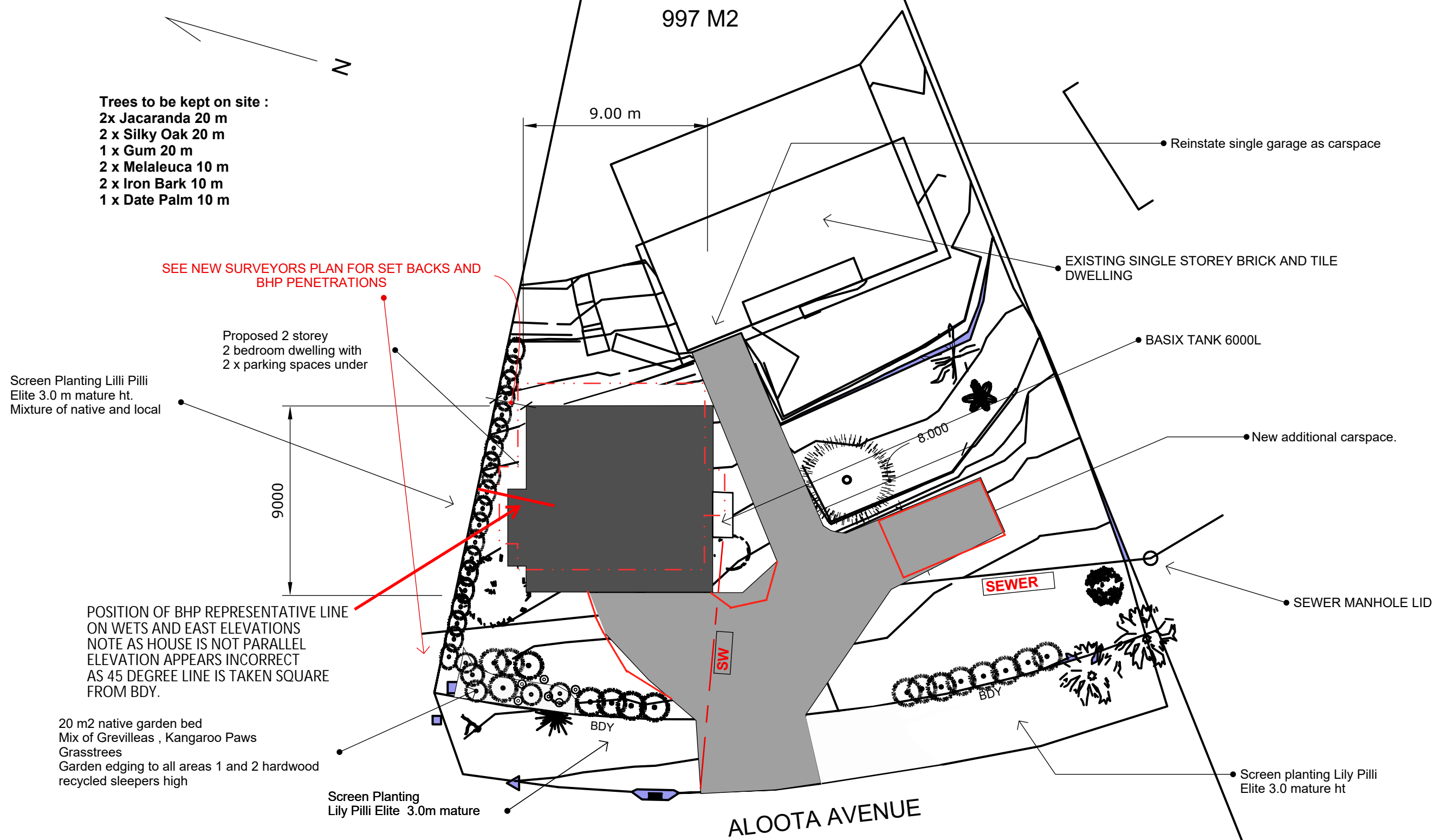


SITE PLAN,
REVISED DRIVEWAY AND LANDSCAPING PLAN
V 3.0

Revision 9, submitted 12/04/2022

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2021.205.1
Date: 13/04/2022



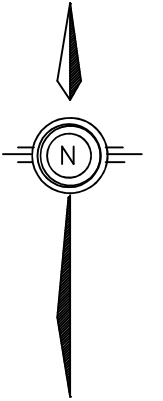
CLIENT
Matt Lute and Iona Mackenzie
8 Alooata Ave Ocean Shores
DA ISSUE V7.0

1.02.2022

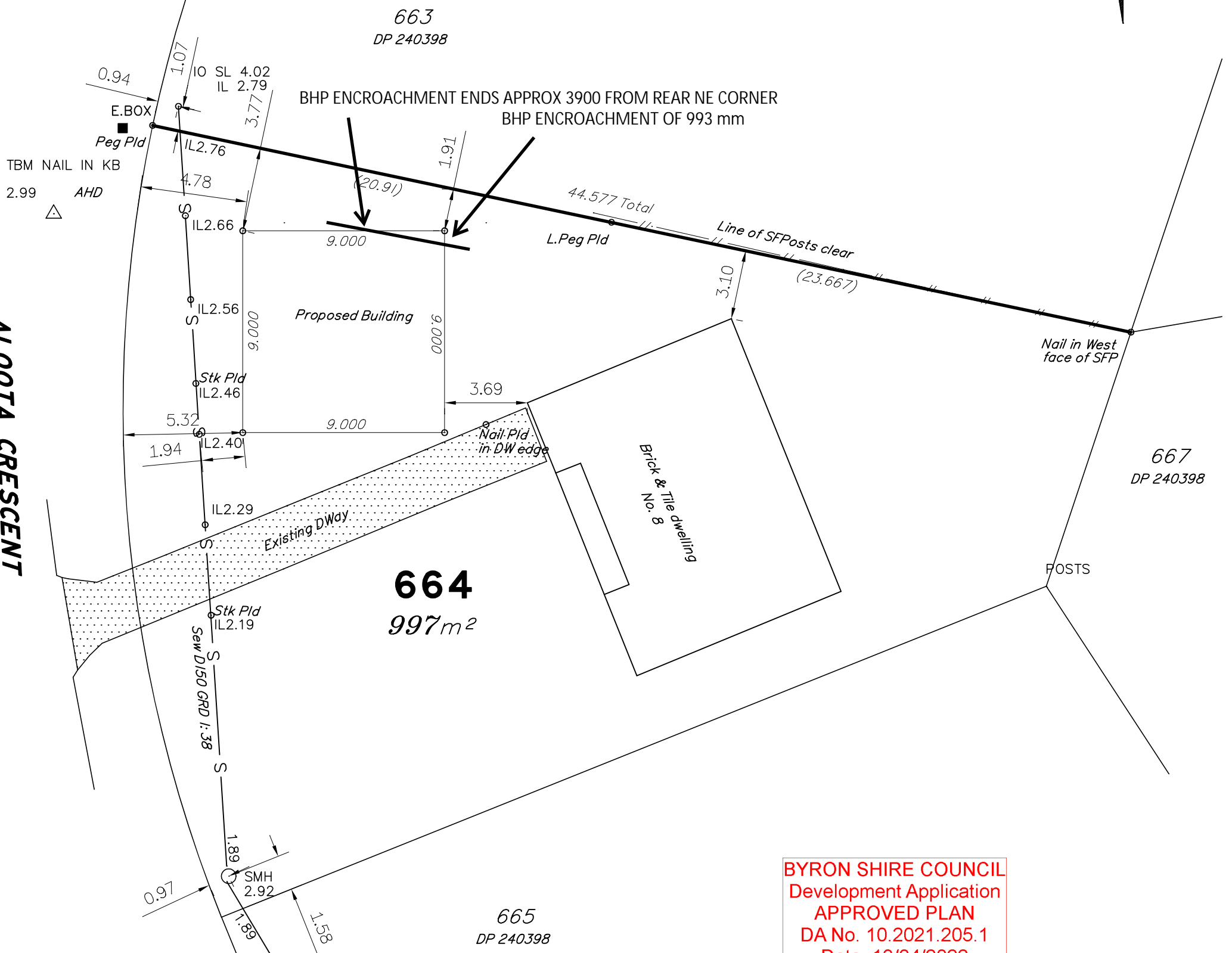
PROJECT NO.
245.170
PROJECT
8 Alooata Ave
Ocean Shores

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~~AS CONSTRUCTED~~
LOCATION PLAN

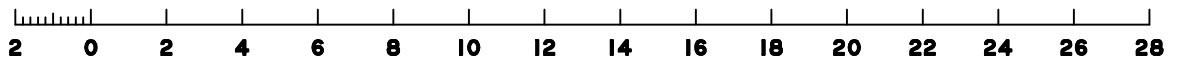


ALLOOTA CRESCENT



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SCALE 1:200 - LENGTHS ARE IN METRES.



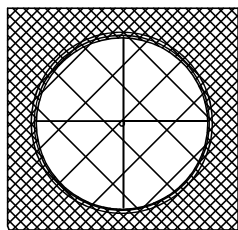
NOTE: THIS IS A LOCATION PLAN ONLY.
LOCATION OF PEGS, FENCES, RET. WALLS ETC ARE DIAGRAMATIC ONLY
AND SUBJECT TO AN IDENTIFICATION SURVEY.

