

BOWES BYRON BAY HOUSE

BBB-DA-REV1

DEVELOPMENT APPLICATION REV1 - DRAWING SCHEDULE

13/05/2022

DRAWING NO.	SCALE	INFORMATION SERIES	ELEMENT	DRAWING NAME
INTRODUCTORY SITE				
AR-A20 XX-00	1:200	INTRODUCTORY	SITE	EXISTING SITE PLAN
AR-A20 XX-01	1:200	INTRODUCTORY	SITE	SITE PLAN
AR-A20 XX-02	1:200	INTRODUCTORY	SITE	SITE SECTION
PLANS GENERAL				
AR-B10 B1-00	1:100	PLANS	GENERAL	BASEMENT FLOOR PLAN
AR-B10 00-00	1:100	PLANS	GENERAL	LOWER FLOOR PLAN
AR-B10 01-00	1:100	PLANS	GENERAL	UPPER FLOOR PLAN
AR-B10 02-00	1:100	PLANS	GENERAL	ROOF PLAN
AR-B10 XX-00	1:200	PLANS	GENERAL	GFA CALCULATION PLANS
ELEVATIONS GENERAL				
AR-C10 XX-01	1:100	ELEVATIONS	GENERAL	STREET ELEVATION
AR-C10 XX-02	1:100	ELEVATIONS	GENERAL	NORTH ELEVATION
AR-C10 XX-03	1:100	ELEVATIONS	GENERAL	EAST ELEVATION
AR-C10 XX-04	1:100	ELEVATIONS	GENERAL	WEST ELEVATION
SECTIONS GENERAL				
AR-D10 XX-01	1:100	SECTIONS	GENERAL	SECTION 1
AR-D10 XX-02	1:100	SECTIONS	GENERAL	SECTION 2
AR-D10 XX-03	1:100	SECTIONS	GENERAL	SECTION 3
AR-D10 XX-04	1:100	SECTIONS	GENERAL	SECTION 4
AR-D10 XX-05	1:100	SECTIONS	GENERAL	SECTION 5
ASSEMBLY DOORS AND WINDOWS				
AR-E46 XX-01	1:100	ASSEMBLY DRAWINGS	DOORS AND WINDOWS	DOOR AND WINDOW SCHEDULE

THERMAL PERFORMANCE SPECIFICATIONS: (21600_02 – 16 Mackay Street)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

(NOTE: If steel framing is used a thermal break may be required)

(NOTE: Ventilation requirements of Section 3.8.7.3 b must also be complied with and this means bathrooms should not normally be exhausted into roofspaces unless they are ventilated.)

WINDOWS (total product specification – glass + frame)

As per HERS Certificate - but generally based on timber framed double glazing or single glazed louvres.

EXTERNAL WALL (Medium colour)

Concrete Block – R2.0 bulk insulation (Garage – No insulation)
Cavity Panel – R2.5 – 90mm thick Bulk insulation with vapour barrier

INTERNAL WALL

Cavity Panel/block – No Insulation (generally)
Concrete Block – R2.0 bulk insulation – (between garage & living areas)

EXTERNAL FLOOR

Concrete Slab on Ground – R1.5 slab edge Insulation

CEILING SPACE with CEILING ABOVE

Plasterboard – R2.0 bulk insulation (between garage and floor above)

CEILING SPACE with ROOF ABOVE

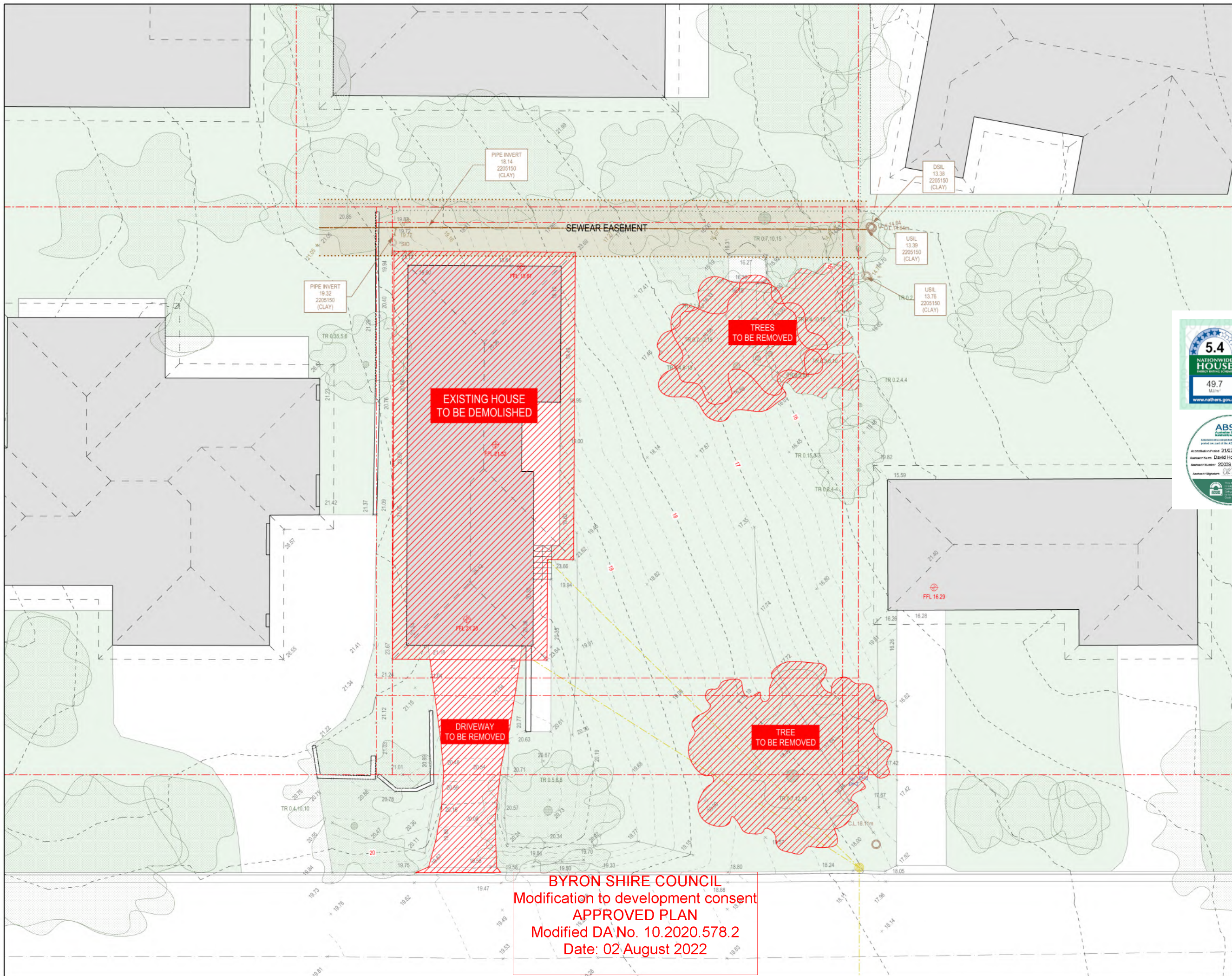
Concrete / Plasterboard – R2.0 bulk insulation
(Garage – No insulation)
Plasterboard – R3.5 bulk insulation (top floor)

ROOF (Medium colour) (Non-ventilated)

Sheet Metal Roofing – 60mm Foil Blanket with Reflective airgap
Concrete roof with Waterproofing membrane

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)





