

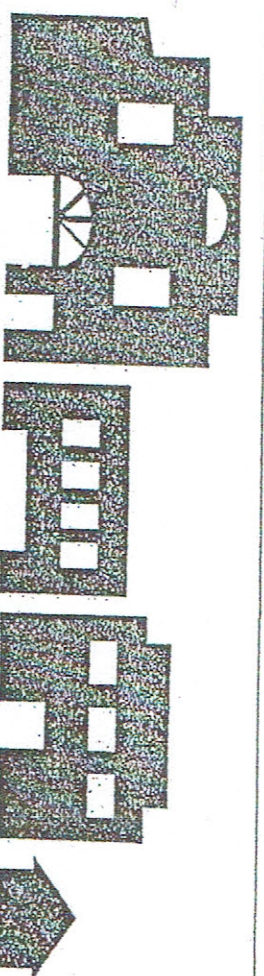
BRUNSWICK HEADS BUILDING DESIGNERS

P.O. Box 148

Brunswick Heads 2483

Ph: (02) 6685 1512

Mobile: 0427 851512



Brunswick Heads Building Designers

DEVELOPMENT

STUDIO/CARPORT & GARAGE.

Trent & Casey Forman.

No. 1. Gilba Ave, & Matong Drive Ocean Shores.

PROJECT.

Lot 3.

DP. 837447.

1. Gilba Ave, & Matong Drive Ocean Shores.

Post Code 2483.

Drawing No. 0321.

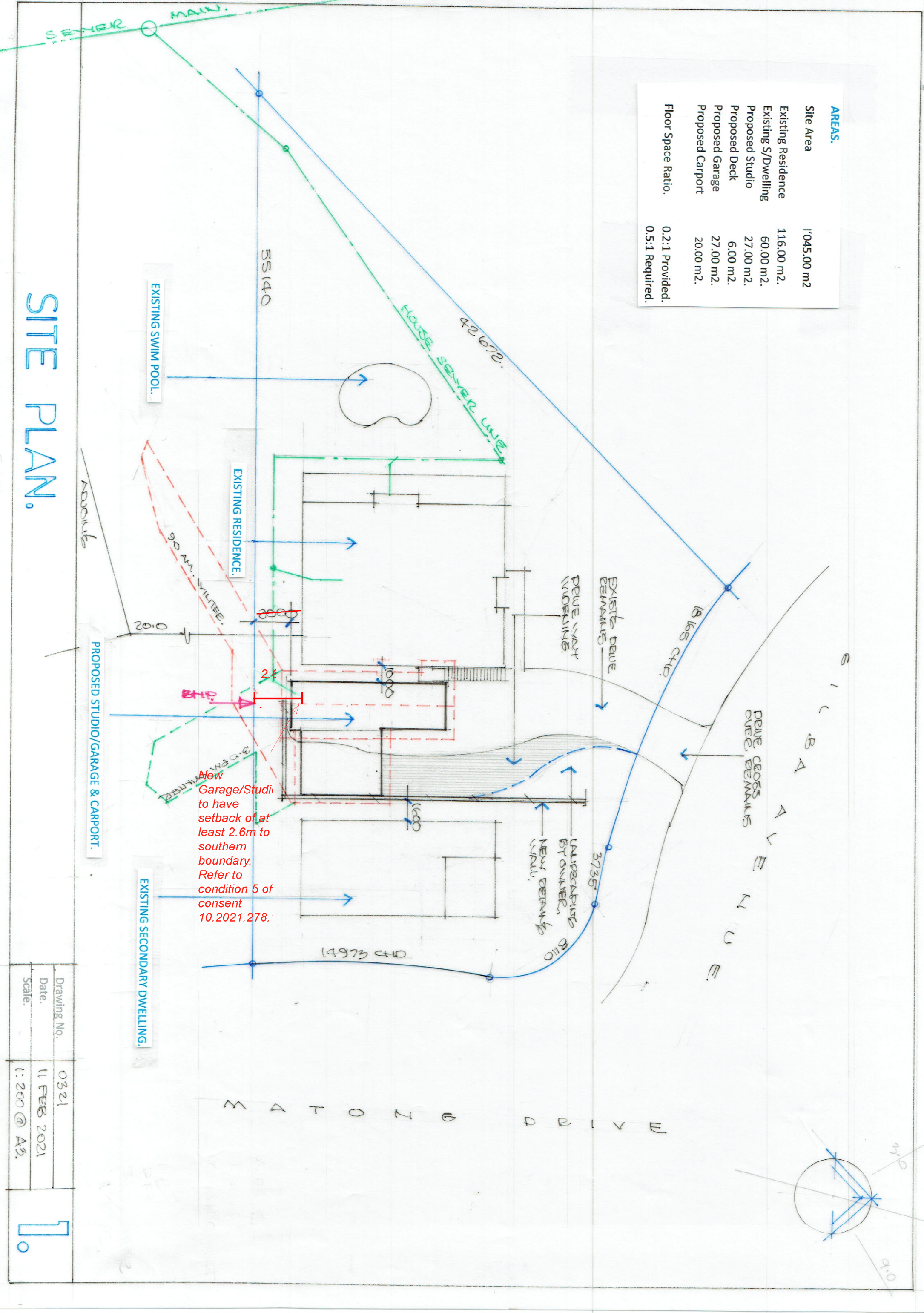
Date. 11th February 2021.

