

PROPOSED NEW RESIDENCE FOR:

T & T NABUNG

AT: LOT 11 #132 MAFEKING ROAD
GOONENGERRY 2482

| DRAWING INDEX | |
|---------------|--|
| 101 | Cover Sheet |
| 102 | 3D Perspectives |
| 102.2 | 3D Perspectives |
| 103 | 3D Model |
| 104 | Location Plan |
| 200 | Site Plan |
| 201 | Shadow Diagrams |
| 202 | Stormwater and erosion management plan |
| 301 | Ground Floor Plan |
| 303 | Elevations |
| 304 | Elevations |
| 305 | Section |
| 308 | Slab Plan |
| 310 | Plumbing Plan |
| 311 | Upper Roof Plan |
| 401 | Bracing Plan - Ground Floor |
| 701 | Internal Elevations |
| 801 | Electrical Plan - Ground Floor |
| 902 | HMC Report |
| 903 | BASIX |
| 904 | BASIX |

GENERAL NOTES:

1. All dimensions in millimetres.
2. Dimensions take preference to scale and are to structure not finish.
3. Check and verify dimensions and confirm any existing dimensions marked.
4. Work shall comply with the National Construction Code and all relevant current Australian Standards. Any outdated Standards listed in these notes are to be taken to refer to the current edition.
5. Manufacturers specification means a current approved specification for use under the conditions applicable.
6. UNO = Unless Noted Otherwise.
DPC = Damp Proof Course.
OMP = Outer Most Point.
7. It is at the Builders discretion to position bulkheads or service panels under floor framing to accommodate plumbing services

SITE WORKS

- a. Site to be excavated and or filled to levels shown.
- b. Footings shall be placed as per builders spec or engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

POOL FENCING

All pool fencing shall be a min. 1200mm high and inaccordance with AS 1926.1

RETAINING WALLS

- a. All retaining walls are to comply with Council policy on retaining walls and embankments on residential building sites.
- b. Position of retaining walls may vary and must be verified by builder prior to commencement.
- c.Any variation at construction stage to comply with Council policy.

These plans are to be read in conjunction with any structural and civil engineering computations and drawings

All buildings shall be protected against termite attack in accordance with AS 3660.1 and a durable notice shall be left in the meter box indicating type of barrier and required periodical inspections

Smoke detectors to be hard wired with emergency back-up and comply with AS3786

Wind speed as nominated on bracing plan or soil test

Provide lift-off hinges to WC or open out door or min. 1200mm clearance from door to pan.

All construction materials supplied must take into account proximity to coastal or industrial environments, in accordance with manuf. specifications

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All works shall comply with but not limited to the National Construction Code and the australian standards listed below.

AS 1288 - 2006 GLASS IN BUILDINGS SELECTION AND INSTALLATION

AS 1562 - 2006 DESIGN AND INSTALLATION OF SHEET ROOF AND WALL CLADDING

AS 1684 - 2010 NATIONAL TIMBER FRAMING CODE

AS 2049 - 2002 ROOF TILES

AS 2050 - 2002 INSTALLATION OF ROOF TILES

AS 2870 - 2011 RESIDENTIAL SLAB AND FOOTINGS - CONSTRUCTION

AS /NZS 2904 - 1995 DAMP-PROOF COURSES AND FLASHINGS

AS 3600 - 2009 CONCRETE STRUCTURES

AS 3660 - 2000 BARRIERS FOR SUBTERRANEAN TERMITES

AS 3700 - 2011 MASONRY STRUCTURES

AS 3740 - 2010 WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS

AS 4055 - 2006 WIND LOADING FOR HOUSES

AS 4100 - 1998 STEEL STUCTURES

TILED DECKS:

Tiled decks over livable areas are to be, in the following order over the floor joists : 19mm compressed FC sheet, with one layer of parchem emerproof 750 with a second layer of sand seed with a DFT of 1300 micron, installed to manuf. specifications, and floor tiles over, all corners to have 20mm mastic sealant under parchem emerproof 720

SAFTEY GLAZING TO BE USED IN THE FOLLOWING CASES:

- a. All rooms - within 500mm vertical of the floor
- b. Bathrooms within 1500mm vertical of the floors
- c. Fully glazed doors
- d. Shower screens
- e. Within 300mm of a door and <1200mm above floor level
- f. window sizes are nominal only, actual sizes will vary with manufacturer, flashing all round

STAIR REQUIREMENTS

Min. tread 240mm, Min.riser 115mm, Max. riser 190mm. Space between open treads Max. 125mm. Treads to be a non slip surface. Balustrades : min. 1000mm above landings with max. opening of 125mm and in accordance with NCC 3.9.1. For stainless steel balustrade, refer to table 3.9.2.1 (Wire balustrade construction - required wire tension and maximum permissible deflection) of the NCC

REINFORCED CONCRETE

- AS PER ENGINEERS DETAILS

BLOCKWORK

- AS PER ENGINEERS DETAILS

BRICKWORK

- a. Brickwork to conform to AS 3700 2011 Masonry in buildings
- b. Walls to have a continuous cavity kept clear of mortar droppings.
- c. Brick foundation walls under timber floors to have vents at 7500 sq mm per metre length of external wall. (Approx. 1 brick sized vent every 2 metres.)
- d. Provide wall ties at 600mm spacings both vertical and horizontal and within 300mm of articulation joints. Brick ties to be galvanised.

STEELWORK

- AS PER ENGINEERS DETAILS

FRAMING TIMBER

- AS PER AS 1684. 2010 National timber framing code

WET AREA SURFACES

- a. Floor surfaces to bath & laundry shall be impervious, with junctions between wall and floor flashed to prevent moisture penetration into walls.
- b. All wet areas to comply with NCC 3.8.1 and AS 3740. Splashbacks shall be impervious for 150mm above sinks, troughs and hand basins within 75mm of the wall.
- c. Ceramic tiles or other approved impervious material to walls above showers to 1800mm min above floor.

LEGEND

| | | | |
|-------|---------------------|-----|----------------------------|
| WIR | Walk in Robe | SD | Ionisation Smoke Alarm |
| L'DRY | Laundry | LB | Load Bearing |
| ENS | Ensuite | CJ | Construction Joint |
| PWD | Powder Room | AHD | Australian Height Datum |
| BRM | Broom Cupboard | FFL | Finished Floor Level |
| UBO | Under Bench Oven | AS | Australian Standards |
| WO | Wall Oven Tower | BCA | Building Code of Australia |
| OHC | Over Head Cupboard | TBC | To Be Confirmed |
| DW | Dishwasher | DEB | Deep Edge Beam |
| MW | Microwave | LBW | Load Bearing Wall |
| B.BAR | Breakfast Bar | RL | Relative Level |
| FW | Floor Waste | NGL | Natural Ground Level |
| HWS | Hot Water System | DP | Down Pipe |
| TAP | Ext. 12mm Hose Cock | SHS | Square Hollow Section |

DESIGN LOADS

- a. All sizes of timber members deduced from AS 1684
- b. All remaining sizes of items deduced from Australian Domestic Construction Manual or relevant manufacturers specification.
- c. Sizes of timber members may vary upon ordering requirements but must remain within the guidelines of the said reference material.

MATERIALS AND CONSTRUCTION

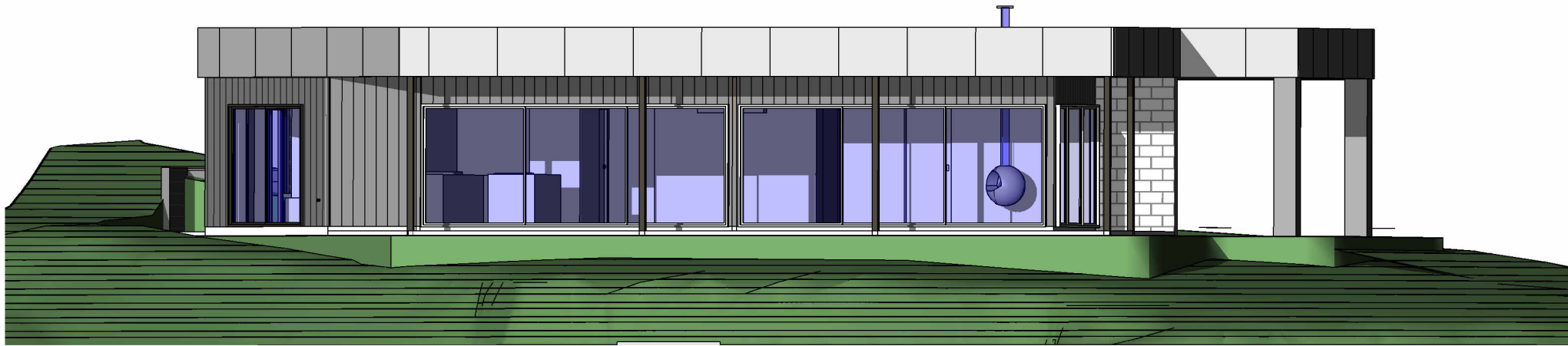
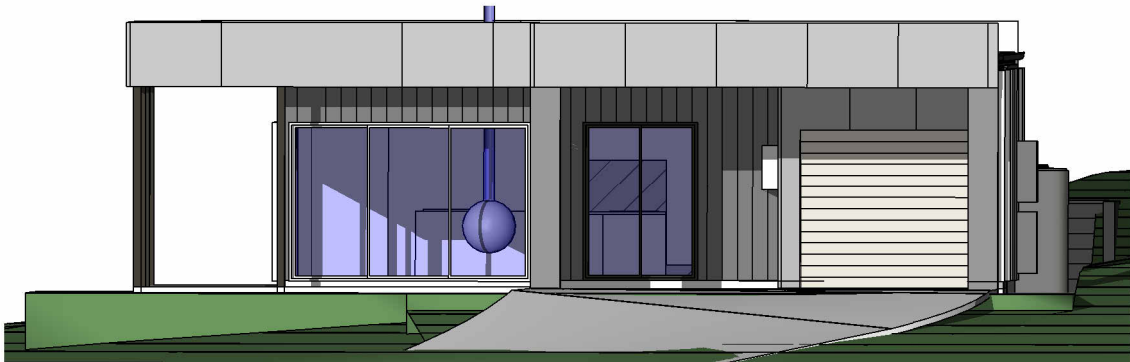
AS APPLICABLE - REFER DWG FOR MATERIALS USED.

All material shall be new UNO. Reused items to be checked for soundness etc. prior to use.