LEGEND
DEMOLITION

CLIENT
APOLLO PROPERTY GROUP
PROJECT MANAGER

PROJECT
BOWES BYRON BAY HOUSE
16 MACKAY STREET
BYRON BAY NSW 2481
BVN PROJECT NUMBER
2104029.000

TRUE NORTH PROJECT NORTH

SCALE
1:200 @ A3

STATUS
DA - REV1
DRAWING

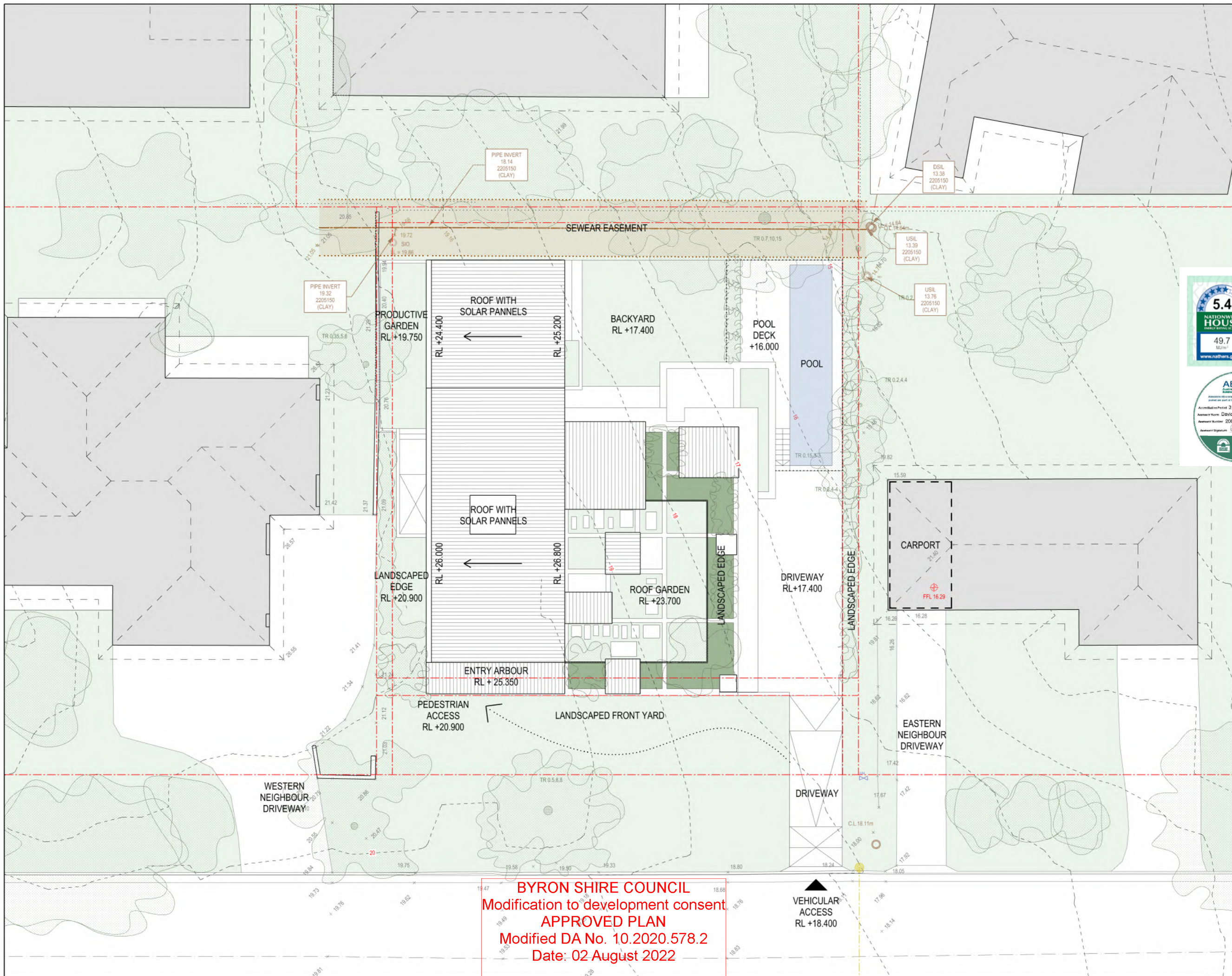
INTRODUCTORY
SITE
EXISTING SITE PLAN
DRAWING NUMBER AR-A20 XX-00 ISSUE 1

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2020.578.2
Date: 02 August 2022

INTELLECTUAL PROPERTY

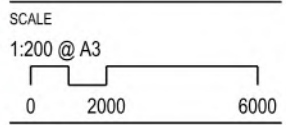
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PROJECT
BOWES BYRON BAY HOUSE
16 MACKAY STREET
BYRON BAY NSW 2481
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2104029.000



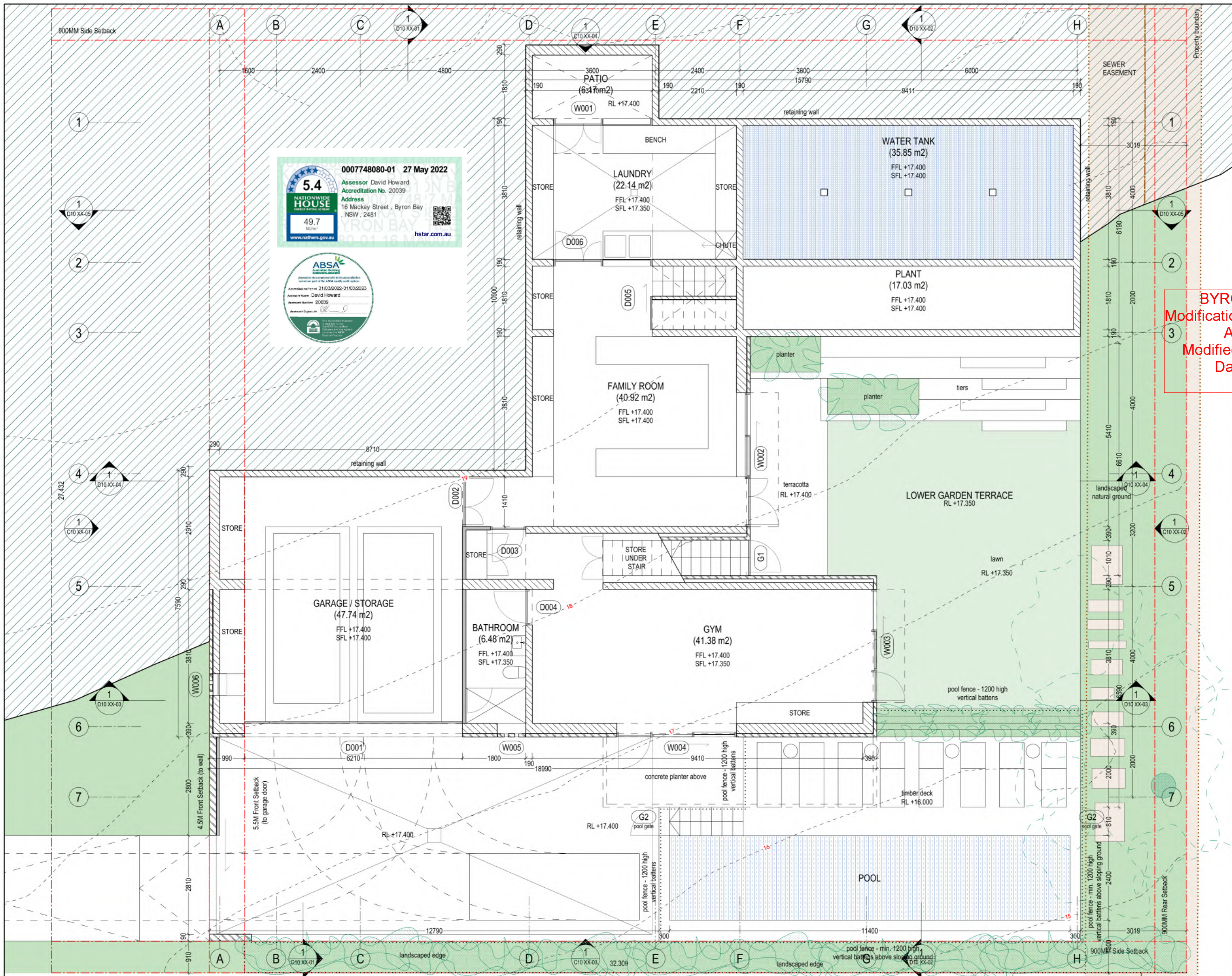
STATUS
DA - REV1
DRAWING

INTRODUCTORY
SITE
SITE PLAN

DRAWING NUMBER AR-A20 XX-01	ISSUE 1
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LEGEND

SEWER EASEMENT

GROSS FLOOR AREA:

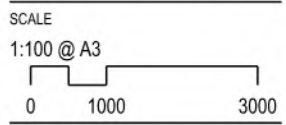
Basement	117.25 sqm
Lower Floor	161.04 sqm
Upper Floor	127.42 sqm
TOTAL GFA	405.71 sqm

FLOOR SPACE RATIO:

Site Area	885.25 sqm
Max. GFA	442.625 sqm
FSR	0.46 : 1

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APOLLO PROPERTY GROUP
 PROJECT MANAGER

PROJECT
BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
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 2104029.000



STATUS
 DA - REV1
 DRAWING

PLANS
 GENERAL
 BASEMENT FLOOR PLAN

DRAWING NUMBER AR-B10 B1-00	ISSUE 1
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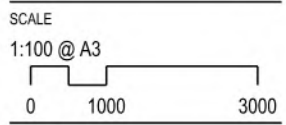
0007748080-01 27 May 2022
 Assessor David Howard
 Accreditation No. 20039
 Address
 16 Mackay Street, Byron Bay
 NSW, 2481
 49.7
 www.nathers.gov.au hstar.com.au

ABSA
 Australian Building Sustainability Association
 Accreditation Period 31/03/2022-31/03/2023
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]

Lower Floor	161.04 sqm
Upper Floor	127.42 sqm
TOTAL GFA	405.71 sqm
FLOOR SPACE RATIO:	
Site Area	885.25 sqm
Max. GFA	442.625 sqm
FSR	0.46 : 1

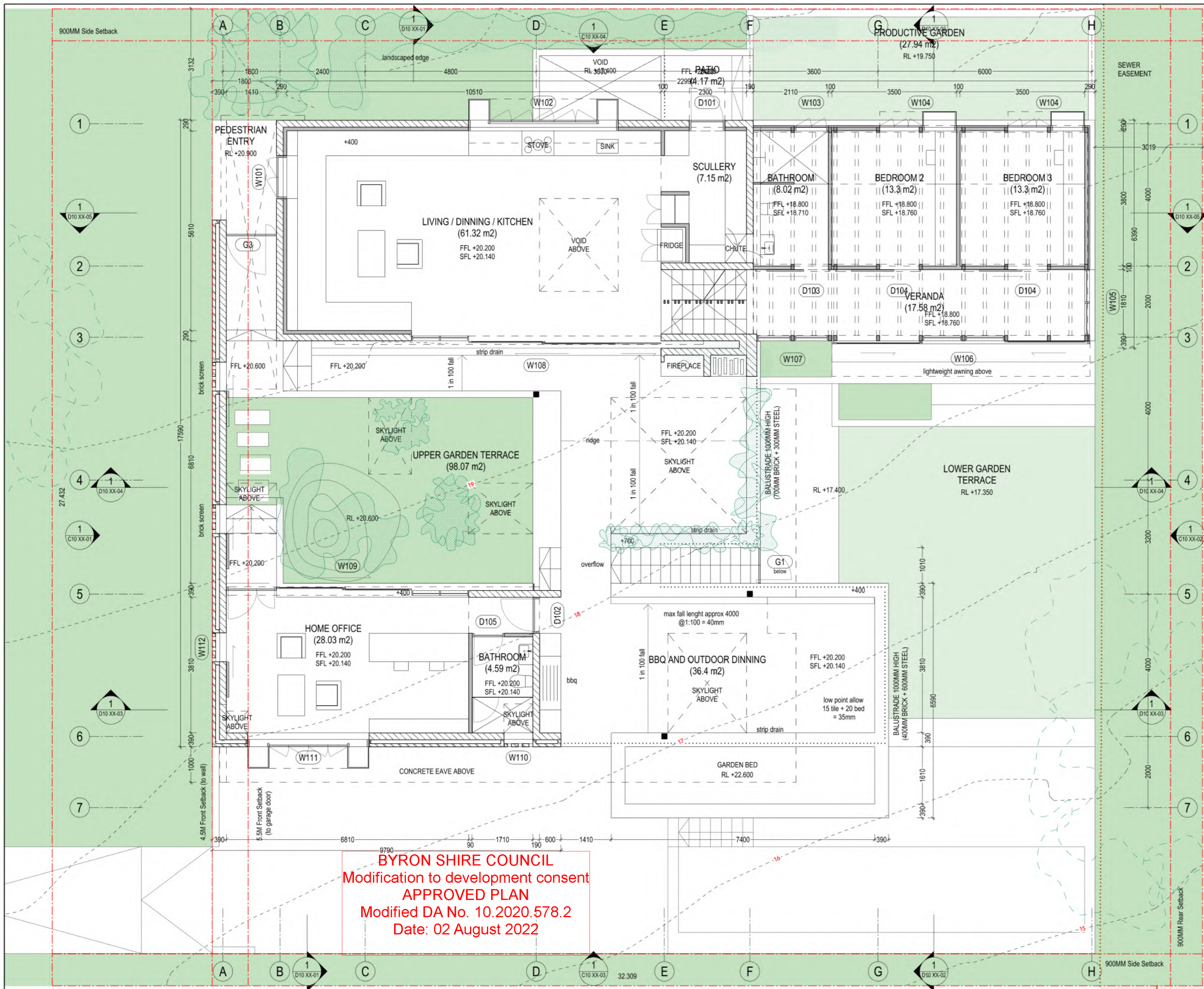
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PROJECT
BOWES BYRON BAY HOUSE
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STATUS
 DA - REV1
 DRAWING

