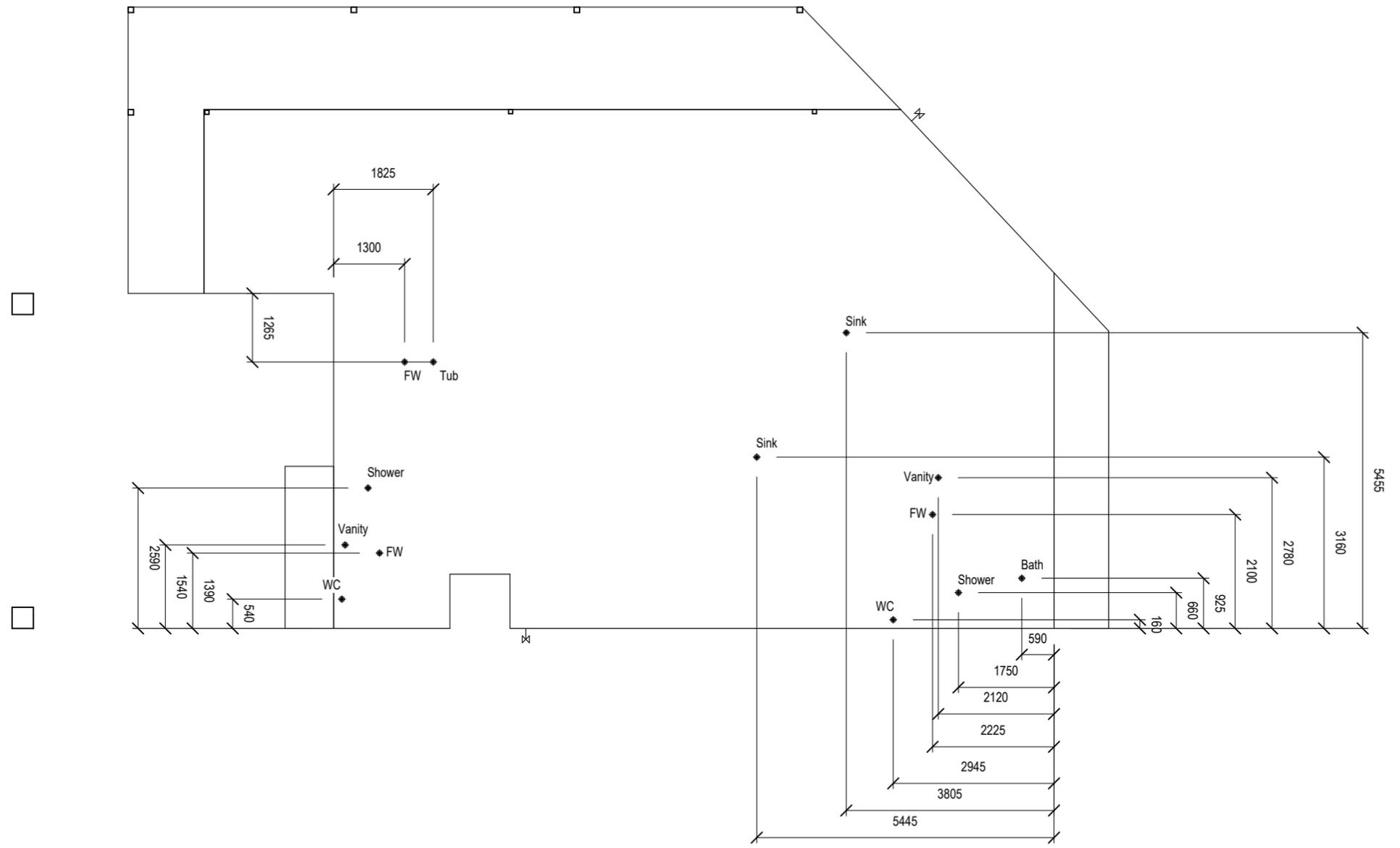
TO BE READ IN CONJUNCTION WITH
ENGINEERING, JOINERY SPECIFICATIONS AND
DRAWINGS



Slab Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

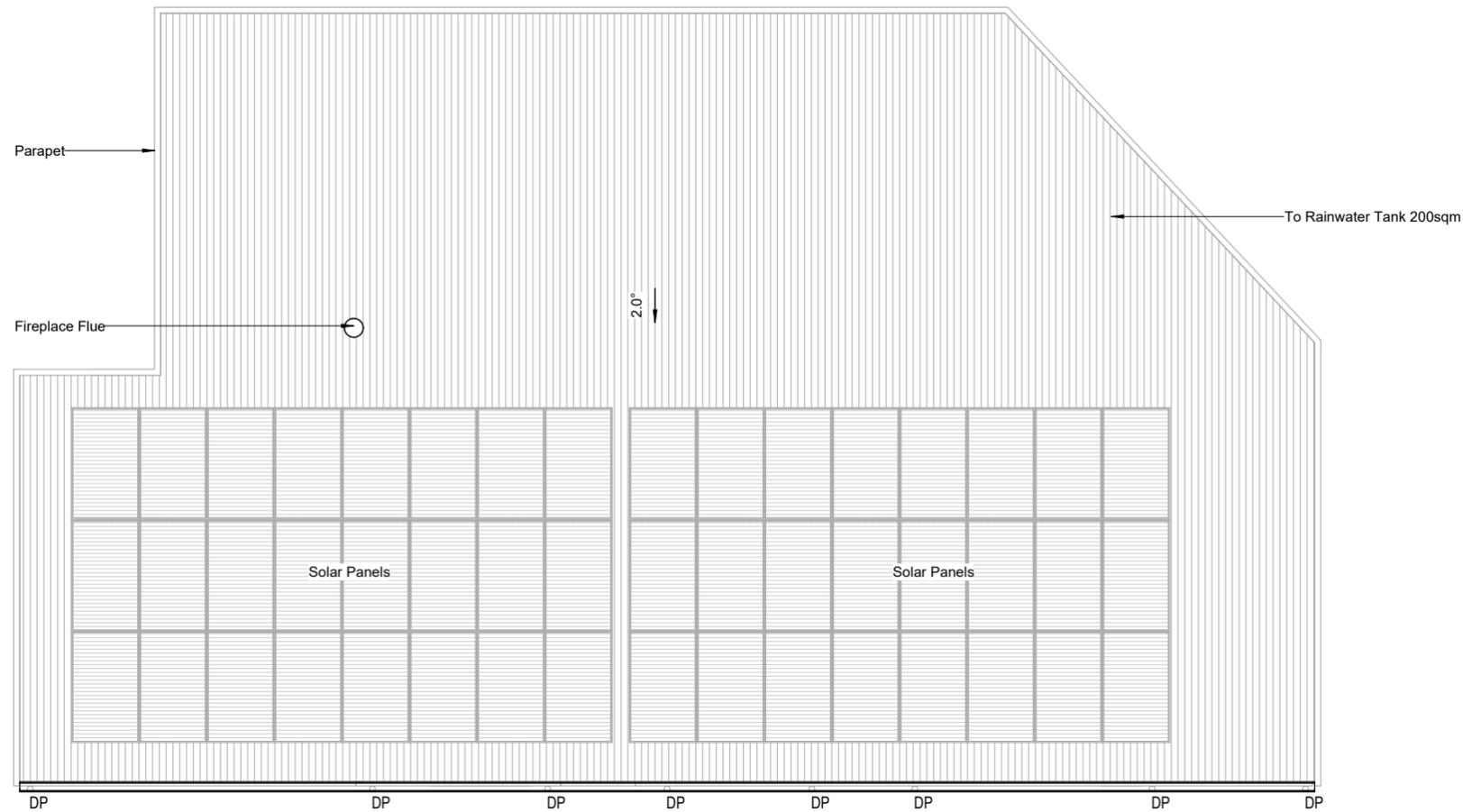
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		DWG NO: 308 SCALE: 1:100 DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES		A3					



Plumbing Plan

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		DWG NO: 310 SCALE: 1 : 100	DATE: 23/02/23	DRAWN: BC CHECKED: BC	JOB NO: 0256	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES	A3		



Upper Roof Plan

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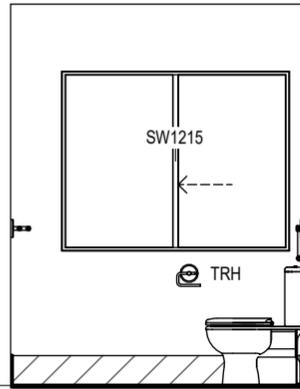
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		DWG NO: 311 SCALE: 1 : 100	DATE: 23/02/23	DRAWN: BC CHECKED: BC	JOB NO: 0256	THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES	A3		

