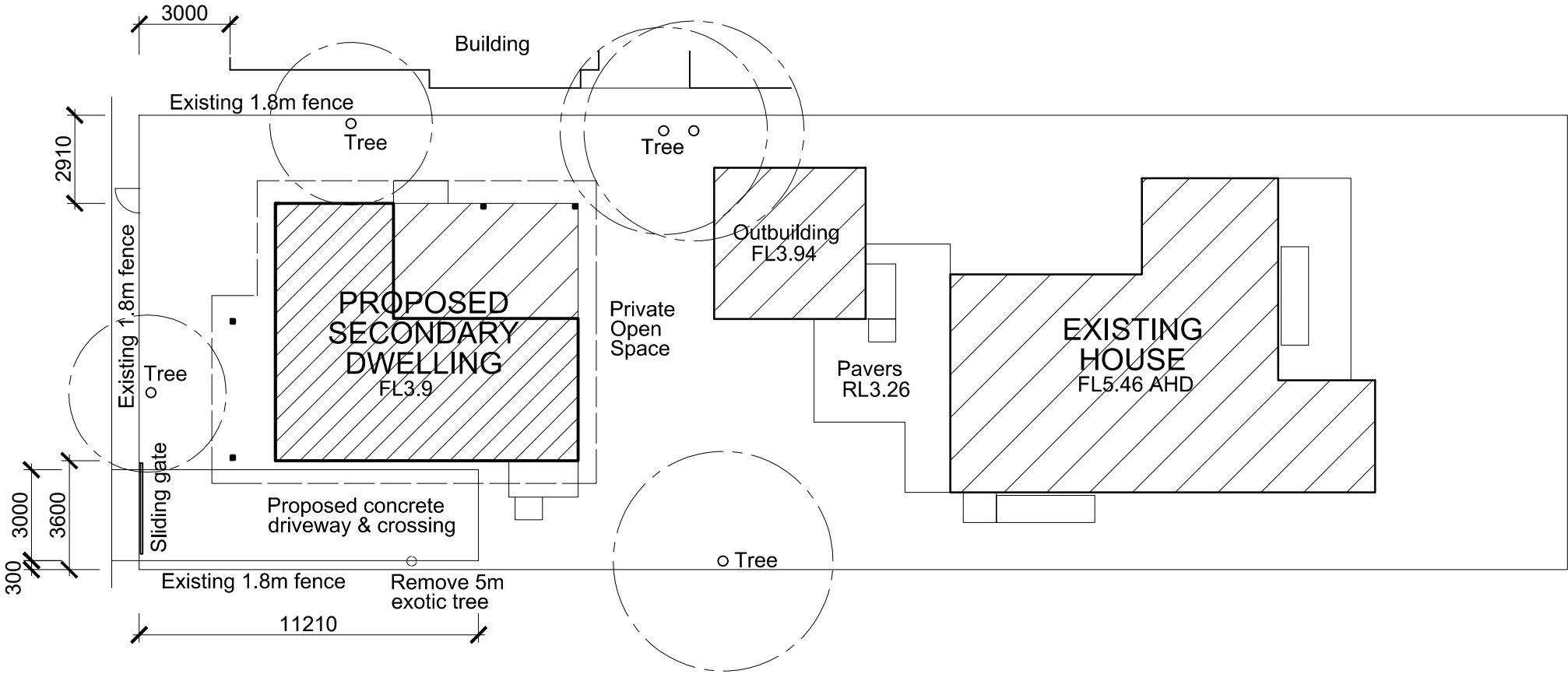


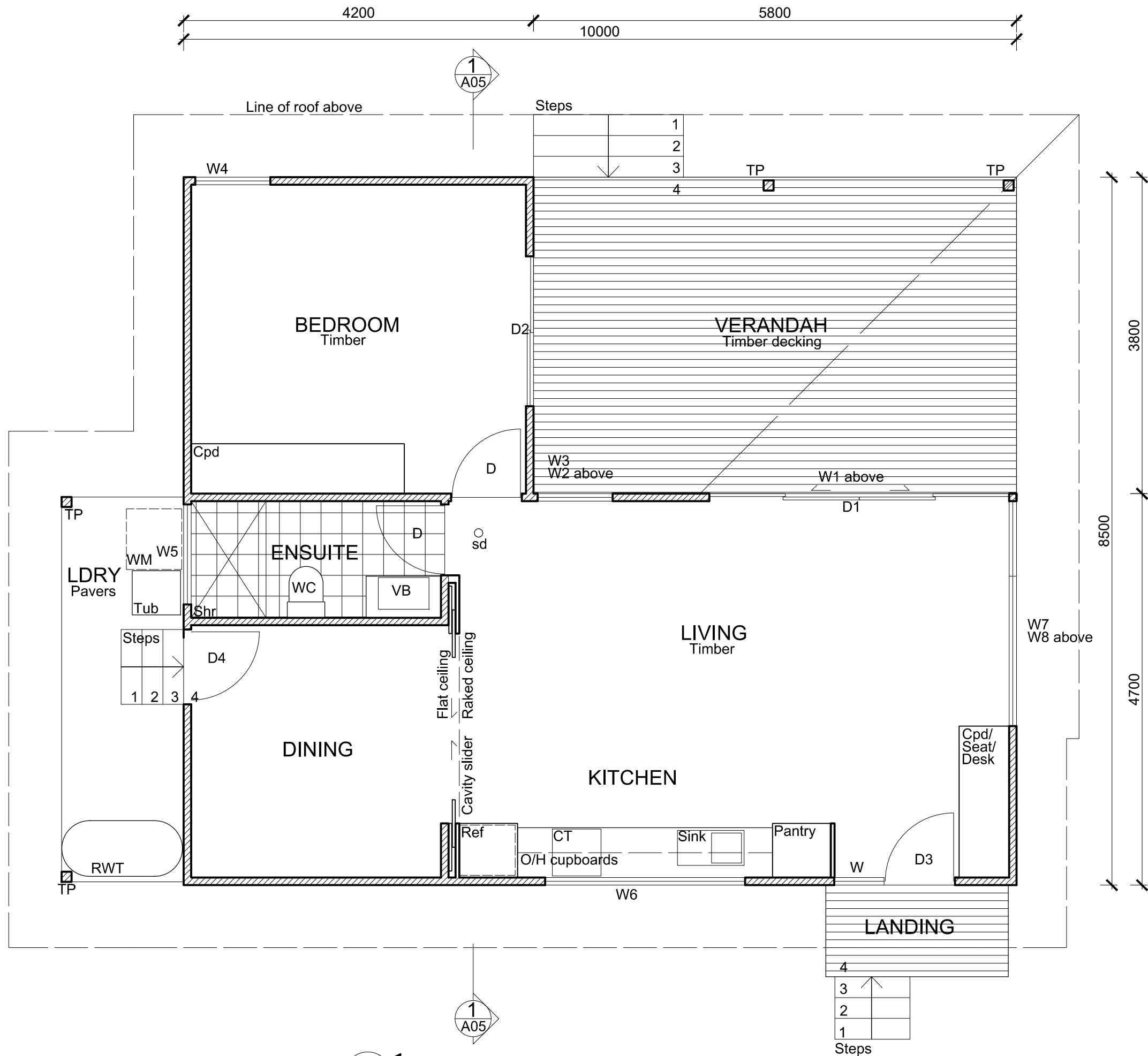
HOLLINGWORTH LANE

NEW CITY ROAD



SITE PLAN

Issue A	Amendment Development application	Date Dec 2020
PROPOSED SECONDARY DWELLING		
AT: LOT 1 DP 1080317		
7 NEW CITY ROAD, MULLUMBIMBY		
FOR: JESSE BOURKE		
Scale 1:200 @ A3 paper size		Sept 2020
Drawing No. A01 Issue A		Drawn FS
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BASIX SPECIFICATION

Water commitments

Landscaping	100m2 of garden
	100m2 of indigenous or low water use species
Water tank	Min. 1500l to catch water from 77m2 roof area
Connect to:	Outdoor tap & toilet
Shower Heads	4 stars or 4.5 < 6l/min.
Toilet	5 stars
Bathroom taps	5 stars
Kitchen taps	5 stars

Insulation

R2.0 to external framed walls & internal ensuite walls
Kingspan Permifloor to floor
55mm Anticon foil backed blanket to pitched roof
R3.0 to ceiling
Roof sheeting to have medium solar absorbance

Windows & doors

Frame	Glass
D1, D2, W1	Standard aluminium
D3, W2-W8	Standard aluminium
	Low E
	Single clear

Windows & doors

Shading
W1-W8, D1-D3 Eaves and verandah as shown. Refer to drawings

Energy

Hot water Gas instantaneous (4 stars)

Cooling

Ceiling fans in living & bedroom

Heating

None

Ventilation

Kitchen - no mechanical vent
Well ventilated fridge space
Bathroom - no mechanical vent
Laundry - natural ventilation

Cooking

Gas cooktop and electric oven

Artificial lighting

Light fittings to kitchen must be dedicated to LED or fluorescent lighting. Primary lighting to all other areas to be LED or fluorescent lighting.