PLANS GENERAL LOWER FLOOR PLAN	DRAWING NUMBER AR-B10 00-00	ISSUE 1
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Max. GFA	442.625 sqm
FSR	0.46 : 1

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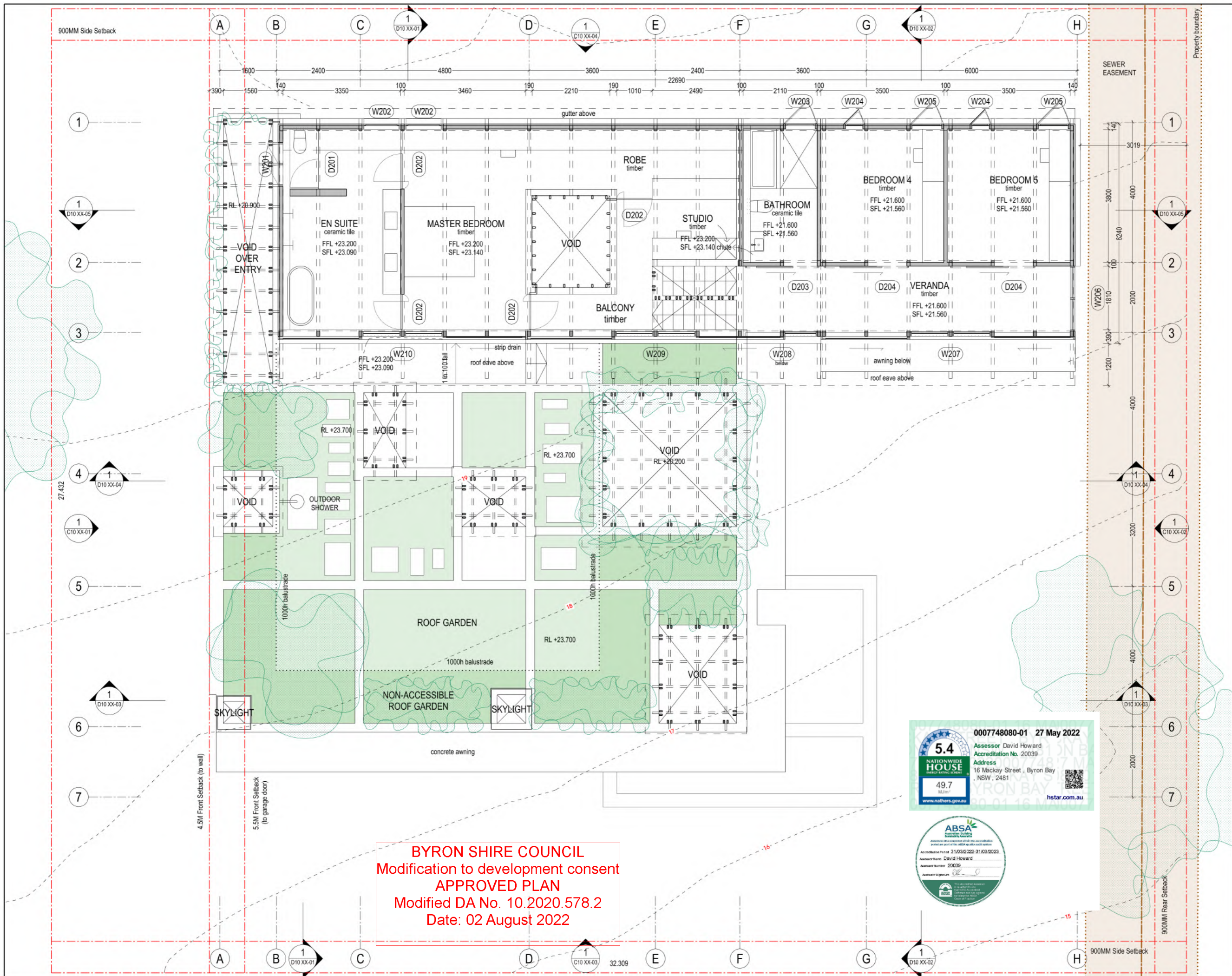
PROJECT
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BYRON BAY NSW 2481
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TRUE NORTH PROJECT NORTH

SCALE
1:100 @ A3

STATUS
DA - REV1
DRAWING

PLANS
GENERAL
UPPER FLOOR PLAN
DRAWING NUMBER AR-B10 01-00
ISSUE 1



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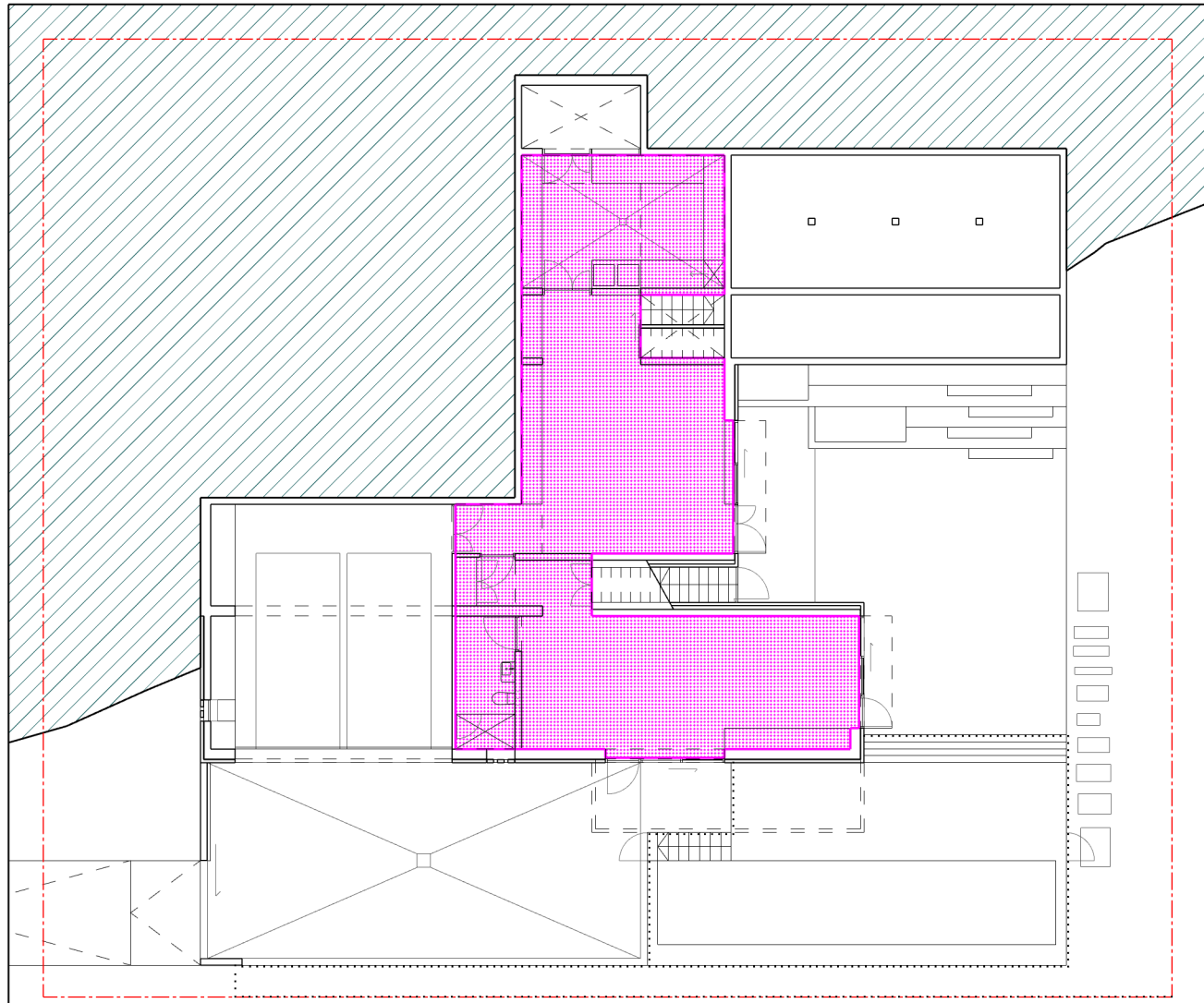