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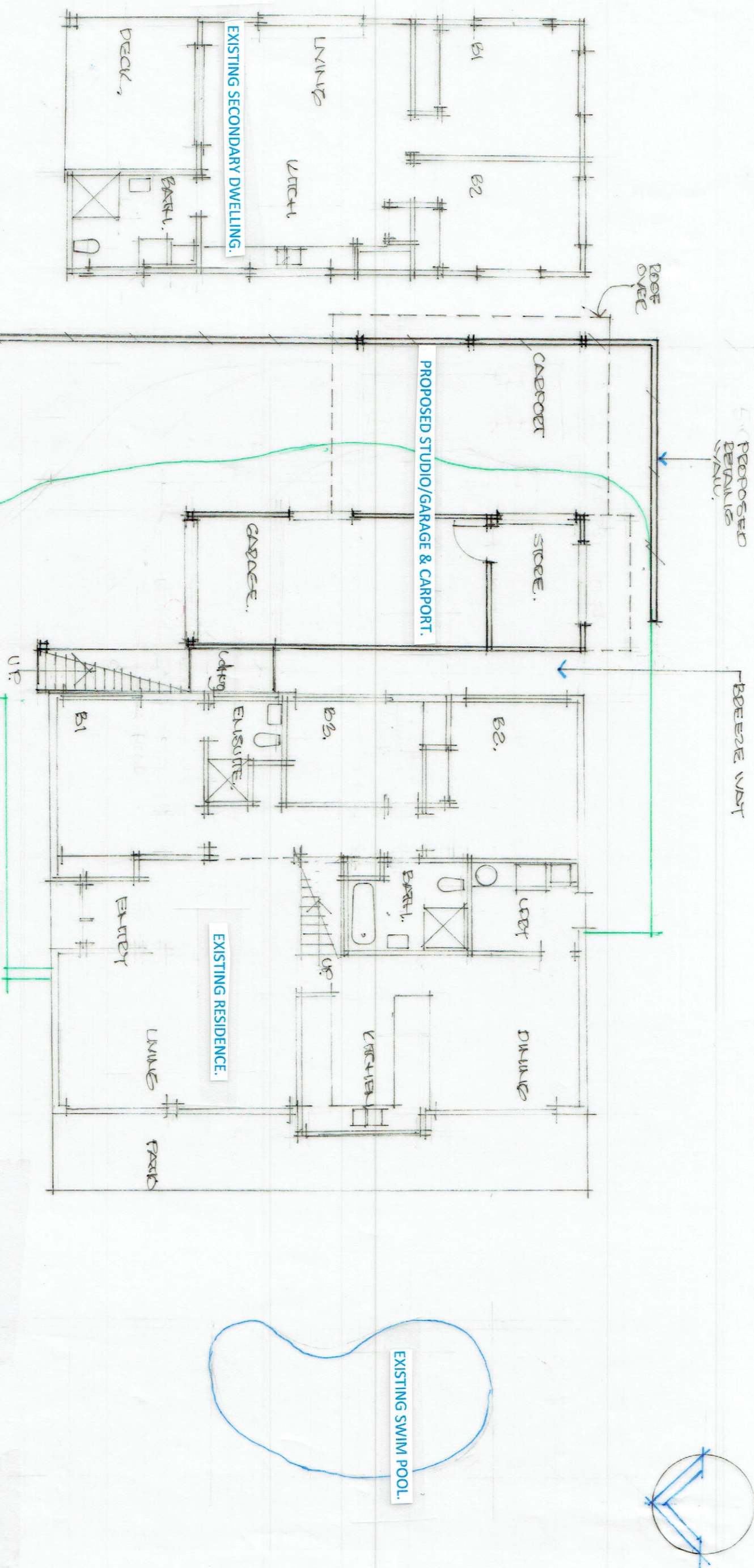
RESIDENTIAL AND COMMERCIAL BUILDING DESIGNERS

AREAS.		
Site Area	1'045.00 m2	
Existing Residence	116.00 m2.	
Existing S/Dwelling	60.00 m2.	
Proposed Studio	27.00 m2.	
Proposed Deck	6.00 m2.	
Proposed Garage	27.00 m2.	
Proposed Carport	20.00 m2.	
Floor Space Ratio.	0.2:1 Provided.	
	0.5:1 Required.	



SITE PLAN.