Cover Sheet

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

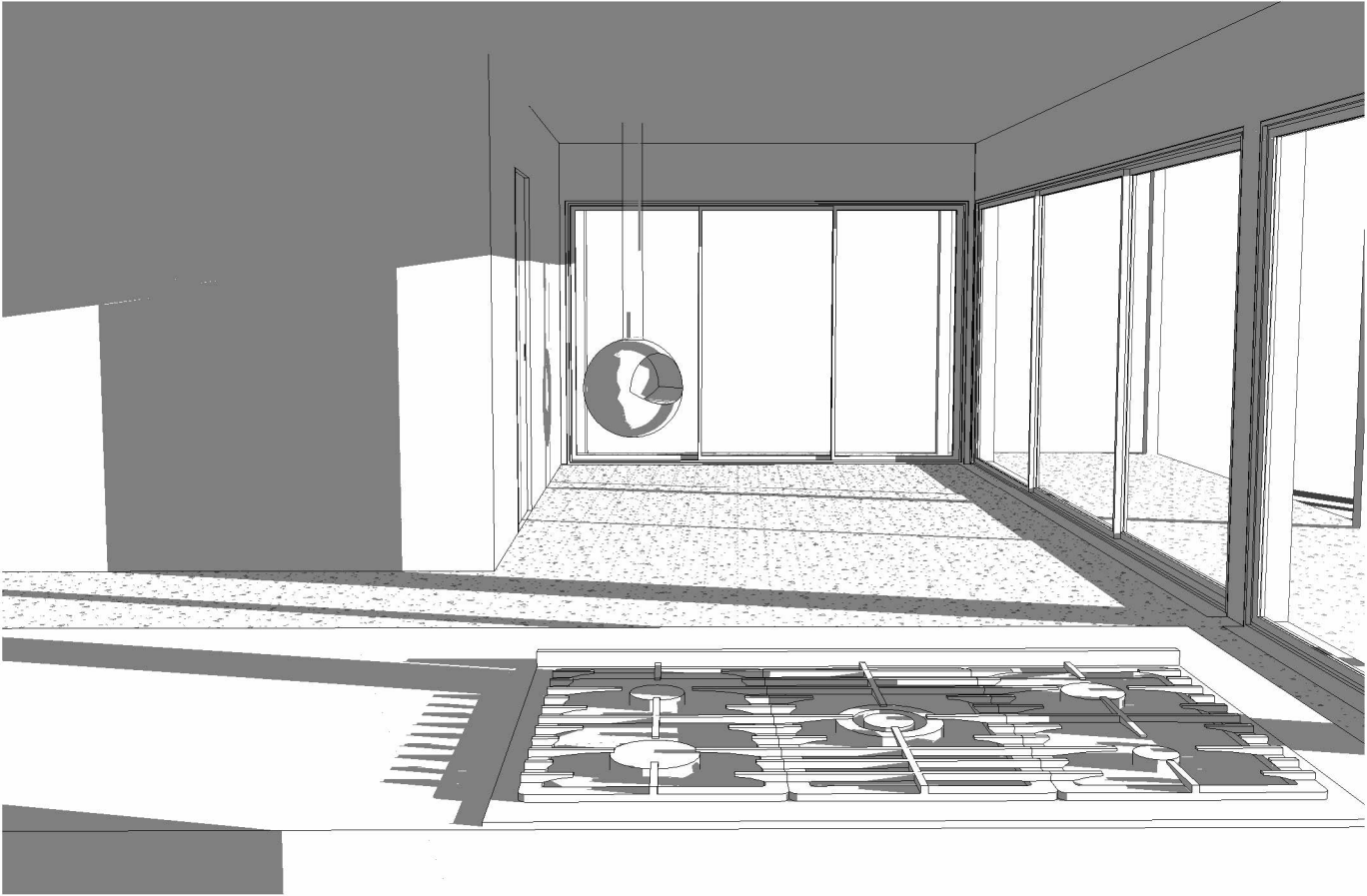
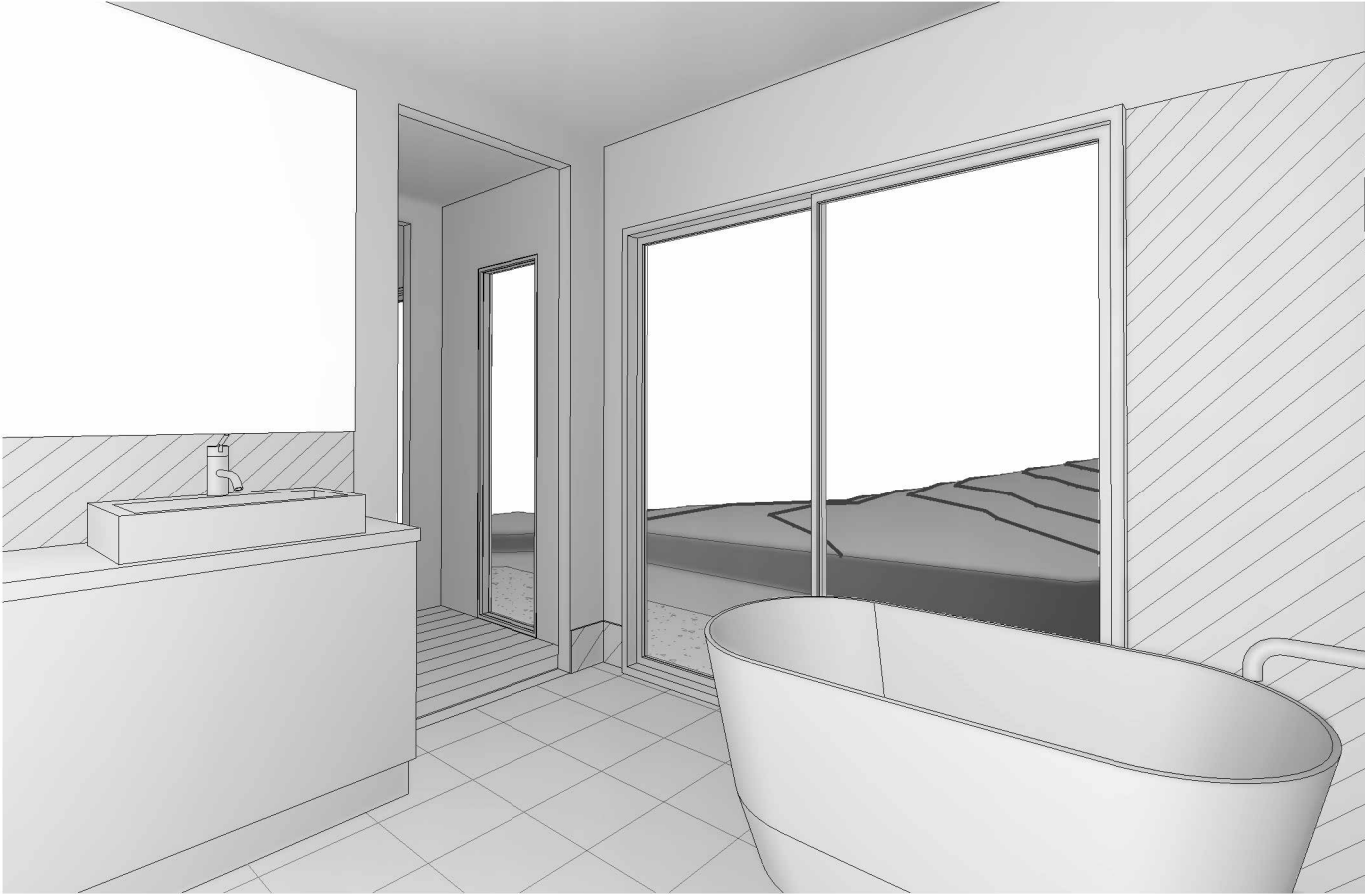
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| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | | | CLIENT: | | | | PROJECT: | | | | ISSUE: | | <div>Elevation 3</div> <div>Elevation 2</div> <div>Elevation 4</div> <div>Elevation 1</div> | | | | | | | |
| PLAN NUMBER: DP1202684 | | <div>Eco-Essence Homes</div> | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | | | | | A 04/04/22 PRELIMINARY PLANS ISSUED | | | |
| B 10/05/22 PRELIMINARY PLANS ISSUED | | | | | | | | | | | | | | | | | | | | | | | | | |
| C 20/07/22 PRELIMINARY PLANS ISSUED | | | | | | | | | | | | | | | | | | | | | | | | | |
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| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | BUILDER: | | | | STAGED PLAN: WORKING DRAWINGS | | | | | | E 19/08/22 PRELIMINARY PLANS ISSUED | | | | | | | |
| AREA: 9988m2 | | PHONE : 07 5520 0720 | | | | | | | | | | | | | | | | F 19/10/22 CONTRACT PLANS ISSUED | | | | | | | |
| | | WEB: www.ecoessencehomes.com.au | | | | | | | | | | | | | | | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) | | | | | | | |
| | | | | | | | | | | | | | | | | | | I 15/02/24 ECOLOGY RFI | | | | | | | |
| | | | | DWG NO: 101 | | SCALE: | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | | | A3 | | | | | |



3D Perspectives


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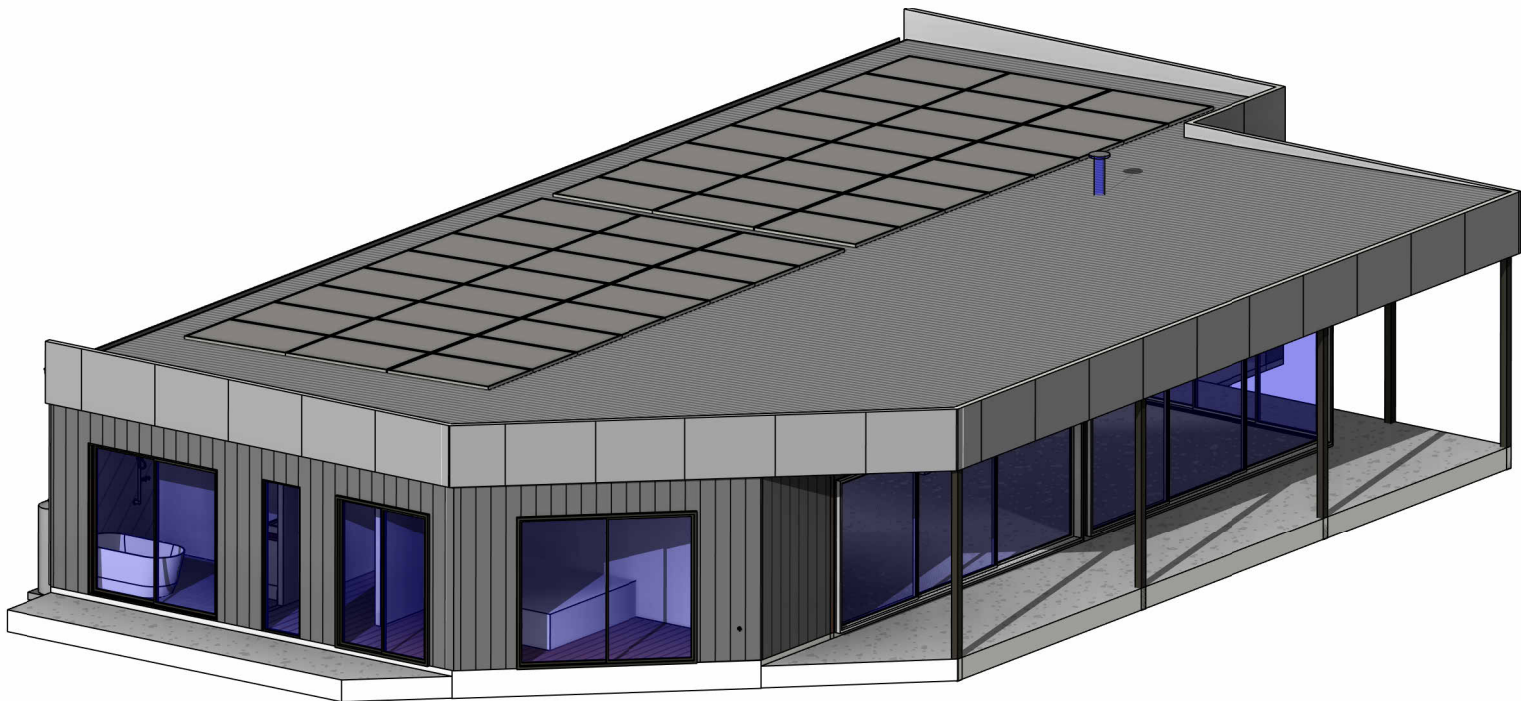
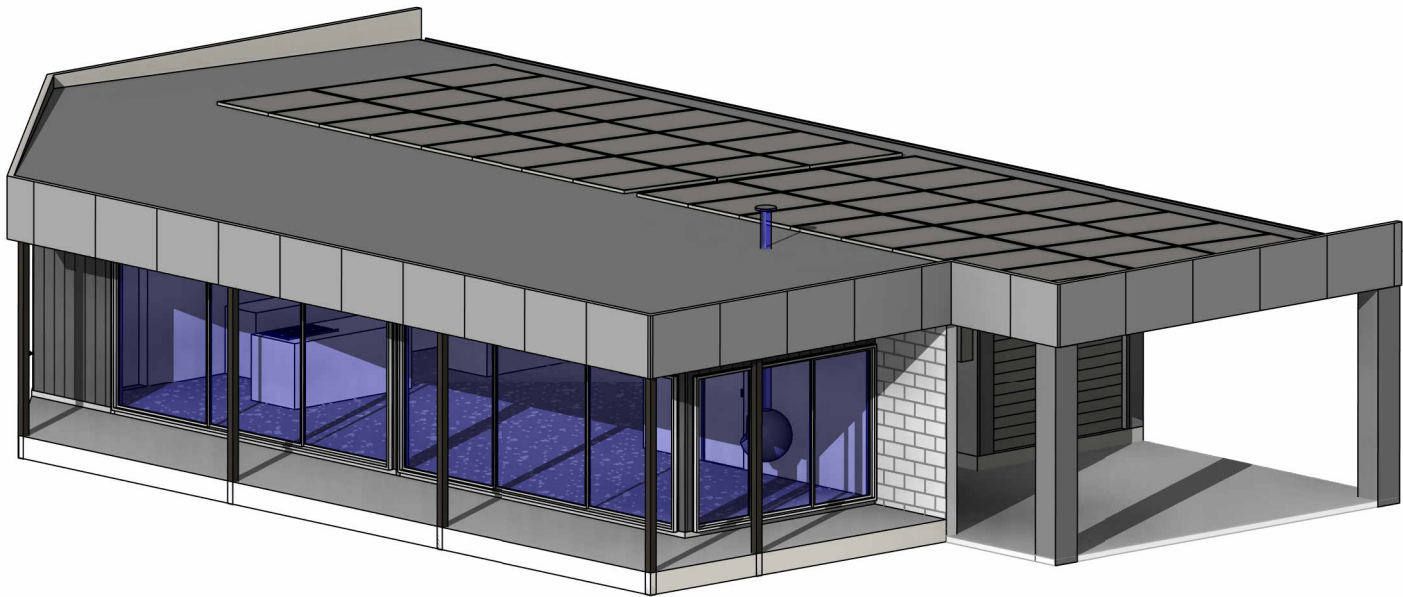
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| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | BUILDER: | | | | STAGED PLAN: | | | | | | | | | |
| AREA: 9988m2 | | PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au | | | | | | WORKING DRAWINGS | | | | | | | | | | | | | |
| DWG NO: 102.2 | | SCALE: | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | | | A3 | | | | | |
| | | | | | | | | | | | | | | | | | | A 04/04/22 PRELIMINARY PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | B 10/05/22 PRELIMINARY PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | C 20/07/22 PRELIMINARY PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | D 09/08/22 PRELIMINARY PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | E 19/08/22 PRELIMINARY PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | F 19/10/22 CONTRACT PLANS ISSUED | | | |
| | | | | | | | | | | | | | | | | | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) | | | |
| | | | | | | | | | | | | | | | | | | I 15/02/24 ECOLOGY RFI | | | |



3D Model

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

| | | | | | | | | | | | | | | | | | | | | | |
|---------------------------------|--|---|--|---|--|--|--|--------------|--|--|--|---------------|--|--|--|--------|--|---|--|--|--|
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | | | CLIENT: | | | | PROJECT: | | | | ISSUE: | | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> | | | |
| PLAN NUMBER: DP1202684 | | <div>Eco-Essence Homes</div> | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | | | | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | DWG NO: 103 SCALE: DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256 THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES A3 | | | | | | | | | | | | | | | | | |
| AREA: 9988m2 | | PHONE: 07 5520 0720 | | | | | | | | | | | | | | | | | | | |
| WEB: www.ecoessencehomes.com.au | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | | | | | | | | | | | | | | | | |
| | | | | | | | | | | | | | | | | | | A 04/04/22 PRELIMINARY PLANS ISSUED | | | |
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| | | | | | | | | | | | | | | | | | | I 15/02/24 ECOLOGY RFI | | | |

These plans are to be read in conjunction with any structural and civil engineering design & detail.

a. Site to be excavated and or filled to levels shown. Step downs to be excavated **1.0m** past actual step down to allow for steel and form works.

b. Footings shall be placed as per slab plan & engineers details.