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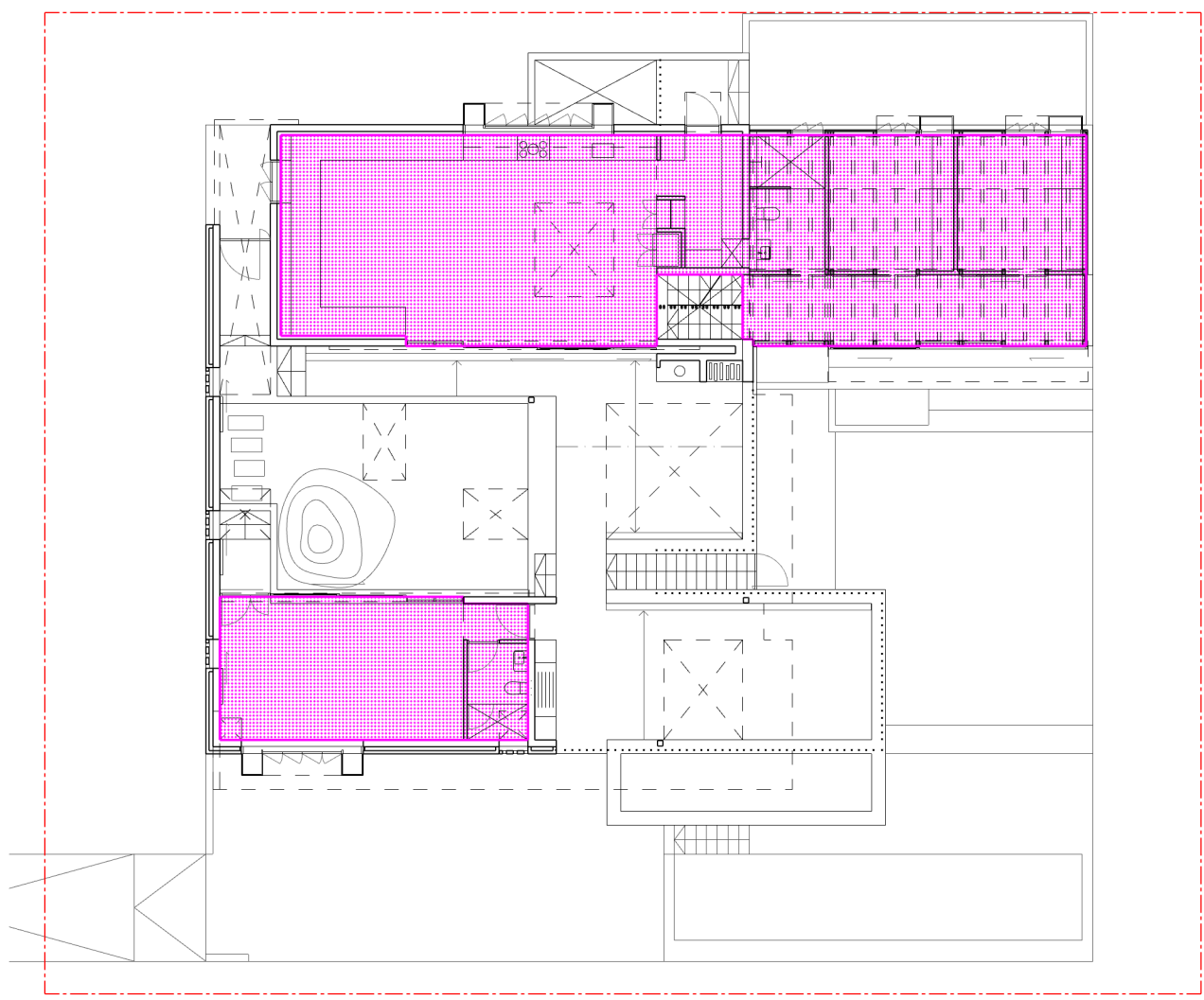
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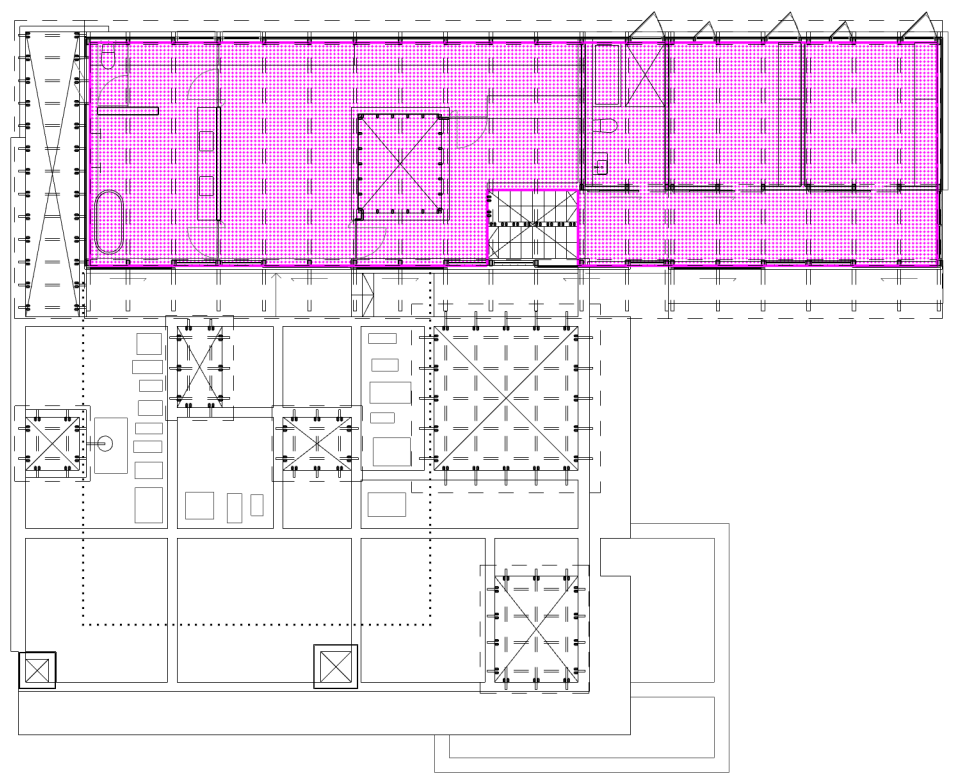
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BASEMENT FLOOR PLAN | GFA = 117.25 sqm



LOWER FLOOR PLAN | GFA = 161.04 sqm



UPPER FLOOR PLAN | GFA = 127.42 sqm

LEGEND

GFA

GROSS FLOOR AREA:

Basement	117.25 sqm
Lower Floor	161.04 sqm
Upper Floor	127.42 sqm
TOTAL GFA	405.71 sqm

FLOOR SPACE RATIO:

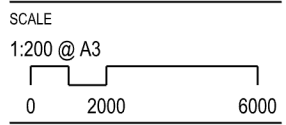
Site Area	885.25 sqm
Max. GFA	442.625 sqm
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CLIENT

APOLLO PROPERTY GROUP
PROJECT MANAGER

PROJECT

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16 MACKAY STREET
BYRON BAY NSW 2481
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2104029.000



STATUS

DA - REV1
DRAWING

PLANS

GENERAL

GFA CALCULATION PLANS

DRAWING NUMBER	ISSUE
AR-B10 XX-00	1



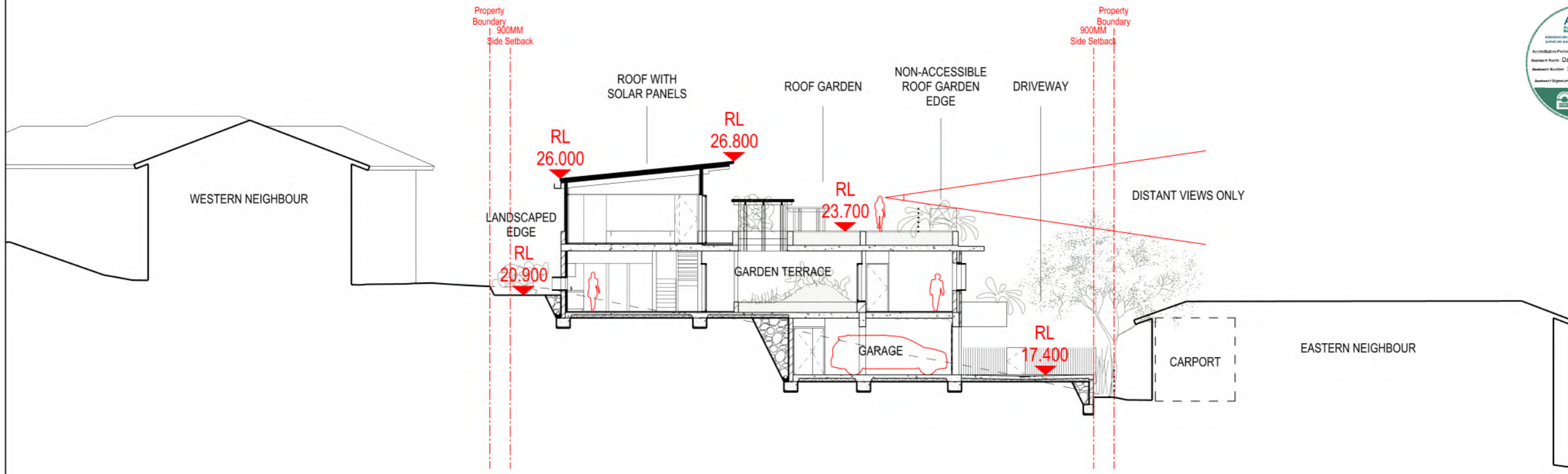
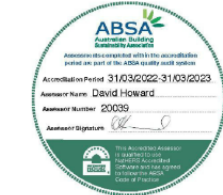
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TRUE NORTH PROJECT NORTH