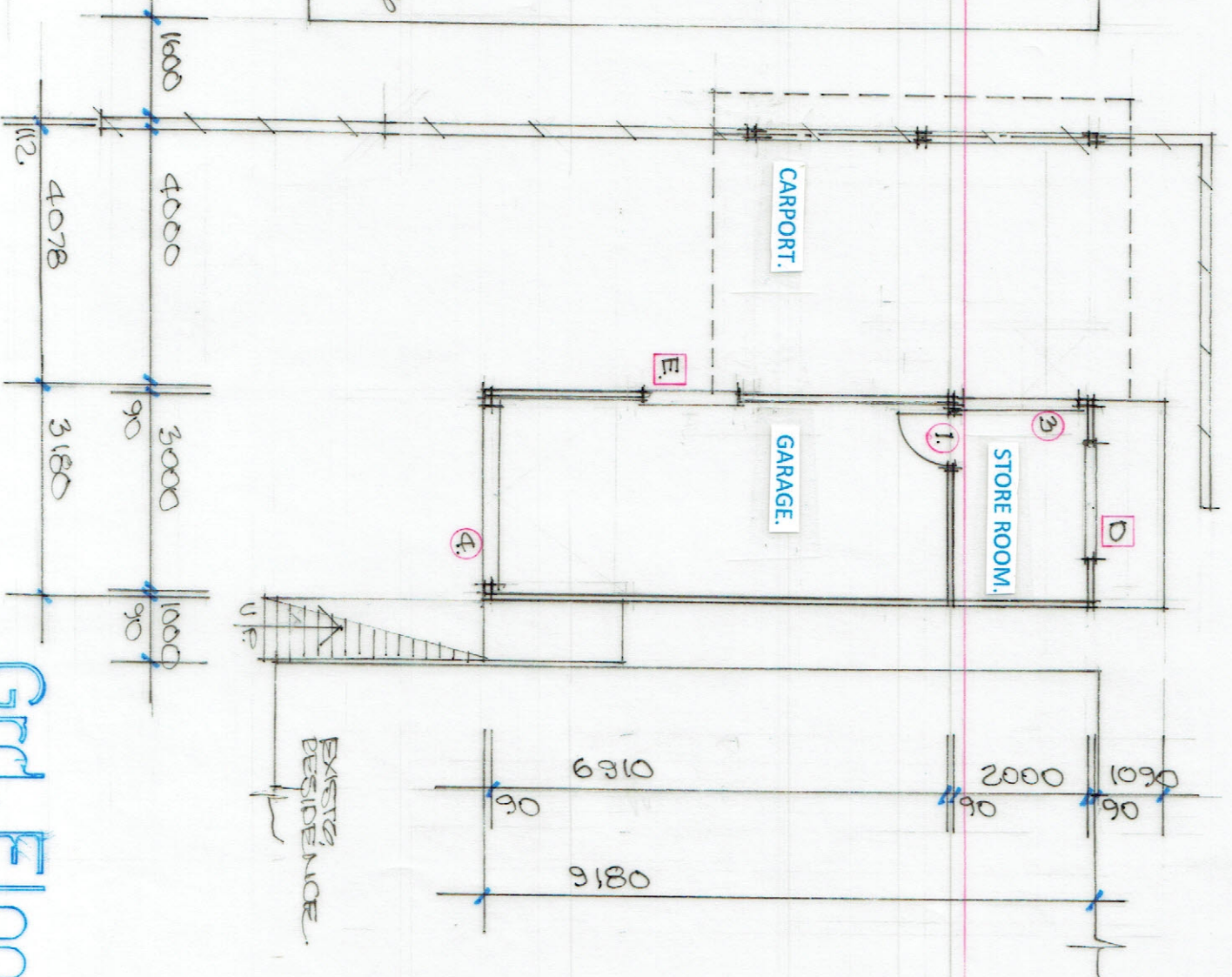
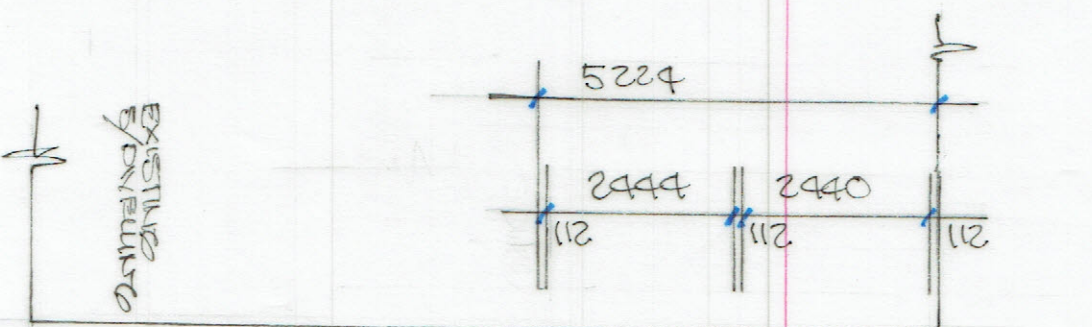
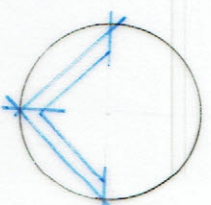
Drawing No.	0321
Date.	11 FEB 2021
Scale.	1:200 @ A3.



COLOUR CHART	
Steel roofing new	Colorbond® Paperbark
Windows	Anodised Aluminium "Clear"
Soffit Linings	Colorbond® Paperbark
FC sheeting External Walling	Colorbond® Sandbank
Corrugated Walling	Colorbond (R) Sandbank
Fascia & Barge Boards	Colorbond® Sandbank
Deck Posts & Top Rails	Natural stain finishes
External doors	Gloss Paperbark
Concrete Driveway	NA.

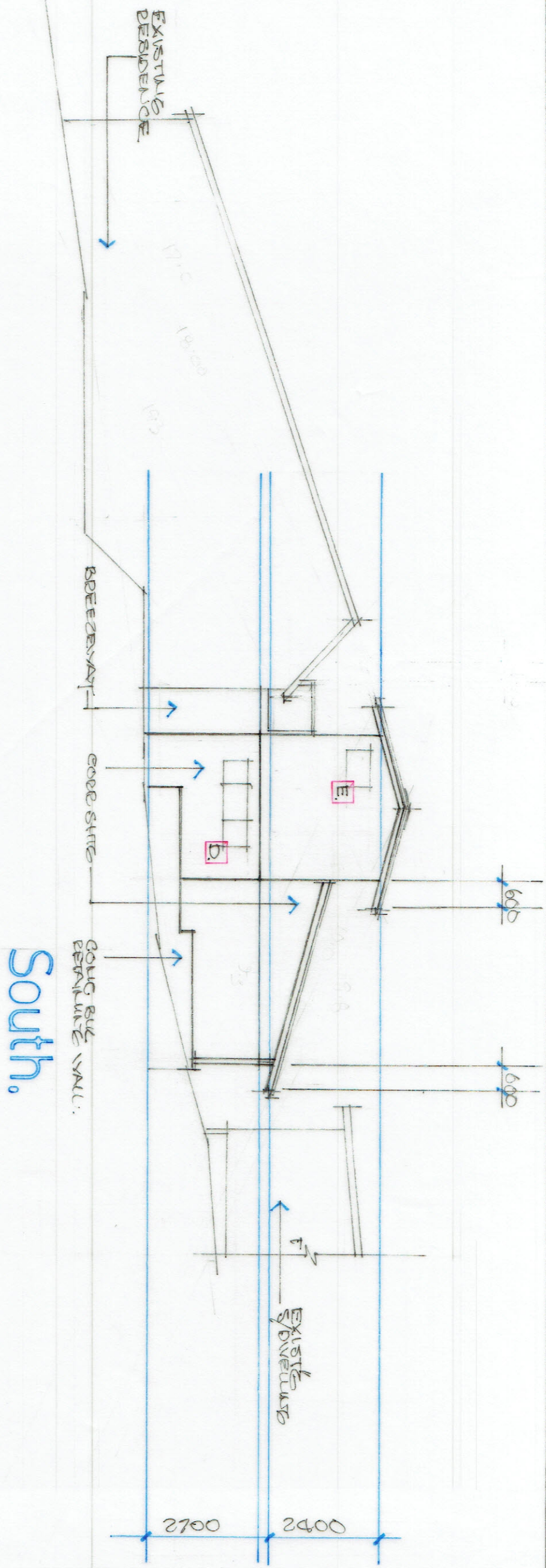
EXISTING & PROPOSED PLANS.