CERTIFICATION

I Robert Scot Jasprizza, Cadastral Surveyor,
certify that the details shown on this sketch
plan are correct.

Date 26/3/2022

R.S. JASPRIZZA (CADASTRAL SURVEYOR)



**R.S. JASPRIZZA
AND
ASSOCIATES**

TELEPHONE (02)
02 6676 1865

P.O. BOX 417
POTTSVILLE
NSW 2489
MOBILE 0408 766 195
FACSIMILE (02)
02 6676 3790

CLIENT
McKENZIE

PROJECT
8 ALLOOTA CRES

PROJECT REF. No.
2020/2417

SHEET
OF

SCALE 1 : 200

DATE 26/3/2022

~~AS CONSTRUCTED~~ LOCATION PLAN OF:

SEWER IN LOT 664 DP 240398

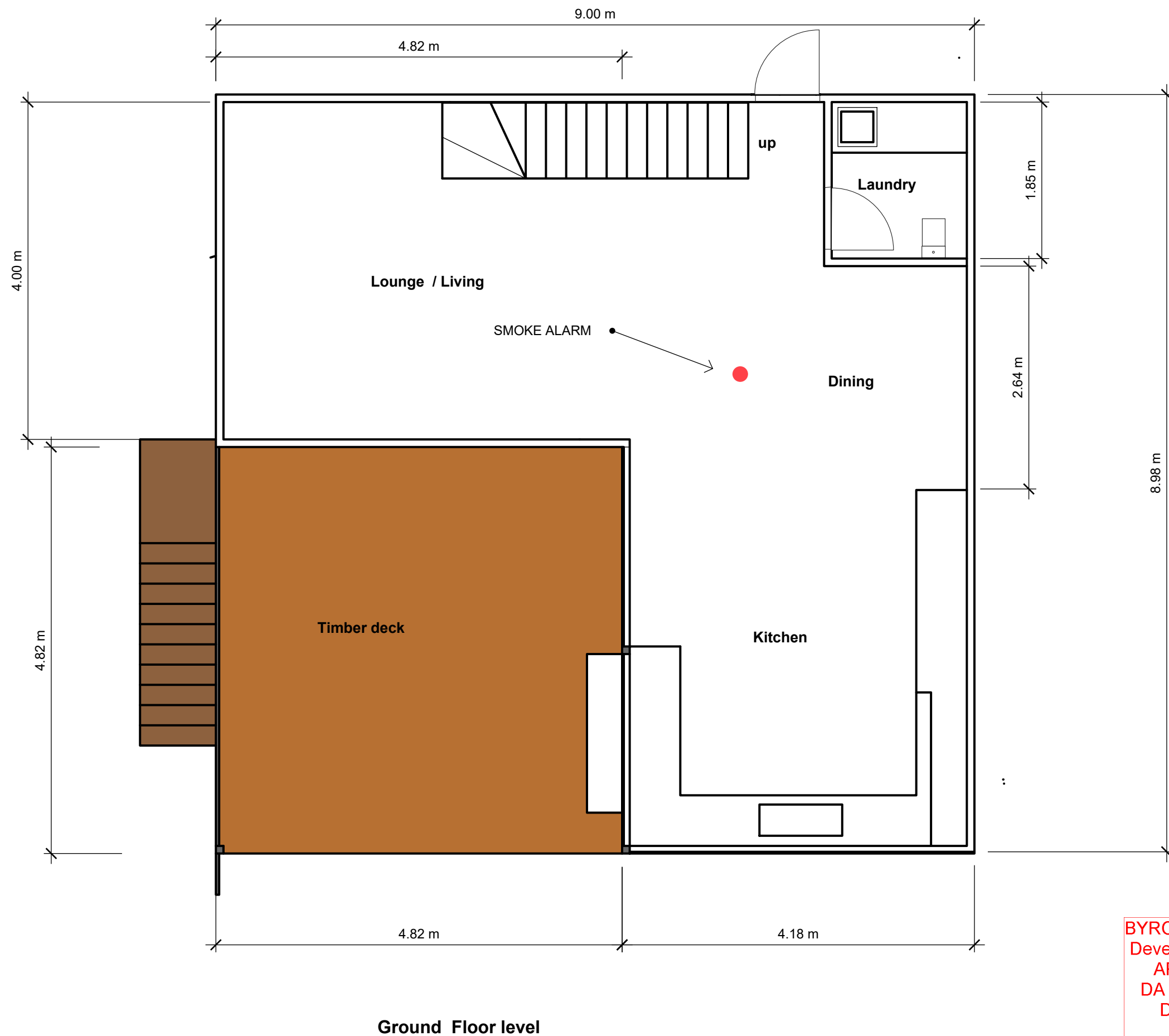
Scale: 200

Format: **STANDARD**

REV B

PARISH: **BILLINUDGEL**

COUNTY: **ROUS**



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CLIENT
 Matt Lute and Iona Mackenzie
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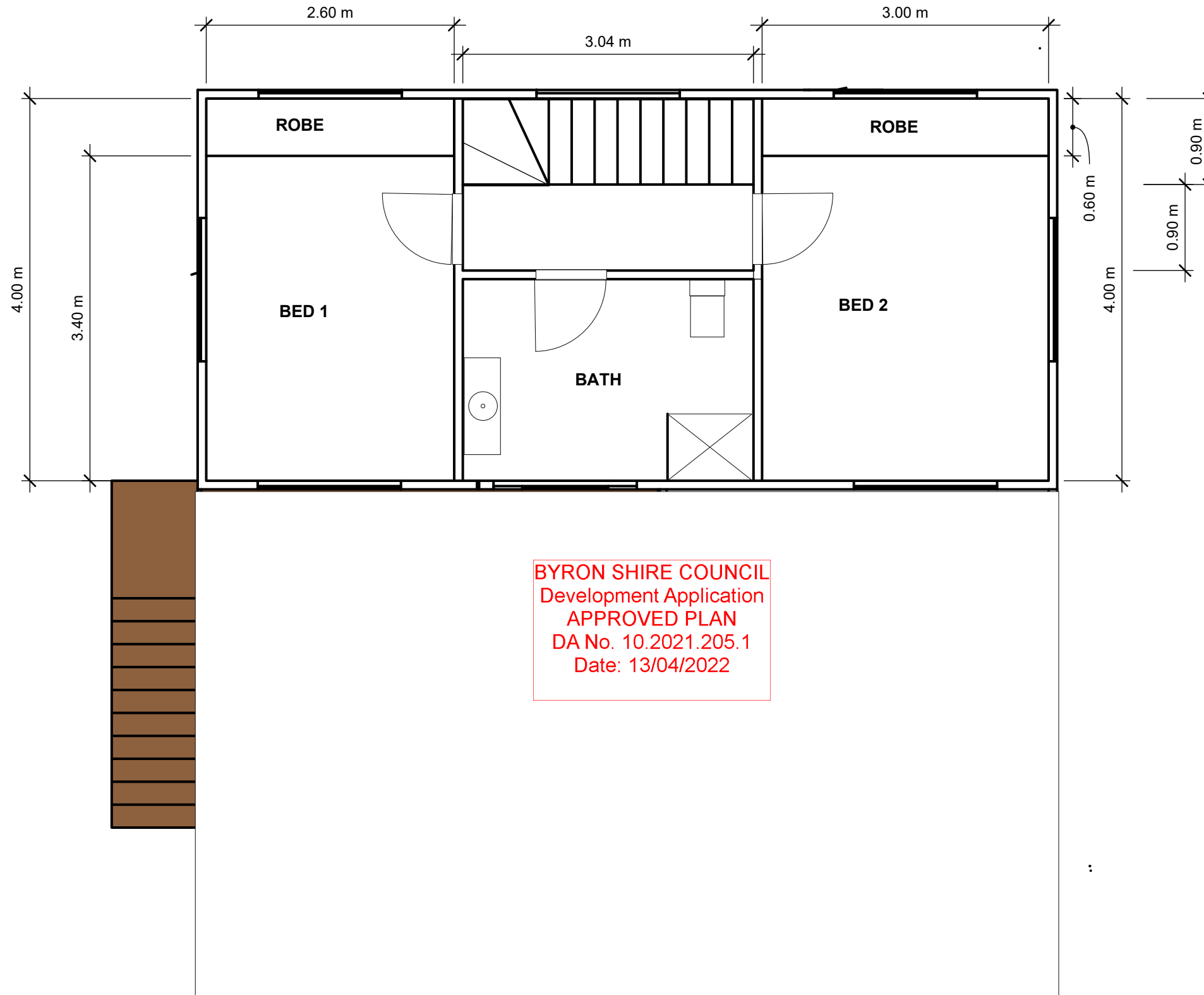
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07