SCALE
1:200 @ A3
0 2000 6000

STATUS
DA - REV1
DRAWING

INTRODUCTORY
SITE
SITE SECTION

DRAWING NUMBER AR-A20 XX-02	ISSUE 1
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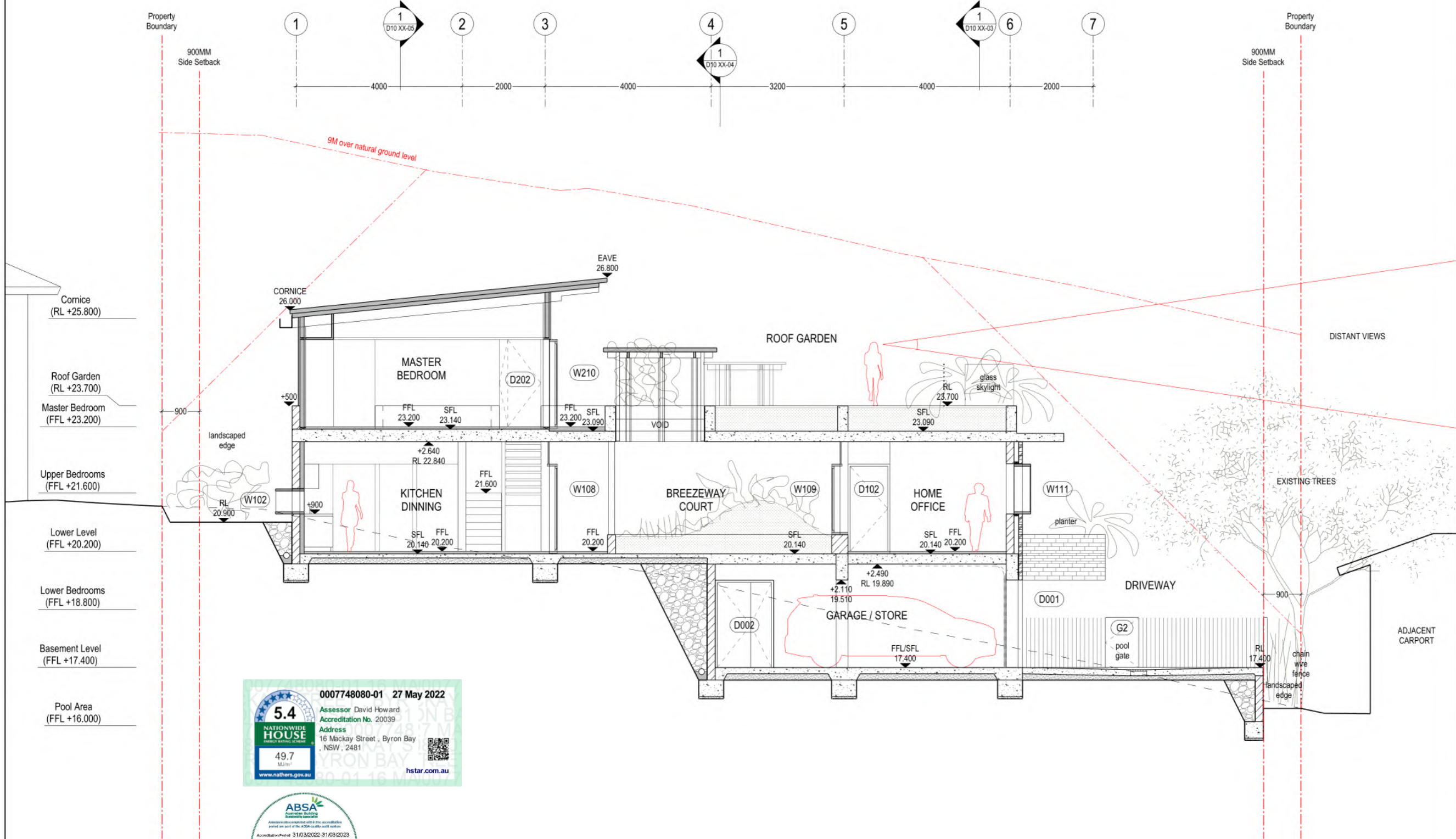
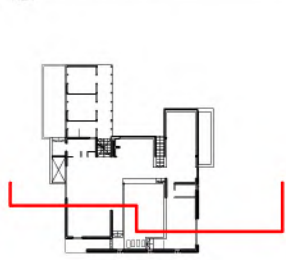
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 PROJECT MANAGER

PROJECT
 BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000

TRUE NORTH **PROJECT NORTH**

SCALE
 1:100 @ A3
 0 1000 3000

STATUS
 DA - REV1
 DRAWING

SECTIONS
 GENERAL
 SECTION 1
 DRAWING NUMBER **ISSUE**
 AR-D10 XX-01 1

BYRON SHIRE COUNCIL
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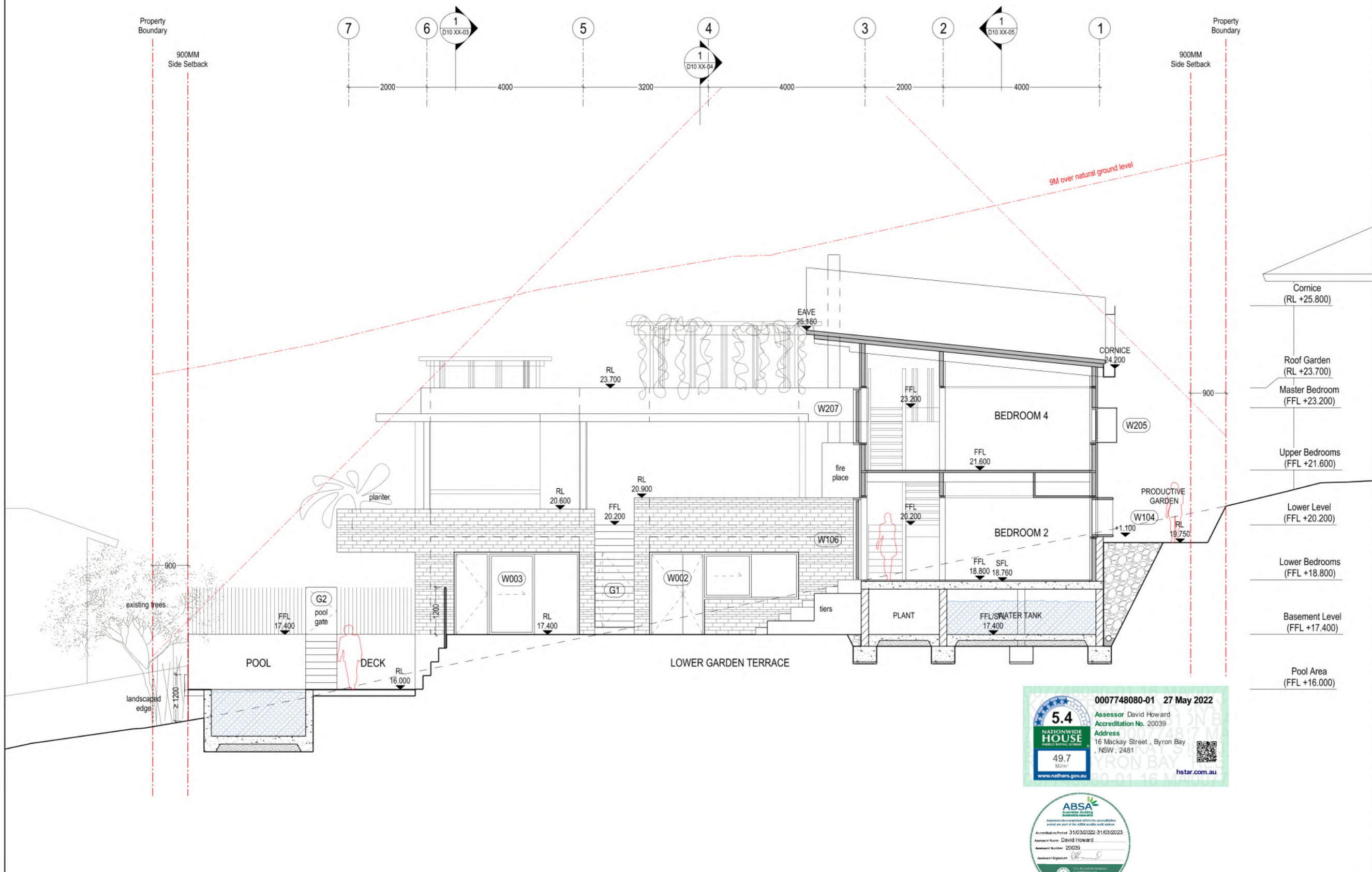
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KEY



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PROJECT MANAGER	
PROJECT	BOWES BYRON BAY HOUSE 16 MACKAY STREET BYRON BAY NSW 2481
BVN PROJECT NUMBER	2104029.000
TRUE NORTH	PROJECT NORTH

SCALE	1:100 @ A3
	0 1000 3000
STATUS	DA - REV1
DRAWING	

SECTIONS	GENERAL
	SECTION 2
DRAWING NUMBER	AR-D10 XX-02
ISSUE	1



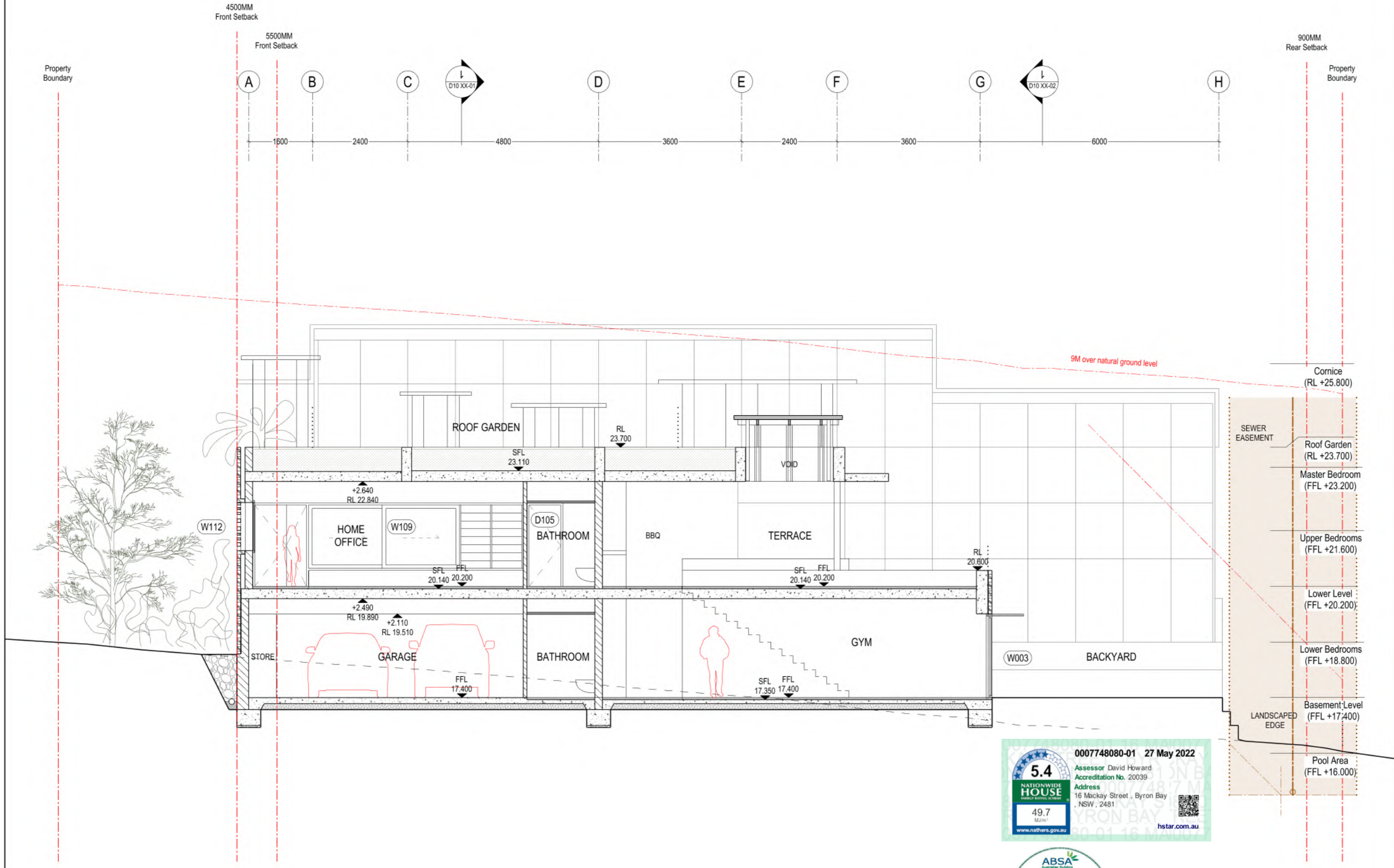
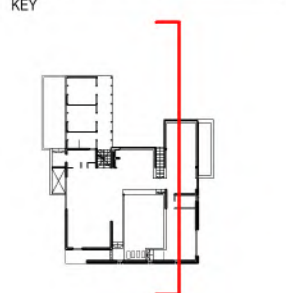
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 4/17 JAMES GROSE 2/19 BRIAN DONOVAN
 7/15 JULIAN ASHTON 1/16 MARK GREIGER
 7/15 MATTHEW BLAIR 5/28 DAVID KELLY
 7/15 PHILIP ROSSINGTON 3/18 KEVIN O'BRIEN
 7/19 PETER TIMMIS
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5.4
 NATIONWIDE HOUSE
 Assessor David Howard
 Accreditation No. 20039
 Address
 16 Mackay Street, Byron Bay
 NSW, 2481
 49.7 M²
 www.nathers.gov.au hstar.com.au