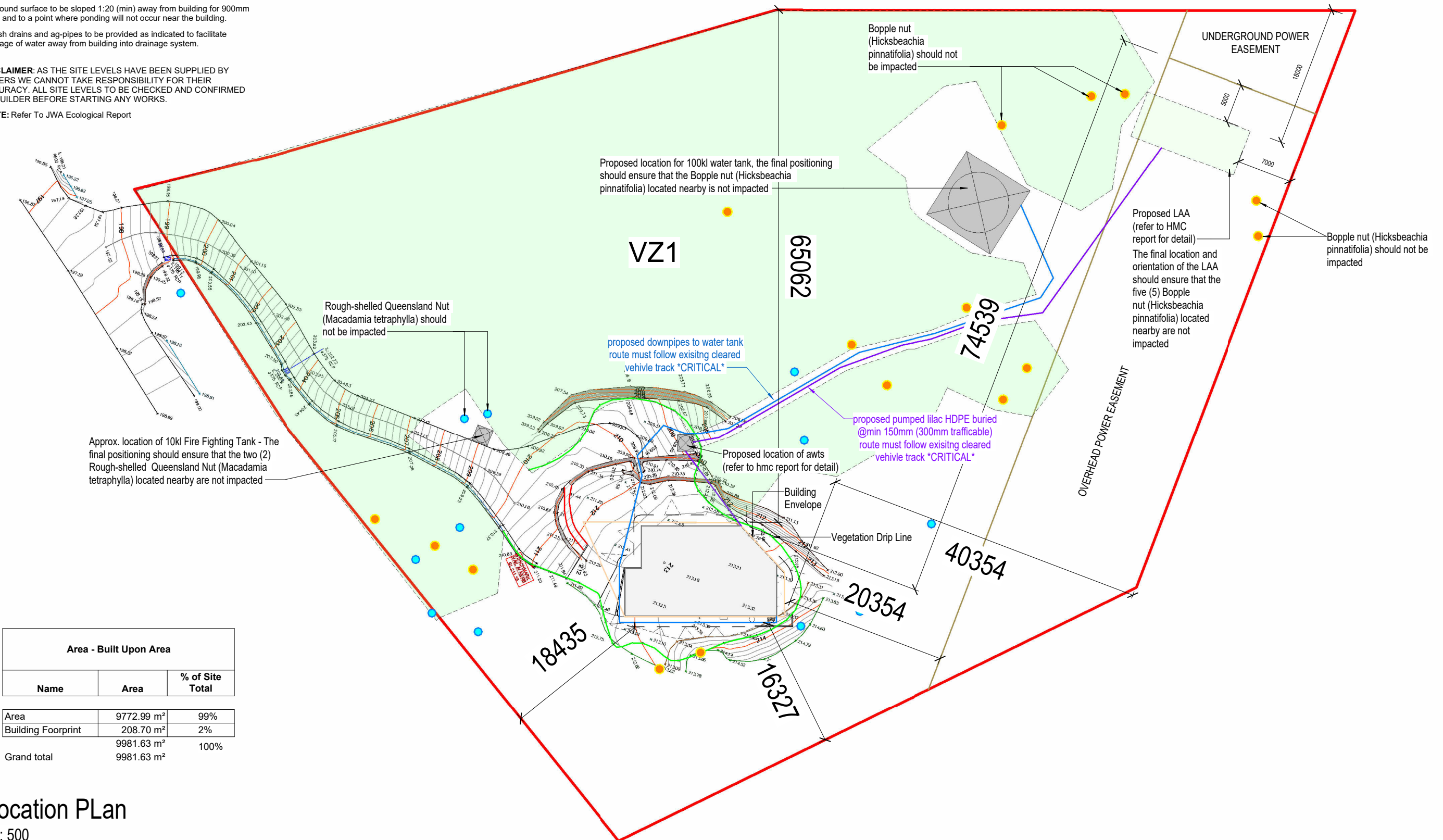
c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.

d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.

e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

NOTE: Refer To JWA Ecological Report



| Area - Built Upon Area | | |
|------------------------|------------------------|-----------------|
| Name | Area | % of Site Total |
| Area | 9772.99 m ² | 99% |
| Building Footprint | 208.70 m ² | 2% |
| | 9981.63 m ² | 100% |
| Grand total | 9981.63 m ² | |

Location Plan

1 : 500

Location Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

| | | | | | | | | | | | | | | | | | | | |
|----------------------------------|--|--|--|---|--|----------------|--|----------------|--|-----------|--|----------------------------------|--|--------------|--|--|--|---|--|
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | | | CLIENT: | | | | PROJECT: | | | | ISSUE: | | <div><div>Elevation 3</div><div>Elevation 2</div><div>Elevation 4</div><div>Elevation 1</div></div> | |
| PLAN NUMBER: DP1202684 | | <div><div>Eco-Essence Homes</div></div> | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | | | | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | BUILDER: | | | | STAGED PLAN: WORKING DRAWINGS | | | | | | | |
| AREA: 9988m2 | | WEB: www.eoessencehomes.com.au | | DWG NO: 104 | | SCALE: 1 : 500 | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | A3 | |

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE HAZARD AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

Rough-shelled Queensland Nut
(*Macadamia tetraphylla*) should
not be impacted

Approx. location of 10kl Fire Fighting Tank - The final positioning should ensure that the two (2) Rough-shelled Queensland Nut (*Macadamia tetraphylla*) located nearby are not impacted —

SITE WORKS

These plans are to be read in conjunction with any structural and civil engineering design & detail.

- a. Site to be excavated and or filled to levels shown. Step downs to be excavated 1.0m past actual step down to allow for steel and form works.
- b. Footings shall be placed as per slab plan. & engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

Excavate and relocate existing retaining wall. Widen driveway to 5m

WIND CLASSIFICATION

'N5'

SOIL CLASSIFICATION


'H1/P'

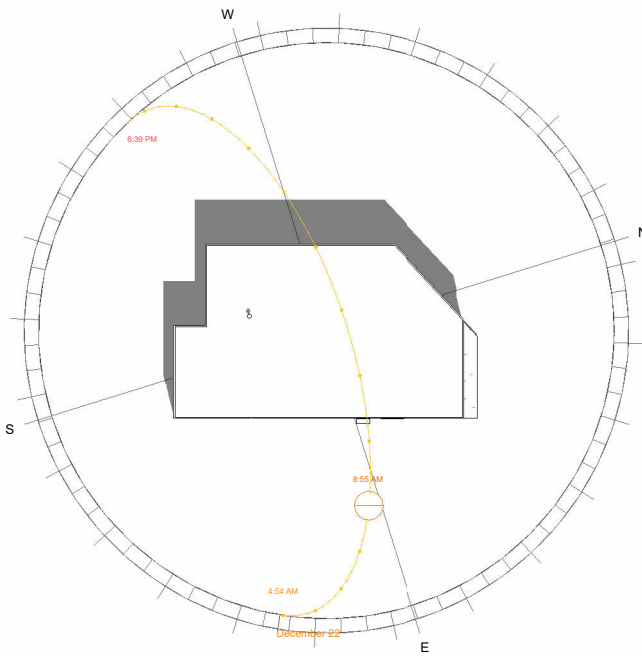
Site Plan

1 : 200

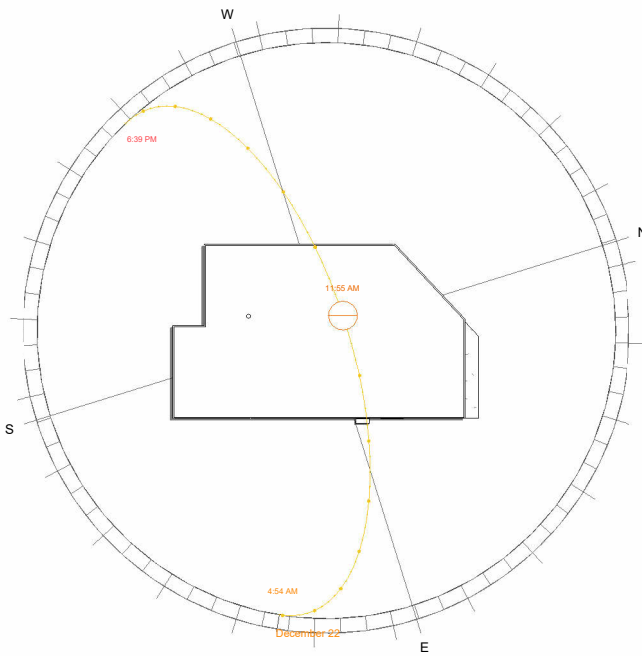
Site Plan

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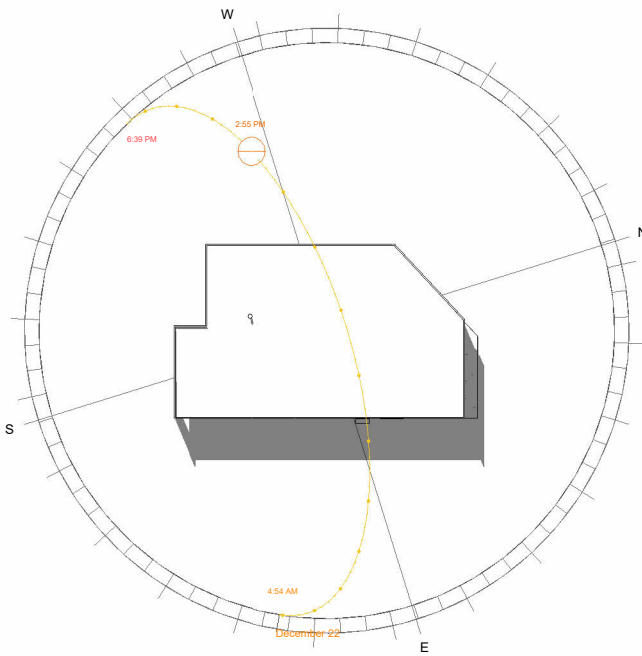
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| PLAN NUMBER: DP1202684 | |  | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | | | | |
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| AREA: 9988m2 | | WEB: www.ecoessencehomes.com.au | | DWG NO: 200 | | SCALE: As indicated | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | | | A3 | |