First Floor plan

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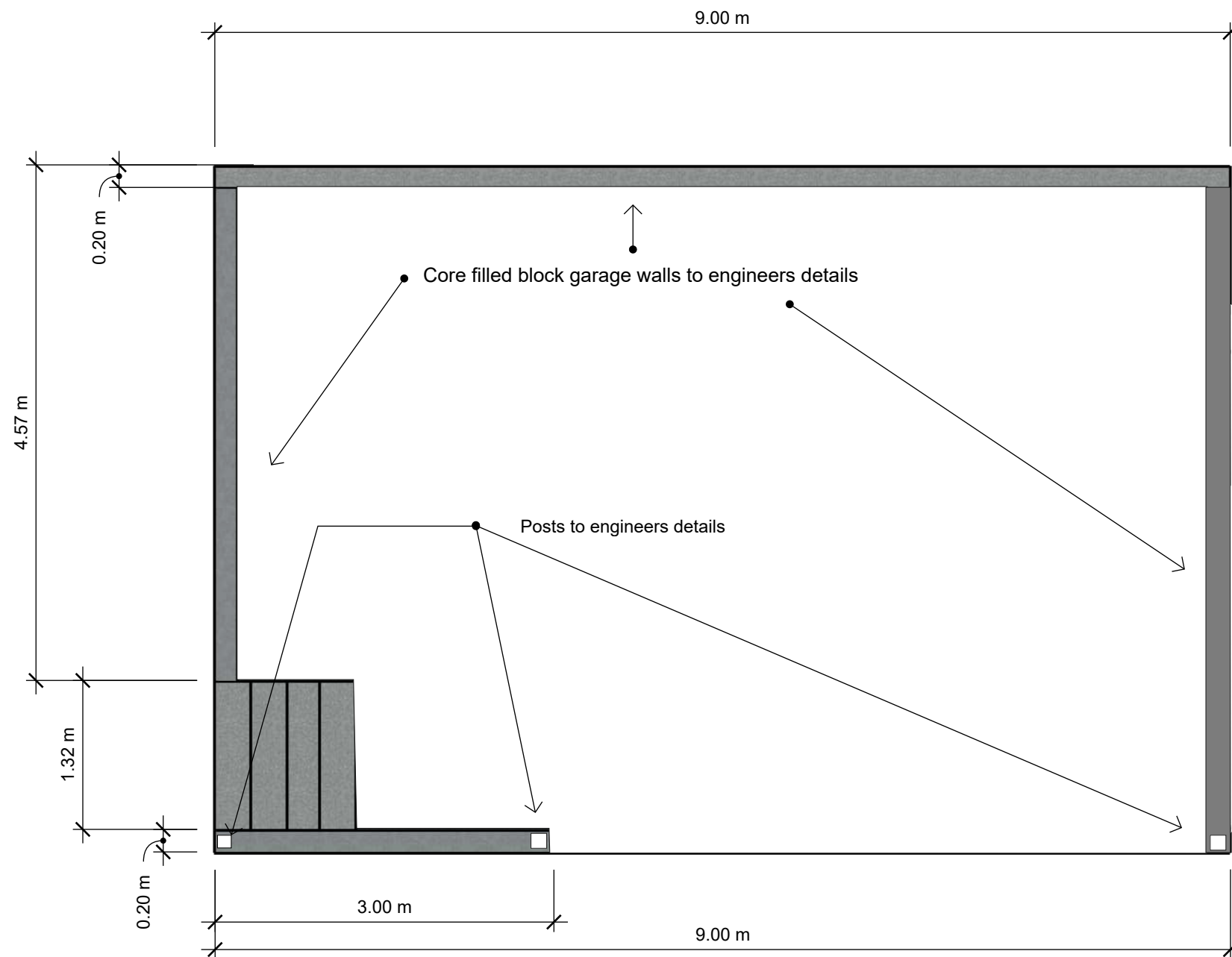
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CARPARK / GARAGE SPACE

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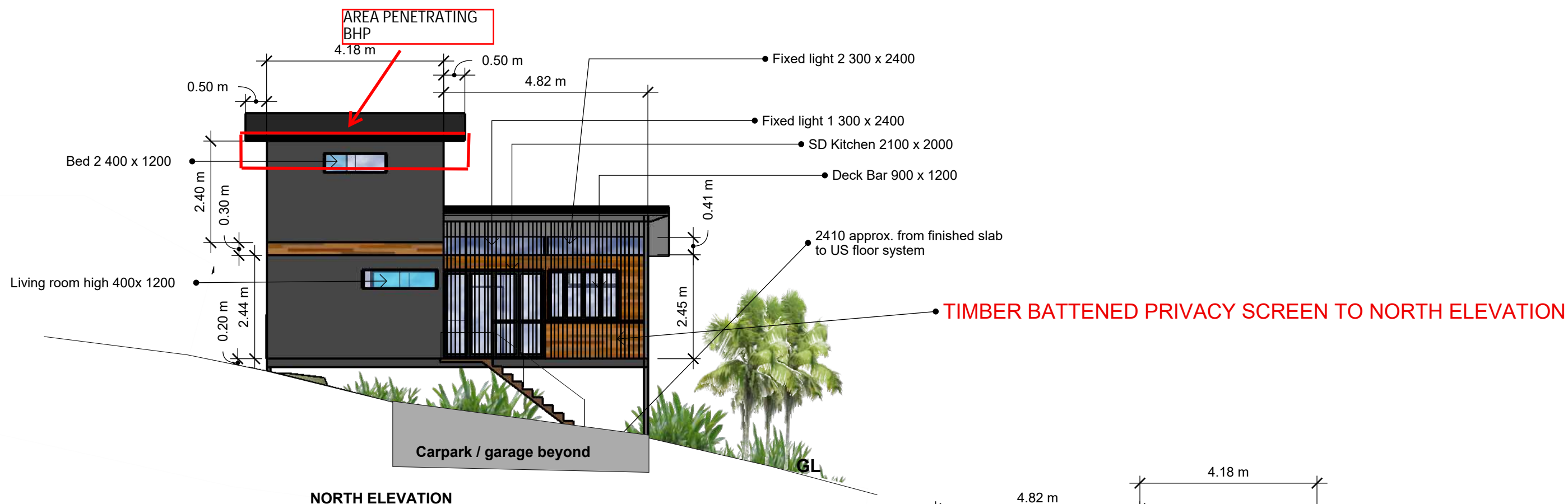
1.02.2022

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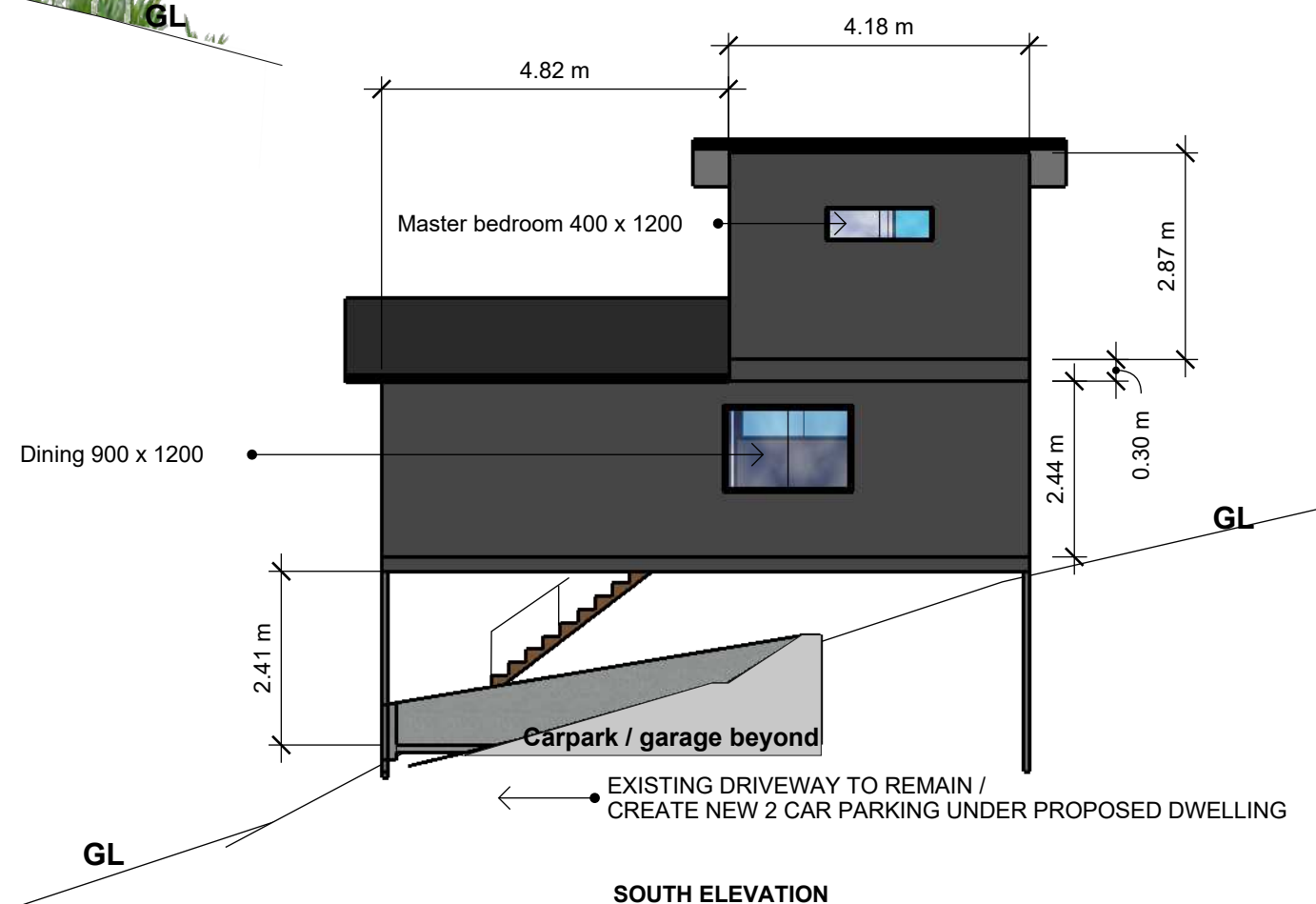
10