ABSA
 Accredited Building Surveyor
 Accreditation Period 31/03/2022-31/03/2023
 Assessor Name David Howard
 Assessor Number 20039
 Assessor Signature

CLIENT
APOLLO PROPERTY GROUP
 PROJECT MANAGER

PROJECT
BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000
 TRUE NORTH PROJECT NORTH

SCALE
 1:100 @ A3
 0 1000 3000

STATUS
 DA - REV1
 DRAWING

SECTIONS
 GENERAL
 SECTION 3
 DRAWING NUMBER AR-D10 XX-03 ISSUE 1

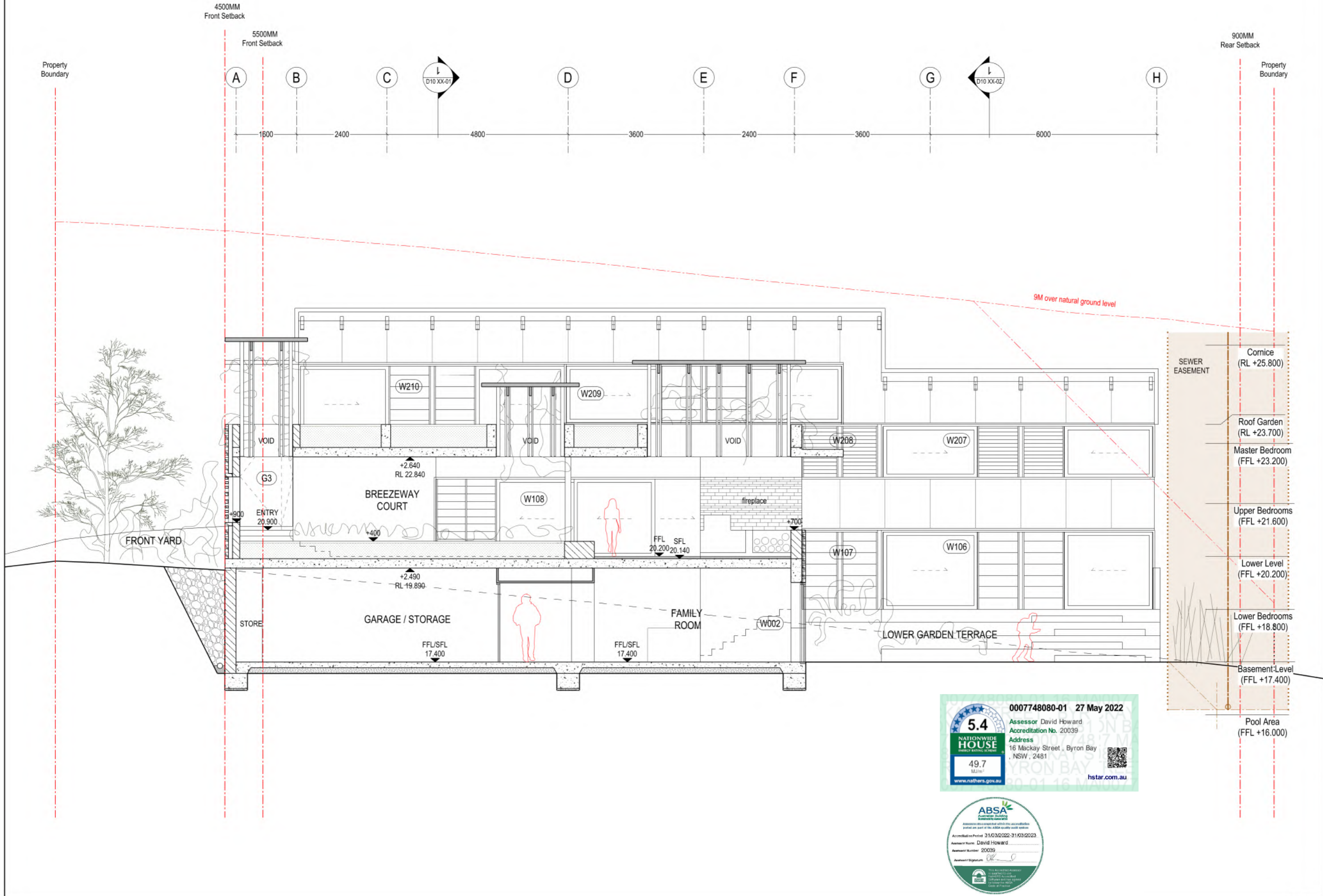
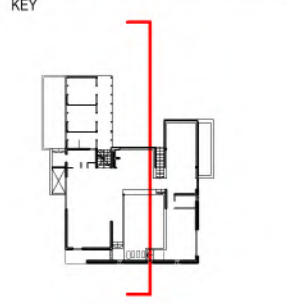
BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2020.578.2
Date: 02 August 2022

BVN

ARCHITECTS REGISTRATION BOARD /
 NOMINATED ARCHITECTS
 NSW: 8596 NIKOLSKA TITCHKOSKY G.D.
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 7533 MATTHEW BLAIR 1395 MARK GREMER
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0007748080-01 27 May 2022
 Assessor David Howard
 Accreditation No. 20039
 Address
 16 Mackay Street, Byron Bay
 NSW, 2481
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ABS
 Accreditation Period: 31/03/2022-31/03/2023
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]

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APOLLO PROPERTY GROUP
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PROJECT
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 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000

TRUE NORTH PROJECT NORTH

SCALE
 1:100 @ A3
 0 1000 3000

STATUS
 DA - REV1

DRAWING

SECTIONS
 GENERAL
 SECTION 4

DRAWING NUMBER AR-D10 XX-04	ISSUE 1
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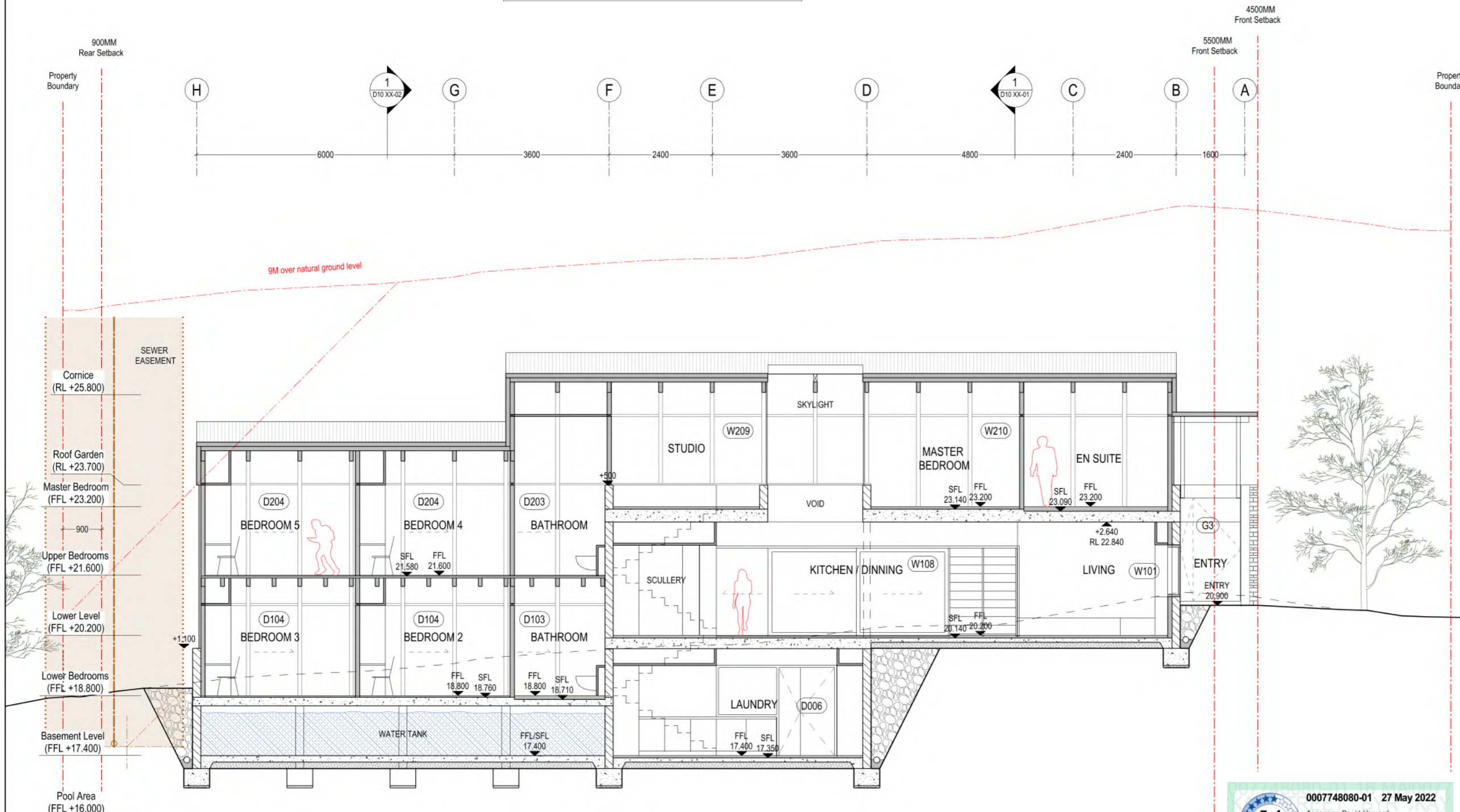
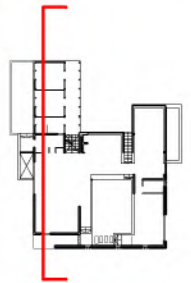
BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2020.578.2
 Date: 02 August 2022

