

**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024

<b>References</b> Refer Survey Plan prepared by Northern Rivers Land Solutions Refer BASIX Certificate prepared by Partners Energy Refer Statement of Environmental Effects prepared by Northern Rivers Land Solutions Refer Subdivision Plan prepared by Willow & Sparrow	<b>Legend - Codes</b> AHD Australian Height Datum COL Column CONC Concrete CPT Carpet D Down Pipe DP Door number- EG Eaves Gutter F Fence type - FCL Finished Ceiling Level FFL Finished Floor Level FG Fixed Glass FP Fireplace FR Fridge FT Floor Tile G Gate number- GR Gravel MR Metal Roof NGL Natural Ground Level P Pantry R Robe RWT Rain Water Tank SK Skylight number- ST Storage TB Timber Battens TC Timber Cladding TD Timber Decking TF Timber Flooring W Window number- WM Washing Machine	<b>Thermal Performance Specifications</b> <b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foilboard insulation <b>Walls:</b> External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier External colour: Default colour modelled Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R27 - 90mm thick bulk insulation (between garage & living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium	<b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W-006 & W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%) <b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetration shall be modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.	<b>Skylights:</b> Aluminium framed with clear glazing <b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere <b>External shade:</b> Shading as per stamped documentation	<b>BASIX Commitments</b> <b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry <b>Energy:</b> Hot Water Systems Electric heat pump	<b>Legend - Demolition</b> Existing Construction To be Demolished New Construction Excavation Area	<b>Legend - Shadow Study</b> Shadow cast Additional Shadow cast Reduction in Shadow cast
--	--	--	---	--	--	--	---

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
	A For Information				No. 20004		
	B For Information				Address: 37 Granuaille Road, Bangalow NSW 2479		
	C For Development Application				Title: Site Plan		
	D For Development Application				Scale: 1:200 at A3		
	E For Development Application				Drawn/Checked: LH / SA		
					Issued: For Development Application		

All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All work shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.

**THOSE**

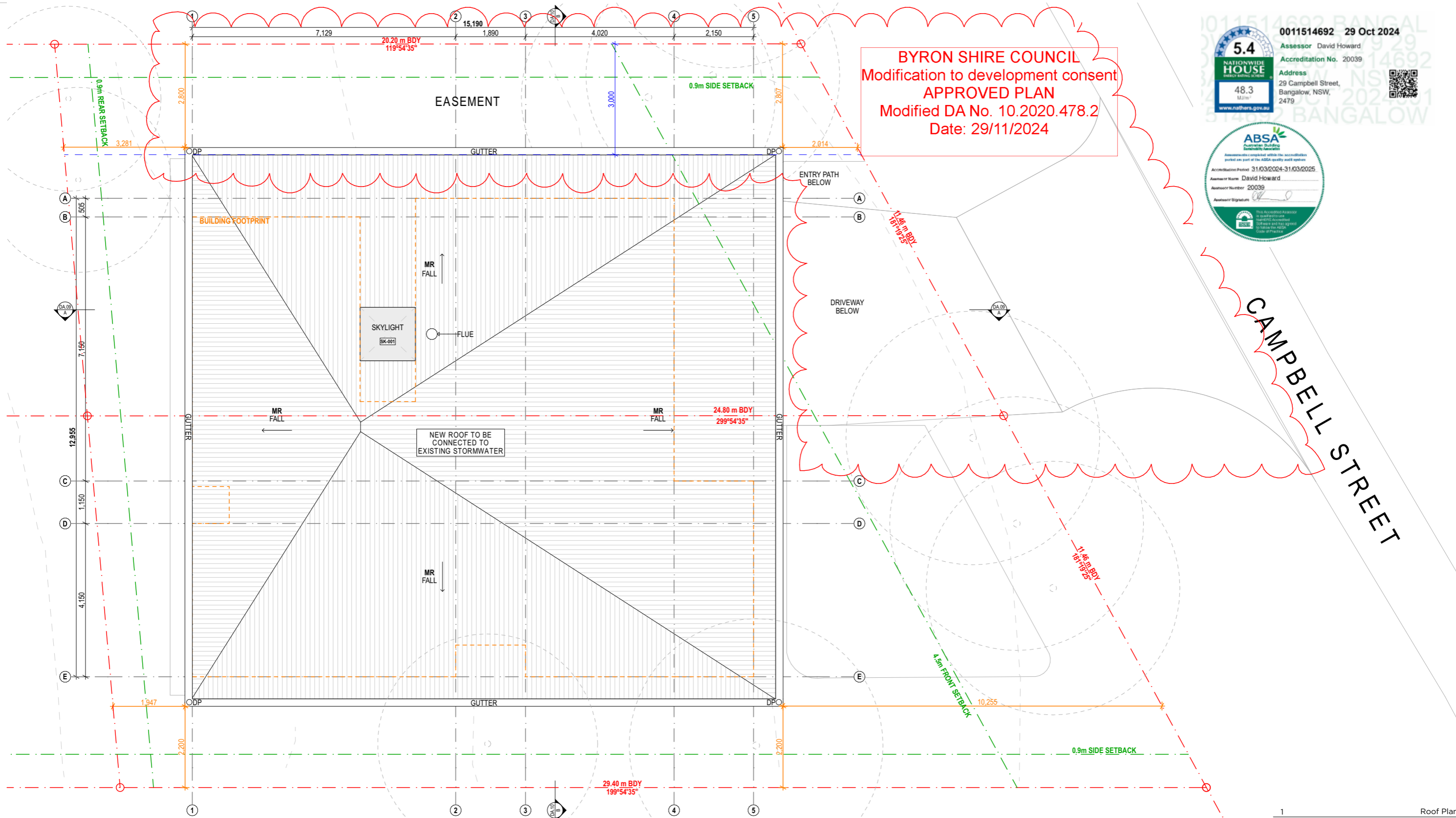
11 Wareham Street,  
 Byron Bay NSW 2481  
 +61 416 235 661  
 byron@thosearchitects.com.au

35/94 Oxford Street,  
 Darlinghurst NSW 2010  
 +61 414 494 837  
 sydney@thosearchitects.com.au

**DA.05 E**







**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024

0011514692 29 Oct 2024  
 Assessor David Howard  
 Accreditation No. 20039  
 Address  
 29 Campbell Street,  
 Bangalow, NSW,  
 2479

**5.4**  
 NATIONWIDE HOUSE  
 48.3  
 M<sup>2</sup>  
 www.natthers.gov.au

**ABSA**  
 Australian Building Sustainability Association  
 Accreditation Period 31/03/2024-31/03/2025  
 Assessor Name David Howard  
 Assessor Number 20039  
 Assessor Signature