Construction Notes :

- :: 90 mm timber framed construction
- :: LVL / I joist floor frame to engineers specifications bearing onto 89 x 89 SHS steel posts.
- :: Bored piers as required to engineers details
- :: Core filled blockwork and retaining walls to perimeter of garage as per engineers details.
- :: F.C Cladding to all external walls with painted timber cover strips
- :: Aluminium windows and doors as selected
- :: Colorbond Custom Orb roofing in DUNE colour
- :: All tapware / insulation / water collection as per BASIX requirements
- :: Mains power supported Smoke detectors to be installed
- :: Internal and external staircases to meet AS
- :: Antecon roofing blanket to underside of roofing
- :: Wet area waterproofing to meet AS
- Stormwater to connect to councils system as per AS 3500
- :: Carparking to comply with AS 2890.1

MECHANICAL EXHAUST TO HAVE FLOW RATES AS PER BCA REQUIREMENTS
 PART 3.8.7.3
 BATHROOM 25L / SEC
 LAUNDRY 20L / SEC
 KITCHEN 50L / SEC
 WALLS HAVE PLIABLE SARKING MEMBRANE



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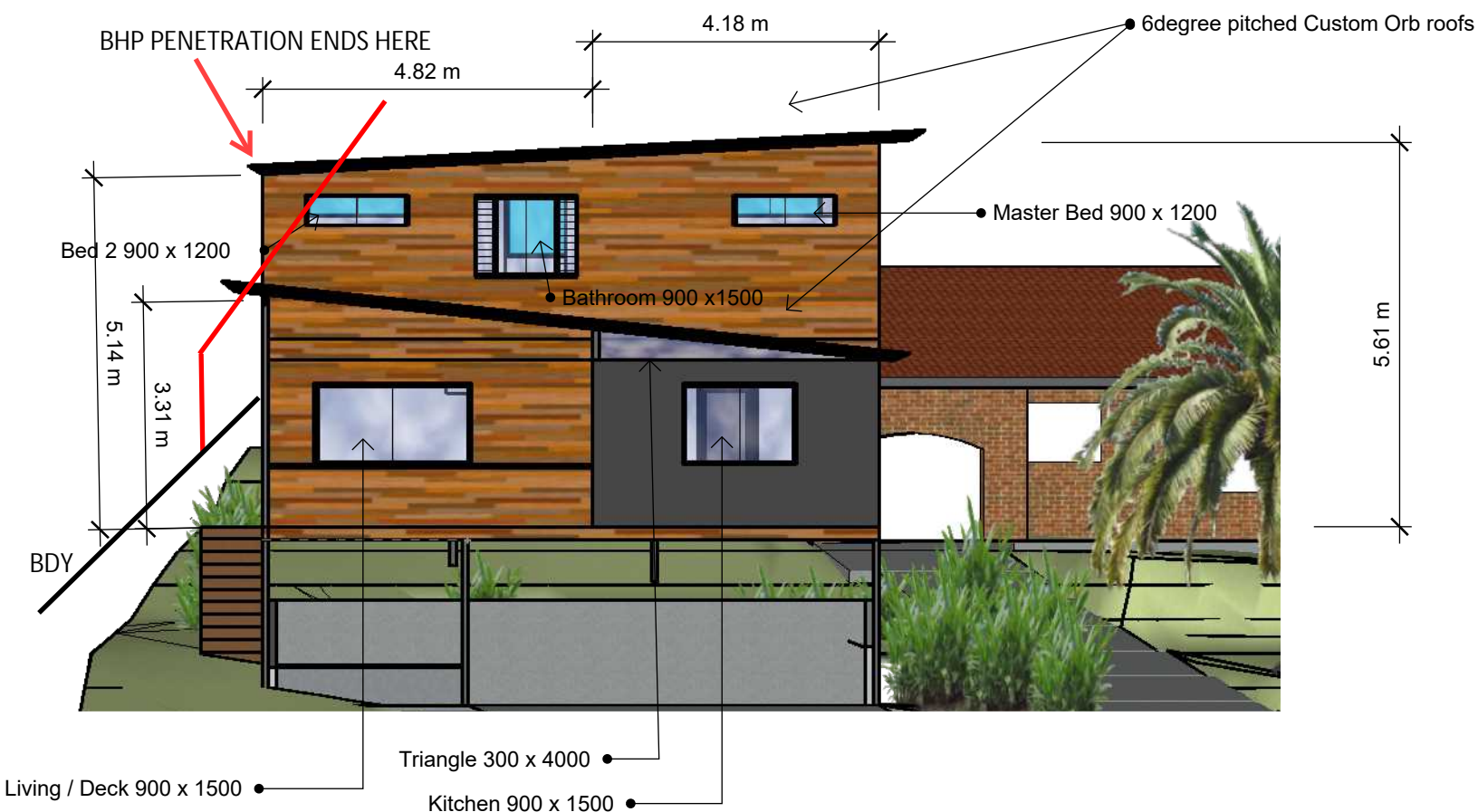
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05

AS HOUSE IS NOT PARALLEL WITH BOUNDARY
45 DEG LINE APPEARS TO BE OBLIQUE AND NOT A TRUE REPRESENTATION



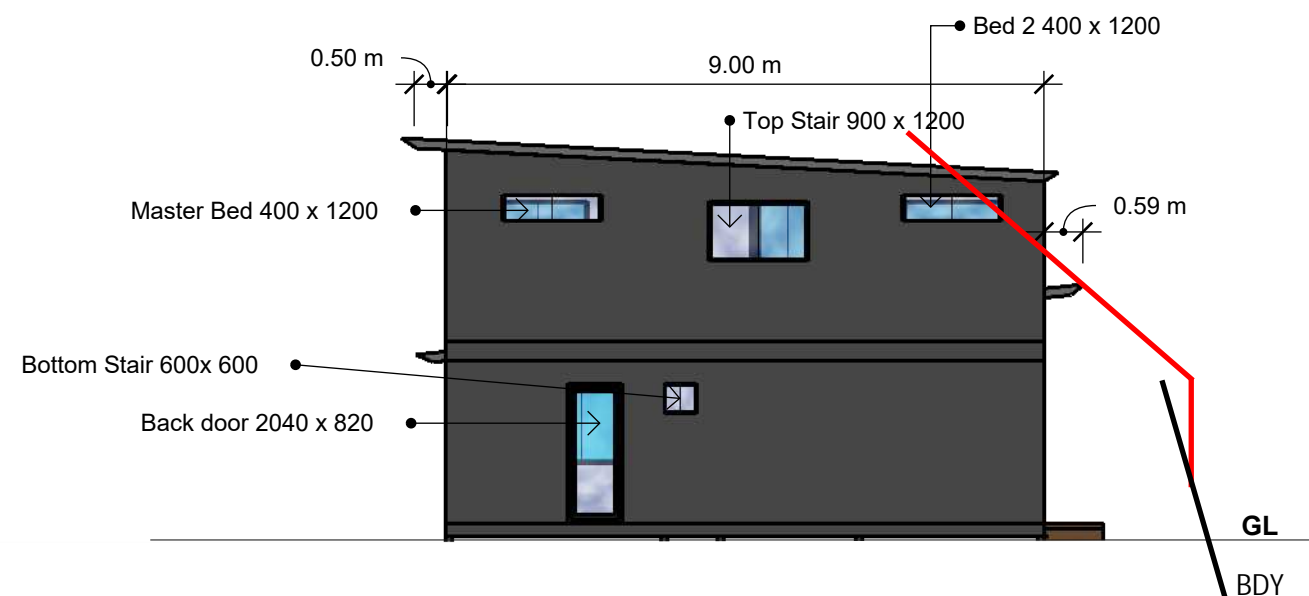
WEST ELEVATION

BHP encroachment has no nett effect on shadow cast to property to North.
Given odd block shape, dimensions and easement restrictions to
West Boundary Drainage easement
BHP encroachment has resulted.
Please reference DA.10.2020.299.1 for precedence set by DA approval granted 14 Aug 2020 by BSC.

This proposal shares the same aspect and yields the same zero effect to neighbours amenity / ability to undertake and enjoy recreational activities and natural sunlight as per councils requirements at councils stipulated times.