BRACING AND TIE DOWN TO ENGINEERS DETAIL

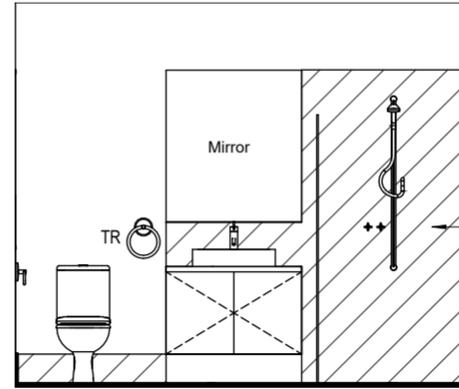
Bracing Plan - Ground Floor

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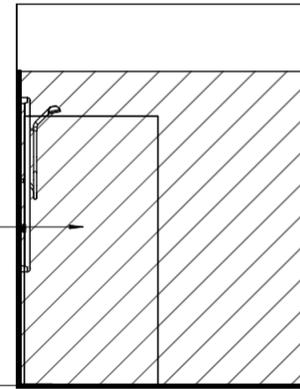
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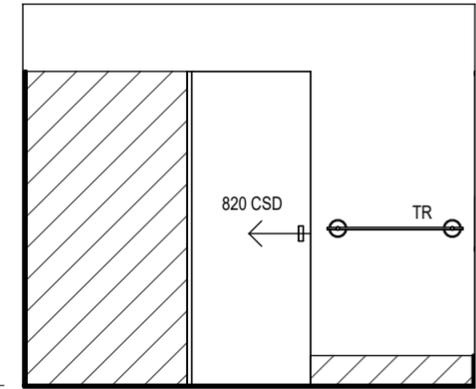
Bath Elevation 1
1 : 50