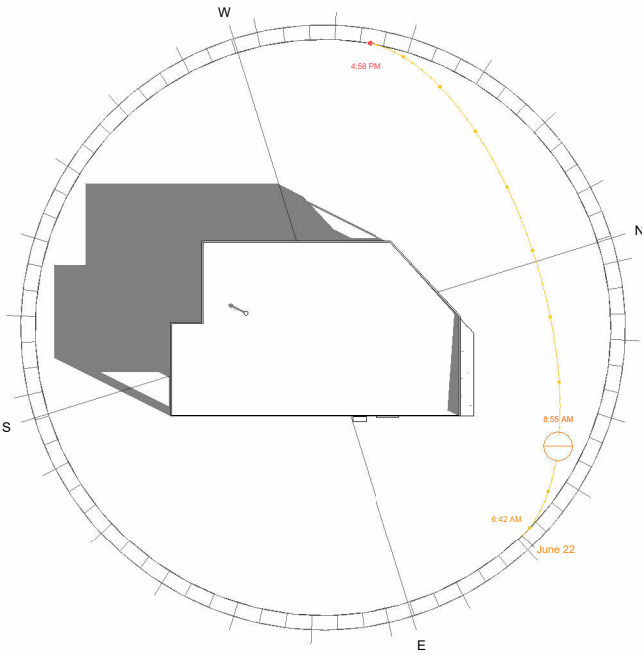
Dec 22 9am
1 : 500



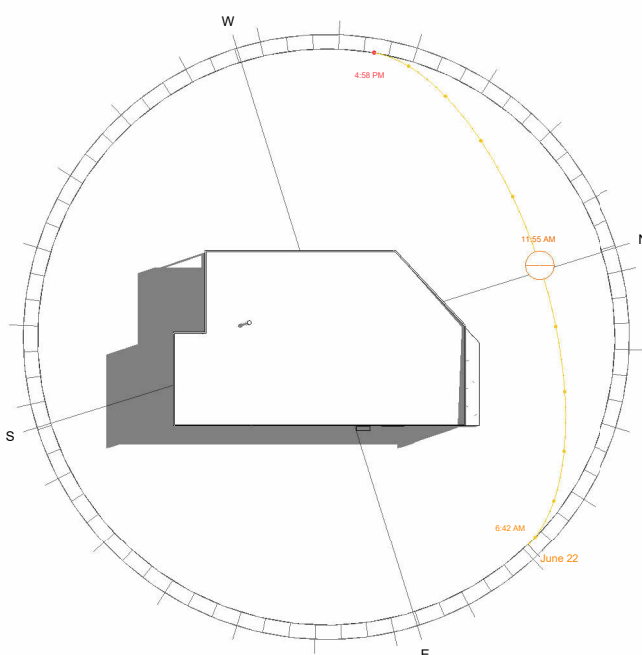
Dec 22 12pm
1 : 500



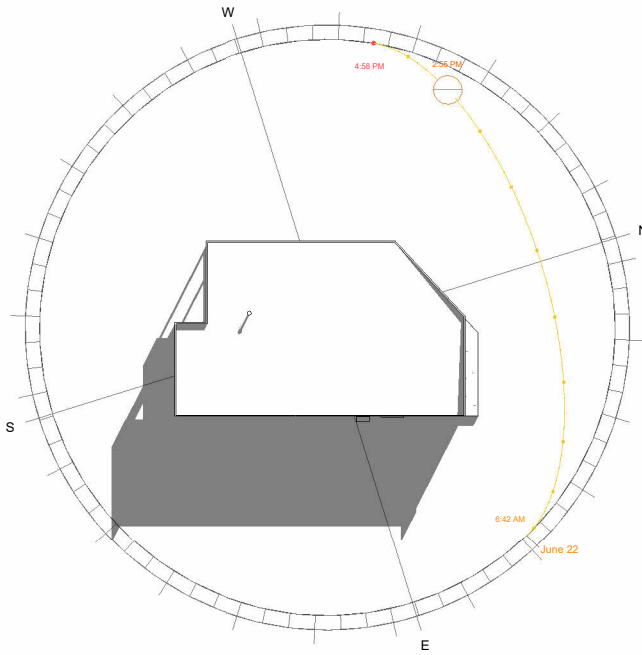
Dec 22 3pm
1 : 500



June 22 9am
1 : 500




June 22 12pm
1 : 500



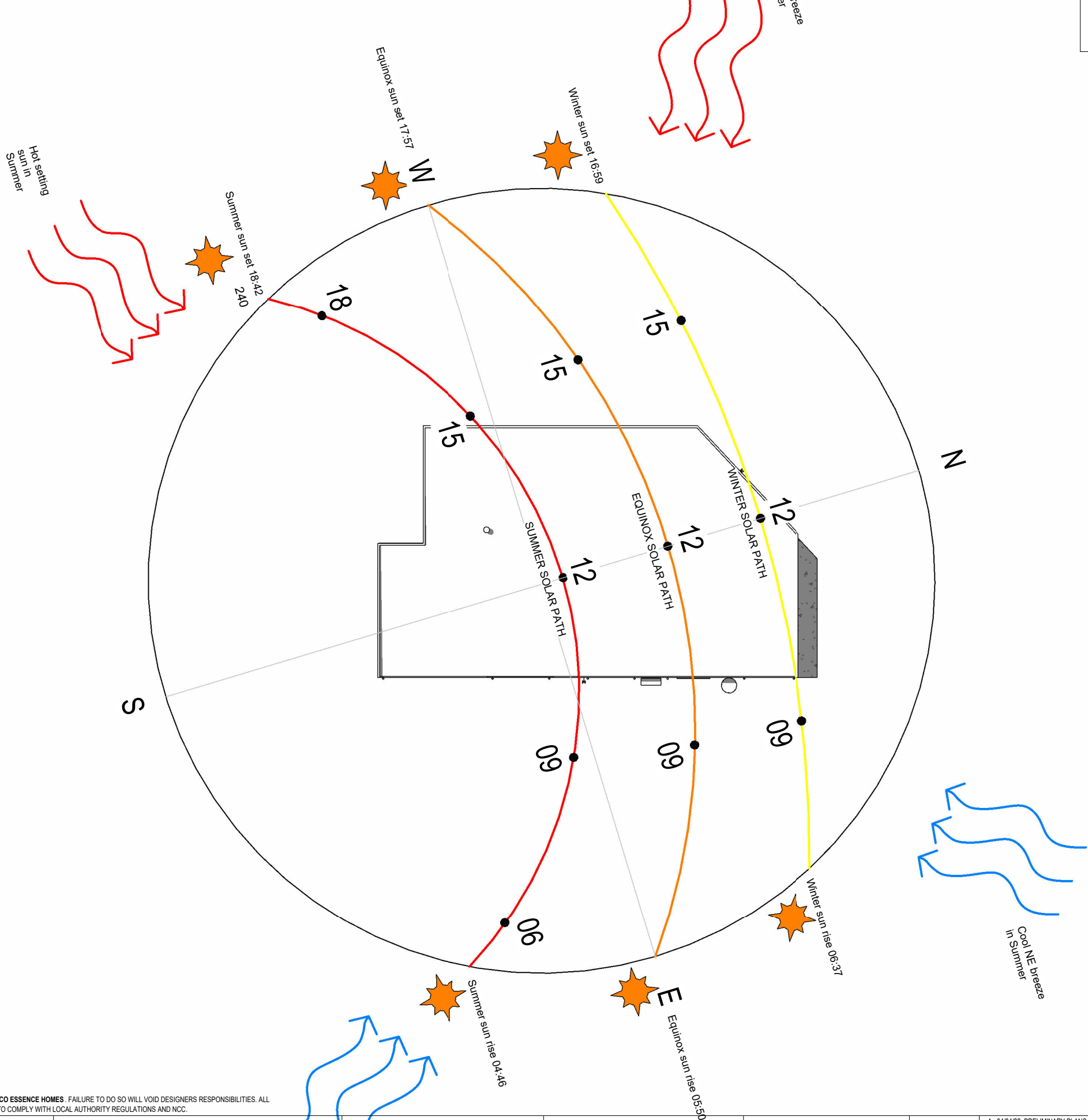
June 22 3pm
1 : 500

Shadow Diagrams

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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| REAL PROPERTY DESCRIPTION | | <div>BUILDER:</div> <div></div> | PROJECT ADDRESS: | | | CLIENT: | | | PROJECT: | | | <div>ISSUE:</div> <div>I</div> | <div>A 04/04/22 PRELIMINARY PLANS ISSUED</div> <div>B 10/05/22 PRELIMINARY PLANS ISSUED</div> <div>C 20/07/22 PRELIMINARY PLANS ISSUED</div> <div>D 09/08/22 PRELIMINARY PLANS ISSUED</div> <div>E 19/08/22 PRELIMINARY PLANS ISSUED</div> <div>F 19/10/22 CONTRACT PLANS ISSUED</div> <div>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)</div> <div>I 15/02/24 ECOLOGY RFI</div> | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> |
| PLAN NUMBER: DP1202684 | | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | T & T NABUNG | | | NEW RESIDENCE | | | | | |
| LOCAL AUTH: BYRON SHIRE | | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au | | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | STAGED PLAN: WORKING DRAWINGS | | | | | |
| AREA: 9988m2 | | DWG NO: 201 | SCALE: 1 : 500 | DATE: 23/02/23 | DRAWN: BC | CHECKED: BC | JOB NO: 0256 | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | | A3 | | | |

CLIENT SIGNATURES:



Sun and Wind paths

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|---------------------------|--------------|----------------------------|-----------|--------------|----------------|---|----|---|--|---|
| REAL PROPERTY DESCRIPTION | | PROJECT ADDRESS: | | CLIENT: | | BUILDER: | | DESIGN: | | ISSUE: |
| PLAN NUMBER: DP1202684 | | LOT 11 # 132 Mafeking Road | | T & T NABUNG | | Eco-Essence Homes | | NEW RESIDENCE | | |
| LOCAL AUTH: BYRON SHIRE | | Goonengerry, NSW 2482 | | | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | FACADE: | | |
| AREA: 9988m2 | JOB NO: 0256 | DATE: 23/02/23 | DRAWN: BC | CHECKED: BC | SCALE: 1 : 200 | DWG NO: 203 | A3 | STAGED PLAN: WORKING DRAWINGS | | |
| | | | | | | PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NATHERS NOTES) I 15/02/24 ECOLOGY RFI |

Elevation 2

Elevation 3

Elevation 4

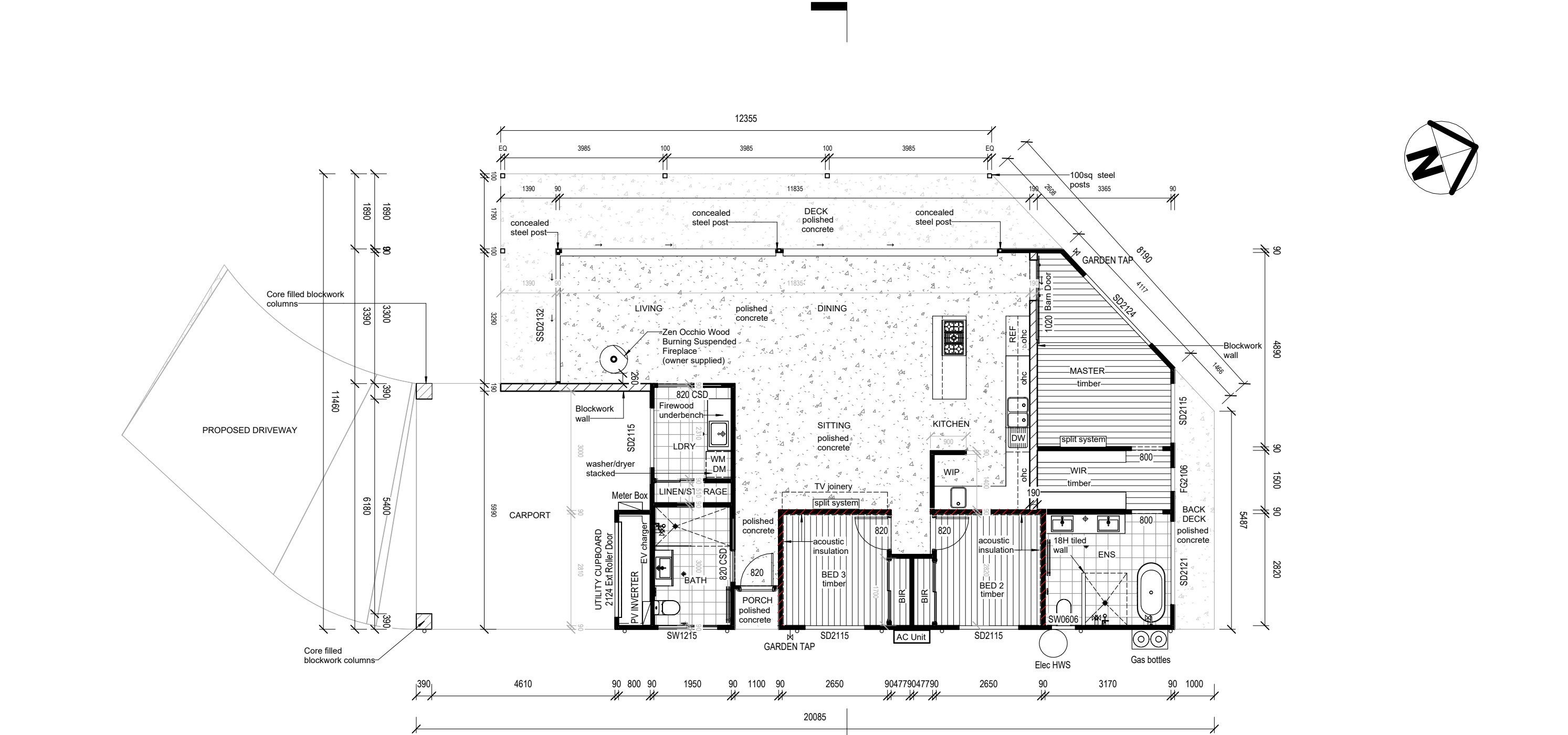
Elevation 1

NOTES:
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
- LIFT OFF HINGES TO WC DOOR
- SARKING TO EXTERNAL WALLS
- INSULATION TO CEILINGS AS PER SPECIFICATION
- ALL SHOWER ROSES TO BE AAA RATED
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER

BAL 40



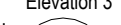
| | |
|---|--------|
| HEIGHTS: * INTERNAL DOORS - 2040H UNO * WINDOW H.HEIGHT - 2100H UNO | |
| Conditioned | 113.75 |
| Unconditioned | 12.09 |
| ROOF: Trimdeck - 200sqm | |

| Area Schedule | |
|---------------|-----------|
| Back Deck | 6.02 m² |
| Carport | 36.23 m² |
| Deck | 29.70 m² |
| Main House | 128.91 m² |
| Porch | 1.24 m² |
| Grand total | 202.11 m² |



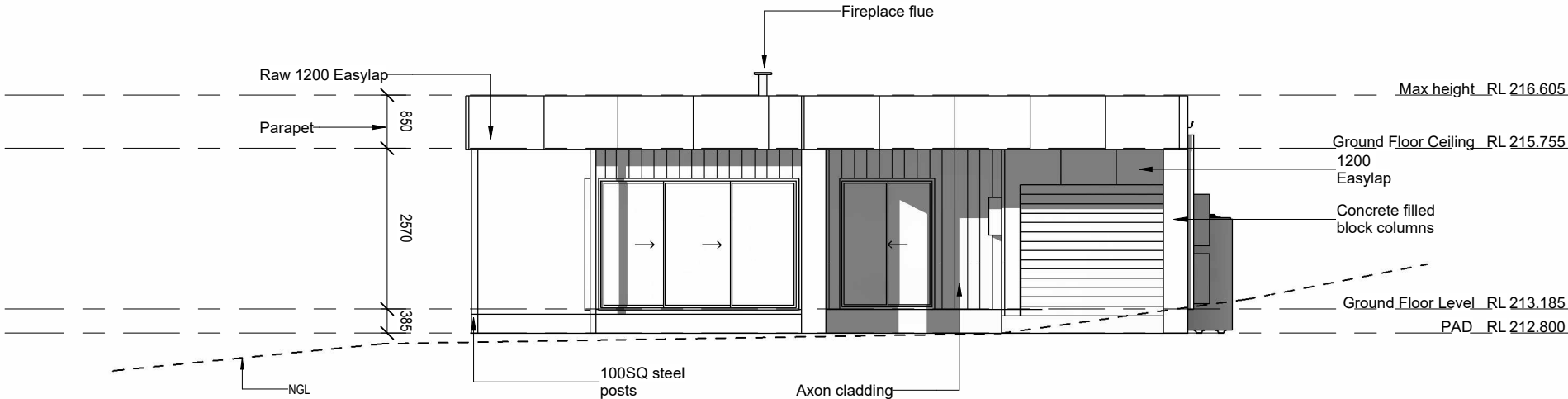
Ground Floor Plan

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| PLAN NUMBER: DP1202684 | |  | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | NEW RESIDENCE | | | | 1 | | | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | BUILDER: | | STAGED PLAN: | | | |  | | | |
| AREA: 9988m2 | | PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au | | | | | | | | WORKING DRAWINGS | | | | | | | |
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| | | | | | | | | | | | | | | | | <div><div>Elevation 2</div><div>Elevation 3</div><div>Elevation 4</div><div>Elevation 1</div></div>  | |