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KEY



900MM Rear Setback
 Property Boundary
 Cornice (RL +25.800)
 Roof Garden (RL +23.700)
 Master Bedroom (FFL +23.200)
 900
 Upper Bedrooms (FFL +21.600)
 Lower Level (FFL +20.200)
 1:100
 Lower Bedrooms (FFL +18.800)
 Basement Level (FFL +17.400)
 Pool Area (FFL +16.000)

5.4
 NATIONWIDE HOUSE
 PROJECT RATING
 49.7
 M²
 www.nathers.gov.au

0007748080-01 27 May 2022
 Assessor David Howard
 Accreditation No. 20039
 Address
 16 Mackay Street, Byron Bay
 NSW, 2481

ABSA
 Australian Building Standards Association
 Accredited under the Building Act 1975
 Accreditation Period 31/03/2022-31/03/2023
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]

CLIENT
 APOLLO PROPERTY GROUP
 PROJECT MANAGER

PROJECT
 BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000

TRUE NORTH PROJECT NORTH

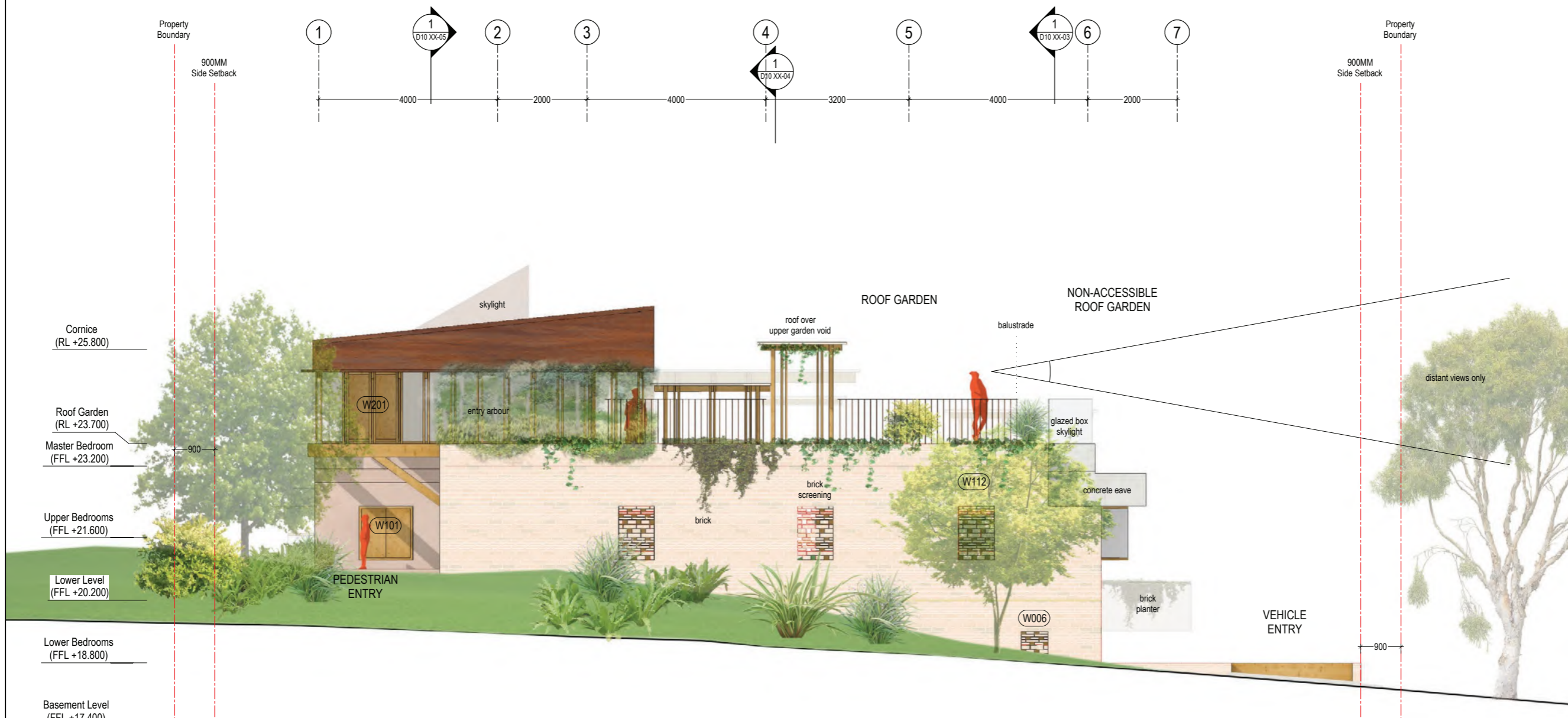
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STATUS
 DA - REV1
 DRAWING

SECTIONS
 GENERAL
 SECTION 5

DRAWING NUMBER AR-D10 XX-05	ISSUE 1
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Modification to development consent
APPROVED PLAN
Modified DA No. 10.2020.578.2
Date: 02 August 2022



- Cornice (RL +25.800)
- Roof Garden (RL +23.700)
- Master Bedroom (FFL +23.200)
- Upper Bedrooms (FFL +21.600)
- Lower Level (FFL +20.200)
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0007748080-01 27 May 2022
 Assessor David Howard
 Accreditation No. 20039
 Address
 16 Mackay Street, Byron Bay
 NSW, 2481
 49.7 Miles
 www.nathers.gov.au hstar.com.au

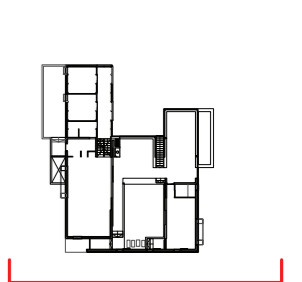
ABSA
 Australian Building Sustainability Association
 Accredited Professional
 Accreditation Period: 31/03/2022-31/03/2023
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]

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PROJECT
BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000

TRUE NORTH PROJECT NORTH

SCALE
 1:100 @ A3
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STATUS
 DA - REV1
 DRAWING

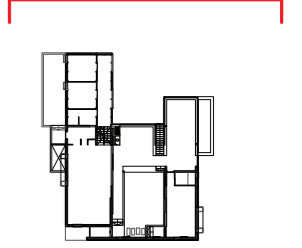
ELEVATIONS
 GENERAL
 STREET ELEVATION
 DRAWING NUMBER AR-C10 XX-01
 ISSUE 1

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2020.578.2
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KEY



Skylight approved as an architectural roof feature - Refer to conditions regards height of building survey.



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BVN PROJECT NUMBER
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TRUE NORTH PROJECT NORTH

SCALE
1:100 @ A3
0 1000 3000

STATUS
DA - REV1
DRAWING

ELEVATIONS
GENERAL
STREET ELEVATION
DRAWING NUMBER AR-C10 XX-02 ISSUE 1

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2020.578.2
Date: 02 August 2022