Construction Notes :

- :: 90 mm timber framed construction
- :: LVL / I joist floor frame to engineers specifications bearing onto 89 x 89 SHS steel posts.
- :: Bored piers as required to engineers details
- :: Core filled blockwork and retaining walls to perimeter of garage as per engineers details.
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- :: Wet area waterproofing to meet AS
- Stormwater to connect to councils system as per AS 3500
- :: Carparking to comply with AS 2890.1



EAST ELEVATION

ACTUAL SIDE BOUNDARY ATTITUDE
45 DEGREE LINE POSITION IS HIGHER
THAN GL AT REAR OF HOUSE

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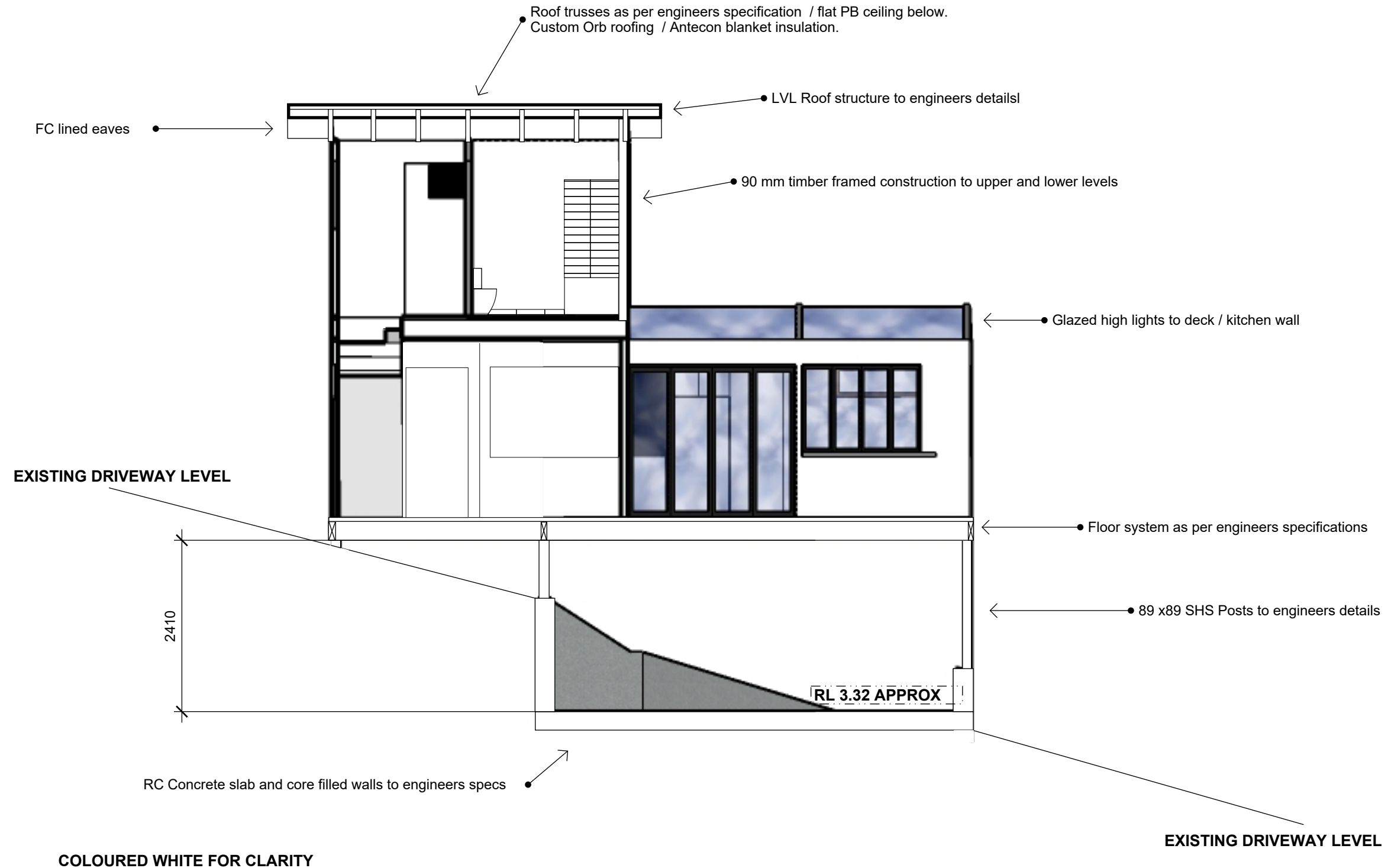
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TYPICAL SECTION

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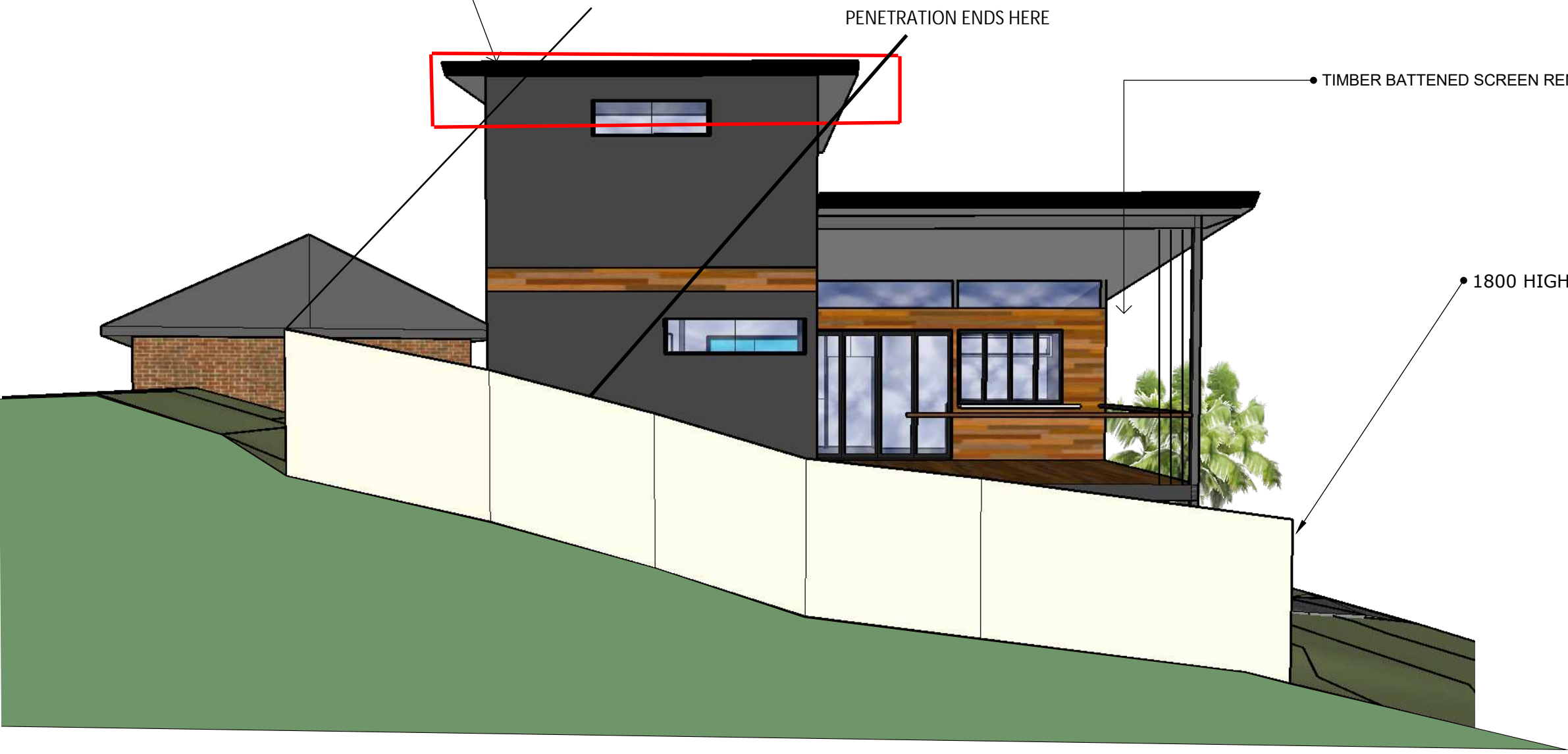
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DA No. 10.2021.205.1
Date: 13/04/2022

BUILDING IN NEW POSITION
PENETRATES BHP BY 993

PENETRATION ENDS HERE

TIMBER BATTENED SCREEN REMOVED FOR CLARITY

1800 HIGH FENCE AT INDIVIDUAL CONTOURS



NORTH ELEVATION

HEIGHT PLANE PERSPECTIVE 3

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8 Alooata Ave Ocean Shores
DA ISSUE V7.0