Drawing No.	0321
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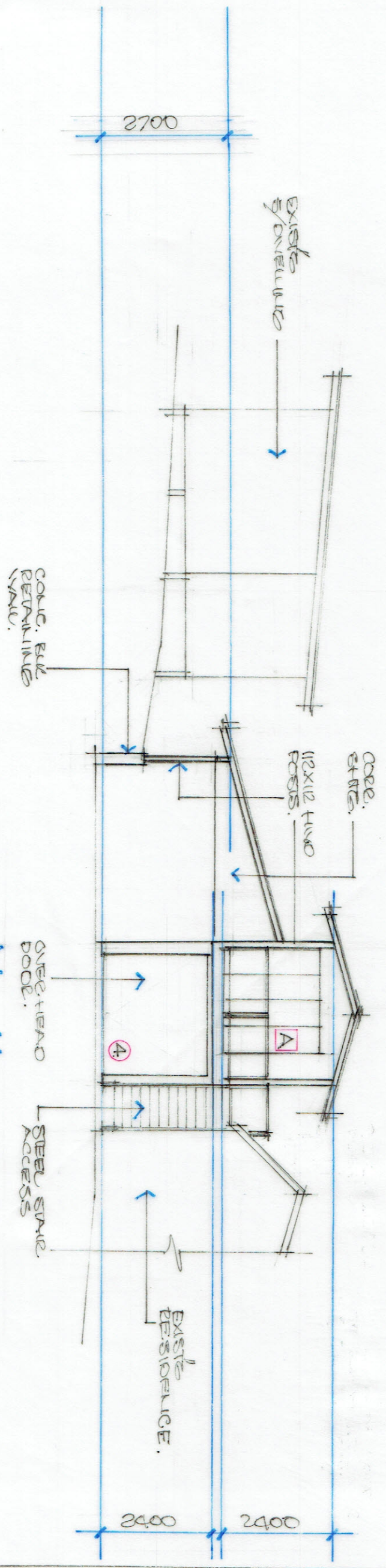


Grad. Floor

FLOOR PLANS.



South.

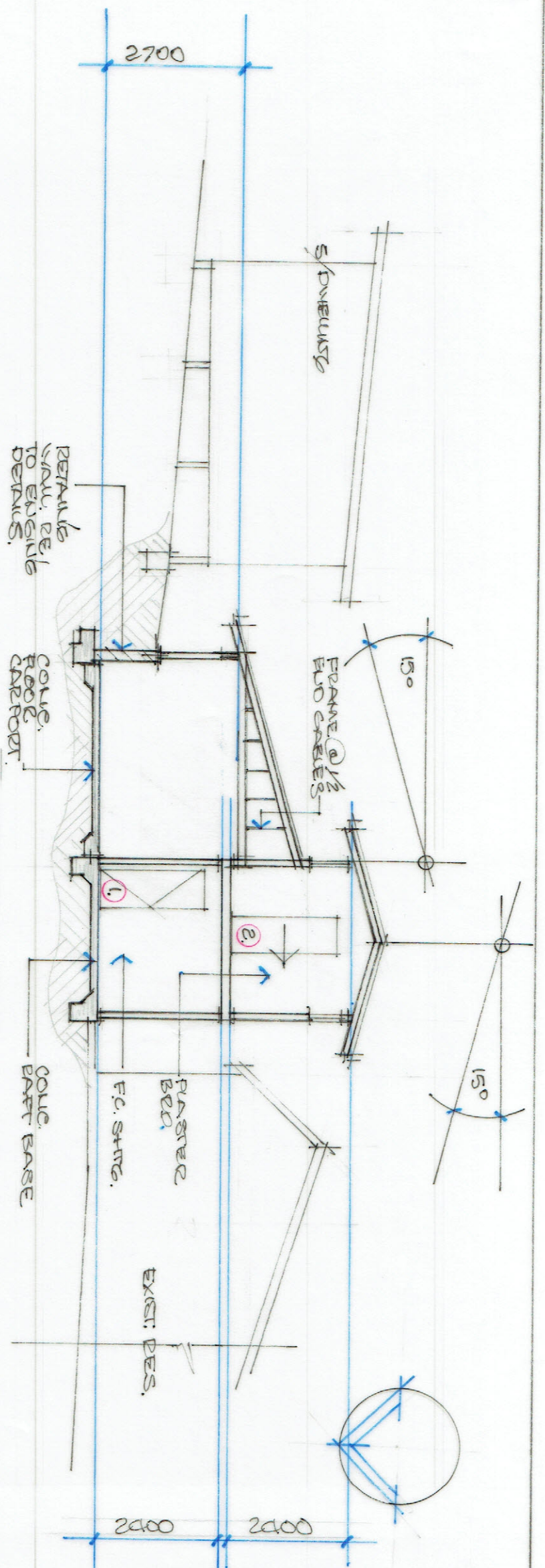


North.