Alternative energy

Min. 1kW photovoltaic

Clothes drying

Outdoor clothes line

Legend

VB	Vanity basin
WC	Toilet
Cpd	Cupboard
CT	Cooktop/ oven/ rangehood
Ref	Refrigerator
D	Door
W	Window
sd	Smoke detector
TP	Timber post
RWT	1500l rainwater tank

Issue	Amendment	Date
A	Development application	Dec 2020

PROPOSED SECONDARY DWELLING

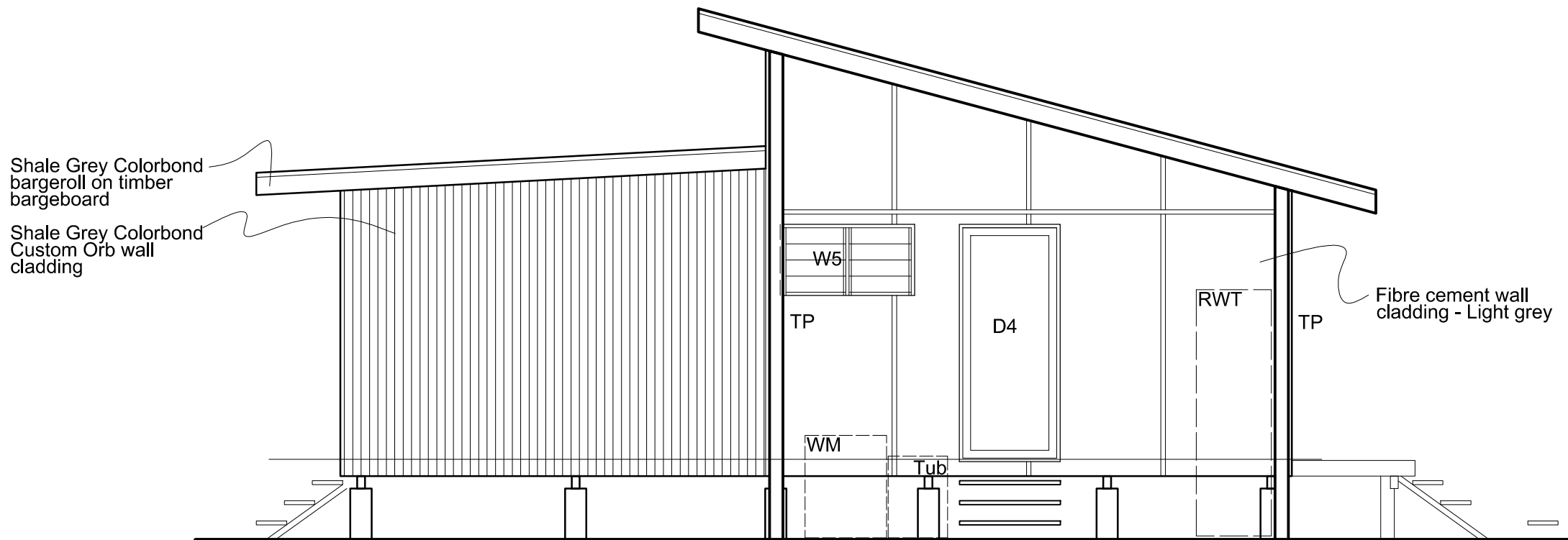
AT: LOT 1 DP 1080317
7 NEW CITY ROAD, MULLUMBIMBY
FOR: JESSE BOURKE

Scale 1:50 @ A3 paper size	Sept 2020
Drawing No. A02 Issue A	Drawn FS

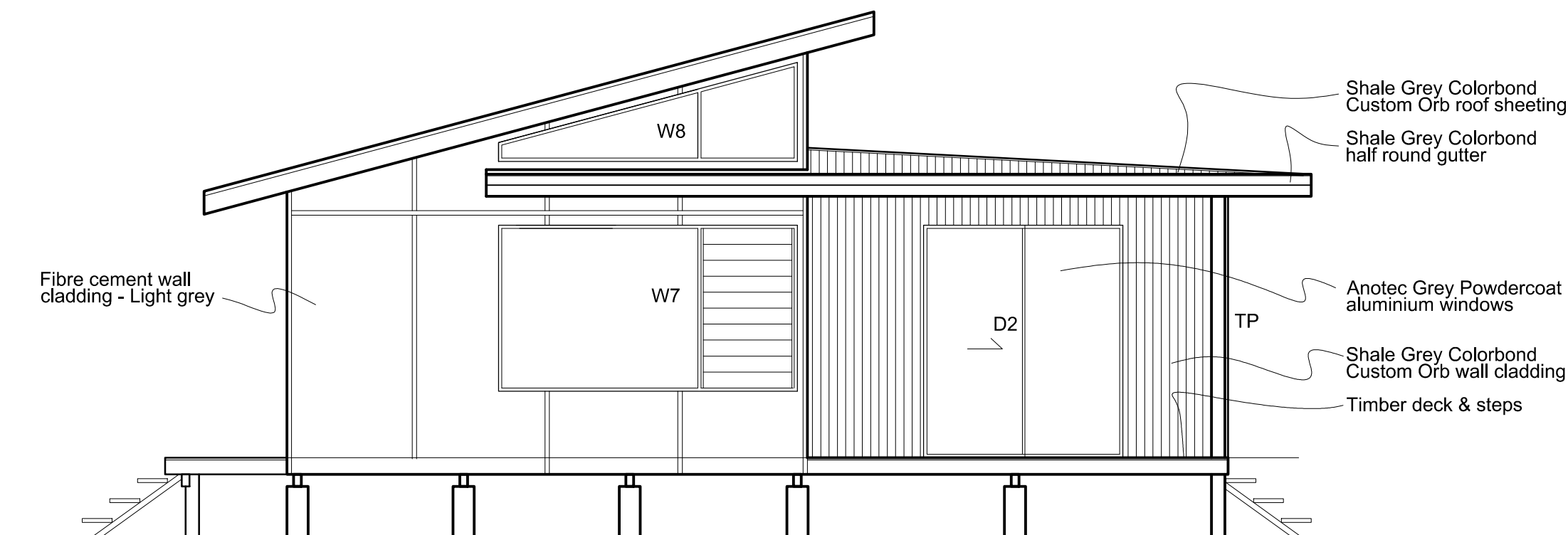
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ELEVATION
SOUTH



ELEVATION
NORTH

BASIX SPECIFICATION

Water commitments

Landscaping	100m2 of garden 100m2 of indigenous or low water use species
Water tank	Min. 1500l to catch water from 77m2 roof area
Connect to:	Outdoor tap & toilet
Shower Heads	4 stars or 4.5 < 6l/min.
Toilet	5 stars
Bathroom taps	5 stars
Kitchen taps	5 stars

Insulation

R2.0 to external framed walls & internal ensuite walls
Kingspan Permifloor to floor
55mm Anticon foil backed blanket to pitched roof
R3.0 to ceiling
Roof sheeting to have medium solar absorbance

Windows & doors

Frame	Glass
D1, D2, W1	Standard aluminium
D3, W2-W8	Standard aluminium
	Low E
	Single clear

Windows & doors

Shading
W1-W8, D1-D3 Eaves and verandah as shown. Refer to drawings

Energy

Hot water Gas instantaneous (4 stars)

Cooling

Ceiling fans in living & bedroom

Heating

None

Ventilation

Kitchen - no mechanical vent
Well ventilated fridge space
Bathroom - no mechanical vent
Laundry - natural ventilation

Cooking

Gas cooktop and electric oven

Artificial lighting

Light fittings to kitchen must be dedicated to LED or fluorescent lighting. Primary lighting to all other areas to be LED or fluorescent lighting.