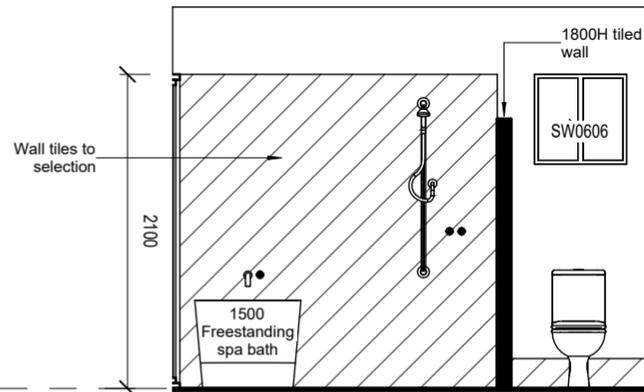
Bath Elevation 2
1 : 50



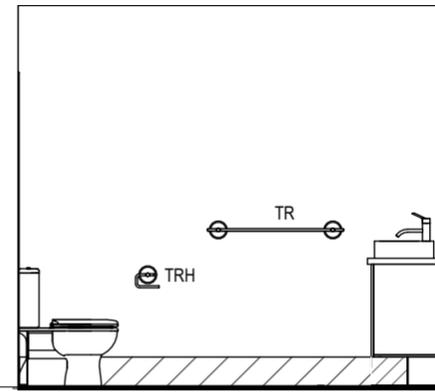
Bath Elevation 3
1 : 50



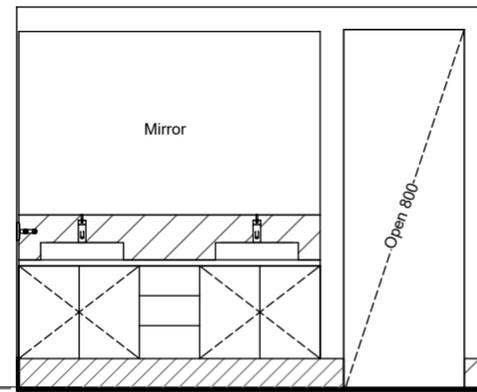
Bath Elevation 4
1 : 50



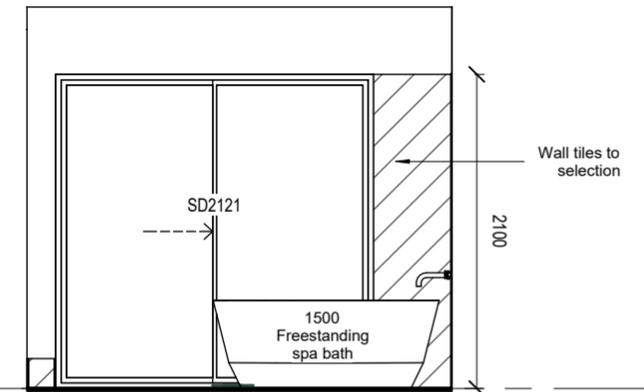
Ensuite Elevation 1
1 : 50



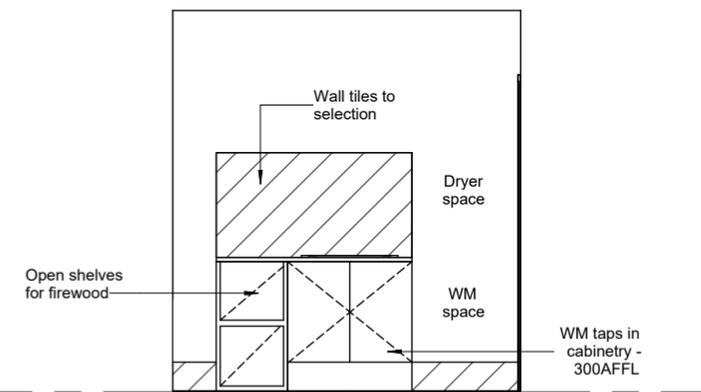
Ensuite Elevation 2
1 : 50



Ensuite Elevation 3
1 : 50



Ensuite Elevation 4
1 : 50



Laundry Elevation 1
1 : 50

Internal Elevations

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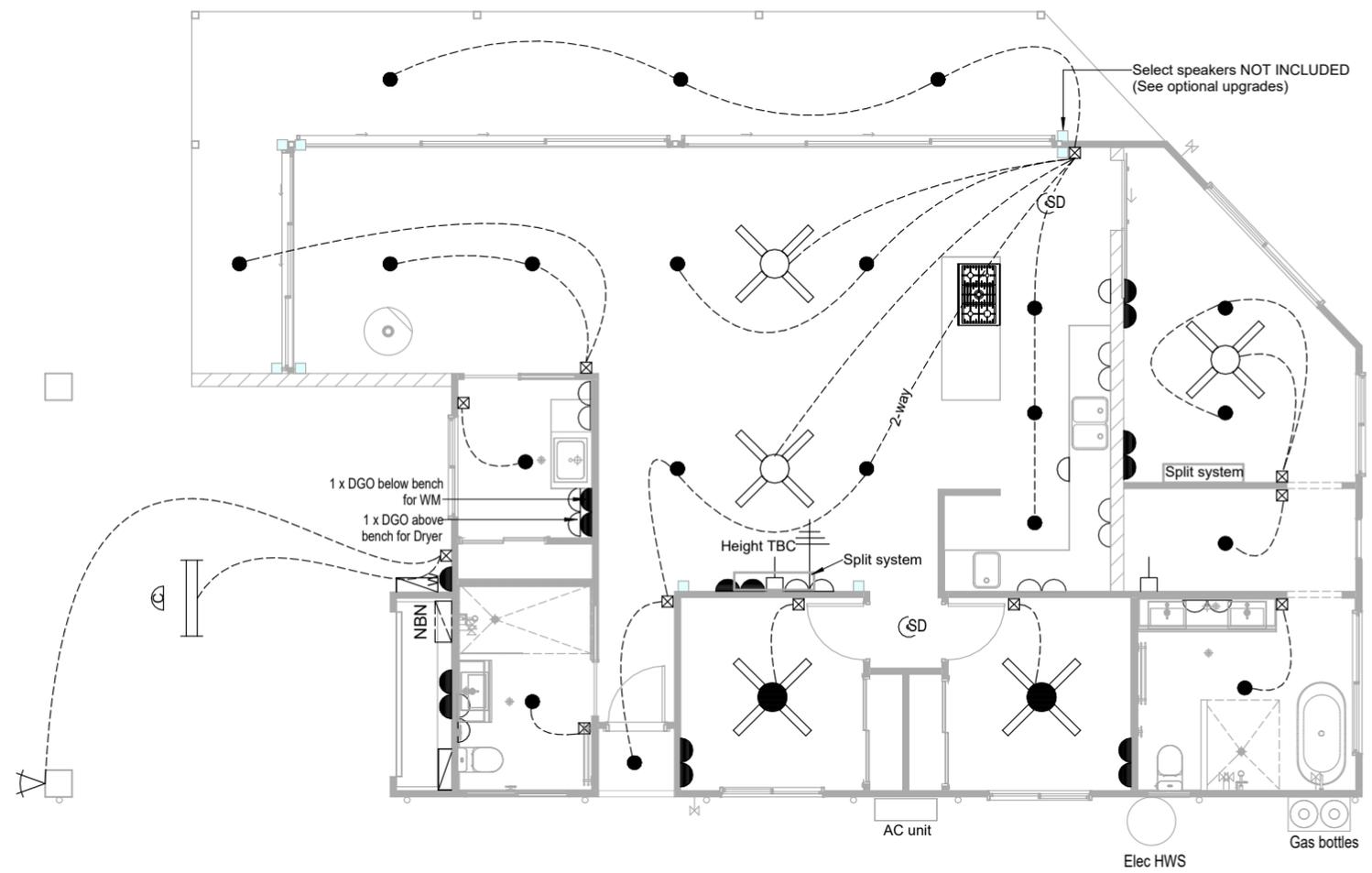
REAL PROPERTY DESCRIPTION PLAN NUMBER: DP1202684 LOCAL AUTH: BYRON SHIRE AREA: 9988m2	BUILDER: ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578	PROJECT ADDRESS: LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482	CLIENT: T & T NABUNG BUILDER:	PROJECT: NEW RESIDENCE STAGED PLAN: WORKING DRAWINGS	ISSUE: A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI	Elevation 2 Elevation 4 Elevation 3 Elevation 1