CAMPBELL STREET

Roof Plan  
 1:100

<p>References</p> <ul style="list-style-type: none"> <li>Refer Survey Plan prepared by Northern Rivers Land Solutions</li> <li>Refer BASIX Certificate prepared by Partners Energy</li> <li>Refer Statement of Environmental Effects prepared by Northern Rivers Land Solutions</li> <li>Refer Subdivision Plan prepared by Willow &amp; Sparrow</li> </ul>	<p>Legend - Codes</p> <table border="0"> <tr><td>AHD</td><td>Australian Height Datum</td><td>G</td><td>Gate number</td></tr> <tr><td>COL</td><td>Column</td><td>GR</td><td>Gravel</td></tr> <tr><td>CONC</td><td>Concrete</td><td>MR</td><td>Metal Roof</td></tr> <tr><td>CPT</td><td>Carpet</td><td>NGL</td><td>Natural Ground Level</td></tr> <tr><td>D</td><td>Door number</td><td>P</td><td>Penalty</td></tr> <tr><td>DP</td><td>Down Pipe</td><td>R</td><td>Roof</td></tr> <tr><td>EG</td><td>Eaves Gutter</td><td>RWT</td><td>Rain Water Tank</td></tr> <tr><td>F</td><td>Fence type</td><td>SK</td><td>Skylight number</td></tr> <tr><td>FC</td><td>Fibre Cement</td><td>ST</td><td>Storage</td></tr> <tr><td>FCL</td><td>Finished Ceiling Level</td><td>TB</td><td>Timber Battens</td></tr> <tr><td>FFL</td><td>Finished Floor Level</td><td>TC</td><td>Timber Cladding</td></tr> <tr><td>FG</td><td>Fixed Glass</td><td>TD</td><td>Timber Decking</td></tr> <tr><td>FP</td><td>Fireplace</td><td>TF</td><td>Timber Flooring</td></tr> <tr><td>FR</td><td>Fridge</td><td>W</td><td>Window number</td></tr> <tr><td>FT</td><td>Floor Tile</td><td>WM</td><td>Washing Machine</td></tr> </table>	AHD	Australian Height Datum	G	Gate number	COL	Column	GR	Gravel	CONC	Concrete	MR	Metal Roof	CPT	Carpet	NGL	Natural Ground Level	D	Door number	P	Penalty	DP	Down Pipe	R	Roof	EG	Eaves Gutter	RWT	Rain Water Tank	F	Fence type	SK	Skylight number	FC	Fibre Cement	ST	Storage	FCL	Finished Ceiling Level	TB	Timber Battens	FFL	Finished Floor Level	TC	Timber Cladding	FG	Fixed Glass	TD	Timber Decking	FP	Fireplace	TF	Timber Flooring	FR	Fridge	W	Window number	FT	Floor Tile	WM	Washing Machine	<p>Thermal Performance Specifications</p> <p><b>Floors:</b>          Concrete slab on ground with no insulation.          Suspended timber with 20mm foilboard insulation</p> <p><b>Walls:</b>          External Walls: Cavity Panel - R2.7 - 90mm thick bulk insulation with vapour barrier          External colour: Default colour modelled          Walls with-in dwellings: Cavity Panel - no insulation (generally)          Cavity Panel - R2.7 - 90mm thick bulk insulation (between garage &amp; living areas)</p> <p><b>Roof:</b>          Metal roof with 60mm foil blanket with reflective airgap          External colour: Medium</p>	<p><b>Windows:</b>          Given values are AFRC, total window system values (glass and frame)          Aluminium framed Low-e clear glazing to units:          U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%)          Aluminium framed double glazed clear glass to W001 to W-006 &amp; W-009          U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%)</p> <p><b>Ceilings:</b>          Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over          *LED Downlight located in Bedrooms only          Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.</p>	<p><b>Skylights:</b>          Aluminium framed with clear glazing</p> <p><b>Floor Coverings:</b>          Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere</p> <p><b>External shade:</b>          Shading as per stamped documentation</p>	<p>BASIX Commitments</p> <p><b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry</p> <p><b>Energy:</b> Hot Water Systems Electric heat pump</p>	<p>Legend - Demolition</p> <ul style="list-style-type: none"> <li>To be Demolished.</li> <li>New Construction.</li> <li>Excavation Area.</li> </ul>	<p>Legend - Shadow Study</p> <ul style="list-style-type: none"> <li>Existing Construction.</li> <li>Shadow cast</li> <li>Additional Shadow cast</li> <li>Reduction in Shadow cast</li> </ul>
AHD	Australian Height Datum	G	Gate number																																																																
COL	Column	GR	Gravel																																																																
CONC	Concrete	MR	Metal Roof																																																																
CPT	Carpet	NGL	Natural Ground Level																																																																
D	Door number	P	Penalty																																																																
DP	Down Pipe	R	Roof																																																																
EG	Eaves Gutter	RWT	Rain Water Tank																																																																
F	Fence type	SK	Skylight number																																																																
FC	Fibre Cement	ST	Storage																																																																
FCL	Finished Ceiling Level	TB	Timber Battens																																																																
FFL	Finished Floor Level	TC	Timber Cladding																																																																
FG	Fixed Glass	TD	Timber Decking																																																																
FP	Fireplace	TF	Timber Flooring																																																																
FR	Fridge	W	Window number																																																																
FT	Floor Tile	WM	Washing Machine																																																																

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
	A For Information				No. 20004		
	B For Information				Address: 37 Granuaille Road, Bangalow NSW 2479		
	C For Development Application				Title: Roof Plan		
	D For Development Application				Scale: 1:100 at A3		
	E For Development Application				Drawn/Checked: LH / SA		
					Issued: For Development Application		

All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All works shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.

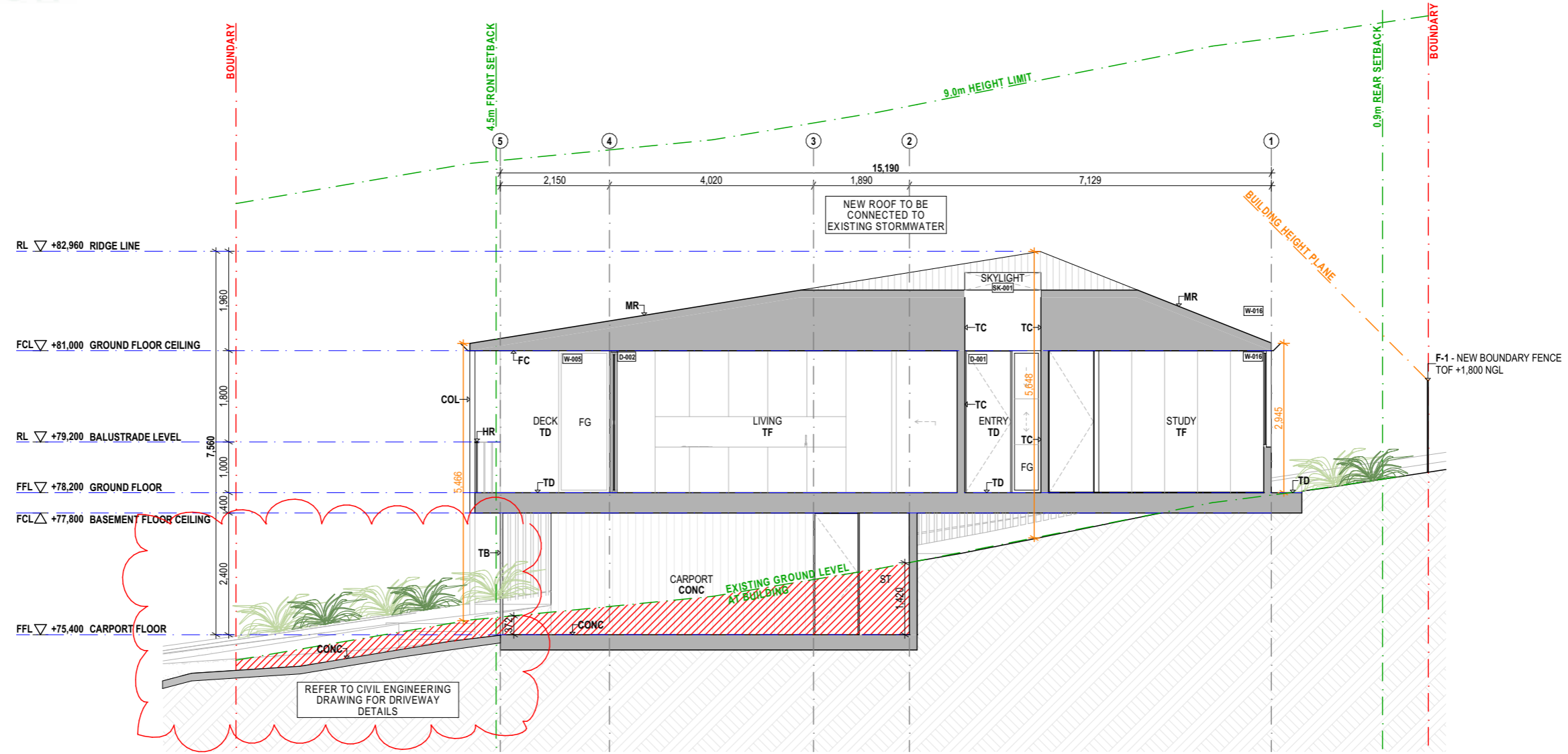
		26/6/20
		13/7/20
		22/7/20
		17/8/20
	AE	9/3/21

**THOSE**

11 Wareham Street,  
 Byron Bay NSW 2481  
 +61 416 235 661  
 byron@thosearchitects.com.au

35/94 Oxford Street,  
 Darlinghurst NSW 2010  
 +61 414 494 837  
 sydney@thosearchitects.com.au