Alternative energy Min. 1kW photovoltaic

Clothes drying

Outdoor clothes line

Legend

D	Door
W	Window
TP	Timber post
RWT	Rainwater tank
WM	Washing machine

Issue	Amendment	Date
A	Development application	Dec 2020

PROPOSED SECONDARY DWELLING

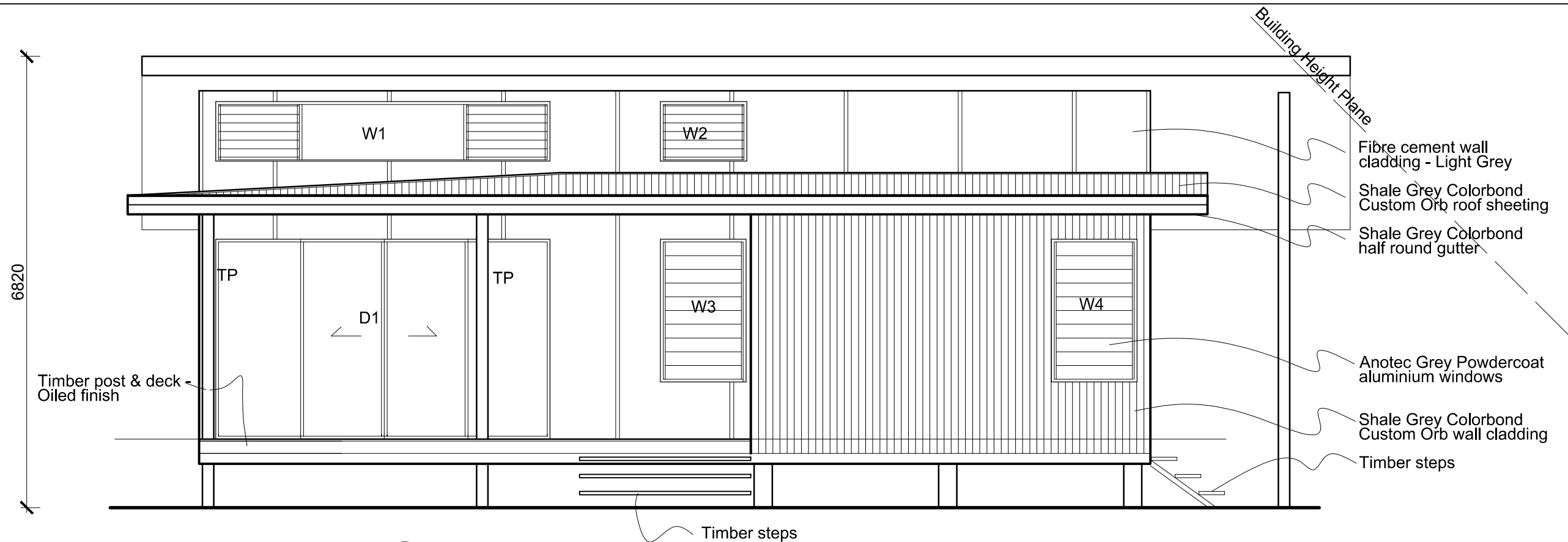
AT: LOT 1 DP 1080317
7 NEW CITY ROAD, MULLUMBIMBY
FOR: JESSE BOURKE

Scale 1:50 @ A3 paper size	Sept 2020
Drawing No. A03 Issue A	Drawn FS

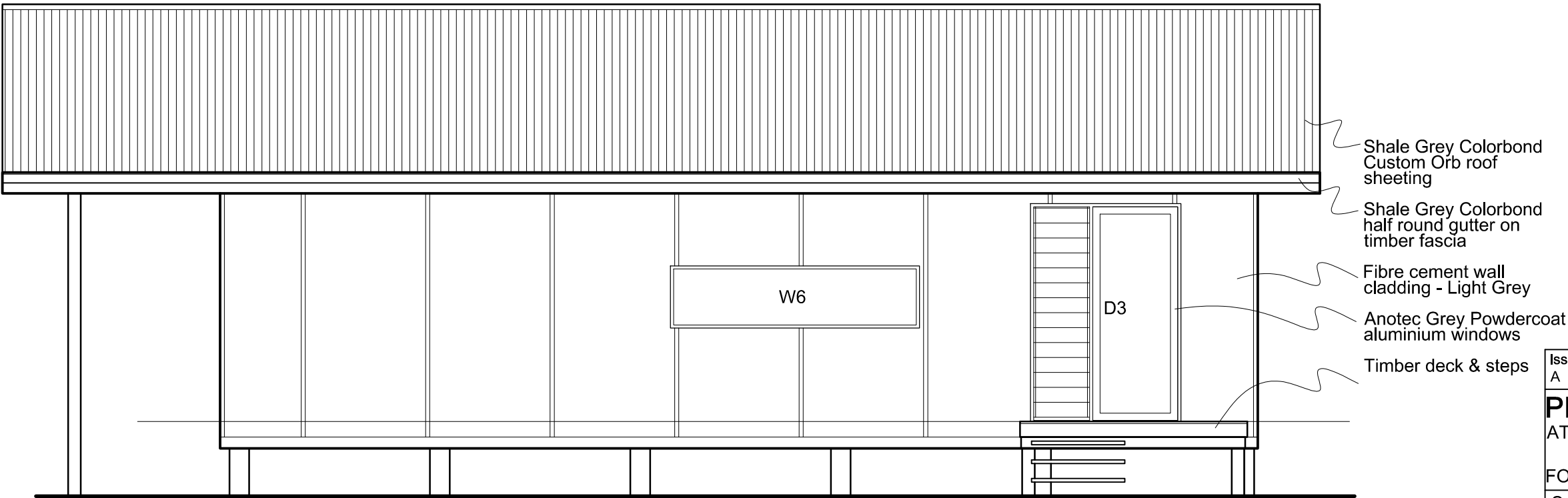
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ELEVATION
WEST