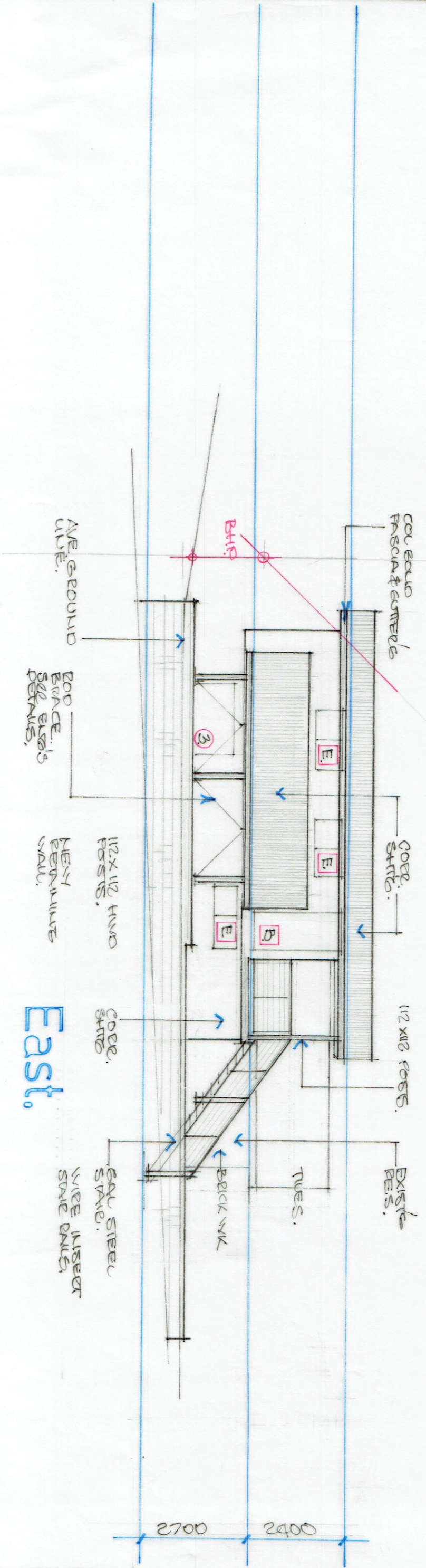
ELEVATIONS.

Drawing No.	0321
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Scale.	1: 100 @ A3





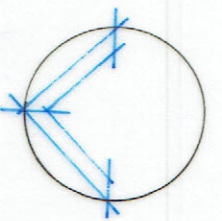
Section A. A.



East.

ELEVATIONS & SECTION A.A.

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ELECTRICAL LEGEND

DISTRIBUTION BOARDS.

- MSB MAIN SWITCHBOARD.
- MBD METER BOARD.
- DBB DISTRIBUTION BOARD.

POWER.

- GP GENERAL PURPOSE OUTLET-SINGLE.
- GA-150mm ABOVE FLOOR.
- GB-1250mm ABOVE FLOOR.
- CB-BENCH MOUNTED.
- DB-150mm ABOVE BENCH.

- PC PERMANENTLY CONNECTED APPLIANCE
- EF-EXHAUST FAN.
- ST-STOVE.
- HP-HOT PLATES.
- WO-WALL OVEN.
- RH-RANGE HOOD.
- AC-AIR CONDITIONER.
- HWS-HOT WATER SERVICE.

OUTLETS.

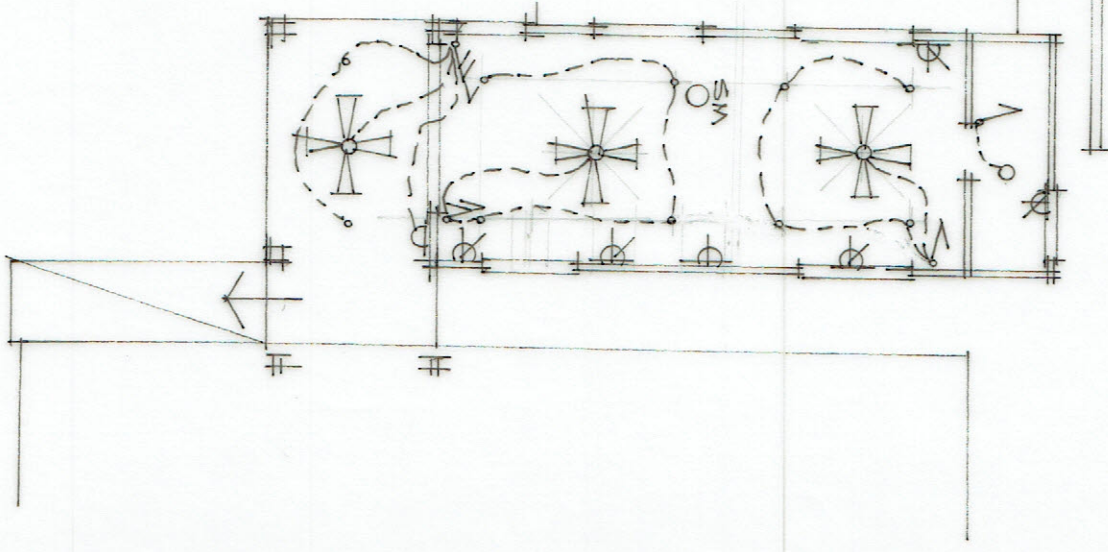
- TV TELEVISION
- TF TELEPHONE - FLOOR
- TA TELEPHONE - WALL
- A AERIAL.

LUMINAIRES.