**DA.08 E**



**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024

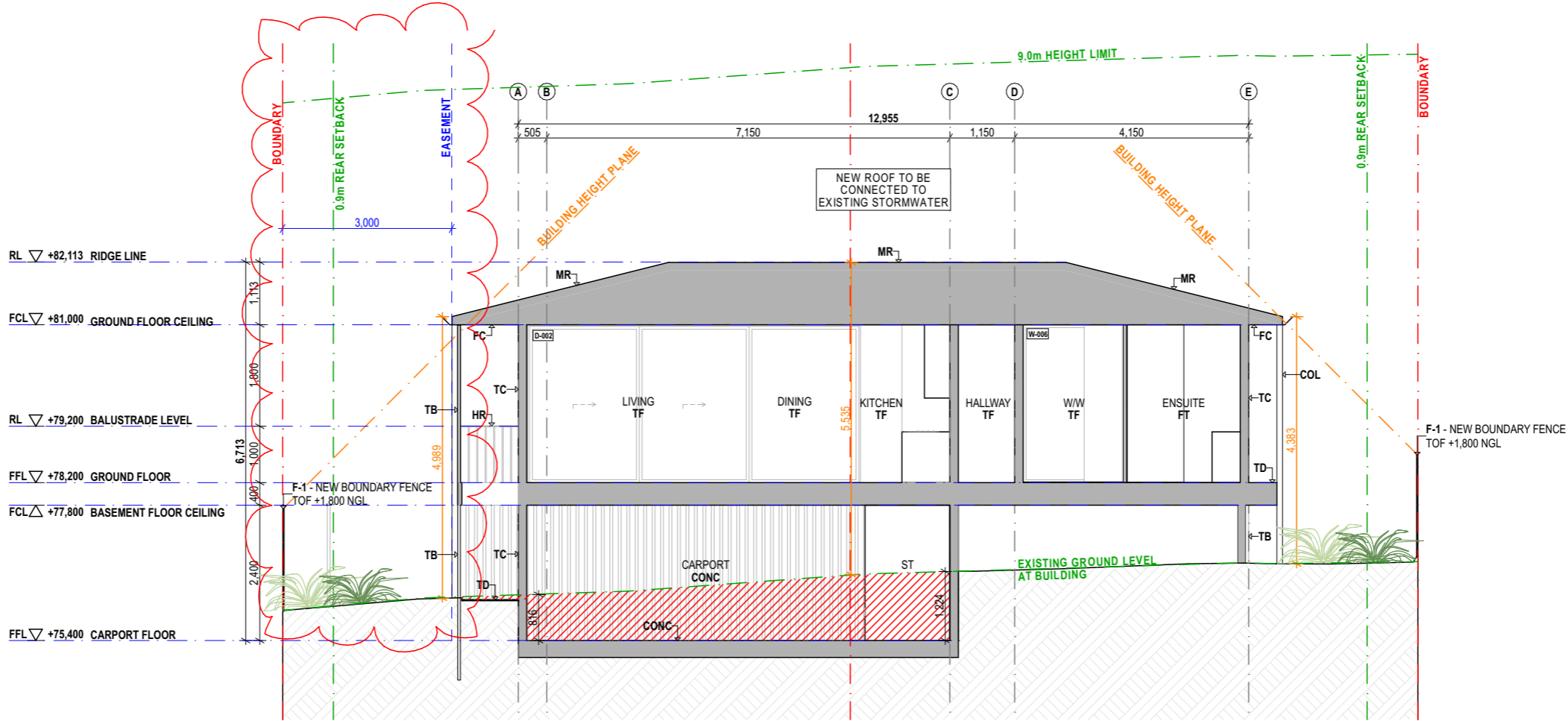
1 Section A  
1:100

<b>References</b> Refer Survey Plan prepared by Northern Rivers Land Solutions Refer BASIX Certificate prepared by Partners Energy Refer Statement of Environmental Effects prepared by Northern Rivers Land Solutions Refer Subdivision Plan prepared by Willow & Sparrow	<b>Legend - Codes</b> AHD Australian Height Datum COL Column CONC Concrete CPT Carpet D- Down Pipe DP Door number-Down Pipe EG Eaves Gutter F- Fance type - Fibre Cement FCL Finished Ceiling Level FFL Finished Floor Level FG Fixed Glass FP Fireplace FR Fridge FT Floor Tile	<b>Legend - Demolition</b> Existing Construction To be Demolished New Construction Excavation Area	<b>Legend - Shadow Study</b> Shadow cast Additional Shadow cast Reduction in Shadow cast	<b>Thermal Performance Specifications</b> <b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foilboard insulation <b>Walls:</b> External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier External colour: Default colour modelled Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R27 - 90mm thick bulk insulation (between garage & living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium	<b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W-006 & W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%) <b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetrations have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.	<b>Skylights:</b> Aluminium framed with clear glazing <b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere <b>External shade:</b> Shading as per stamped documentation	<b>BASIX Commitments</b> <b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry <b>Energy:</b> Hot Water Systems Electric heat pump
--	--	--	---	--	--	--	--

<b>Notes</b> All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All works shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.	<b>Revision / Issue</b> <table border="0"> <tr><td>A</td><td>For Information</td><td>26/6/20</td></tr> <tr><td>B</td><td>For Information</td><td>13/7/20</td></tr> <tr><td>C</td><td>For Development Application</td><td>22/7/20</td></tr> <tr><td>D</td><td>For Development Application</td><td>17/8/20</td></tr> <tr><td>E</td><td>For Development Application</td><td>AE 9/3/21</td></tr> </table>	A	For Information	26/6/20	B	For Information	13/7/20	C	For Development Application	22/7/20	D	For Development Application	17/8/20	E	For Development Application	AE 9/3/21	Those Architects Pty Ltd Byron Bay Sydney	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	35/94 Oxford Street, Darlinghurst NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au	<b>Document / Project</b> No. 20004 Address: 37 Granuaille Road, Bangalow NSW 2479 Title: Section A Scale: 1:100 at A3 Drawn/Checked: LH / SA Issued: For Development Application	<b>DA.09 E</b>
A	For Information	26/6/20																			
B	For Information	13/7/20																			
C	For Development Application	22/7/20																			
D	For Development Application	17/8/20																			
E	For Development Application	AE 9/3/21																			



**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024



<p>References</p> <ul style="list-style-type: none"> <li>Refer Survey Plan prepared by <b>Northern Rivers Land Solutions</b></li> <li>Refer BASIX Certificate prepared by <b>Partners Energy</b></li> <li>Refer Statement of Environmental Effects prepared by <b>Northern Rivers Land Solutions</b></li> <li>Refer Subdivision Plan prepared by <b>Willow &amp; Sparrow</b></li> </ul>	<p>Legend - Codes</p> <table border="0"> <tr><td>AHD</td><td>Australian Height Datum</td><td>G</td><td>Gate number</td></tr> <tr><td>COL</td><td>Column</td><td>GR</td><td>Gravel</td></tr> <tr><td>CONC</td><td>Concrete</td><td>MR</td><td>Metal Roof</td></tr> <tr><td>CPT</td><td>Carpet</td><td>NGL</td><td>Natural Ground Level</td></tr> <tr><td>D</td><td>Door number</td><td>P</td><td>Penalty</td></tr> <tr><td>DP</td><td>Down Pipe</td><td>R</td><td>Roof</td></tr> <tr><td>EG</td><td>Eaves Gutter</td><td>RWT</td><td>Rain Water Tank</td></tr> <tr><td>F</td><td>Fence type</td><td>SK</td><td>Skylight number</td></tr> <tr><td>FC</td><td>Fibre Cement</td><td>ST</td><td>Storage</td></tr> <tr><td>FCL</td><td>Finished Ceiling Level</td><td>TB</td><td>Timber Battens</td></tr> <tr><td>FFL</td><td>Finished Floor Level</td><td>TC</td><td>Timber Cladding</td></tr> <tr><td>FG</td><td>Fixed Glass</td><td>TD</td><td>Timber Decking</td></tr> <tr><td>FP</td><td>Fireplace</td><td>TF</td><td>Timber Flooring</td></tr> <tr><td>FR</td><td>Fridge</td><td>W</td><td>Window number</td></tr> <tr><td>FT</td><td>Floor Tile</td><td>WM</td><td>Washing Machine</td></tr> </table>	AHD	Australian Height Datum	G	Gate number	COL	Column	GR	Gravel	CONC	Concrete	MR	Metal Roof	CPT	Carpet	NGL	Natural Ground Level	D	Door number	P	Penalty	DP	Down Pipe	R	Roof	EG	Eaves Gutter	RWT	Rain Water Tank	F	Fence type	SK	Skylight number	FC	Fibre Cement	ST	Storage	FCL	Finished Ceiling Level	TB	Timber Battens	FFL	Finished Floor Level	TC	Timber Cladding	FG	Fixed Glass	TD	Timber Decking	FP	Fireplace	TF	Timber Flooring	FR	Fridge	W	Window number	FT	Floor Tile	WM	Washing Machine	<p>Thermal Performance Specifications</p> <p><b>Floors:</b>              Concrete slab on ground with no insulation.              Suspended timber with 20mm foiboard insulation</p> <p><b>Walls:</b>              External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier              External colour: Default colour modelled              Walls with-in dwellings: Cavity Panel - no insulation (generally)              Cavity Panel - R27 - 90mm thick bulk insulation (between garage &amp; living areas)</p> <p><b>Roof:</b>              Metal roof with 60mm foil blanket with reflective airgap              External colour: Medium</p>	<p><b>Windows:</b>              Given values are AFRC, total window system values (glass and frame)              Aluminium framed Low-e clear glazing to units              U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%)              Aluminium framed double glazed clear glass to W-006 &amp; W-009              U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%)</p> <p><b>Ceilings:</b>              Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over              *LED Downlight located in Bedrooms only              Note: All ceiling penetration shave been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.</p>	<p><b>Skylights:</b>              Aluminium framed with clear glazing</p> <p><b>Floor Coverings:</b>              Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere</p> <p><b>External shade:</b>              Shading as per stamped documentation</p>	<p>BASIX Commitments</p> <p><b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry</p> <p><b>Energy:</b> Hot Water Systems Electric heat pump</p>	<p>Legend - Demolition</p> <ul style="list-style-type: none"> <li>Existing Construction</li> <li>To be Demolished</li> <li>New Construction</li> <li>Excavation Area</li> </ul>	<p>Legend - Shadow Study</p> <ul style="list-style-type: none"> <li>Shadow cast</li> <li>Additional Shadow cast</li> <li>Reduction in Shadow cast</li> </ul>
AHD	Australian Height Datum	G	Gate number																																																																
COL	Column	GR	Gravel																																																																
CONC	Concrete	MR	Metal Roof																																																																
CPT	Carpet	NGL	Natural Ground Level																																																																
D	Door number	P	Penalty																																																																
DP	Down Pipe	R	Roof																																																																
EG	Eaves Gutter	RWT	Rain Water Tank																																																																
F	Fence type	SK	Skylight number																																																																
FC	Fibre Cement	ST	Storage																																																																
FCL	Finished Ceiling Level	TB	Timber Battens																																																																
FFL	Finished Floor Level	TC	Timber Cladding																																																																
FG	Fixed Glass	TD	Timber Decking																																																																
FP	Fireplace	TF	Timber Flooring																																																																
FR	Fridge	W	Window number																																																																
FT	Floor Tile	WM	Washing Machine																																																																

