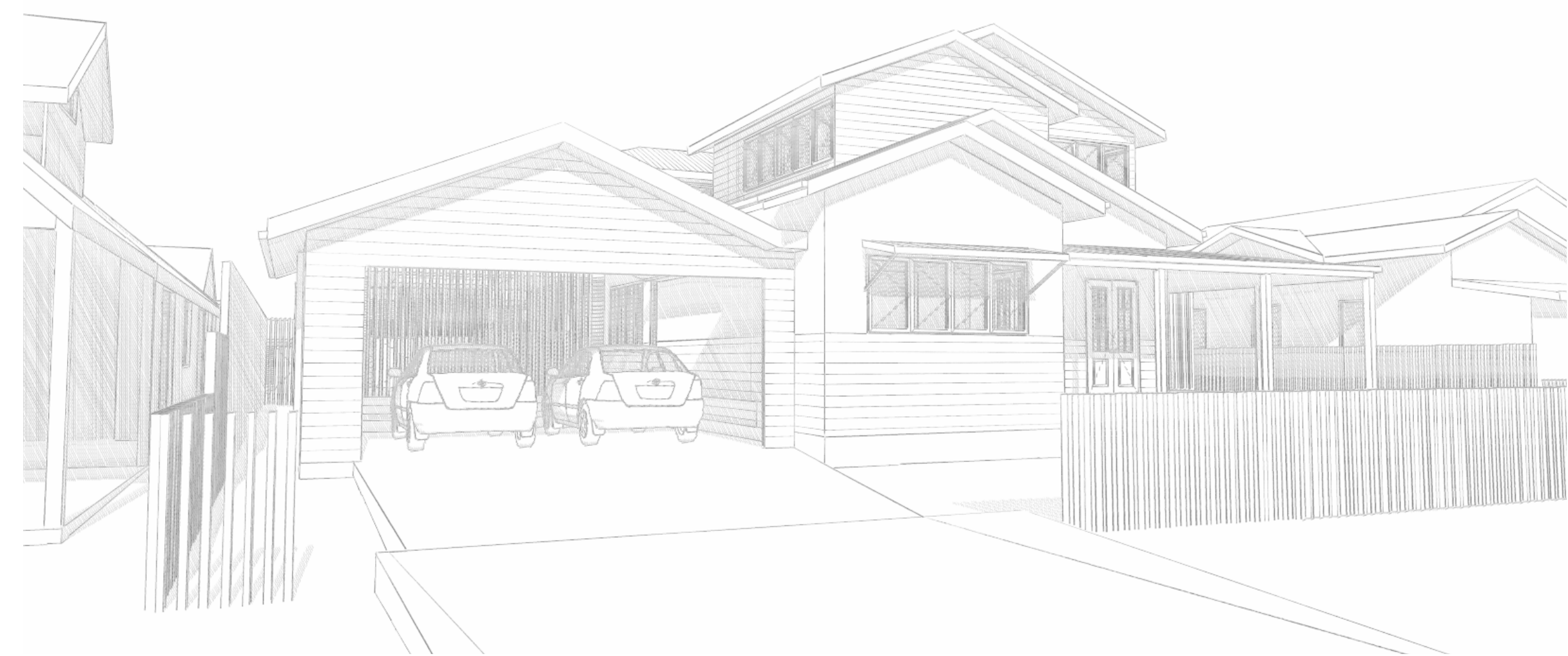


CARLYLE STREET RENOVATION NORTHERN DUAL OCCUPANCY



28 Carlyle Street Byron Bay
ALTERATIONS AND ADDITIONS TO EXISTING DWELLING.
ADDITIONAL SECOND STOREY AND POOL
DP 325904, LOT B

AREA SCHEDULE
SITE AREA - 1012m2
LOT AREA - 539m2

DEEP SOIL ZONES
25% of site area as required by Byron DCP 2014
Northern Dual Occupancy - 191m2 (134m2 required - complies 35%)

Sheet Index	
Layout ID	Layout Name
0.0	Carlyle House Renovation
0.1	Index Sheet
0.2	Perspective
1.1	Site Plan
1.2	Concept Drainage Plan
1.3	FSR Breakdown
2.1	Ground Floor Plan 1:100
2.2	First Floor Plan 1:100
2.3	Roof Plan 1:100
2.4	Ground Floor Plan RCP
3.1	Carlyle Street Elevations N/S
3.2	Carlyle Street Elevations E/W
3.3	Street Elevations
4.1	Carlyle Street Sections S1/S2
4.2	Carlyle Street Sections S3/S4
4.3	Site Sections 1:200