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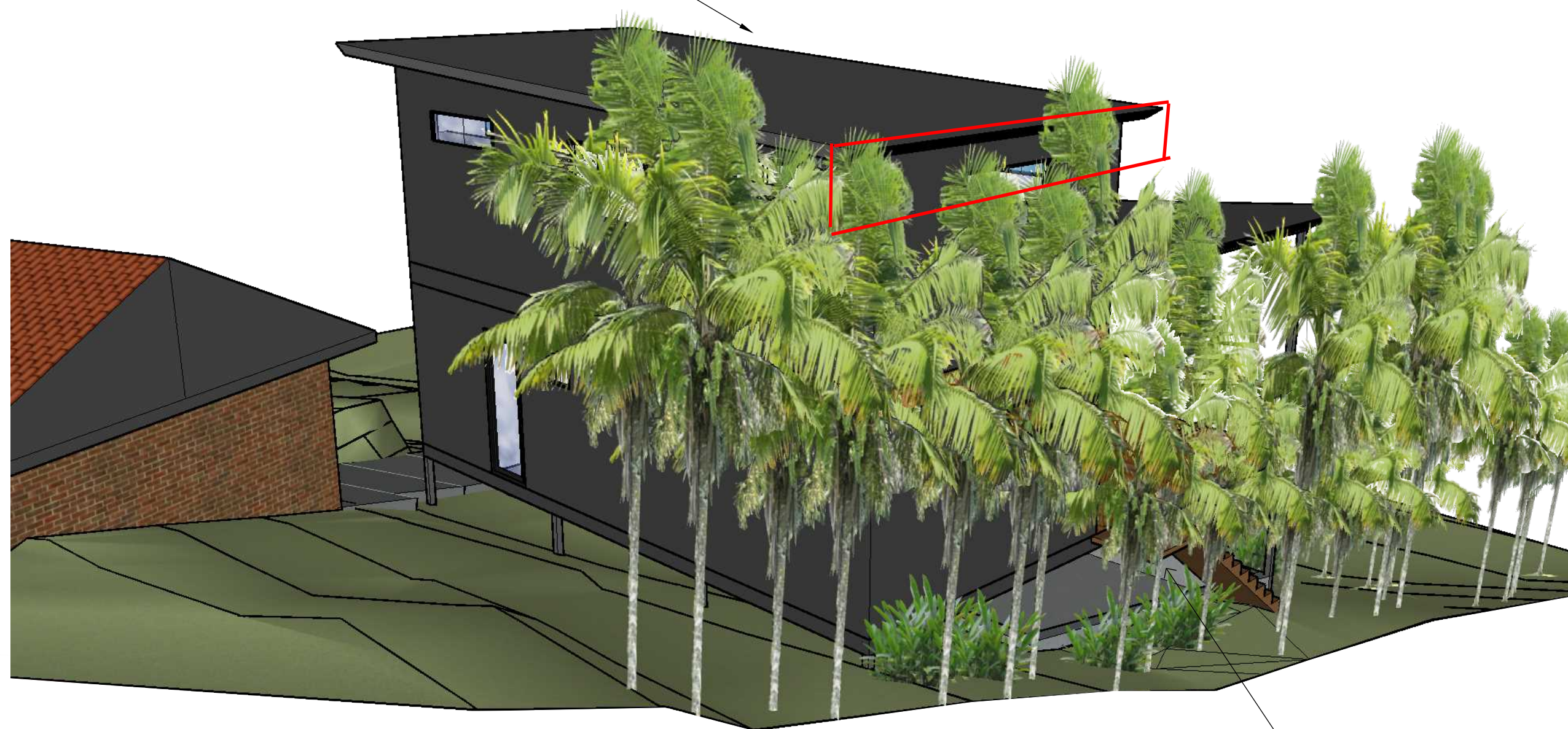
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13

NOW REVISED TO
APPROX 993 THROUGH HEIGHT PLANE AT NE CORNER

TIMBER GRAIN AND MONUMENT GREY
EXTERNAL COLOURS ARE INDICATIVE



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Date: 13/04/2022

HEAVY PLANTINGS TO NTH BOUNDARY

HEIGHT PLANE PERSPECTIVE 1

Nth Boundary

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Actual view from North Boundary

**NOTE THERE IS NO VIEW NOR WINDOWS ON THE NEIGHBOURING PROPERTY
ON THE SOUTHERN ELEVATION.
LIKEWISE TO THE NEIGHBOURING PROPERTY , THERE IS :
NO LOSS OF AMENITY
NO LOSS OF NATURAL SUNLIGHT
NO LOSS OF VIEW**



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Perspective - Proposed Dual Occupancy Dwelling

Proposed Dual Occupancy for M Lute and I Mackenzie
8 Alooata Ave Ocean Shores

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Matt Lute and Iona Mackenzie
8 Alooata Ave Ocean Shores
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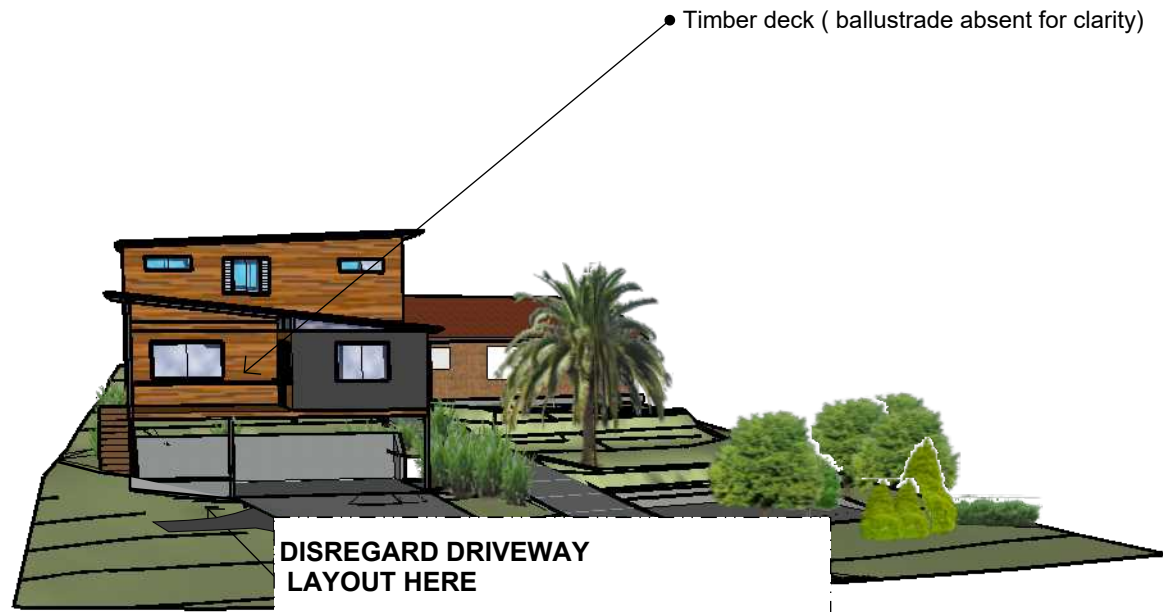
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PROJECT
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Ocean Shores

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Core filled retaining to engineers details

Refer to page to for actual driveway configuration



Perspectives

Most trees removed for clarity

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NOTES

ALL WORKS TO COMPLY WITH BUILDING CODE OF AUSTRALIA 2019, BE IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS AND LOCAL COUNCIL REGULATIONS / APPROVALS

- AS 1684 TIMBER FRAMING CODE
- AS 3700 MASONRY IN BUILDINGS
- AS 2870-2011 RESIDENTIAL SLABS AND FOOTINGS
- AS 3660.1 2014 TERMITE MANAGEMENT
- AS 3500. STORMWATER DISCHARGE
- AS 3740 WATERPROOFING OF WET AREAS
- AS 2047 WINDOWS IN BUILDINGS
- STAIRWAYS IN ACCORDANCE WITH BCA 2019 CLAUSE 3.9.1
- AS 1926 SWIMMING POOL SAFETY
- PHOTOELECTRIC SMOKE DETECTORS IN ACCORDANCE WITH BCA 2019 CLAUSE 3.7.2
- AS 2918- 2001 DOMESTIC SOLID FUEL BURNING APPLIANCES –INSTALLATION
- ALL VERANDAS AT LEVELS GREATER THAN 1000 MM TO HAVE HANDRAIL ASSEMBLIES IN ACCORDANCE WITH BCA 3.9.1 & 3.9.2
- AS 1530.8- 2012 BUILDING MATERIALS IN BUSHFIRE PRONE AREAS
- INSULATION INSTALLED IN ACCORDANCE WITH BCA PART 3.12.1.1

ALL DIMENSIONS TO BE VERIFIED BY BUILDER/ CLIENT PRIOR TO SETOUT, ORDERING OR FABRICATION OF NEW MATERIALS

CHECK FOR UNDERGROUND OBSTACLES PRIOR TO CONSTRUCTION

FOOTINGS AND TIE DOWNS TO ENGINEERS SPECIFICATIONS

DO NOT SCALE FROM DRAWING

ENSURE ALL NEW CONSTRUCTION WITHIN BUILDING ENVELOPE

BASIX COMMITMENTS refer to certificate number 1183374S_02 INCLUDING BUT NOT LIMITED TO :

WATER :

Min 6000l Tank connected to an outside tap CATCHING 105 M2 ROOF AREA
CONNECTED TO 1 X OUTDOOR TAP
Toilets 4 Star
Taps 5 Star
20 m2 native landscape area

THERMAL

Foil backed blanket to under side of roofing
giving total of R4.0 including insulation to ceiling
R 2.8 insulation to external walls 3.2 incl construction
Ceiling fans throughout.
Roof colour light tones
Wall colours light tones

ENERGY:

Windows as per schedule / standard glazing
Instantaneous gas Hot Water
LED Energy efficient lighting throughout.