<p>Notes</p> <p>All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All works shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.</p>	<p>Revision / Issue</p> <table border="0"> <tr><td>A</td><td>For Information</td><td>26/6/20</td></tr> <tr><td>B</td><td>For Information</td><td>13/7/20</td></tr> <tr><td>C</td><td>For Development Application</td><td>22/7/20</td></tr> <tr><td>D</td><td>For Development Application</td><td>17/8/20</td></tr> <tr><td>E</td><td>For Development Application</td><td>9/3/21</td></tr> </table>	A	For Information	26/6/20	B	For Information	13/7/20	C	For Development Application	22/7/20	D	For Development Application	17/8/20	E	For Development Application	9/3/21	<p>Those Architects Pty Ltd              Byron Bay              Sydney</p>	<p>11 Wareham Street,              Byron Bay NSW 2481              +61 416 235 661              byron@thosearchitects.com.au</p>	<p>35/94 Oxford Street,              Darlinghurst NSW 2010              +61 414 494 837              sydney@thosearchitects.com.au</p>	<p>Document / Project</p> <p>No. 20004              Address: 37 Granuaille Road, Bangalow NSW 2479              Title: Section B              Scale: 1:100 at A3              Drawn/Checked: LH / SA              Issued: For Development Application</p>	<p>Drawing</p> <p>DA.10</p>	<p>Revision</p> <p>E</p>
A	For Information	26/6/20																				
B	For Information	13/7/20																				
C	For Development Application	22/7/20																				
D	For Development Application	17/8/20																				
E	For Development Application	9/3/21																				



0011514692 29 Oct 2024

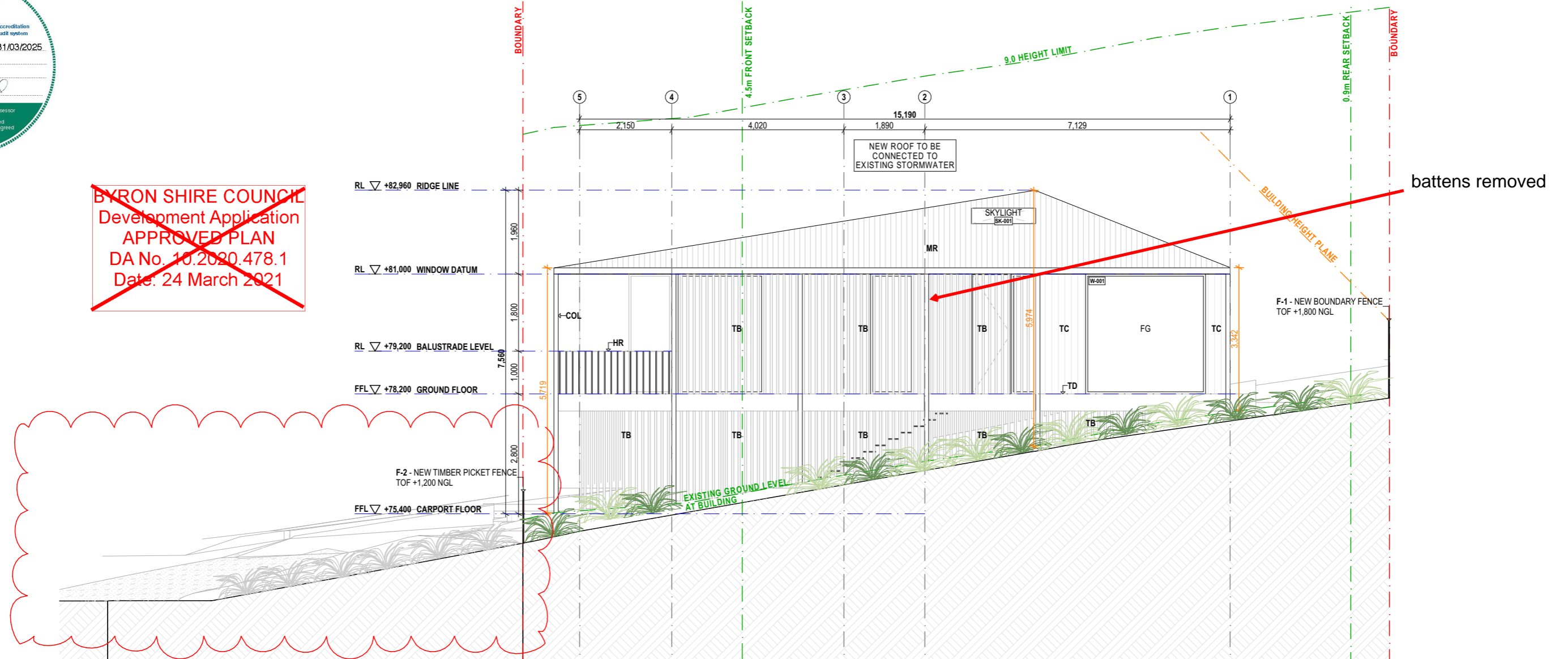
Assessor David Howard  
Accreditation No. 20039

Address  
29 Campbell Street,  
Bangalow, NSW,  
2479



BYRON SHIRE COUNCIL  
Modification to development consent  
**APPROVED PLAN**  
Modified DA No. 10.2020.478.2  
Date: 29/11/2024

~~BYRON SHIRE COUNCIL  
Development Application  
APPROVED PLAN  
DA No. 10.2020.478.1  
Date: 24 March 2021~~



1 Northern Elevation  
1:100

<b>References</b> Refer Survey Plan prepared by <b>Northern Rivers Land Solutions</b> Refer BASIX Certificate prepared by <b>Partners Energy</b> Refer Statement of Environmental Effects prepared by <b>Northern Rivers Land Solutions</b> Refer Subdivision Plan prepared by <b>Willow &amp; Sparrow</b>	<b>Legend - Codes</b> AHD Australian Height Datum COL Column CONC Concrete CPT Carpet D Door number DP Down Pipe EG Eaves Gutter F Fence type FC Fibre Cement FCL Finished Ceiling Level FFL Finished Floor Level FG Fixed Glass FP Fireplace FR Fridge FT Floor Tile G Gate number GR Gravel MR Metal Roof NGL Natural Ground Level P Pantry R Rain Water Tank RWT Rain Water Tank SK Skylight number ST Storage TB Timber Battens TC Timber Cladding TD Timber Decking TF Timber Flooring W Window number WM Washing Machine	<b>Thermal Performance Specifications</b> <b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foilboard insulation. <b>Walls:</b> External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier. External colour: Default colour modelled. Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R27 - 90mm thick bulk insulation (between garage & living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium	<b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W001 to W-006 & W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%) <b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetration have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.	<b>Skylights:</b> Aluminium framed with clear glazing <b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere <b>External shade:</b> Shading as per stamped documentation	<b>BASIX Commitments</b> <b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry <b>Energy:</b> Hot Water Systems Electric heat pump	<b>Legend - Demolition</b> Existing Construction. To be Demolished. New Construction. Excavation Area.	<b>Legend - Shadow Study</b> Shadow cast Additional Shadow cast Reduction in Shadow cast
--	--	---	---	--	--	--	---

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
	A For Information						26/6/20
	B For Information						13/7/20
	C For Development Application						22/7/20
	D For Development Application						17/8/20
	E For Development Application	AE					9/3/21

All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All works shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.