-  CEILING FAN
-  CEILING FAN/LIGHT
-  LED DOWNLIGHT (IC-4 Rated)
-  SELECT SPEAKER
-  PENDANT LIGHT
-  LED BATTEN LIGHT
-  LED FLOOD LIGHT
-  WALL LIGHT (HEIGHT TBC)
-  BATTEN POINT FOR TRACK LIGHTING
-  ELECTRICAL WIRING LINE
-  SWITCH LIGHT
-  DIMMER LIGHT SWITCH
-  PHONE POINT (300 AFFL)
-  DATA POINT
-  TELEVISION POINT (300 AFFL)
-  EXHAUST FAN
-  SINGLE GPO (300 AFFL)
-  DOUBLE GPO (300 AFFL)
-  SINGLE GPO (refer to notes)
-  DOUBLE GPO (refer to notes)
-  WATERPROOF GPO
-  CEILING MOUNTED GPO
-  JUNCTION BOX
-  INTERCOM
-  ALARM

NOTE:
- REFER TO JOINERY DRAWINGS WHERE APPLICABLE

NOTE:
-NON STANDARD HEIGHTS TO BE CONFIRMAED ON SITE BY CLIENT WITH SUPERVISOR/ ELECTRICIAN

REFER TO BASIX CERTIFICATE (NSW) / QDC MP4.1 FOR LIGHTING ENERGY EFFICIANCY REQUIREMENTS



Electrical Plan - Ground Floor

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DWG NO: 801 SCALE: 1 : 100 DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256		THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES		A3																											

PROPOSED ONSITE SEWAGE MANAGEMENT DESIGN LAND APPLICATION AREA

SHEET 1 - PLAN

COMPONENTS

- AWTS with NSW Health accreditation for min 79% TN reduction
- 6-port k-rain valve in valve box
- 3 x ETA beds (2m x 14m x 0.45m)
- Upslope surface water diversion bund and drain
- Vehicle barrier
- 100mm DWV PVC pipe
- Lilac HDPE pipe (32-50mm) approx 80m length
- 9 x inspection ports

All drainage work is to be undertaken by a licensed plumber/drainer. Plumber to check all levels on site and adjust layout where necessary