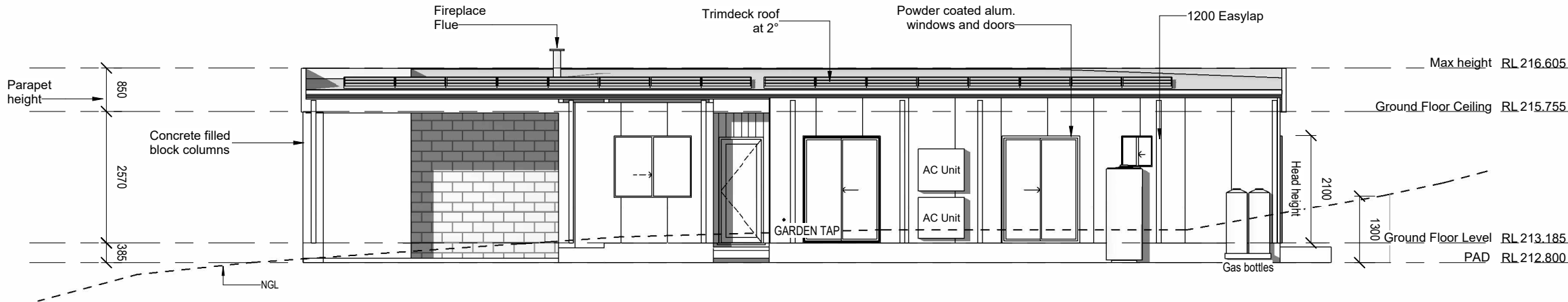
NOTE: ALL EXTERIOR WINDOWS + DOORS
ALUMINIUM

NOTE: ALL WINDOWS BRADNAMS
CERTIFIED TO BAL40



Elevation 2 (South)
1 : 100


BAL 40

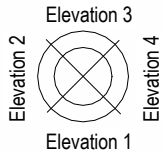


Elevation 1 (East)
1 : 100

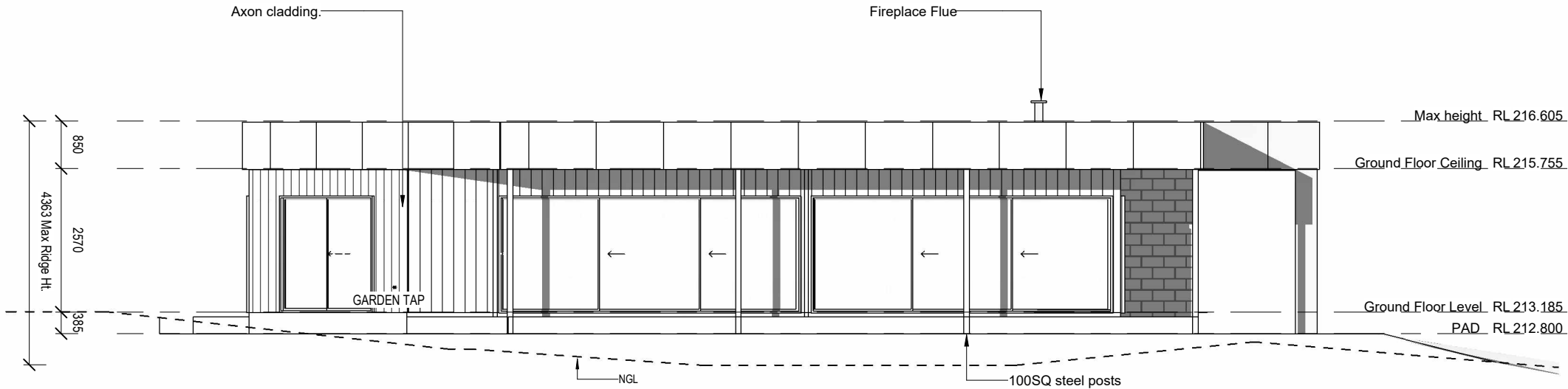
Elevations

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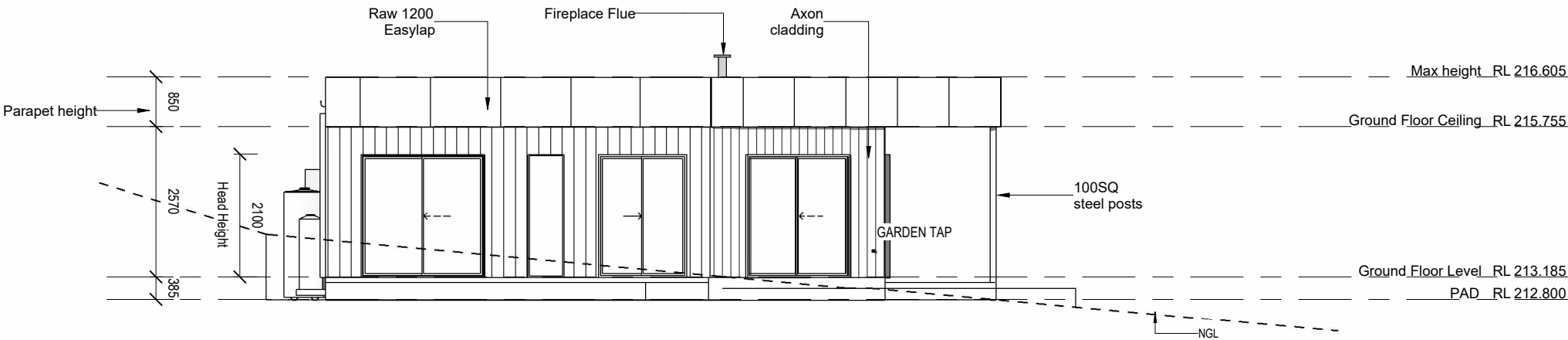
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | CLIENT: | | PROJECT: | | ISSUE: | |
|---------------------------|--|---|--|----------------------------|--|----------------|--|--|--|---|--|
| PLAN NUMBER: DP1202684 | |  | | LOT 11 # 132 Mafeking Road | | T & T NABUNG | | NEW RESIDENCE | | I | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | Goonengerry, NSW 2482 | | BUILDER: | | WORKING DRAWINGS | | | |
| AREA: 9988m2 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | DWG NO: 303 | | SCALE: 1 : 100 | | DATE: 23/02/23 | | DRAWN: BC | |
| | | PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | A3 | |
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| | | | | | | | | | | F 19/10/22 CONTRACT PLANS ISSUED | |
| | | | | | | | | | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) | |
| | | | | | | | | | | I 15/02/24 ECOLOGY RFI | |



NOTE: ALL WINDOWS BRADNAMS
CERTIFIED TO BAL40



Elevation 3 (West)
1 : 100




Elevation 4 (North)
1 : 100

BAL 40

Elevations

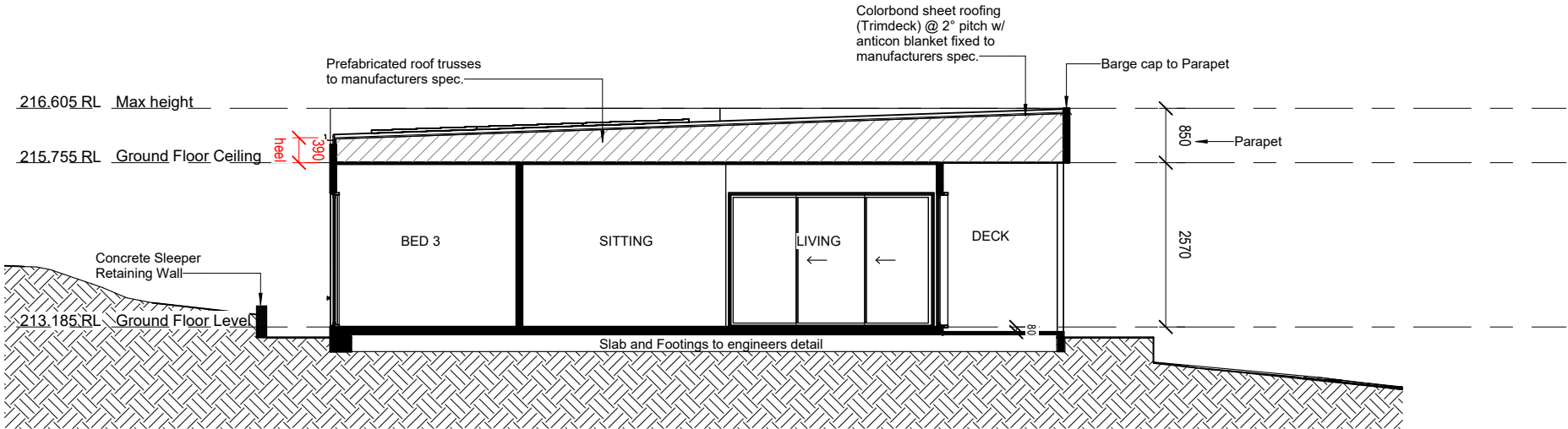
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| PLAN NUMBER: DP1202684 | |  | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | | | | | | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | | | BUILDER: | | | | STAGED PLAN: WORKING DRAWINGS | | | | | | | | | | | |
| AREA: 9988m2 | | PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au | | | | | | DWG NO: 304 | | SCALE: 1 : 100 | | DATE: 23/02/23 | | DRAWN: BC | | | | | | | | CHECKED: BC | |
| | | | | | | | | | | | | | | | | | | | | | | A 04/04/22 PRELIMINARY PLANS ISSUED | |
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| | | | | | | | | | | | | | | | | | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) | | | | | |
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- NOTES:**
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
 - BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL

- INSULATION NOTES:**
- CEILING INSULATION - R3.5 CEILING BATTS EXCLUDING DECKS.
 - WAFFLE POD SLAB 300MM
 - MINIMUM R2.0 INSULATION TO EXTERNAL WALLS(EXCLUDING CONCRETE BLOCK)
 - R3.5 INSULATION TO CEILINGS
 - R2.0 INSULATION TO THE INTERNAL WALLS OF THE BATH & LAUNDRY
 - FOIL + R1.0 INSULATION BLANKET TO UNDERSIDE OF ROOF

- THERMAL COMFORT NOTES:**
- MEDIUM WALL & MEDIUM ROOF COLOURS
 - WEATHERSEALS TO ALL EXTERNAL DOORS & WINDOWS
 - FLOOR COVERINGS AS PER DETAIL ON FLOOR PLANS
 - INSULATION MUST BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS.
 - RECESSED DOWNLIGHTS HAVE BEEN INCLUDED IN THE NATHERS RATING(TO BE SEALED LED DOWNLIGHTS & COVERED BY INSULATION)
 - LAUNDRY 2115M, BATH 1215, BED 2 2115, BED 3 2115 TO HAVE A U VALUE LESS THAN OR = TO 5.60 & WITHIN 10% OF SHGC 0.41
 - ALL OTHER WINDOWS & GLAZED DOORS TO BE SINGLE GLAZED CLEAR WITH ALUMINIUM FRAME(LESS THAN OR = TO U 6.70, WITHIN 10% OF SHGC 0.70/0.57)
 - CEILING FANS TO DINING, SITTING, MASTER, BED 2 & BED 3