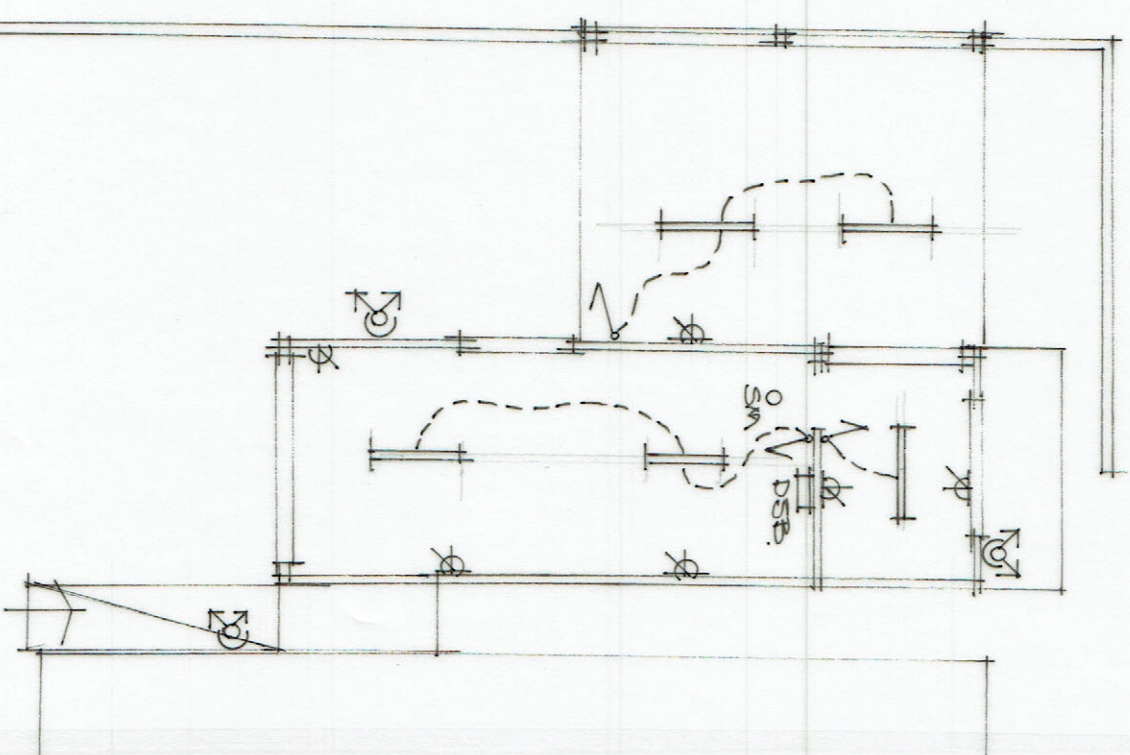
- CM CEILING MOUNTED
- WM WALL MOUNTED
- DL DOWNLIGHT.
- FL FLOODLIGHT.
- SL SPOTLIGHT.
- EYL EXTERNAL YARD POST LIGHT.
- EL EMERGENCY LIGHTING LUMINAIRE.
- 1x18W FLUORESCENT.
- 2x18W FLUORESCENT.
- 1x36W FLUORESCENT.
- 2x36W FLUORESCENT.
- WR WALL MOUNTED WITH REFLECTOR.

SWITCHES.

- NS NIGHT SECURITY CEILING MOUNTED LIGHT Auto timed 7.0 pm > 7.00 am.
- OS ONE-WAY SWITCH.
- TS TWO-WAY SWITCH.
- DS DIMMER SWITCH.
- TS TIME SWITCH.



Upper Floor.



Grd Floor.

ELECTRICAL PLAN.

Drawing No.	0321
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Scale.	1:100 @ A3.

DOOR SCHEDULE

No.	SIZE	QTY	TYPE	HEAD	LINTEL
1	2040x820	1	SG. WARE PROOF BY PAINTED		
2	2040x720	1	HQ. CSO. PAINT GRADE.		
3	2118	1	POWER SHUTTER CARBON STEEL		
4	2122	1	POWER SHUTTER MOTORISE 11		
5					
6					
7					
8					
9					
10					
11					
12					
13					
14					
15					
16					

EXHAUST FLOW RATES.

Kitchen. 25 Litres / second.
 Laundry. 40 Litres / second.
 Bath room. 40 Litres / second.

CONDENSATION MANAGEMENT.

Provide roof venting to all roof spaces.
 Vent exhausts must extend from the roof space to the outside air space.

BUILDING CODE COMPLIANCE.

These plans are designed to comply with the Building Code of Australia.
 This includes compliance with all relevant Australian Standards.
 Refer to specifications provided intended for each trade.

WC Cubicle:

Provide lift off hinges to all doors opening into single toilet cubicles.
 Door removal is required where access may be blocked or is restricted for removal of invalid or sick persons.

NOTES.

- CHECK WITH DOOR MANUFACTURERS FOR FRAME SIZES & OPENING REQUIREMENTS PRIOR TO THE COMMENCEMENT OF WORKS.
- SHOW SIZES ARE HEIGHT*WIDTH*THICKNESS.
- PROVIDE FRAMES TO ALL DOORS UNLESS SPECIFIED.
- HC-HOLLOW CORE
- SC-SOLID CORE
- INT-INTERNAL
- EXT-EXTERNAL
- CSD-CAVITY SLIDING DOOR.
- BIR-BUILT-IN-ROBE DOOR SET.
- PF-PLYWOOD FACED.
- WP-WATERPROOF.

WINDOW SCHEDULE

No.	SIZE.	QTY	TYPE	HEAD	LINTEL
A	2121	1	AL. BIFOLD DOORS.	(See Owner Select)	
B	2109	1	ALV.		
C	0912	1	ASW.		
D	0618	1	ASW.		
E	0615	5	ASW.		
F					
G					
H					
I					
J					
K					
L					
M					
N					
O					
P					
Q					
R					
S					
T					
U					
V					
W					
X					
Y					
Z					

WARNING

Contractors must provide glazing and framing of windows to the Thermal Performance Specifications of the BASIX Commitments Certification provided with the approved Construction Certificate.

NOTES

Window construction to AS 1288.
 Preferred window sizes indicated in the Window Schedule. (Height/width)

Contractors must provide frame opening sizes to suit individual window manufactures standard sizes.
 Window frame colour and glazing tint must match existing construction when renovating.
 Provide metal fly screens and timber reveals to all windows.