**T H O S E**

11 Wareham Street,  
Byron Bay NSW 2481  
+61 416 235 661  
byron@thosearchitects.com.au

35/94 Oxford Street,  
Darlinghurst NSW 2010  
+61 414 494 837  
sydney@thosearchitects.com.au

No. 20004  
Address: 37 Granuaille Road, Bangalow NSW 2479  
Title: Northern Elevation  
Scale: 1:100 at A3  
Drawn/Checked: LH / SA  
Issued: For Development Application

**D A . 1 2 E**

**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024



**0011514692 29 Oct 2024**  
 Assessor David Howard  
 Accreditation No. 20039  
 Address  
 29 Campbell Street,  
 Bangalow, NSW,  
 2479

**5.4**  
 NATIONWIDE HOUSE  
 ENERGY RATING SCHEME  
 48.3  
 MJ/m<sup>2</sup>  
 www.natthers.gov.au

**ABSA**  
 Assessment Building  
 Accreditation Period 31/03/2024-31/03/2025  
 Assessor Name: David Howard  
 Assessor Number: 20039

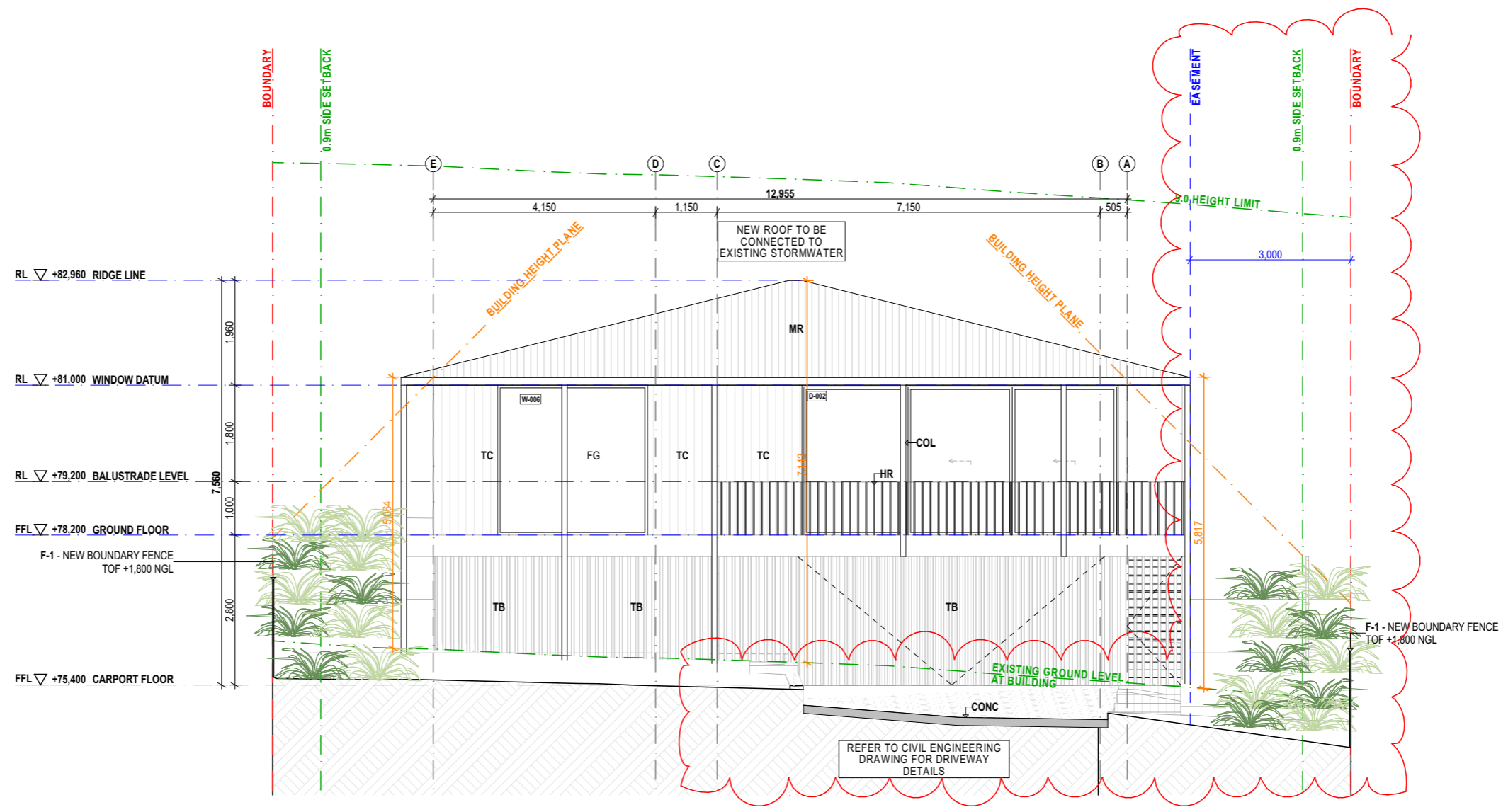
1 Southern Elevation  
 1:100

<b>References</b> Refer Survey Plan prepared by Northern Rivers Land Solutions Refer BASIX Certificate prepared by Partners Energy Refer Statement of Environmental Effects prepared by Northern Rivers Land Solutions Refer Subdivision Plan prepared by Willow & Sparrow	<b>Legend - Codes</b> AHD Australian Height Datum COL Column CONC Concrete CPT Carpet D- Door number- DP Down Pipe EG Eaves Gutter F- Fence type - FC Fibre Cement FCL Finished Ceiling Level FFL Finished Floor Level FG Fixed Glass FP Fireplace FR Fridge FT Floor Tile G- Gate number- GR Gravel MR Metal Roof NGL Natural Ground Level P Pantry R Robe RWT Rain Water Tank SK Skylight number- ST Storage TB Timber Battens TC Timber Cladding TD Timber Decking TF Timber Flooring W- Window number- WM Washing Machine	<b>Thermal Performance Specifications</b> <b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foilboard insulation <b>Walls:</b> External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier External colour: Default colour modelled Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R27 - 90mm thick bulk insulation (between garage & living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium	<b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W001 to W-006 & W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%) <b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetration have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.	<b>Skylights:</b> Aluminium framed with clear glazing <b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere <b>External shade:</b> Shading as per stamped documentation	<b>BASIX Commitments</b> <b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry <b>Energy:</b> Hot Water Systems Electric heat pump	<b>Legend - Demolition</b> Existing Construction. To be Demolished. New Construction. Excavation Area.	<b>Legend - Shadow Study</b> Shadow cast Additional Shadow cast Reduction in Shadow cast
--	---	--	---	--	--	--	---

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
	A For Information						26/6/20
	B For Information						13/7/20
	C For Development Application						22/7/20
	D For Development Application						17/8/20
<p>All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All works shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.</p>							
		<b>THOSE</b>	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	35/94 Oxford Street, Darlinghurst NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au	No. 20004 Address: 37 Granuaille Road, Bangalow NSW 2479 Title: Southern Elevation Scale: 1:100 at A3 Drawn/Checked: LH / SA Issued: For Development Application	<b>DA.13</b>	<b>D</b>



**BYRON SHIRE COUNCIL**  
 Modification to development consent  
**APPROVED PLAN**  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024