CAUTION: OVERHEAD POWERLINES IN VICINITY

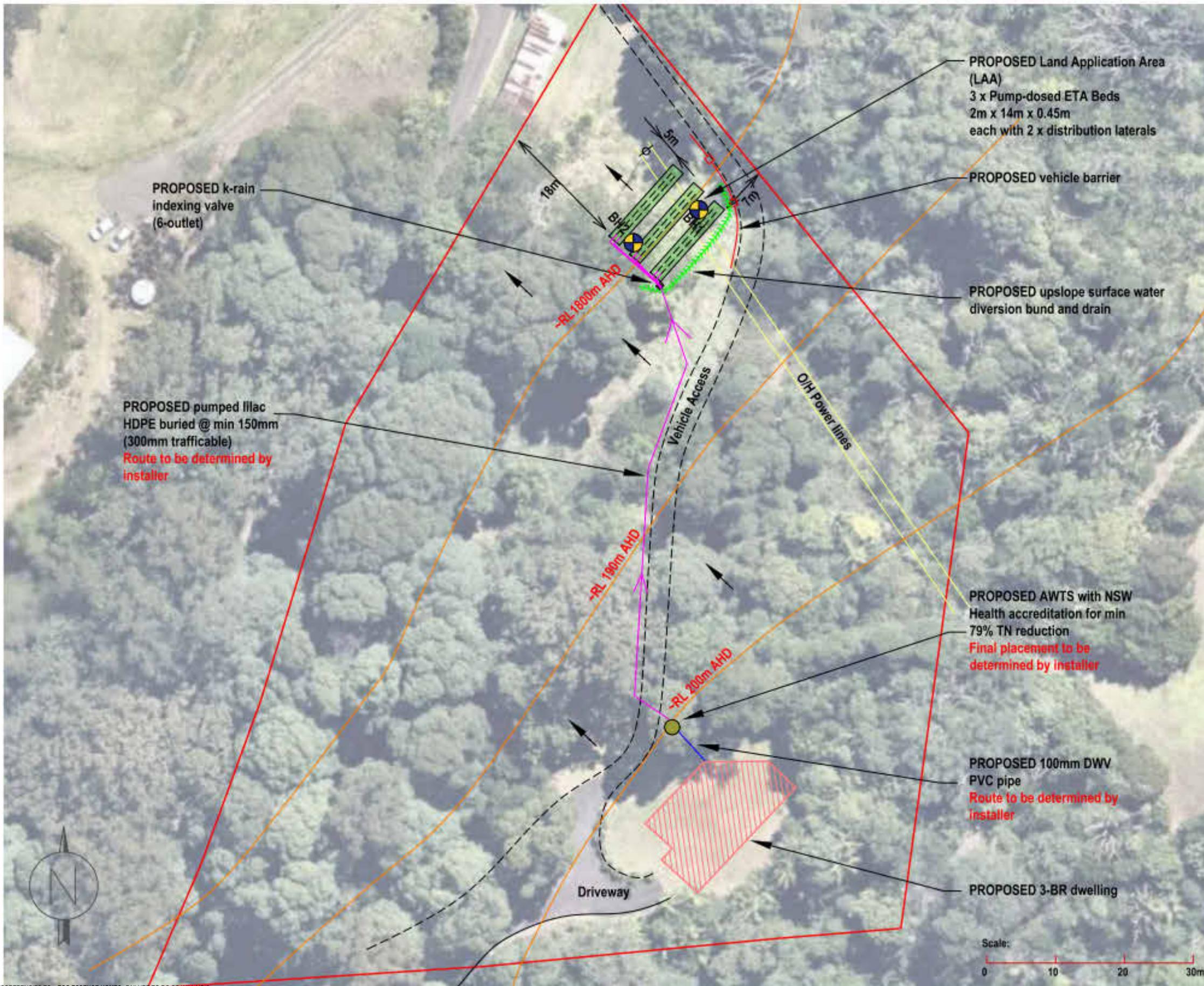
PROPOSED LAA HAS BEEN STAKED ON SITE - ALL OTHER LOCATIONS ARE GENERAL ONLY AND ARE TO BE CONFIRMED ONSITE

Job: HMC2022.943
 DWG: HMC2022.943
 Date: May 2022
 Revised:
 Base: Near Map Oct 2021
 Council: Byron Shire Council
 Drawn: KH