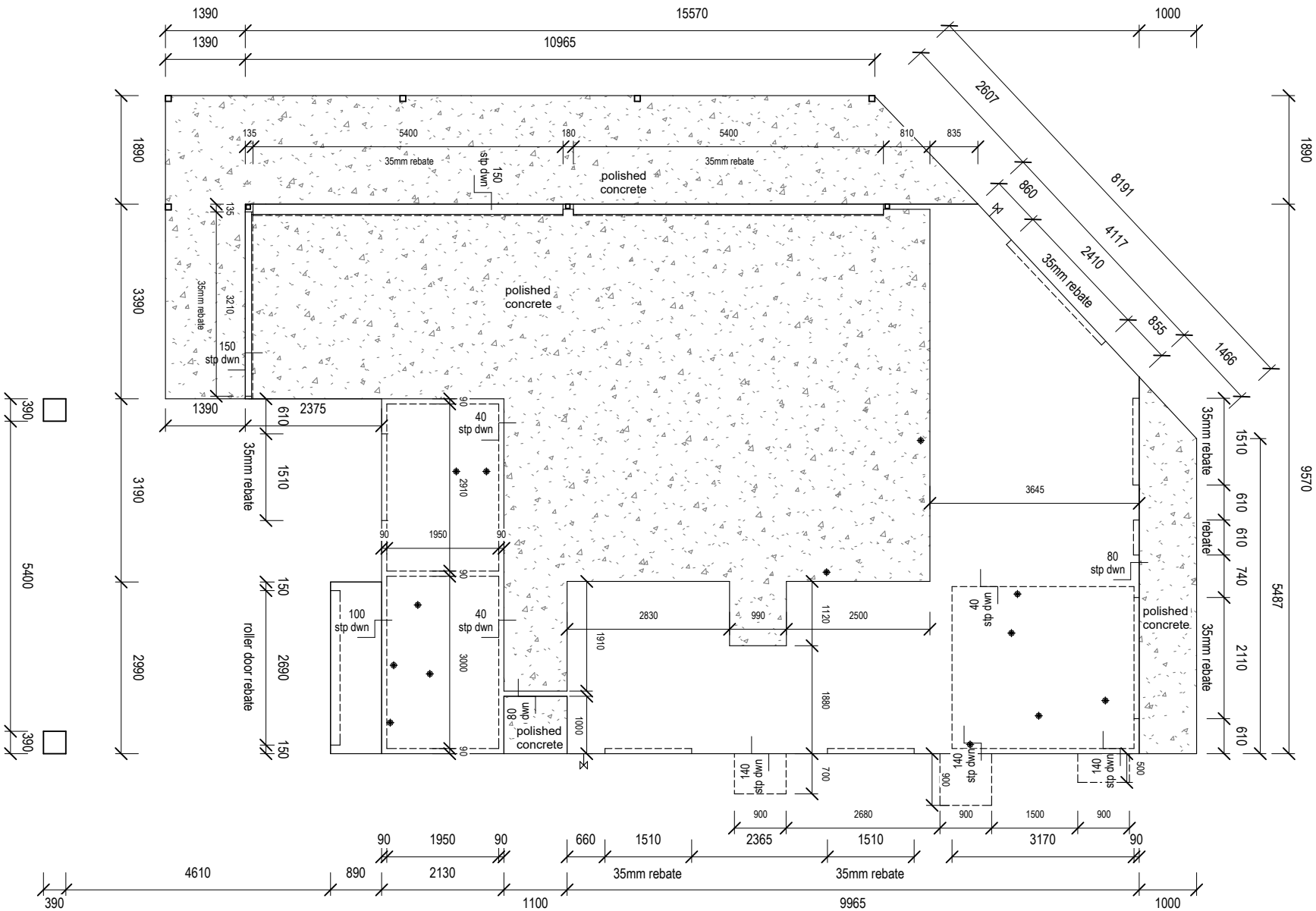
Section

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | | | CLIENT: | | | | PROJECT: | | | | ISSUE: | | <div><div>Elevation 2</div><div>Elevation 3</div><div>Elevation 4</div><div>Elevation 1</div></div> | | | |
| PLAN NUMBER: DP1202684 | | <div><div>Eco-Essence Homes</div></div> | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | | | | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | | | | | BUILDER: | | | | STAGED PLAN: WORKING DRAWINGS | | | | | | | | | |
| AREA: 9988m2 | | PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au | | | | | | | | | | | | | | | | | | | |
| | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | DWG NO: 305 | | SCALE: 1 : 100 | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | | | A3 | |
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- NOTES:**
- EXTERNAL PATIO & PORCH SLABS TO HAVE A 1:100 FALL AWAY FROM HOUSE
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - TERMITE TREATMENT TO BE INSTALLED AS PER MANUFACTURERS SPEC. & IN ACCORDANCE WITH AS 3660.1
 - ALL DIMENSIONS TO BE CHECKED AGAINST FLOOR PLAN DIMENSIONS
 - ALL DIMENSIONS, LEVELS, HEIGHTS TO BE CONFIRMED ON SITE

TO BE READ IN CONJUNCTION WITH
ENGINEERING, JOINERY SPECIFICATIONS AND
DRAWINGS




Slab Plan

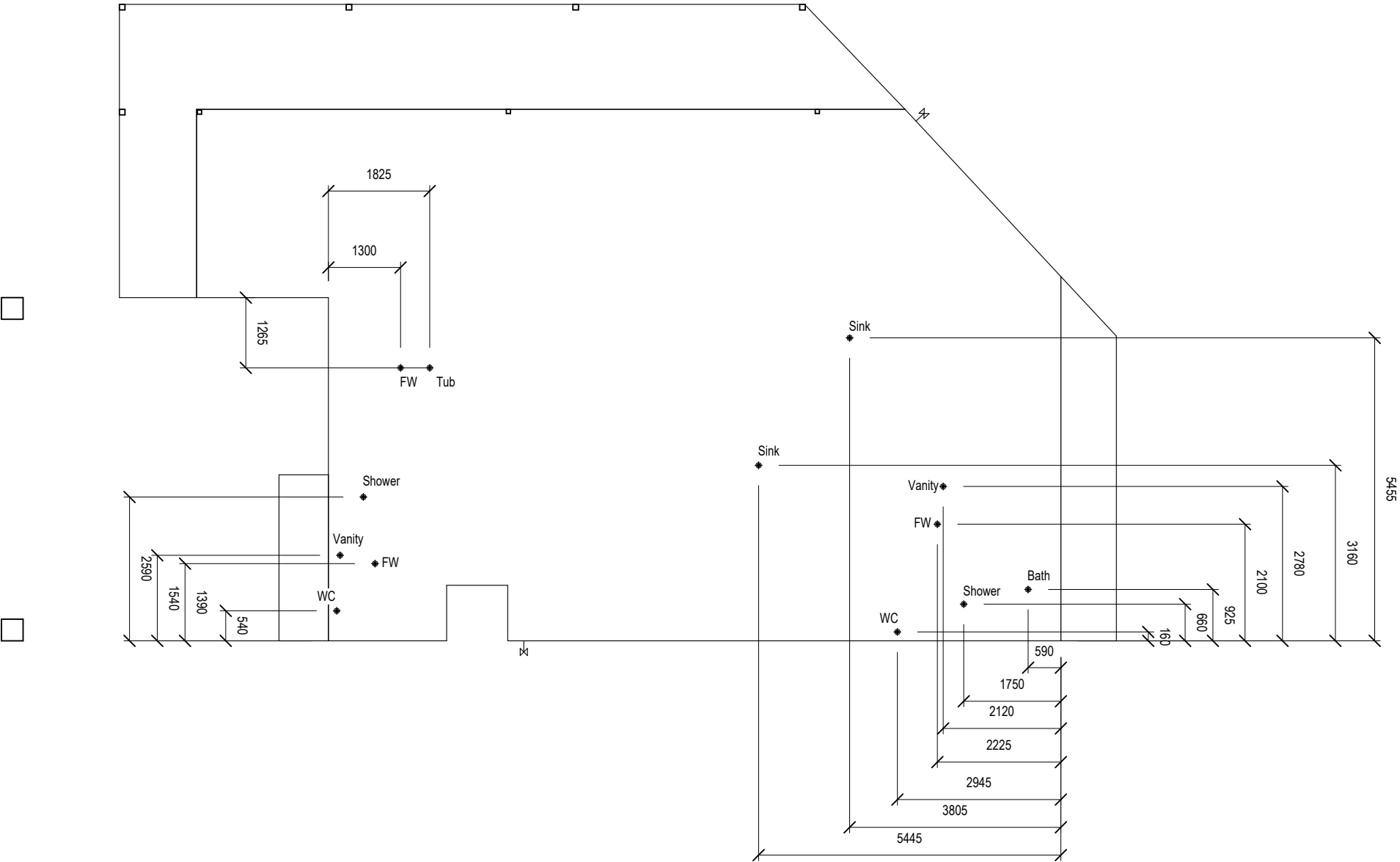
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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|---|--|--|---------------------------|---|------------------------|-------------------------|---|--|--|--|--|--|--------------------------------|---|---|
| <div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1202684</div> <div>LOCAL AUTH: BYRON SHIRE</div> <div>AREA: 9988m2</div> | | <div>BUILDER:</div> <div><div><div><div><div></div><div>Eco-Essence Homes</div></div></div><div>ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487</div><div>PHONE : 07 5520 0720</div><div>WEB: www.ecoessencehomes.com.au</div></div><div>ABN: 16141022371</div><div>NSW LIC: 227643C</div><div>QBCC LIC: 1181578</div></div> | | <div>PROJECT ADDRESS:</div> <div>LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482</div> | | | <div>CLIENT:</div> <div>T & T NABUNG</div> <div>BUILDER:</div> | | | <div>PROJECT:</div> <div>NEW RESIDENCE</div> <div>STAGED PLAN:</div> <div>WORKING DRAWINGS</div> | | | <div>ISSUE:</div> <div>I</div> | <div>A 04/04/22 PRELIMINARY PLANS ISSUED</div> <div>B 10/05/22 PRELIMINARY PLANS ISSUED</div> <div>C 20/07/22 PRELIMINARY PLANS ISSUED</div> <div>D 09/08/22 PRELIMINARY PLANS ISSUED</div> <div>E 19/08/22 PRELIMINARY PLANS ISSUED</div> <div>F 19/10/22 CONTRACT PLANS ISSUED</div> <div>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)</div> <div>I 15/02/24 ECOLOGY RFI</div> | <div>Elevation 3</div> <div>Elevation 2</div> <div>Elevation 4</div> <div>Elevation 1</div> |
| <div>DWG NO: 308</div> | | <div>SCALE: 1 : 100</div> | <div>DATE: 23/02/23</div> | <div>DRAWN: BC</div> | <div>CHECKED: BC</div> | <div>JOB NO: 0256</div> | <div>THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES</div> | | | <div>A3</div> | | | | | |

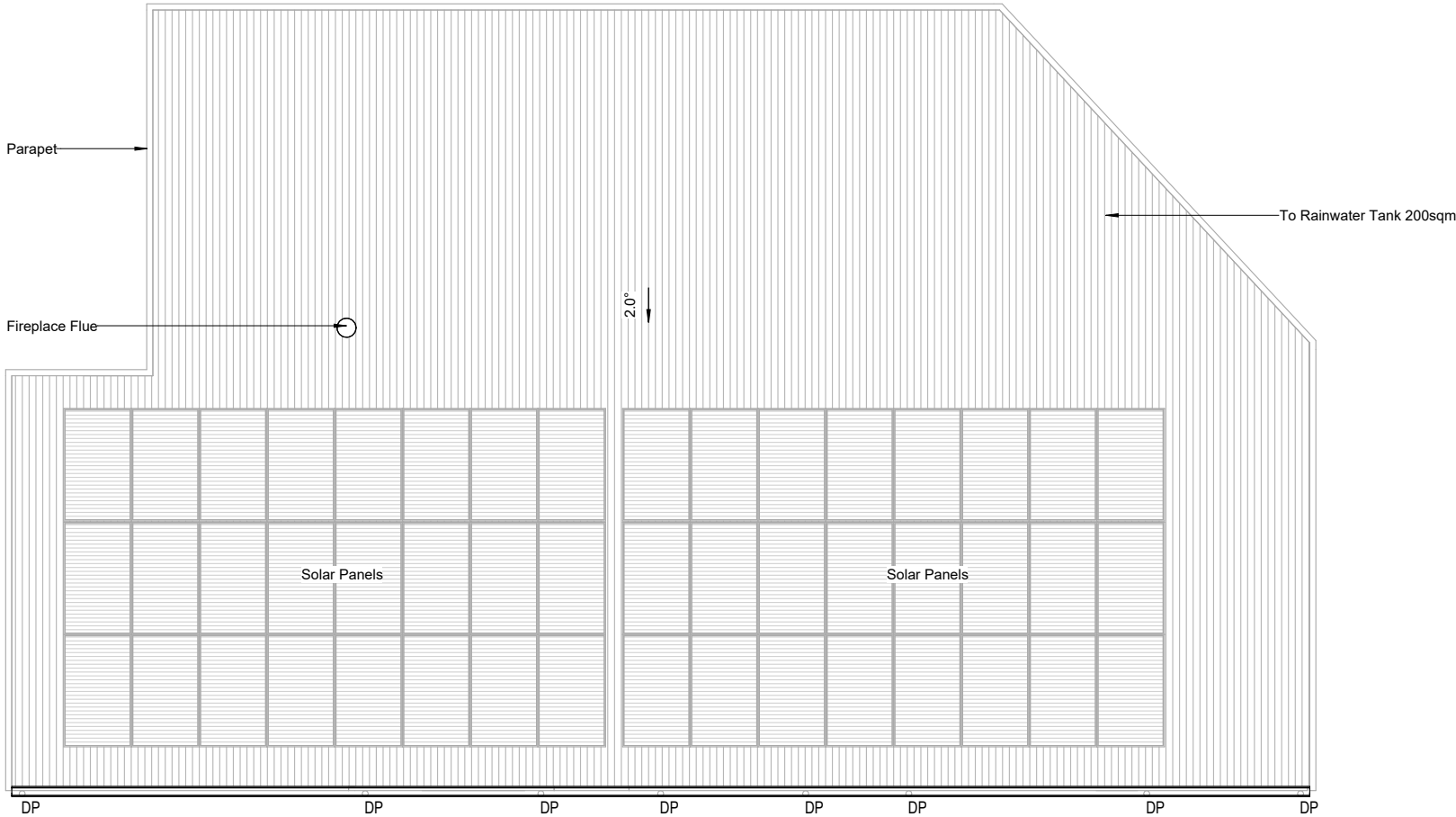
Plumbing Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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| REAL PROPERTY DESCRIPTION | <div>BUILDER:  ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au</div> | PROJECT ADDRESS: | | CLIENT: | | PROJECT: | | ISSUE: | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> | |
| | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | T & T NABUNG | | NEW RESIDENCE | | | | |
| PLAN NUMBER: DP1202684 | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | DWG NO: | SCALE: | DATE: | DRAWN: | CHECKED: | JOB NO: | STAGED PLAN: | | |
| LOCAL AUTH: BYRON SHIRE | | 310 | 1: 100 | 23/02/23 | BC | BC | 0256 | WORKING DRAWINGS | | |
| AREA: 9988m2 | | | | | | | | | | |
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ABN: 16141022371
NSW LIC: 227643C
QBCC LIC: 1181578



Upper Roof Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

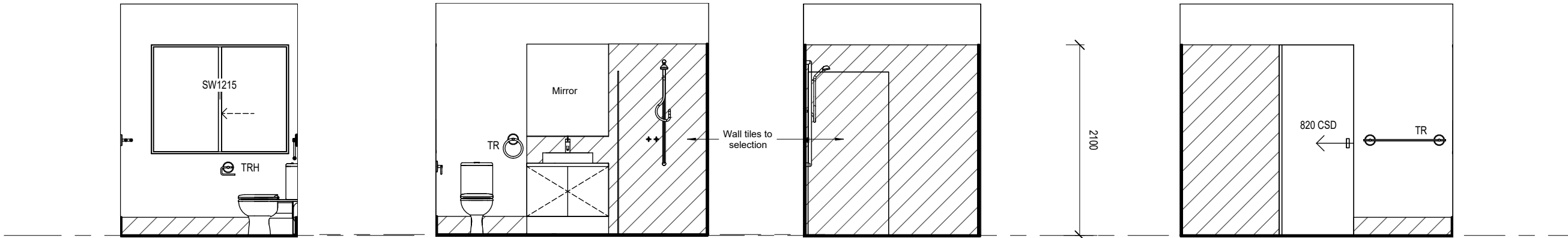
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|---------------------------|--|--|--|---|--|--|--|--------------|--|--|--|----------------------------------|--|--|--|--------|--|---|--|--|--|---|
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | | | CLIENT: | | | | PROJECT: | | | | ISSUE: | | A 04/04/22 PRELIMINARY PLANS ISSUED | | | | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> |
| PLAN NUMBER: DP1202684 | | <div>Eco-Essence Homes</div> | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | | | T & T NABUNG | | | | NEW RESIDENCE | | | | I | | B 10/05/22 PRELIMINARY PLANS ISSUED | | | | |
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| | | WEB: www.ecoessencehomes.com.au | | NSW LIC: 227643C | | | | | | | | | | | | | | E 19/08/22 PRELIMINARY PLANS ISSUED | | | | |
| | | | | QBCC LIC: 1181578 | | | | | | | | | | | | | | F 19/10/22 CONTRACT PLANS ISSUED | | | | |
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BRACING AND TIE DOWN TO ENGINEERS DETAIL