ASW..... Aluminium sliding window
 ASD..... Aluminium sliding door
 AMSD..... Aluminium multi sliding doors
 ABF..... Aluminium BI - fold doors
 ADHW..... Aluminium double hung window
 ASHW..... Aluminium single hung window
 AAW..... Aluminium awning hung window
 APW..... Aluminium fixed glass window
 ALV..... Aluminium lowered window
 OBG..... Obscure glass
 PV..... Permanently vented window
 TN..... Toned glazing

Reuse of existing windows.

Windows indicated for reuse must be approved by the certifiers.
 Contractor must provide any required servicing or repairs prior to reinstallation ensuring extended window life.

GENERAL NOTES

SITE SETOUT.
 - THE PROPOSED SITE SETOUT DIMENSIONS TO BE CHECKED & VERIFIED BY A CERTIFIED PRACTISING SURVEYOR PRIOR TO THE COMMENCEMENT OF THE PROPOSED WORKS.

PLAN SETOUT.
 - CONTRACTOR TO CHECK & VERIFY THE FLOOR PLAN SETOUT DIMENSIONS PRIOR TO THE COMMENCEMENT OF THE PROPOSED WORKS. **Figured dimensions must be taken in preference to scale**

DISCREPANCIES.
 - THE DESIGNER IS TO BE NOTIFIED OF ANY DISCREPANCIES PRIOR TO THE COMMENCEMENT OF ANY FURTHER WORK.

FLOOR LEVELS.

- PROPOSED FLOOR LEVELS ARE SUBJECT TO AN ASSUMED JOB DATUM AS SHOWN ON THE SITE PLAN.
 - FINISHED GROUND LEVELS TO BE A MINIMUM OF 250mm BELOW FLOOR LEVEL.

EROSION & SEDIMENTATION CONTROL.

- ALL SEDIMENT CONTROL STRUCTURES TO BE INSPECTED AND MAINTAINED BY SITE MANAGER DAILY.
 - ALL SEDIMENT RETAINING STRUCTURES TO BE CLEANED ON REACHING 50% STORAGE CAPACITY.
 - CLEAN SEDIMENT FROM FOOTPATHS, DRIVEWAYS & ROADS DAILY
 - ROOF DRAINAGE VIA SEALED PIPELINE TO SHOWN POSITION UPON ROOF COMPLETION.

STORMWATER.

- CONNECT DOWNPIPES TO 90mmØ PVC. STORMWATER LINES, & FALL TO THE POSITIONS SHOWN ON THE SITE PLAN.

TIMBER FRAMING.

- THE DESIGN & SIZING OF TIMBER FRAMING MEMBERS, JOINTS, CONNECTIONS, TIE-DOWN & BRACING METHODS TO BE AS TO AS.1684. (TIMBER FRAMING CODE)
 - TIE-DOWN & BRACING METHODS TO BE DESIGNED FOR A WIND CLASSIFICATION OF W41 IN ACCORDANCE WITH AS.4055.

STRUCTURAL STEELWORK.

- THE DESIGN AND SIZING OF STRUCTURAL STEELWORK TO BE CHECKED BY A CERTIFIED PRACTISING STRUCTURAL ENGINEER PRIOR TO THE COMMENCEMENT OF THE PROPOSED WORKS.

STRUCTURAL CONCRETE.

- FOOTINGS HAVE BEEN DESIGNED FOR AN ASSUMED W4 CLASS SITE AS DEFINED BY 2870.1
 - ALL FOOTINGS TO BE FOUNDED IN A NATURALLY CONSOLIDATED MATERIAL (NOT FILL) HAVING A MINIMUM SAFE BEARING CAPACITY OF 100KPa. IF SOFT SOILS OR ROCK ARE EXPOSED DURING EXCAVATIONS A SUBSEQUENT INSPECTION BY THE ENGINEER WILL BE NECESSARY.
 - IF ANY DOUBT EXISTS ABOUT THE SOIL CLASSIFICATION OF BEARING MATERIAL THEN THE ENGINEER WILL BE REQUIRED TO CONFIRM THE ADEQUACY OF THE FOUNDATION MATERIAL.
 - CONCRETE TO BE GRADE 20MPa.
 - CONCRETE TO BE CURED IN AN APPROVED MANNER FOR NOT LESS THAN 7 DAYS.
 - MINIMUM REINFORCEMENT LAPS:
 FT2 - 225mm
 HTM - FULLY OVERLAP AT ALL INTERSECTIONS, 500mm ELSEWHERE.

TERMITE TREATMENT

Provide necessary termite treatment as to AS 3660.1

Drawing No.	0321	70
Date.	11 FEB 2021	
Scale.	N.A.	

BASIX Certificate

Building Sustainability Index www.basix.nsw.gov.au

Alterations and Additions

Certificate number: A412774

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary

Date of issue: Monday, 12 April 2021

To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	22077
Street address	1 Gilba Avenue Ocean Shores 2483
Local Government Area	Byron Shire Council
Plan type and number	Deposited Plan 837447
Lot number	3
Section number	-
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by (please complete before submitting to Council or PCA)	
Name / Company Name:	Partners Energy Management
ABN (if applicable):	86638119847

Glazing requirements

Windows and glazed doors

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

The following requirements must also be satisfied in relation to each window and glazed door.

Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.

Each window or glazed door with improved frames, or polyolefin low-e glass, or clear/air gap/clear glazing, or tinted/air gap/clear glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

For projections described as a ratio, the ratio of the projection from the wall to the height above the window or glazed door sill must be at least that shown in the table below.

Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.

Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.

Windows and glazed doors glazing requirements

Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
A	N	4.4	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Construction

Insulation requirements

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m², b) insulation specified is not required for parts of altered construction where insulation already exists.