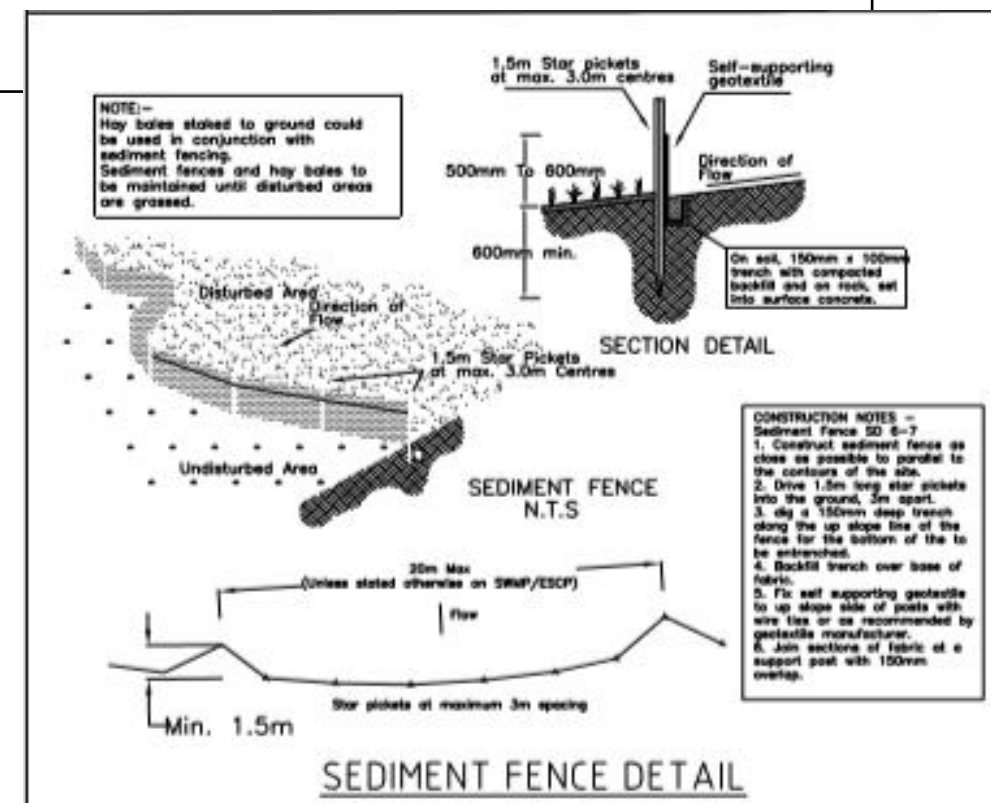
Please see BASIX Report for further info

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GENERAL NOTES

The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.
The applicant must install taps with a minimum rating of 5 star in the kitchen in the development.
The applicant must install basin taps with a minimum rating of 5 star in each bathroom in the development.

THE DWELLING MUST NOT EXCEED 300 M2
THE DWELLING MUST NOT HAVE MORE THAN 2 STOREYS
THE DWELLING MUST NOT CONTAIN A THIRD LEVEL ATTIC
THE APPLICANT MUST INSTALL WINDOWS AS PER BASIX SCHEDULE
DWELLING MAY HAVE 1 X SKYLIGHT
THE APPLICANT MUST INSTALL CEILING FANS TO LIVING AND BEDROOMS
KITCHEN FAN TO BE DUCTED TO OUTSIDE
BATHROOM FAN TO BE DUCTED TO ROOF WITH MANUAL SWITCH
LAUNDRY INDIVIDUAL FAN MANUAL SWITCH ON OFF DUCTED TO ROOF



CLIENT
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8 Alooata Ave Ocean Shores
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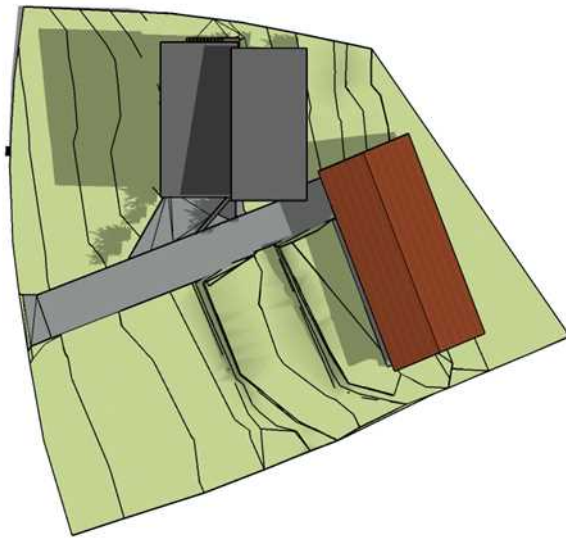
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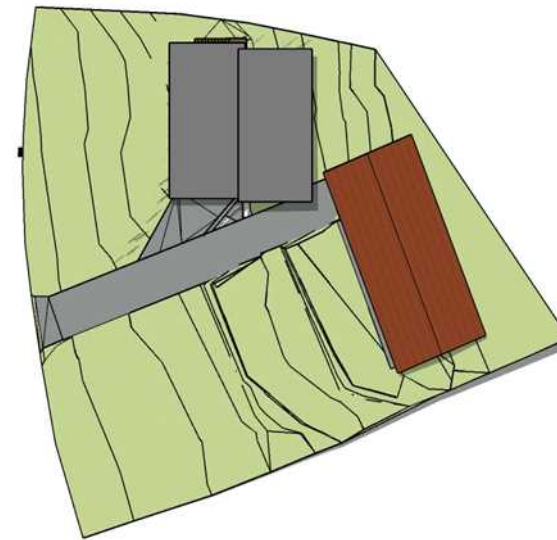
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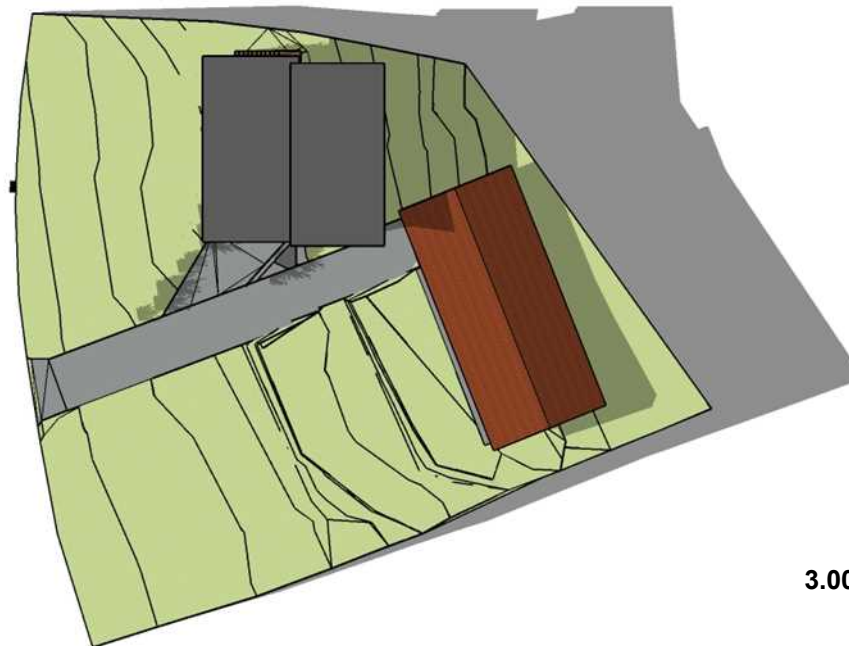
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9.00 am



12.00 pm



3.00 pm

Summer solstice shadow indications

Summer results / effects :

Zero effect on neighbour to north boundary.

Zero effect to adjoining dwelling on same lot with regard to recreation or private activity space to rear.