Bracing Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

| | | | | | | | | | | | |
|---|--|---|---------------------------|--|------------------------|-------------------------|---|--|---------------|---|--|
| <div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1202684</div> <div>LOCAL AUTH: BYRON SHIRE</div> <div>AREA: 9988m2</div> | | <div>BUILDER:</div> <div><div><div><div><div></div><div>Eco-Essence Homes</div></div></div><div>ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487</div><div>PHONE : 07 5520 0720</div><div>WEB: www.ecoessencehomes.com.au</div></div><div><div>ABN: 16141022371</div><div>NSW LIC: 227643C</div><div>QBCC LIC: 1181578</div></div></div> <div><div>PROJECT ADDRESS:</div><div>LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482</div></div> | | <div><div>CLIENT:</div><div>T & T NABUNG</div><div>BUILDER:</div></div> <div><div>PROJECT:</div><div>NEW RESIDENCE</div><div>STAGED PLAN:</div><div>WORKING DRAWINGS</div></div> | | | | <div><div>ISSUE:</div><div>I</div></div> <div><div>A 04/04/22 PRELIMINARY PLANS ISSUED</div><div>B 10/05/22 PRELIMINARY PLANS ISSUED</div><div>C 20/07/22 PRELIMINARY PLANS ISSUED</div><div>D 09/08/22 PRELIMINARY PLANS ISSUED</div><div>E 19/08/22 PRELIMINARY PLANS ISSUED</div><div>F 19/10/22 CONTRACT PLANS ISSUED</div><div>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)</div><div>I 15/02/24 ECOLOGY RFI</div></div> | | <div><div>Elevation 2</div><div>Elevation 3</div><div>Elevation 4</div><div>Elevation 1</div></div> <div></div> | |
| <div>DWG NO: 401</div> | | <div>SCALE:</div> | <div>DATE: 23/02/23</div> | <div>DRAWN: BC</div> | <div>CHECKED: BC</div> | <div>JOB NO: 0256</div> | <div>THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES</div> | | <div>A3</div> | | |



Bath Elevation 1

1 : 50

Bath Elevation 2

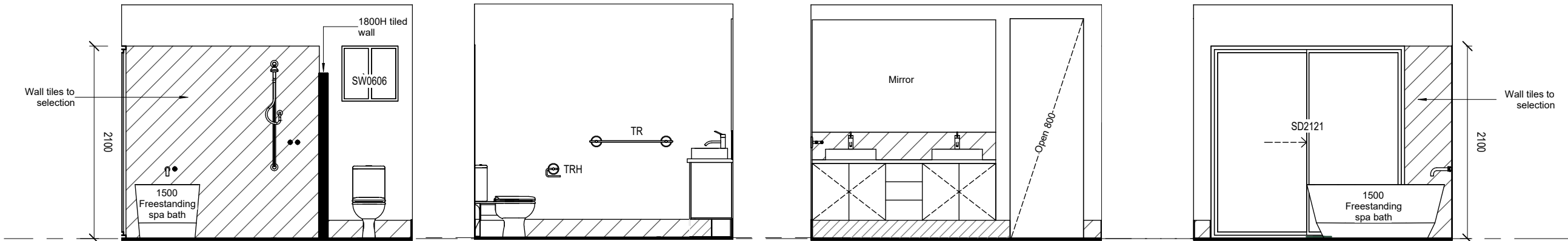
1 : 50

Bath Elevation 3

1 : 50

Bath Elevation 4

1 : 50



Ensuite Elevation 1

1 : 50

Ensuite Elevation 2

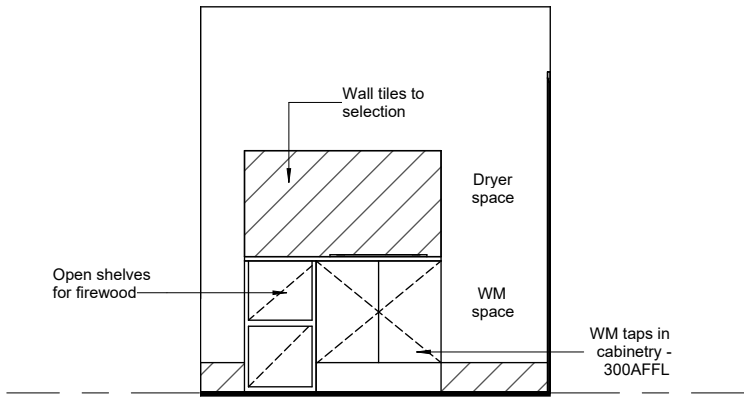
1 : 50

Ensuite Elevation 3

1 : 50

Ensuite Elevation 4

1 : 50



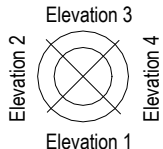
Laundry Elevation 1

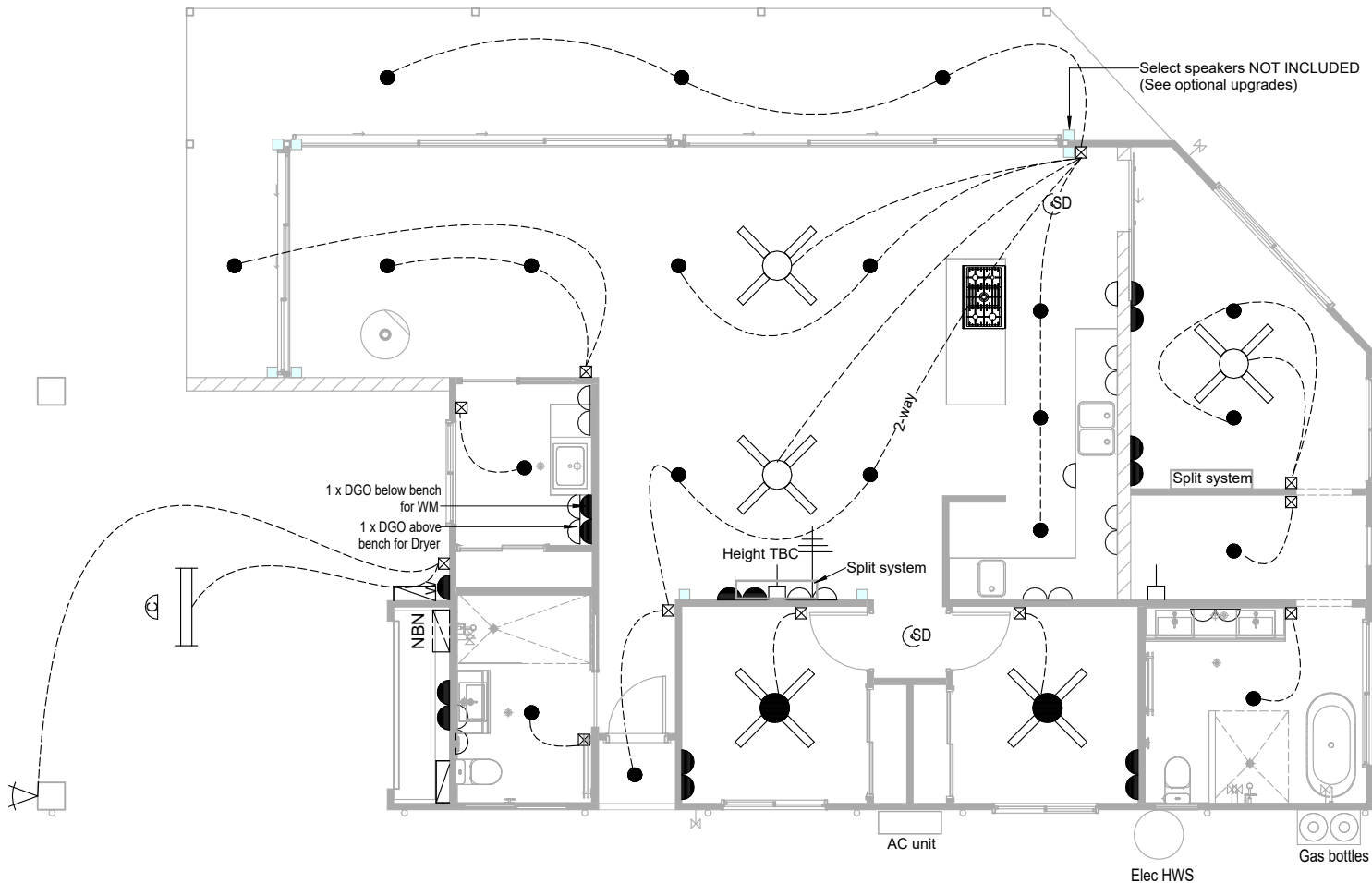
1 : 50

Internal Elevations

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

| | | | | | | | | | | | |
|---------------------------|--|---|--|----------------------------|--|--|--|---------------|--|---|--|
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | CLIENT: | | PROJECT: | | ISSUE: | |
| PLAN NUMBER: DP1202684 | | Eco-Essence Homes | | LOT 11 # 132 Mafeking Road | | T & T NABUNG | | NEW RESIDENCE | | I | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 | | Goonengerry, NSW 2482 | | BUILDER: | | STAGED PLAN: | | A 04/04/22 PRELIMINARY PLANS ISSUED | |
| AREA: 9988m2 | | ABN: 16141022371 | | NSW LIC: 227643C | | DWG NO: 701 | | SCALE: 1 : 50 | | B 10/05/22 PRELIMINARY PLANS ISSUED | |
| | | PHONE: 07 5520 0720 | | DATE: 23/02/23 | | DRAWN: BC | | CHECKED: BC | | C 20/07/22 PRELIMINARY PLANS ISSUED | |
| | | WEB: www.ecoessencehomes.com.au | | JOB NO: 0256 | | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | A3 | | D 09/08/22 PRELIMINARY PLANS ISSUED | |
| | | | | | | | | | | E 19/08/22 PRELIMINARY PLANS ISSUED | |
| | | | | | | | | | | F 19/10/22 CONTRACT PLANS ISSUED | |
| | | | | | | | | | | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) | |
| | | | | | | | | | | I 15/02/24 ECOLOGY RFI | |





- CEILING FAN
- CEILING FAN/LIGHT
- LED DOWNLIGHT (IC-4 Rated)
- SELECT SPEAKER
- PENDANT LIGHT
- LED BATTEN LIGHT
- LED FLOOD LIGHT
- WALL LIGHT (HEIGHT TBC)
- BATTEN POINT FOR TRACK LIGHTING
- ELECTRICAL WIRING LINE
- SWITCH LIGHT
- DIMMER LIGHT SWITCH
- PHONE POINT (300 AFFL)
- DATA POINT
- TELEVISION POINT (300 AFFL)
- EXHAUST FAN
- SINGLE GPO (300 AFFL)
- DOUBLE GPO (300 AFFL)
- SINGLE GPO (refer to notes)
- DOUBLE GPO (refer to notes)
- WATERPROOF GPO
- CEILING MOUNTED GPO
- JUNCTION BOX
- INTERCOM
- ALARM


NOTE:
- REFER TO JOINERY DRAWINGS WHERE APPLICABLE

NOTE:
-NON STANDARD HEIGHTS TO BE CONFIRMAED ON SITE BY CLIENT WITH SUPERVISOR/ ELECTRICIAN

REFER TO BASIX CERTIFICATE (NSW) / QDC MP4.1 FOR LIGHTING ENERGY EFFICIANCY REQUIREMENTS

Electrical Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

| | | | | | | | | | | | |
|---------------------------|--|---|----------------|---|-----------|--------------|--------------|--|--|--|--|
| REAL PROPERTY DESCRIPTION | | BUILDER: | | PROJECT ADDRESS: | | CLIENT: | | PROJECT: | | ISSUE: | |
| PLAN NUMBER: DP1202684 | |  | | LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482 | | T & T NABUNG | | NEW RESIDENCE | | I | |
| LOCAL AUTH: BYRON SHIRE | | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE : 07 5520 0720 WEB: www.ecoessencehomes.com.au | | ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578 | | BUILDER: | | STAGED PLAN: WORKING DRAWINGS | | | |
| AREA: 9988m2 | | DWG NO: 801 | SCALE: 1 : 100 | DATE: 23/02/23 | DRAWN: BC | CHECKED: BC | JOB NO: 0256 | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES | | A3 | |
| | | | | | | | | | | A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI | |
| | | | | | | | | | | Elevation 2 Elevation 3 Elevation 4 Elevation 1 | |

HMC Report

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

REAL PROPERTY DESCRIPTION

PLAN NUMBER: DP1202684

LOCAL AUTH: BYRON SHIRE

AREA: 9988m2

BUILDER:

Eco-Essence Homes

ADDRESS: 80 Wommin Bay Road,
Chinderah NSW 2487
PHONE: 07 5520 0720
WEB: www.ecoessencehomes.com.au