1 Eastern Elevation  
 1:100

<b>References</b> Refer Survey Plan prepared by Northern Rivers Land Solutions Refer BASIX Certificate prepared by Partners Energy Refer Statement of Environmental Effects prepared by Northern Rivers Land Solutions Refer Subdivision Plan prepared by Willow & Sparrow	<b>Legend - Codes</b> AHD Australian Height Datum COL Column CONC Concrete CPT Carpet D- Down Pipe DP Door number-Down Pipe EG Eaves Gutter F- Fence type - Fibre Cement FCL Finished Ceiling Level FFL Finished Floor Level FG Fixed Glass FP Fireplace FR Fridge FT Floor Tile G- Gate number-Gravel GR Gravel MR Metal Roof NGL Natural Ground Level P Pantry R Robe RWT Rain Water Tank SK Skylight number-Skylight ST Storage TB Timber Battens TC Timber Cladding TD Timber Decking TF Timber Flooring W- Window number WM Washing Machine	<b>Thermal Performance Specifications</b> <b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foiboard insulation <b>Walls:</b> External Walls: Cavity Panel - R27 - 90mm thick bulk insulation with vapour barrier External colour: Default colour modelled Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R27 - 90mm thick bulk insulation (between garage & living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium	<b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W-006 & W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%) <b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetration have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.	<b>Skylights:</b> Aluminium framed with clear glazing <b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere <b>External shade:</b> Shading as per stamped documentation	<b>BASIX Commitments</b> <b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry <b>Energy:</b> Hot Water Systems Electric heat pump	<b>Legend - Demolition</b> Existing Construction To be Demolished New Construction Excavation Area	<b>Legend - Shadow Study</b> Shadow cast Additional Shadow cast Reduction in Shadow cast
--	---	---	--	--	--	--	---

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
	A For Information				No. 20004		
	B For Information				Address: 37 Granuaille Road, Bangalow NSW 2479		
	C For Development Application				Title: Eastern Elevation		
	D For Development Application				Scale: 1:100 at A3		
	E For Development Application				Drawn/Checked: LH / SA		
					Issued: For Development Application		

All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All work shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.

**T H O S E**

11 Wareham Street,  
 Byron Bay NSW 2481  
 +61 416 235 661  
 byron@thosearchitects.com.au

35/94 Oxford Street,  
 Darlinghurst NSW 2010  
 +61 414 494 837  
 sydney@thosearchitects.com.au