ELEVATION
EAST

Legend
D Door
W Window
TP Timber post

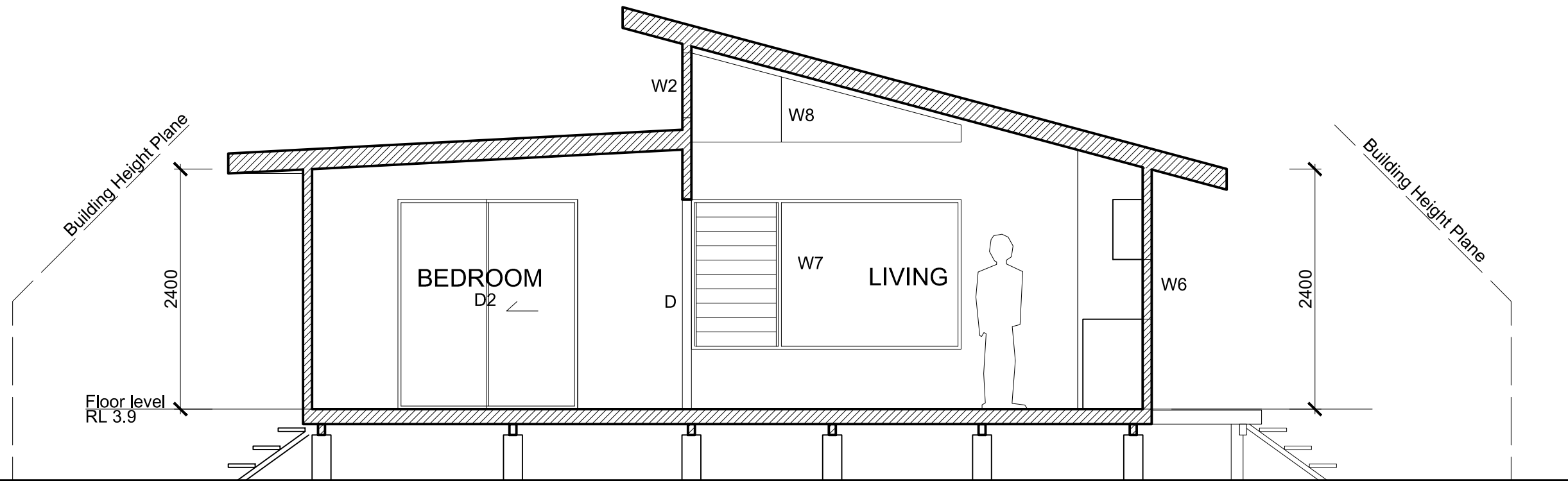
Issue A	Amendment Development application	Date Dec 2020
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PROPOSED SECONDARY DWELLING
AT: LOT 1 DP 1080317
7 NEW CITY ROAD, MULLUMBIMBY
FOR: JESSE BOURKE

Scale 1:50 @ A3 paper size	Sept 2020
Drawing No. A04 Issue A	Drawn FS

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1 SECTION
A02

Legend
D Door
W Window

Issue	Amendment	Date
A	Development application	Dec 2020
PROPOSED SECONDARY DWELLING		
AT:	LOT 1 DP 1080317	
	7 NEW CITY ROAD, MULLUMBIMBY	
FOR:	JESSE BOURKE	
Scale 1:50 @ A3 paper size		Sept 2020
Drawing No. A05 Issue A		Drawn FS
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