AMENDMENTS		
NO .	DESCRIPTION	DATE

CONSULTANTS

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BALUSTRADE CONSTRUCTION TO VOL 2 PART 3.9.2 OF THE BCA

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Client Name
Ian and Louise Heanes

Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay		
Drawing Title: Carlyle House Renovation		
Date: 3/05/2021		
Status: CD	Scale: 1:1.25, 1:2.22, 1:0.87	
Project No: 1709	Drawing No: 0.0	Revision:

LEGEND/NOTES

CT	CERAMIC FLOOR TILES
CPT	CARPET
CS	CORRUGATED STEEL COLORBOND
CFT	CONCRETE FLOOR TILE
DP	DOWNPIPE 90 Ø ROUND
EX	EXISTING
EF	EXHAUST FAN
F	FRIDGE
FFL	FINISHED FLOOR LEVEL
FCL	FINISHED CEILING LEVEL
FC	FIBRE CEMENT SHEETING
FP	FIREPLACE
FS	TIMBER FASCIA PAINT FINISH
FG	FIXED GLASS
FW	FLOOR WASTE
G1	90mm HALF ROUND GUTTER
G2	COLOURBOND BOX GUTTER 300mm
GS	GUTTER WATER SPITTER
GD	GARAGE DOOR VERTICAL TIMBER CLAD
GHRL	GLASS HAND RAIL
GT	EXTERNAL GARDEN TAP
HWU	HOT WATER UNIT TO BASIX
LB	LINING BOARDS
LN	LINEN CUPBOARD
LV	LOUVRES
MB	MAIN POWER BOARD
MDR1	METAL DECK ROOF NATURAL ZINCALUME
NGL	NATURAL GROUND LINE
NT	NATURAL TIMBER STAIN FINISH
PBK	PAINTED AND RENDERED BRICK
PB	PAINTED PLASTER BOARD
PCS	POLISHED CONCRETE SLAB
PS	PRIVACY SCREEN
R	ROBE
RC	REINFORCED CONCRETE
RB	RENDERED BLOCK WALL PAINT FINISH
RWT	RAINWATER TANK TO BASIX
SC	STEEL COLUMN TO ENG DETAILS
SM	SMOKE DETECTOR TO BCA
SHR	SHOWER
STC	STEEL TROWELLED CONCRETE
STN	STONE CLADDING
SP	OVERFLOW SPITTER
SL	SKYLIGHT TO BASIX SPECIFICATIONS
SW	STONE FEATURE WALL
ST	STORAGE
TB	TIMBER BATTENS DARK
TD	TIMBER DECKING SPOTTED GUM
TP	TIMBER POST
TF	TIMBER FLOORING HARDWOOD
TS	TIMBER SCREEN
TR	TREE REMOVED
WB	TIMBER WEATHERBOARD WHITE PAINT
WB2	TIMBER WEATHERBOARD NATURAL
WL	WASHING LINE
WM	WASHING MACHINE
WP	WASTE PIPE
V	TRADITIONAL ROOF VENT
ZC	ZINC CLADDING

Door List		
Window ID	WxH Dimension	Description
D01	900×2,400	Solid Timber entry door
D02	1,200×2,100	Timber side hung double door
D03	900×2,100	Solid timber cavity slider
D03	900×2,100	Solid timber cavity slider
D04	1,400×2,700	CG external slider panel 1
D04	1,400×2,700	CG external slider panel 2
D05	2,820×2,700	CG sliding door over fixed
D06	1,650×2,700	CG external slider panel 1
D06	1,650×2,700	CG external slider panel 2
D07	1,800×2,400	CG Slider over fixed
D08	1,200×2,100	Solid side hung double door