**Lot 11 DP 1202684
 132 Mafeking Road
 Goonengerry**



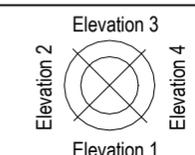
HMC Environmental Consulting Pty Ltd
 Tweed Heads NSW
 0755368663
www.hmcenvironment.com.au
admin@hmcenvironment.com.au



HMC Report

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		DWG NO: 902 SCALE: DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256 THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES	ISSUE: A3		



BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1733201S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Tuesday, 23 January 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	23_9729_11eehn	
Street address	132 MAFEKING Road GOONENGERRY 2482	
Local Government Area	Byron Shire Council	
Plan type and plan number	Deposited Plan DP1202684	
Lot no.	11	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	3	
Project score		
Water	✓ 96	Target 40
Thermal Performance	✓ Pass	Target Pass
Energy	✓ 97	Target 68
Materials	✓ -5	Target n/a

Certificate Prepared by
Name / Company Name: Efficiency Assessments
ABN (if applicable): 71166427550

Description of project

Project address

Project name	23_9729_11eehn
Street address	132 MAFEKING Road GOONENGERRY 2482
Local Government Area	Byron Shire Council
Plan type and plan number	Deposited Plan DP1202684
Lot no.	11
Section no.	-

Project type

Project type	dwelling house (detached)
No. of bedrooms	3

Site details

Site area (m ²)	9988
Roof area (m ²)	200
Conditioned floor area (m ²)	111.7
Unconditioned floor area (m ²)	12.1
Total area of garden and lawn (m ²)	196
Roof area of the existing dwelling (m ²)	0

Assessor details and thermal loads

Assessor number	DMN/13/1547
Certificate number	0009194242
Climate zone	10
Area adjusted cooling load (MJ/m ² .year)	51
Area adjusted heating load (MJ/m ² .year)	10

Project score

Water	✔ 96	Target 40
Thermal Performance	✔ Pass	Target Pass
Energy	✔ 97	Target 68
Materials	✔ -5	Target n/a

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 4 star in the kitchen in the development.		✓	
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.		✓	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 100000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✓	✓	✓
The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✓	✓
<p>The applicant must connect the rainwater tank to:</p> <ul style="list-style-type: none"> • all toilets in the development • the cold water tap that supplies each clothes washer in the development • at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) • all hot water systems in the development 		✓ ✓ ✓ ✓	✓ ✓ ✓ ✓

Water Commitments

Show on
DA plans

Show on CC/CDC
plans & specs

Certifier
check

- all indoor cold water taps (not including taps that supply clothes washers) in the development



Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Simulation Method			
Assessor details and thermal loads			
The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development.			
The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol.			
The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below.			
The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.	✓	✓	✓
The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications.		✓	✓
The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Construction			
The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below.	✔	✔	✔
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.			✔

Construction	Area - m ²	Insulation
floor - concrete slab on ground, waffle pod slab.	123.8	none
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	66.2	fibreglass batts or roll
external wall: concrete panel/plasterboard; frame: no frame.	6.2	none
internal wall: single skin masonry; frame: no frame.	14.4	none
internal wall: plasterboard; frame: timber - H2 treated softwood.	69.4	none
ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood.	200	ceiling: fibreglass batts or roll; roof: foil backed blanket.

Thermal Performance and Materials commitmentsShow on
DA plansShow on CC/CDC
plans & specsCertifier
check**Glazing**

The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table.

**Frames****Maximum area - m2**

aluminium

56.6

timber

0

uPVC

0

steel

0

composite

0

Glazing**Maximum area - m2**

single

56.6

double

0

triple

0

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 21 to 25 STCs or better.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater; Energy rating: n/a		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone)		✓	✓
The wood heater must have a compliance plate confirming that it complies with the relevant Australian standards, and must be installed in accordance with the requirements of all applicable regulatory authorities.			✓
Ventilation			
<p>The applicant must install the following exhaust systems in the development:</p> <p>At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a</p> <p>Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off</p> <p>Laundry: natural ventilation only, or no laundry; Operation control: n/a</p>		<p>✓</p> <p>✓</p> <p>✓</p>	<p>✓</p> <p>✓</p> <p>✓</p>
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Alternative energy			
The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system.	✓	✓	✓
The photovoltaic system must consist of: <ul style="list-style-type: none"> • photovoltaic collectors with the capacity to generate at least 6.6 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing east 	✓	✓	✓
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✓	

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.