Construction	Additional insulation required (R-value)	Other specifications
concrete slab on ground floor.	nil	
suspended floor with open subfloor: framed (R0.7)	nil	
suspended floor above garage: framed (R0.7)	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)	
raked ceiling: pitched/skillion roof: framed	ceiling: R2.14 (down), roof: foil/sarking	light (solar absorptance < 0.475)

Show on DA Plans

Show on COCCDC Plans & specs

Check

✓

✓

✓

✓

✓

✓

✓

✓

BASIX CERTIFICATIONS.

Drawing No.	0321
Date.	11 FEB. 2021
Scale.	N.A.



SPECIFICATIONS

Legal Items

On payment for these plans and specifications, the owner exempts the planner from any costs incurred thereafter for the proposed works herein specified. Measured dimensions shall be taken preference to scaling these drawings. Tenders must visit the site, verify all dimensions and become familiar with the requirements of the job. The contractor shall be licensed and shall supply all labour, materials and equipment required to complete the works. Construction to the B.C.A. Variations only to directions by local council designer and engineer. Insurance to be affected by the contractor to cover all work for worker's compensation, fire, theft and public risk. All materials shall be new and high quality to relevant SAA Codes.

Excavation

Excavation for footings as shown. Bees to be taken to solid foundations and stepped to suit sloping ground. Provide for all service drains required and ensure that no breaks to footings occur. Back-fill on completion. Any rock encountered during excavation, shall be deemed an extra. The contractor shall furnish the owner with all hire-invoices of heavy equipment, details of labour and provide evidence of the extra work involved. Remove all foreign matter before placing concrete.

Brickwork

All bricks supplied to be of the type and standard specified on the drawing or as selected by the owner. All bricks delivered shall be free of chips and generally be of consistent colour and texture. Colour of mortar to be as specified or to owner's selection. Cement mortar to be 3:1, equal parts of sand and cement respectively. Composite mortar to be equal parts of cement, lime and clay mixed to consistency with water. Additives may be used in accordance with manufacturer's instructions. Extend brickwork to level indicated. Establish brick rod of 7 courses to 500mm. Lay bricks in level courses, with perpend accurately kept. Where new work is joined to existing work, lay bricks to match. Build in precast concrete steps as required, with even risers. Where steel beams are being supported on brickwork, bearing is to be 230mm minimum. Provide DPCs and flashings as required. Well-ties to be staggered at 610mm maximum horizontally, and 460mm maximum vertically. Avoid droppings of mortar into cavity. Clean cavities systematically as job progresses. Clean on completion to a satisfactory finish via an approved method. Walls out of plumb will not be accepted.

Carpentry

Extend framing to positions and levels indicated in the type(s) of timber specified on the drawings. All materials used to carry out the work required, shall be new unless otherwise indicated. Where the re-use of material is desired the requirements of the relevant SAA Codes must be met, and the same is subject to council inspection before use. All timbers to be selected merchant grade unless specified otherwise. Refer to drawing for all timber types and sizes. Where connections are not detailed, secure members via an approved method. Where rafters or trusses are being secured to wall frames, approved metal plate connectors shall be used. Where bows are encountered in horizontal or inclined members which are acceptable, ensure that they are positioned rounds up. In vertical members the direction of rounds shall be consistent. Ensure that all bottom plates are adequately protected against moisture penetration in external wall and wet areas in the building. Provide vermin proofing to AS 55. In joinery work, assume standard sections and methods unless

Linings Internal

Internally, line gyprock in accordance with manufacturer's instructions throughout, unless otherwise indicated. Refer to drawings and owner for any special features or inclusions. Provide neatly mitted cornices in gypsum plaster where walls meet ceilings throughout the building, unless otherwise specified. In buildings with raked ceilings, allow to square-set wall and ceiling intersection.

Linings External

Provide and fix weatherboards or cladding as indicated on the drawings or selected by owner, to all areas shown. Provide all fixing work strictly in accordance with the manufacturer's design details and instructions.

Plumbing and Draining

All plumbing work is to be carried out in accordance with the relevant codes, by licensed and competent tradesperson only. Provide and extend copper tubing of the required diameters to all positions indicated on the plans. All pipes must be concealed. Provide for testing prior to concealment. Arrange for drainage plans and pay all fees for such. Extend all gutters and downpipes as required by standard, or as indicated on the drawings. Refer to details for concealed guttering or other special architectural sections, if applicable. All roof drainage shall be of heavy-duty zincalume sections. Provide powder coated or bonded colour finishes as to the owners selection, unless otherwise specified. All other drainage shall be PVC and earthware piping to the required standards as set out and to be assembled in accordance with the necessary authorities. All work must be tested on completion, prior to filling trenches. All pipes must be concealed within building envelope.

Roofing

All roofing shall be covered with selected materials as shown on drawings. Roof pitch as indicated on drawings or to match existing roof slope. Fix roof materials to normal trade practices. Fascia and Barge boards to match existing residence. See Elevational drawings for sarking and insulation requirements.

Electrical

Extend light and power circuitry as shown on the drawings and provide testings and written approvals from the relevant authority, prior to occupation by owner. Allow for all applications and pay fees as required. Allow for all power and light outlets and fixtures indicated on the drawings. Also consult the owner for any specified requirements.

Painter and Decorator

All work to be carried out by qualified tradesperson's and only reputable brands of materials shall be approved. Prime coat shall be applied during construction. Surfaces requiring a prime coat in areas to become inaccessible, shall be double-coated prior to covering over. Undercoat to be applied as a base over sealer coats. Allow to stop and sand back prior to all coats. Provide stop and sanding back prior to final coat. Allow for two final coats, 24 hours apart. On completion, allow to recoat any areas where poor cover is evident and repair to eliminate patchy finishes.

SPECIFICATIONS

Drawing No.	0321
Date.	11. FEB. 2021
Scale.	N.T.S.

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