BVN

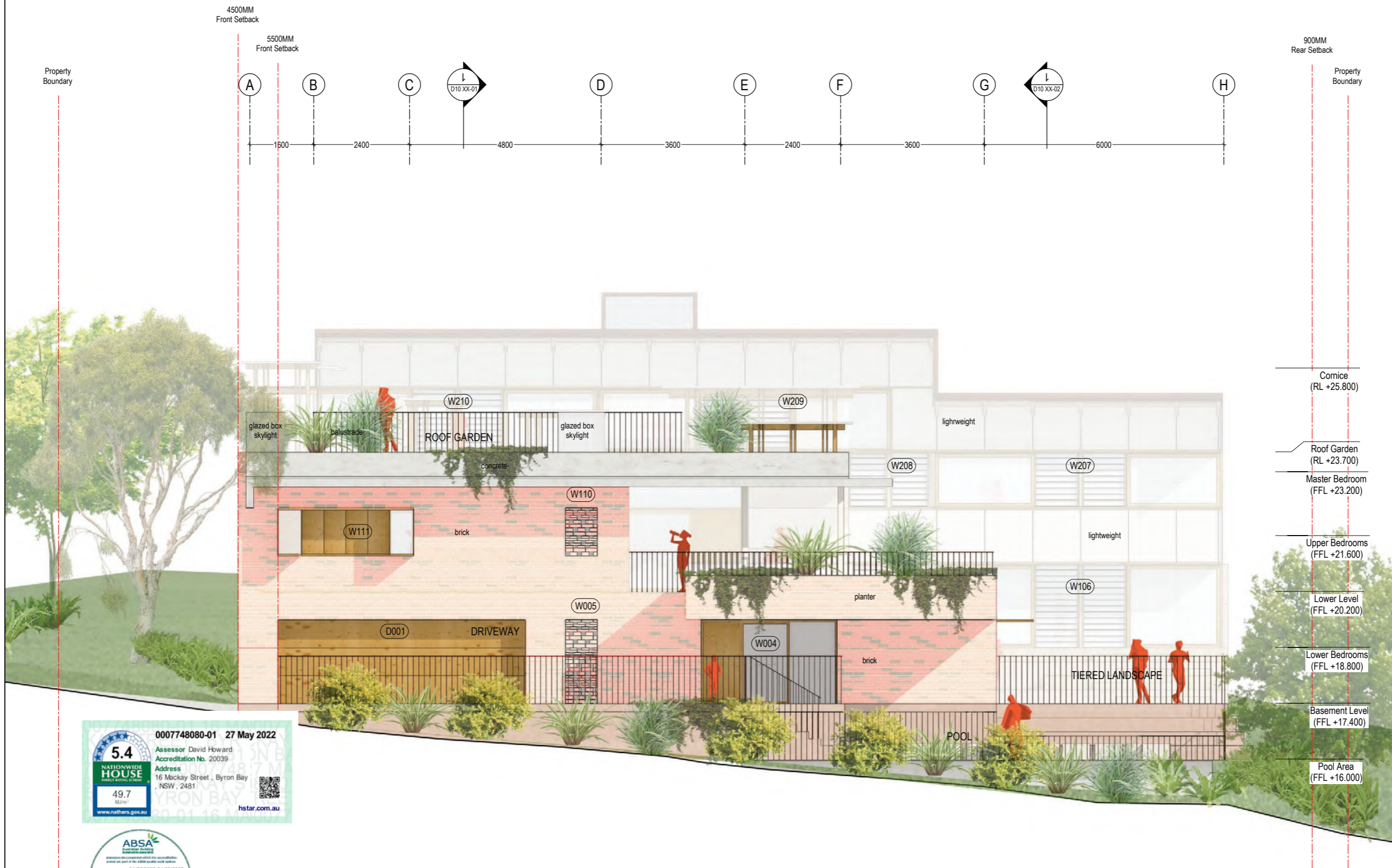
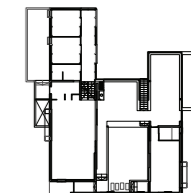
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KEY



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TRUE NORTH PROJECT NORTH

SCALE
 1:100 @ A3
 0 1000 3000

STATUS
 DA - REV1
 DRAWING

ELEVATIONS
 GENERAL
 STREET ELEVATION

DRAWING NUMBER AR-C10 XX-03	ISSUE 1
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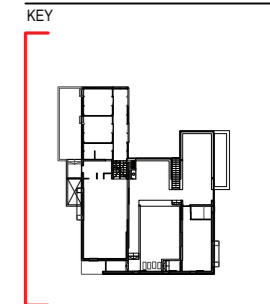
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Date: 02 August 2022

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900MM
Rear Setback

Property
Boundary

Cornice
(RL +25.800)

Roof Garden
(RL +23.700)

Master Bedroom
(FFL +23.200)

Upper Bedrooms
(FFL +21.600)

Lower Level
(FFL +20.200)

Lower Bedrooms
(FFL +18.800)

Basement Level
(FFL +17.400)

Pool Area
(FFL +16.000)

Property
Boundary

4500MM
Front Setback

5500MM
Front Setback

PEDESTRIAN ENTRY



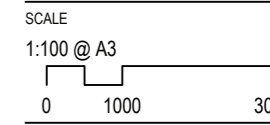
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APOLLO PROPERTY GROUP
PROJECT MANAGER

PROJECT

BOWES BYRON BAY HOUSE
16 MACKAY STREET
BYRON BAY NSW 2481
BVN PROJECT NUMBER
2104029.000

TRUE NORTH PROJECT NORTH



STATUS
DA - REV1
DRAWING

ELEVATIONS
GENERAL
STREET ELEVATION

DRAWING NUMBER AR-C10 XX-04	ISSUE 1
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No.:	W001	W002	W003	W004	W005
Frame:					
Panel:					
Count:	1	1	1	1	1
Notes:	Laundry opening to patio	Family room opening to garden Lightweight 900 deep hood at 2100 h.	Guest room opening to backyard Lightweight 900 deep hood at 2100 h.	Guest room access from driveway Under concrete planter	Guest room shower opening to east Brick screening in front Shower "outdoor" space

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No.:	D001	W006	W101	W102	D101	W103	W104
Frame:							
Panel:							
Count:	1	1	1	1	1	1	2
Notes:	Garage door Opening mechanism and material TBC	Garage window to street Brick screening in front Solid panel	Living window to entry Solid panels open west	Kitchen window to west 600 deep glazing boxes to sides + solid operable panels in the middle 600 mm deep hood	Scullery door to patio 900 deep hood	Lower bathroom window to productive garden	Typical lower bedroom opening 600 mm deep hood

LEGEND

- GLASS
- SOLID
- CLIENT

APOLLO PROPERTY GROUP
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PROJECT
 BOWES BYRON BAY HOUSE
 16 MACKAY STREET
 BYRON BAY NSW 2481
 BVN PROJECT NUMBER
 2104029.000

TRUE NORTH PROJECT NORTH

SCALE
 1:100 @ A3

STATUS
 DA - REV1
 DRAWING

ASSEMBLY DRAWINGS
 DOORS AND WINDOWS
 DOOR AND WINDOW SCHEDULE
 DRAWING NUMBER AR-E46 XX-01 ISSUE 1

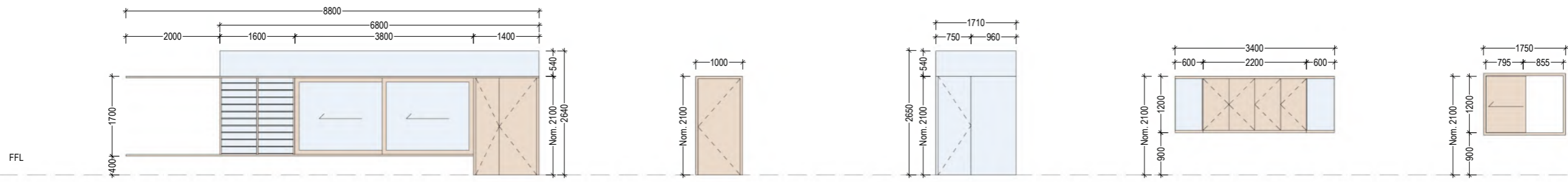
No.:	W105	W106	W107	W108
Frame:				
Panel:				
Count:	1	1	1	1
Notes:	End of lower veranda opening Glass louvers Includes insect screen	Lower veranda sliding doors - tiered landscape in front 900 deep hood for sun and weather protection Louvers include insect screen	Lower veranda glass louvers Includes insect screen	Living, dining and kitchen opening to courtyard - sheltered from sun and rain by concrete landscape roof Frameless glass above 2100

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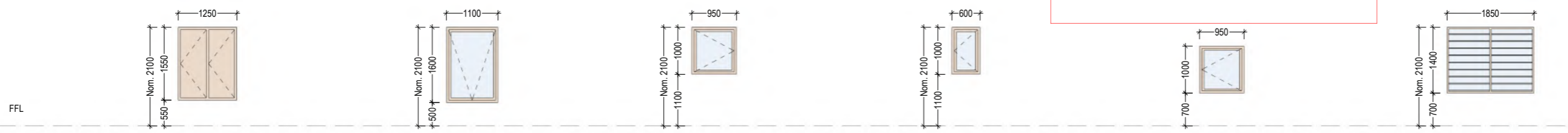
NOTE

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No.:	W109	D102	W110	W111	W112
Frame:					
Panel:					
Count:	1	1	1	1	1
Notes:	Home office opening to courtyard - sheltered from sun and rain by concrete landscape roof Frameless glass above 2100 Louvers portion to include insect screen	Home office door to bbq area	Home office bathroom opening Brick screening in front Shower "outdoor" space	Home office window to the east Hood for weather protection	Home office window to street Brick screen in front

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No.:	W201	W202	W203	W204	W205	W206
Frame:						
Panel:						
Count:	1	2	1	2	2	1
Notes:	Toilet window to entry Solid panels Behind entry arbour	Master bed window to west	Upper bathroom window to west Shading element in front oriented towards north	Upper bedroom window to west Shading orients towards north	Upper bedroom window to west Shading orients towards north Desk window	End of upper veranda Glass louvres Insect screen incorporated

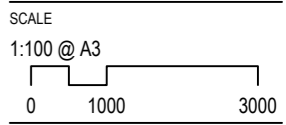
LEGEND

- GLASS
- SOLID
- CLIENT

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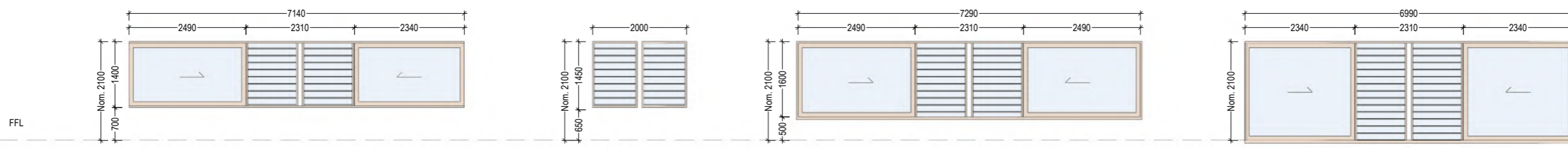
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BOWES BYRON BAY HOUSE
16 MACKAY STREET
BYRON BAY NSW 2481
BVN PROJECT NUMBER
2104029.000

TRUE NORTH PROJECT NORTH



SCALE
1:100 @ A3
STATUS
DA - REV1
DRAWING

ASSEMBLY DRAWINGS
DOORS AND WINDOWS
DOOR AND WINDOW SCHEDULE
DRAWING NUMBER AR-E46 XX-01
ISSUE 1



No.:	W207	W208	W209	W210
Frame:				
Panel:				
Count:	1	1	6	1
Notes:	Upper veranda sliding windows Roof eave above	Upper veranda louvers	Study louvers opening to roof garden	Master bedroom and ensuite sliding window Roof eave on top