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8 Alooata Ave Ocean Shores
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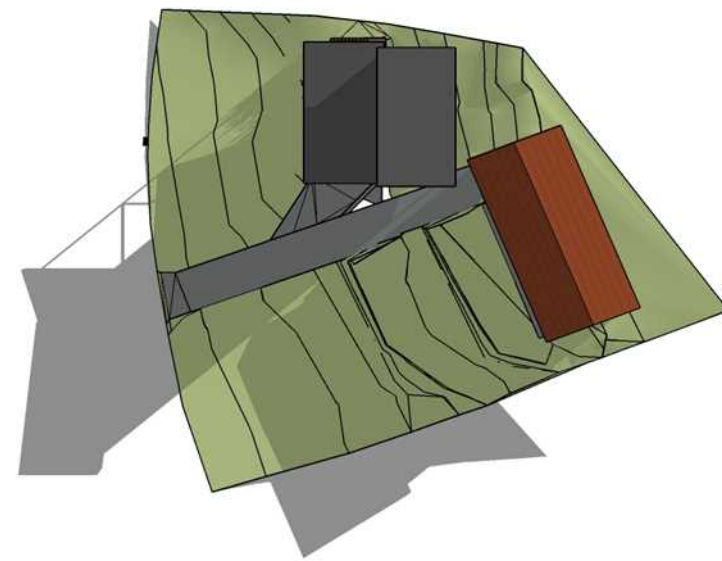
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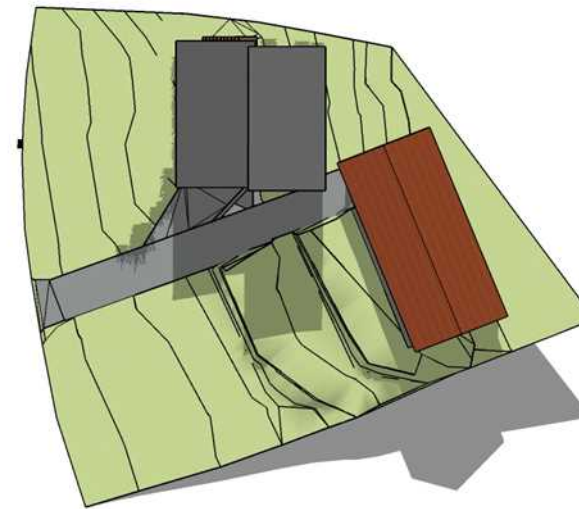
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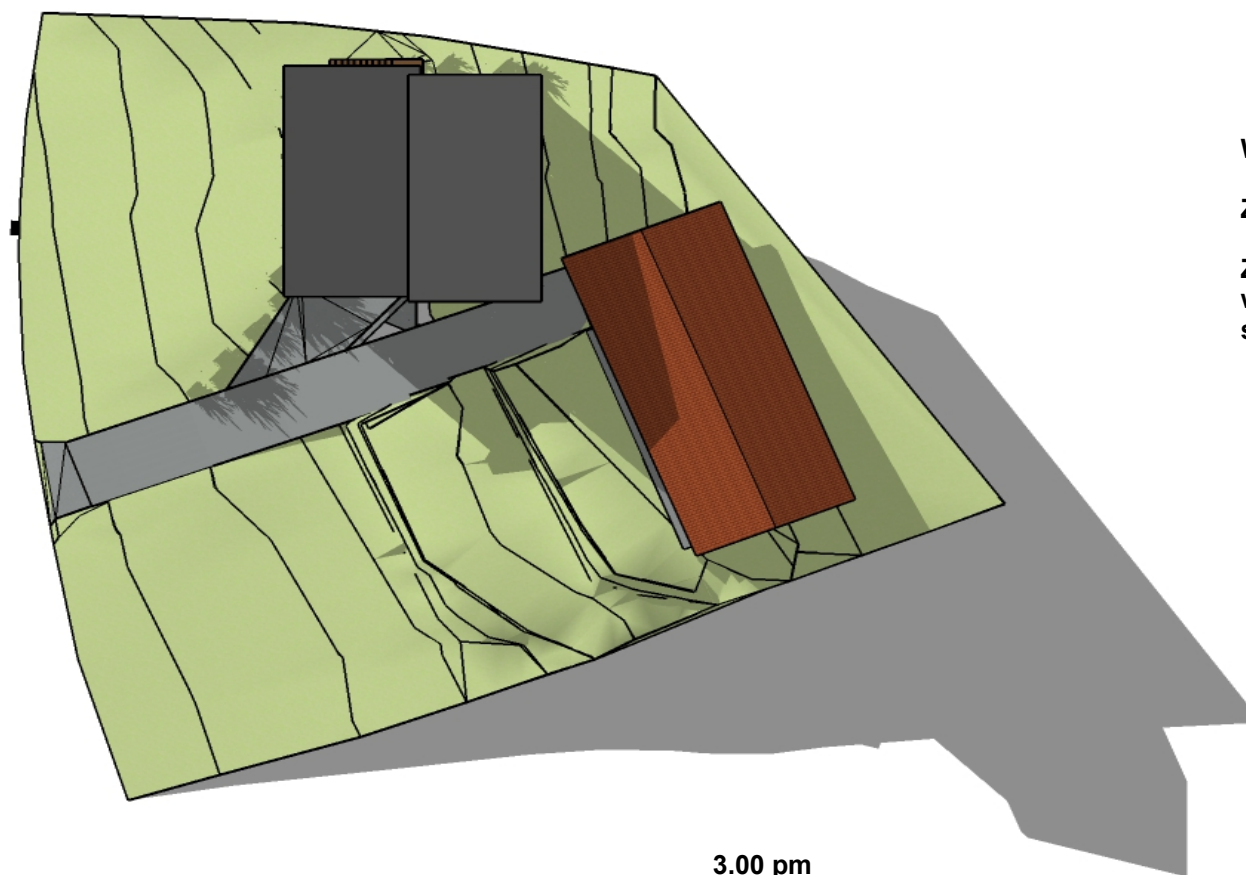
Revision 9, submitted 12/04/2022



9.00 am



12.00 pm



3.00 pm

Winter solstice patterns

Winter results / effects :

Zero effect on neighbour to north boundary.

Zero effect to adjoining dwelling on same lot with regard to recreation or private activity space to rear.

Refer to page to for actual / new driveway configuration

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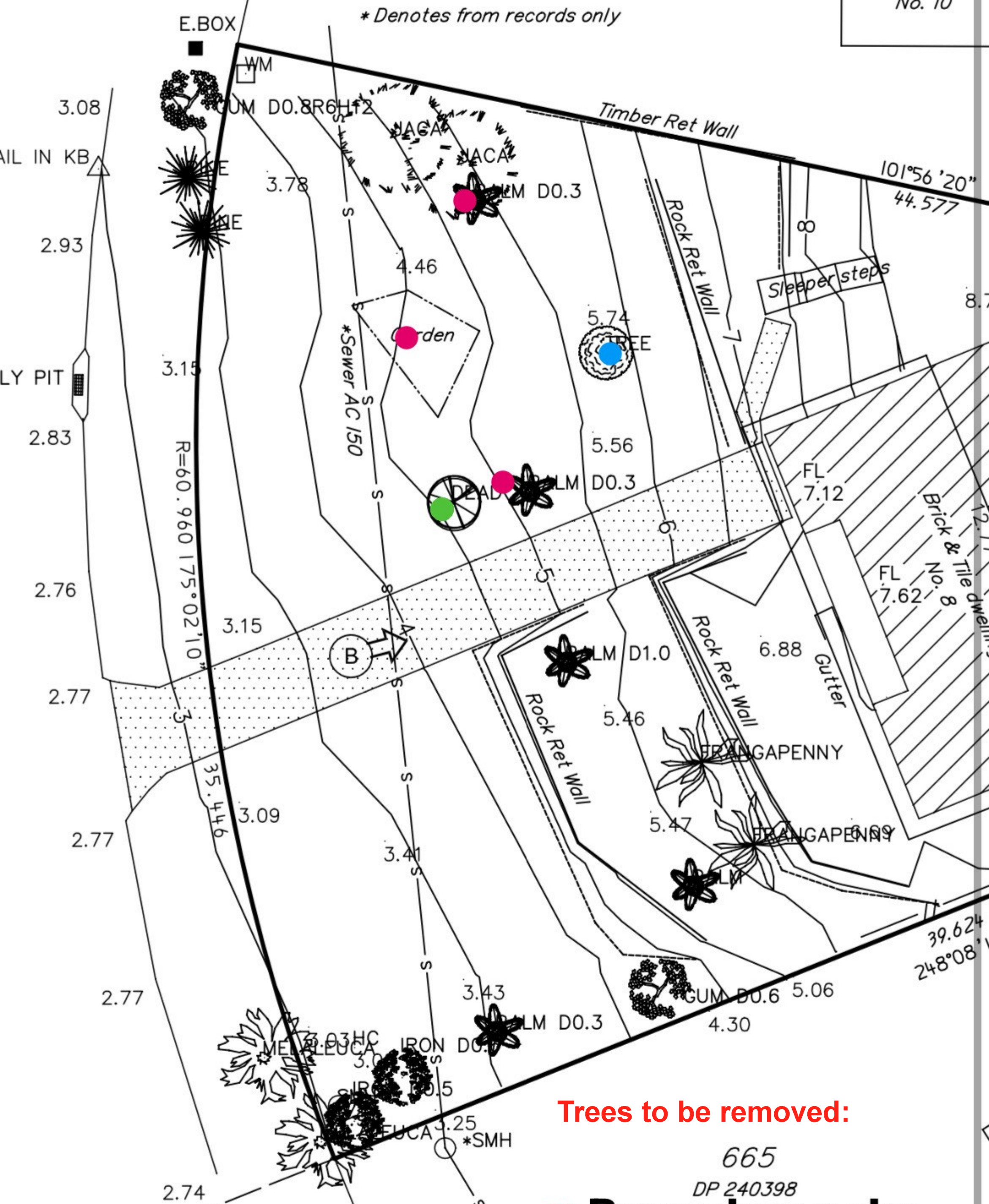
TREE REMOVAL PLAN
8 Aloota Crescent, Ocean Shores

Date submitted: 18/12/2021
Prepared by Applicant
Drawing No: A18

663
DP 240398

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2021.205.1
Date: 13/04/2022

Br&Tile
House
No. 10



Trees to be removed:

- Bangalow palm
- Tibouchina tree
- Dead as listed on plan