ABN: 16141022371
NSW LIC: 227643C
QBCC LIC: 1181578

PROJECT ADDRESS:

LOT 11 # 132 Mafeking Road
Goonengerry, NSW 2482

DWG NO: 902

SCALE:

DATE:

23/02/23

CLIENT:

T & T NABUNG

BUILDER:

DRAWN: BC

CHECKED: BC

JOB NO:

0256

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A3

PROJECT:

NEW RESIDENCE

STAGED PLAN:

WORKING DRAWINGS

ISSUE:

I 04/04/22 PRELIMINARY PLANS ISSUED
B 10/05/22 PRELIMINARY PLANS ISSUED
C 20/07/22 PRELIMINARY PLANS ISSUED
D 09/08/22 PRELIMINARY PLANS ISSUED
E 19/08/22 PRELIMINARY PLANS ISSUED
F 19/10/22 CONTRACT PLANS ISSUED
G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)
I 15/02/24 ECOLOGY RFI

PROPOSED ONSITE SEWAGE MANAGEMENT DESIGN LAND APPLICATION AREA

SHEET 1 - PLAN

COMPONENTS

- AWTS with NSW Health accreditation for min 79% TN reduction
- 6-port k-rain valve in valve box
- 3 x ETA beds (2m x 14m x 0.45m)
- Upslope surface water diversion bund and drain
- Vehicle barrier
- 100mm DWV PVC pipe
- Lilac HDPE pipe (32-50mm) approx 80m length
- 9 x inspection ports

All drainage work is to be undertaken by a licensed plumber/drainer. Plumber to check all levels on site and adjust layout where necessary

**CAUTION: OVERHEAD
POWERLINES IN
VICINITY**

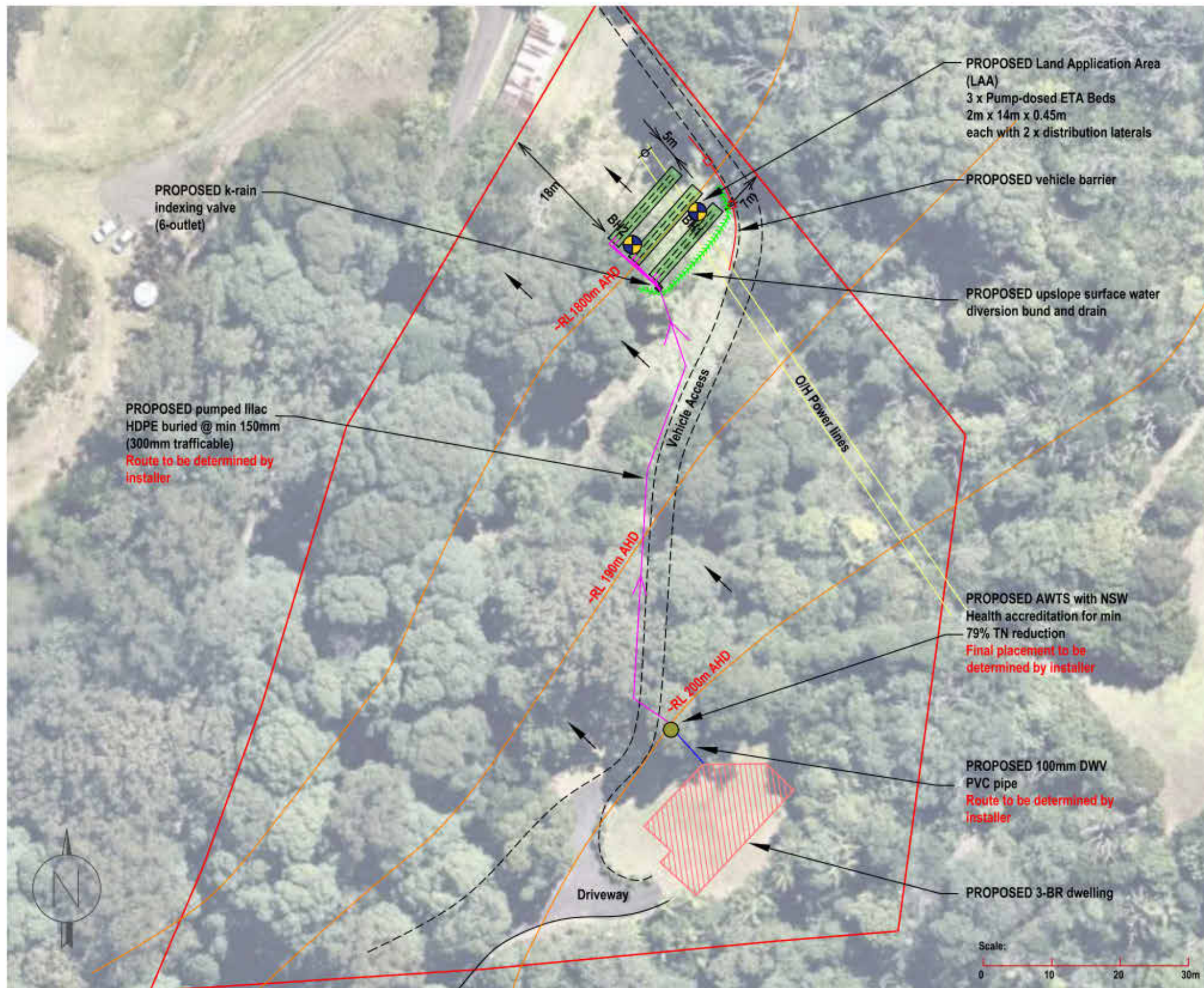
**PROPOSED LAA HAS BEEN
STAKED ON SITE - ALL
OTHER LOCATIONS ARE
GENERAL ONLY AND ARE TO
BE CONFIRMED ONSITE**

Job: HMC2022.943
DWG: HMC2022.943
Date: May 2022
Revised:
Base: Near Map Oct 2021
Council: Byron Shire Council
Drawn: KH

Lot 11 DP 1202684
132 Mafeking Road
Goonengerry



HMC Environmental Consulting Pty Ltd
Tweed Heads NSW
0755368863
www.hmcenvironment.com.au
admin@hmcenvironment.com.au



Elevation 3
Elevation 2
Elevation 4
Elevation 1

BASIX[®]Certificate

Building Sustainability Index www.basix.nsw.gov.au

Single Dwelling

Certificate number: 1733201S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Tuesday, 23 January 2024

To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary

| | |
|---------------------------|------------------------------------|
| Project name | 23_9729_11eehn |
| Street address | 132 MAFEKING Road GOONENGERRY 2482 |
| Local Government Area | Byron Shire Council |
| Plan type and plan number | Deposited Plan DP1202684 |
| Lot no. | 11 |
| Section no. | - |
| Project type | dwelling house (detached) |
| No. of bedrooms | 3 |

Project score

| | | |
|---------------------|--------|-------------|
| Water | ✓ 96 | Target 40 |
| Thermal Performance | ✓ Pass | Target Pass |
| Energy | ✓ 97 | Target 68 |
| Materials | ✓ -5 | Target n/a |

Certificate Prepared by

Name / Company Name: Efficiency Assessments

ABN (if applicable): 71166427550

Description of project

| Project address | |
|---|------------------------------------|
| Project name | 23_9729_11eehn |
| Street address | 132 MAFEKING Road GOONENGERRY 2482 |
| Local Government Area | Byron Shire Council |
| Plan type and plan number | Deposited Plan DP1202684 |
| Lot no. | 11 |
| Section no. | - |
| Project type | |
| Project type | dwelling house (detached) |
| No. of bedrooms | 3 |
| Site details | |
| Site area (m²) | 9988 |
| Roof area (m²) | 200 |
| Conditioned floor area (m²) | 111.7 |
| Unconditioned floor area (m²) | 12.1 |
| Total area of garden and lawn (m²) | 196 |
| Roof area of the existing dwelling (m²) | 0 |

| Assessor details and thermal loads | | |
|--|---------------------------------------|-------------|
| Assessor number | DMN/13/1547 | |
| Certificate number | 0009194242 | |
| Climate zone | 10 | |
| Area adjusted cooling load (MJ/ m².year) | 51 | |
| Area adjusted heating load (MJ/ m².year) | 10 | |
| Project score | | |
| Water | <div><div></div><div>96</div></div> | Target 40 |
| Thermal Performance | <div><div></div><div>Pass</div></div> | Target Pass |
| Energy | <div><div></div><div>97</div></div> | Target 68 |
| Materials | <div><div></div><div>-5</div></div> | Target n/a |

Schedule of BASIX commitments

The commitments set out below regulate how the proposed development is to be carried out. It is a condition of any development consent granted, or complying development certificate issued, for the proposed development, that BASIX commitments be complied with.

| Water Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|------------------|
| Fixtures | | | |
| The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development. | | ✓ | ✓ |
| The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development. | | ✓ | ✓ |
| The applicant must install taps with a minimum rating of 4 star in the kitchen in the development. | | ✓ | |
| The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development. | | ✓ | |
| Alternative water | | | |
| Rainwater tank | | | |
| The applicant must install a rainwater tank of at least 100000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities. | ✓ | ✓ | ✓ |
| The applicant must configure the rainwater tank to collect rain runoff from at least 200 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam). | | ✓ | ✓ |
| The applicant must connect the rainwater tank to: <ul style="list-style-type: none"> all toilets in the development the cold water tap that supplies each clothes washer in the development at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.) all hot water systems in the development | | ✓ ✓ ✓ ✓ | ✓ ✓ ✓ ✓ |

Water Commitments

Show on
DA plans

Show on CC/CDC
plans & specs

Certifier
check

- all indoor cold water taps (not including taps that supply clothes washers) in the development



| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Simulation Method | | | |
| Assessor details and thermal loads | | | |
| The applicant must attach the certificate referred to under "Assessor Details" on the front page of this BASIX certificate (the "Assessor Certificate") to the development application and construction certificate application for the proposed development (or, if the applicant is applying for a complying development certificate for the proposed development, to that application). The applicant must also attach the Assessor Certificate to the application for an occupation certificate for the proposed development. | | | |
| The Assessor Certificate must have been issued by an Accredited Assessor in accordance with the Thermal Comfort Protocol. | | | |
| The details of the proposed development on the Assessor Certificate must be consistent with the details shown in this BASIX certificate, including the Cooling and Heating loads shown on the front page of this certificate and the "Construction" and "Glazing" tables below. | | | |
| The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications. | ✓ | ✓ | ✓ |
| The applicant must construct the development in accordance with all thermal performance specifications set out in the Assessor Certificate, and in accordance with those aspects of the development application or application for a complying development certificate which were used to calculate those specifications. | | ✓ | ✓ |
| The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate. | ✓ | ✓ | ✓ |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| Construction | | | |
| The applicant must construct the floors, walls, roofs, ceilings and glazing of the dwelling in accordance with the specifications listed in the tables below. | ✓ | ✓ | ✓ |
| The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below. | | | ✓ |

| Construction | Area - m ² | Insulation |
|--|-----------------------|---|
| floor - concrete slab on ground, waffle pod slab. | 123.8 | none |
| external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood. | 66.2 | fibreglass batts or roll |
| external wall: concrete panel/plasterboard; frame: no frame. | 6.2 | none |
| internal wall: single skin masonry; frame: no frame. | 14.4 | none |
| internal wall: plasterboard; frame: timber - H2 treated softwood. | 69.4 | none |
| ceiling and roof - flat ceiling / pitched roof, framed - metal roof, timber - H2 treated softwood. | 200 | ceiling: fibreglass batts or roll; roof: foil backed blanket. |

| Thermal Performance and Materials commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Glazing | | | |
| The applicant must install windows, glazed doors and skylights as described in the table below, in accordance with the specifications listed in the table. | ✓ | ✓ | ✓ |

| Frames | Maximum area - m2 |
|-----------|-------------------|
| aluminium | 56.6 |
| timber | 0 |
| uPVC | 0 |
| steel | 0 |
| composite | 0 |

| Glazing | Maximum area - m2 |
|---------|-------------------|
| single | 56.6 |
| double | 0 |
| triple | 0 |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|--|------------------|------------------------------|-----------------|
| Hot water | | | |
| The applicant must install the following hot water system in the development, or a system with a higher energy rating: electric heat pump with a performance of 21 to 25 STCs or better. | ✓ | ✓ | ✓ |
| Cooling system | | | |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone) | | ✓ | ✓ |
| The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone) | | ✓ | ✓ |
| Heating system | | | |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: wood heater; Energy rating: n/a | | ✓ | ✓ |
| The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - non ducted; Energy rating: 5 star (hot zone) | | ✓ | ✓ |
| The wood heater must have a compliance plate confirming that it complies with the relevant Australian standards, and must be installed in accordance with the requirements of all applicable regulatory authorities. | | | ✓ |
| Ventilation | | | |
| The applicant must install the following exhaust systems in the development: At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off Laundry: natural ventilation only, or no laundry; Operation control: n/a | | ✓ ✓ ✓ | ✓ ✓ ✓ |
| Artificial lighting | | | |
| The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps. | | ✓ | ✓ |
| Natural lighting | | | |

| Energy Commitments | Show on DA plans | Show on CC/CDC plans & specs | Certifier check |
|---|------------------|------------------------------|-----------------|
| The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting. | ✓ | ✓ | ✓ |
| Alternative energy | | | |
| The applicant must install a photovoltaic system as part of the development. The applicant must connect this system to the development's electrical system. | ✓ | ✓ | ✓ |
| The photovoltaic system must consist of: <ul style="list-style-type: none"> • photovoltaic collectors with the capacity to generate at least 6.6 peak kilowatts of electricity, installed at an angle between 0 degrees and 10 degrees to the horizontal facing east | ✓ | ✓ | ✓ |
| Other | | | |
| The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling. | | ✓ | |

Legend

In these commitments, "applicant" means the person carrying out the development.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate (either interim or final) for the development may be issued.