**DA.14 E**



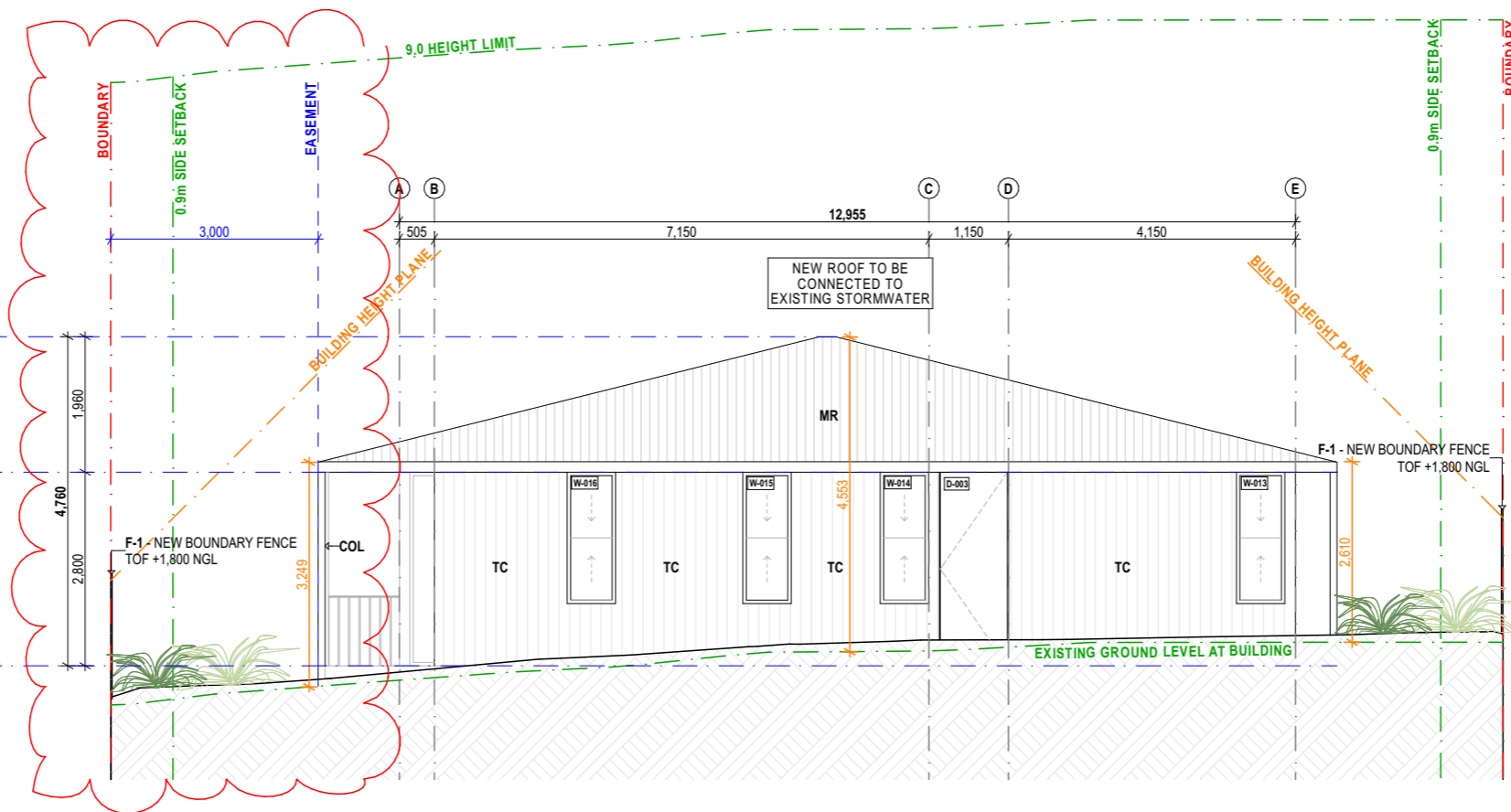
0011514692 29 Oct 2024

Assessor David Howard

Accreditation No. 20039

Address

29 Campbell Street,  
Bangalow, NSW,  
2479

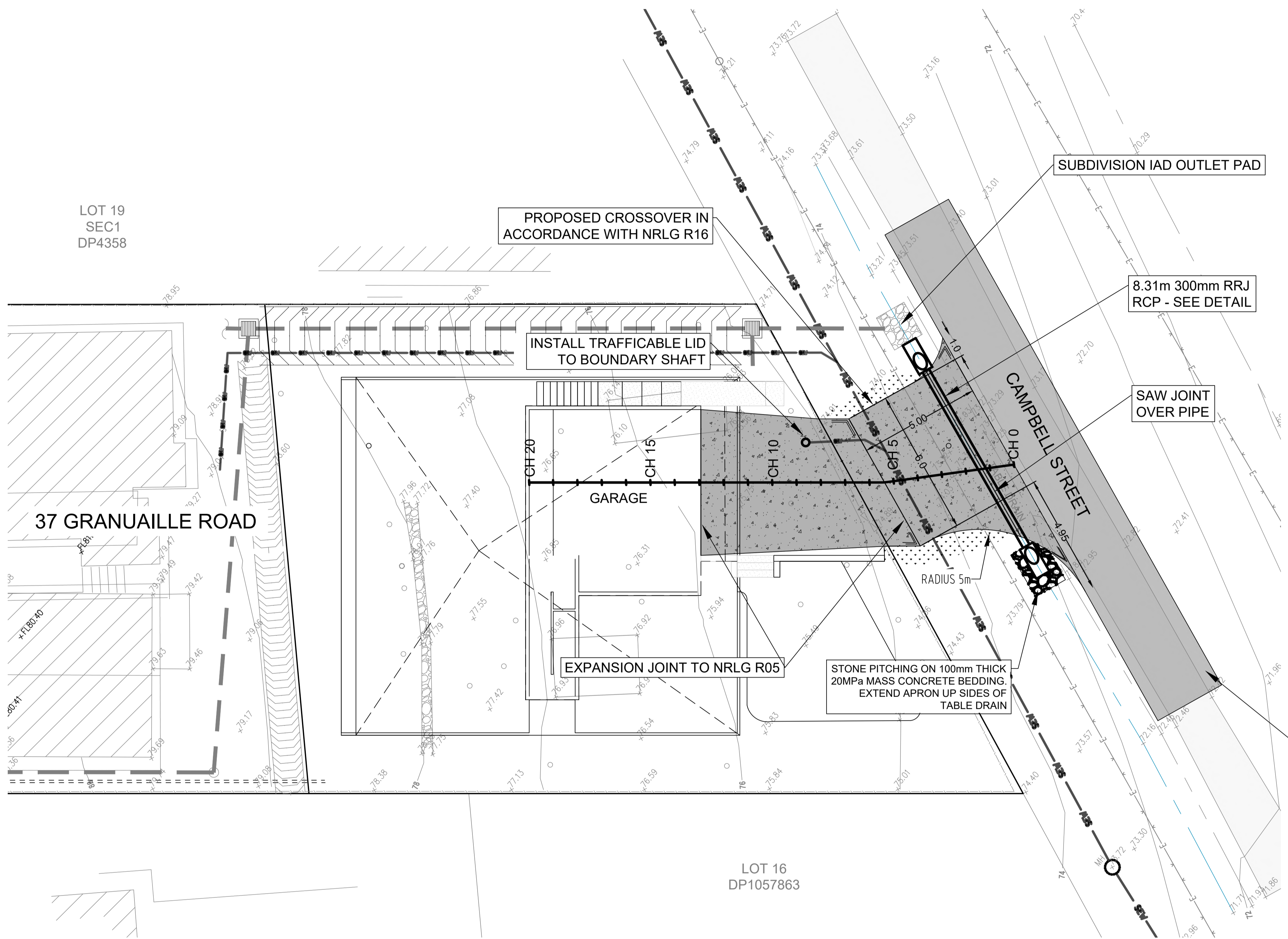


**BYRON SHIRE COUNCIL**  
Modification to development consent  
**APPROVED PLAN**  
Modified DA No. 10.2020.478.2  
Date: 29/11/2024

1 Western Elevation 1:100

<p><b>References</b></p> <ul style="list-style-type: none"> <li>Refer Survey Plan prepared by <b>Northern Rivers Land Solutions</b></li> <li>Refer BASIX Certificate prepared by <b>Partners Energy</b></li> <li>Refer Statement of Environmental Effects prepared by <b>Northern Rivers Land Solutions</b></li> <li>Refer Subdivision Plan prepared by <b>Willow &amp; Sparrow</b></li> </ul>	<p><b>Legend - Codes</b></p> <table border="0"> <tr><td>AHD</td><td>Australian Height Datum</td><td>G</td><td>Gate number</td></tr> <tr><td>COL</td><td>Column</td><td>GR</td><td>Gravel</td></tr> <tr><td>CONC</td><td>Concrete</td><td>MR</td><td>Metal Roof</td></tr> <tr><td>CPT</td><td>Carpet</td><td>NGL</td><td>Natural Ground Level</td></tr> <tr><td>D</td><td>Door number</td><td>P</td><td>Penalty</td></tr> <tr><td>DP</td><td>Down Pipe</td><td>R</td><td>Roof</td></tr> <tr><td>EG</td><td>Eaves Gutter</td><td>RWT</td><td>Rain Water Tank</td></tr> <tr><td>F</td><td>Fence type</td><td>SK</td><td>Skylight number</td></tr> <tr><td>FC</td><td>Fibre Cement</td><td>ST</td><td>Storage</td></tr> <tr><td>FCL</td><td>Finished Ceiling Level</td><td>TB</td><td>Timber Battens</td></tr> <tr><td>FFL</td><td>Finished Floor Level</td><td>TC</td><td>Timber Cladding</td></tr> <tr><td>FG</td><td>Fixed Glass</td><td>TD</td><td>Timber Decking</td></tr> <tr><td>FP</td><td>Fireplace</td><td>TF</td><td>Timber Flooring</td></tr> <tr><td>FR</td><td>Fridge</td><td>W</td><td>Window number</td></tr> <tr><td>FT</td><td>Floor Tile</td><td>WM</td><td>Washing Machine</td></tr> </table>	AHD	Australian Height Datum	G	Gate number	COL	Column	GR	Gravel	CONC	Concrete	MR	Metal Roof	CPT	Carpet	NGL	Natural Ground Level	D	Door number	P	Penalty	DP	Down Pipe	R	Roof	EG	Eaves Gutter	RWT	Rain Water Tank	F	Fence type	SK	Skylight number	FC	Fibre Cement	ST	Storage	FCL	Finished Ceiling Level	TB	Timber Battens	FFL	Finished Floor Level	TC	Timber Cladding	FG	Fixed Glass	TD	Timber Decking	FP	Fireplace	TF	Timber Flooring	FR	Fridge	W	Window number	FT	Floor Tile	WM	Washing Machine	<p><b>Thermal Performance Specifications</b></p> <p><b>Floors:</b> Concrete slab on ground with no insulation. Suspended timber with 20mm foilboard insulation</p> <p><b>Walls:</b> External Walls: Cavity Panel - R2.7 - 90mm thick bulk insulation with vapour barrier External colour: Default colour modelled Walls with-in dwellings: Cavity Panel - no insulation (generally) Cavity Panel - R2.7 - 90mm thick bulk insulation (between garage &amp; living areas) <b>Roof:</b> Metal roof with 60mm foil blanket with reflective airgap External colour: Medium</p> <p><b>Windows:</b> Given values are AFRC, total window system values (glass and frame) Aluminium framed Low-e clear glazing to units U-Value: 4.80 (equal to or lower than) SHGC: 0.51 (±5%) Aluminium framed double glazed clear glass to W-006 &amp; W-009 U-Value: 2.90 (equal to or lower than) SHGC: 0.51 (±5%)</p> <p><b>Ceilings:</b> Plasterboard ceiling, R4.0 insulation (insulation only value) where roof is over *LED Downlight located in Bedrooms only Note: All ceiling penetration have been modelled in accordance with NatHERS protocols, all downlights are assume non-ventilated LED down lights IC abutted and covered.</p>	<p><b>Skylights:</b> Aluminium framed with clear glazing</p> <p><b>Floor Coverings:</b> Carpet to bedrooms, tiles to bathrooms and timber floor elsewhere</p> <p><b>External shade:</b> Shading as per stamped documentation</p>	<p><b>BASIX Commitments</b></p> <p><b>Water:</b> Rainwater Storage 3,000L Rain water tank connected to landscape and laundry</p> <p><b>Energy:</b> Hot Water Systems Electric heat pump</p>	<p><b>Legend - Demolition</b></p> <ul style="list-style-type: none"> <li>Existing Construction</li> <li>To be Demolished</li> <li>New Construction</li> <li>Excavation Area</li> </ul>	<p><b>Legend - Shadow Study</b></p> <ul style="list-style-type: none"> <li>Shadow cast</li> <li>Additional Shadow cast</li> <li>Reduction in Shadow cast</li> </ul>
AHD	Australian Height Datum	G	Gate number																																																															
COL	Column	GR	Gravel																																																															
CONC	Concrete	MR	Metal Roof																																																															
CPT	Carpet	NGL	Natural Ground Level																																																															
D	Door number	P	Penalty																																																															
DP	Down Pipe	R	Roof																																																															
EG	Eaves Gutter	RWT	Rain Water Tank																																																															
F	Fence type	SK	Skylight number																																																															
FC	Fibre Cement	ST	Storage																																																															
FCL	Finished Ceiling Level	TB	Timber Battens																																																															
FFL	Finished Floor Level	TC	Timber Cladding																																																															
FG	Fixed Glass	TD	Timber Decking																																																															
FP	Fireplace	TF	Timber Flooring																																																															
FR	Fridge	W	Window number																																																															
FT	Floor Tile	WM	Washing Machine																																																															

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision															
	<table border="0"> <tr><td>A</td><td>For Information</td><td>26/6/20</td></tr> <tr><td>B</td><td>For Information</td><td>13/7/20</td></tr> <tr><td>C</td><td>For Development Application</td><td>22/7/20</td></tr> <tr><td>D</td><td>For Development Application</td><td>17/8/20</td></tr> <tr><td>E</td><td>For Development Application</td><td>AE 9/3/21</td></tr> </table>	A	For Information	26/6/20	B	For Information	13/7/20	C	For Development Application	22/7/20	D	For Development Application	17/8/20	E	For Development Application	AE 9/3/21						
A	For Information	26/6/20																				
B	For Information	13/7/20																				
C	For Development Application	22/7/20																				
D	For Development Application	17/8/20																				
E	For Development Application	AE 9/3/21																				
<p>All levels to Australian height data, it is the contractors responsibility to confirm all measurements on site and locations of any services prior to commencement of work. Drawings should not be scaled. Written dimensions should only be taken from drawings. If discrepancy exists notify Architect immediately. All work shall comply with the building code of Australia, the rules and requirements of applicable statutory bodies, Council and all relevant Australian standards codes and specifications. © Copyright in all documents prepared by Those Architects. Any work executed from these documents and drawings will remain property of Those Architects or on creation vest in Those Architects.</p>																						
<b>THOSE</b>			11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	35/94 Oxford Street, Darlinghurst NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au	No. 20004 Address: 37 Granuaille Road, Bangalow NSW 2479 Title: Western Elevation Scale: 1:100 at A3 Drawn/Checked: LH / SA Issued: For Development Application	<b>DA.15</b>	<b>E</b>															



BYRON SHIRE COUNCIL  
 Modification to development consent  
 APPROVED PLAN  
 Modified DA No. 10.2020.478.2  
 Date: 29/11/2024

**LEGEND**

- REINFORCED CONCRETE DRIVEWAY PAVEMENT - 100mm THICK SL72 MESH
- N12 TRIMMERS 1200 LONG
- GRASSED DRIVEWAY BATTER 2H:1V

0011514692 29 Oct 2024  
 Assessor David Howard  
 Accreditation No. 20039  
 Address  
 29 Campbell Street,  
 Bangalow, NSW,  
 2479

5.4  
 NATIONWIDE HOUSE  
 48.3  
 www.nshouse.gov.au

ABSA  
 Australian Business Signatory  
 Accredited on 29/10/2024  
 Accreditation Number: 31.03.2024-31.03.2025  
 Assessor Name: David Howard  
 Assessor Number: 20039

**NOT FOR CONSTRUCTION**

**Willow+ Sparrow**  
 ENGINEERING+DESIGN

Dillions Lane, Alstonville NSW 2477  
 Phone: [02] 662 86 192  
 Email: michael@waseng.com.au  
 WILLOW & SPARROW PTY LTD A.C.N. 606732512

Designed HWK	Drawn HWK	Checked MC	Survey NRLS
Scale 1:100		Date 19/8/2020	

Datum AHD (m)

C	DA - APPENDED DRIVEWAY DETAILS	5/3/2021	HC
B	DA	19/8/2020	PJB
A	PRELIMINARY DRAFT	19/8/2020	PJB
Issue	Description	Date	By

CLIENT  
 JUDY PETERSEN

PROJECT  
 RESIDENTIAL DWELLING  
 37 GRANUAILE ROAD, BANGALOW

TITLE  
 DRIVEWAY LAYOUT PLAN

Drawing No. D21-2001-02

Sheet 4 of 5

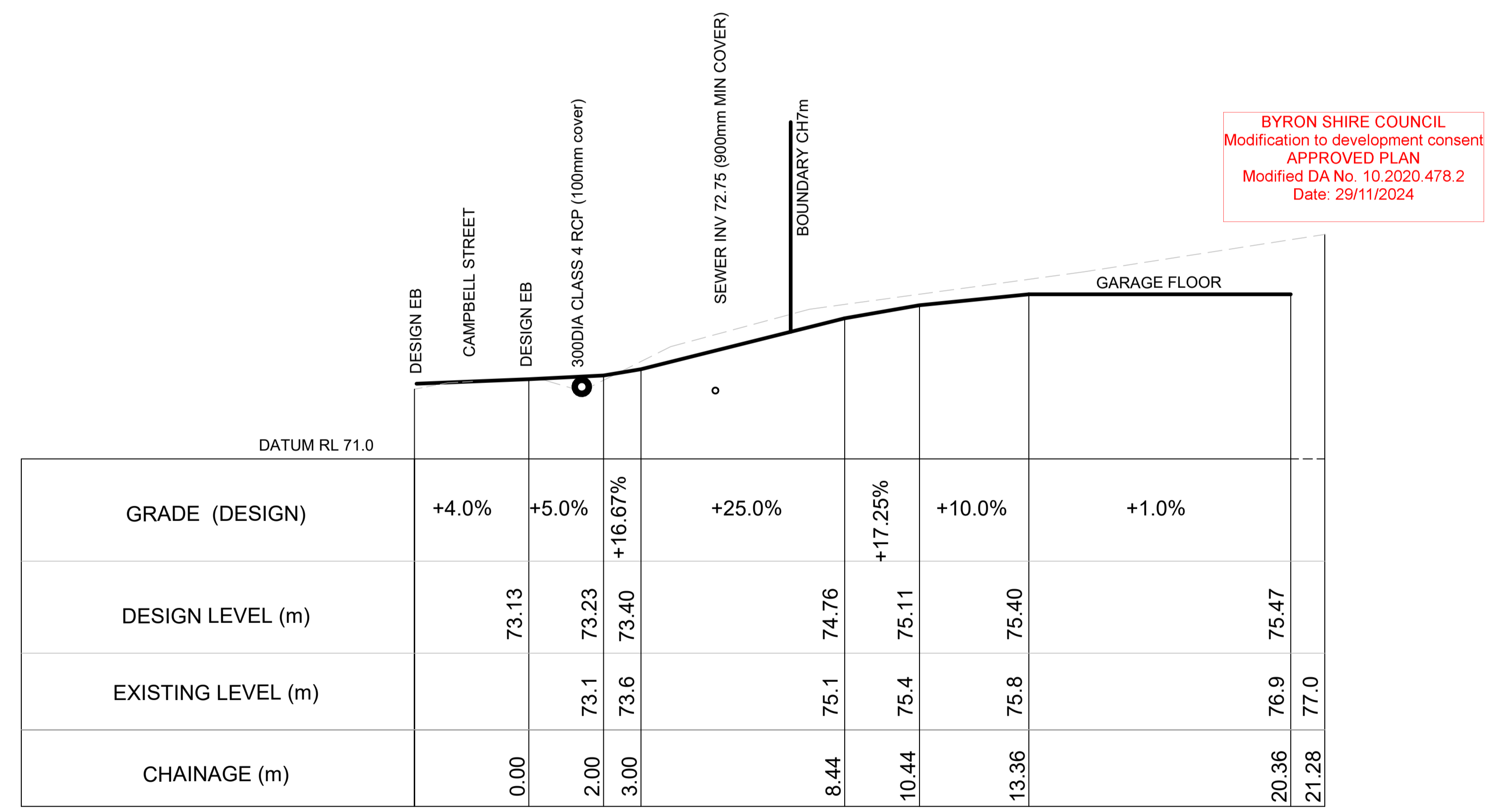
A1



-4.3% DRIVEWAY CROSSFALL OVER PIPE

DATUM RL 71.0					
PIPE GRADE (DESIGN)	-3.9%	-5.8%	-4.3%	-3.2%	-5.8%
DESIGN INVERT (m)		73.01		72.65	
EXISTING LEVEL (m)	73.21	72.98		72.59	72.16
CHAINAGE (m)		0.00		8.31	

LONGITUDINAL SECTION - DRIVEWAY PIPE - SCALE 1:50 @ A3



DATUM RL 71.0							
GRADE (DESIGN)	+4.0%	+5.0%	+16.67%	+25.0%	+17.25%	+10.0%	+1.0%
DESIGN LEVEL (m)		73.13	73.23	73.40	74.76	75.11	75.47
EXISTING LEVEL (m)		73.1	73.6	73.6	75.1	75.4	76.9
CHAINAGE (m)		0.00	2.00	3.00	8.44	10.44	13.36
							20.36
							21.28

LONGITUDINAL SECTION - DRIVEWAY - SCALE 1:100 @ A3

**NOT FOR CONSTRUCTION**

**Willow+ Sparrow**  
 ENGINEERING+DESIGN  
 Dillions Lane, Alstonville NSW 2477  
 Phone: [02] 662 86 192  
 Email: michael@waseng.com.au  
 WILLOW & SPARROW PTY LTD A.C.N. 606732512

Designed HWK	Drawn HWK	Checked MC	Survey NRLS
Scale AS SHOWN		Date 19/8/2020	

Datum AHD (m)

C	DA - APPENDED DRIVEWAY DETAILS	5/3/2021	HC
B	DA	19/8/2020	PJB
A	PRELIMINARY DRAFT	19/8/2020	PJB
Issue	Description	Date	By

CLIENT  
**JUDY PETERSEN**  
 PROJECT  
**RESIDENTIAL DWELLING**  
**37 GRANUAILLE ROAD, BANGALOW**

TITLE <b>DRIVEWAY SECTIONS</b>	
Drawing No. <b>D21-2001-02</b>	Sheet 5 of 5
<b>A1</b>	