Window List			
Window ID	WxH Dimension	Sill Height	Description
W01	2,700×1,100	1,000	CG Casement windows
W02	450×1,400	900	Obs Louvres
W03	2,695×1,400	900	CG Louvres
W04	2,890×1,400	900	CG Louvres
W05	800×1,800	900	CG Louvres
W06	2,510×1,800	900	CG fixed
W07	800×1,800	900	CG Louvres
W08	1,400×2,400	0	CG Louvres
W09	3,390×600	920	Fixed Glass with 900 LV on side CG
W10	500×1,100	1,000	CG Fixed glass
W11	960×1,100	1,000	CG Fixed glass
W12	2,200×900	1,200	CG Fixed glass with 600 LV on side
W13	750×900	1,200	CG Louvres
W14	900×1,100	1,000	CG Casement windows
W15	2,110×1,200	900	CG Casement windows
W16	1,390×1,100	1,000	CG Casement windows
W17	4,190×1,100	1,000	CG Casement windows
W18	1,685×1,200	900	CG fixed glass with 600 LV on side
W18	2,575×1,200	900	CG Fixed
W19	2,200×1,180	920	CG fixed with 400 LV on side
W20a	600×1,200	900	CG SJ corner window to W20b
W20b	590×1,200	900	CG SJ Corner window to W20a
W21	1,260×1,200	900	CG louvres with fixed
W22	2,200×600	1,500	CG Louvres with fixed
W23	600×600	1,500	CG Louvres with fixed
W24	1,240×1,200	900	CG Louvres with fixed
W25	2,200×900	1,200	CG Louvres with fixed

BASIX REQUIREMENTS

FIXTURES

- The development will install with a minimum 3 star rating (>7.5<=9 L/min) in all showers in the development
- A toilet flushing system is to be installed with a minimum of 3 stars rating in each toilet in the development
- Kitchen taps to be installed with a min rating of 4 stars
- Basin taps to be installed with a min rating of 4 stars in each bathroom of the development

ALTERNATIVE WATER

- The development will install a rainwater tank of at least 2400L capacity. Refer plans for locations
- The rainwater tank(s) must collect runoff from at least 100sqm of roof area
- Rainwater tank to be connected to all toilets in the development. The cold water tap that supplies the washing machine, and one outdoor tap

THERMAL COMFORT

- The proposal shall be constructed in accordance with the thermal performance specifications set out in the Assessor Certificate and in accordance with those aspects of the Development Application or CDC which were used to calculate those specifications.
- Floors and walls in the delopment to be constructed in accordance with the BASIX Certificate

HOT WATER

- Lot A 5 star hot water system, instantaneous gas shall be installed in the development
- Lot B Solar electric boosted 36-40 STC's

COOLING SYSTEM

- Living areas and bedrooms are not to incorporate any cooling system or ducting

HEATING SYSTEM

- Living areas and bedrooms are not to incorporate any cooling system or ducting

VENTILATION

The following measures will be installed in the development:

- Bathroom individual fan, not ducted. Manual on/off switch.
- Kitchen individual fan, not ducted. Manual on/off switch.
- Laundry Lot A individual fan, not ducted. Manual on/off switch. Lot B must have natural ventilation only

OTHER

- An electric oven and gas cooktop are to be installed in the kitchen of the dwelling
- An outdoor clothes drying area is to be installed in the development. refer plans.
- No pool heating system and timber to be installed.
- All Balustrades to comply to BCA 1m above FFL minimum
- All Pool Fences to comply to BCA and Aust. Standards 1.2m min.
- All external Doors and windows to be in HWD Timber natural oiled finish.
- Solar Hot water unit - Gas Boosted as per BASIX.
- All glazing to be to Australian Standards and to comply with the BASIX report.
- All Lighting Requirements as per the BASIX report
- Roof Insulation R3.0 min to comply to BASIX report
- Wall Insulation R2.5 min to comply to BASIX report
- All tap fittings and plumbing fixtures to comply with BASIX report
- Smoke detectors to be installed to BCA

THERMAL PERFORMANCE SPECIFICATIONS: (7263 – Lot A – 28 Carlyle St)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

(NOTE: If steel framing is used a thermal break may be required)

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

WINDOWS (total product specification – glass + frame)

U-value 3.44 (or less than) & SHGC 0.48 (+/-5%) (Typically: Low-e Tinted Glass in Timb. frame)

U-value 2.80 (or less than) & SHGC 0.50 (+/-5%) (Typically: DG Tinted Glass in Timb. frame)

(Double Glazing only for W12)

EXTERNAL WALL (Light colour)

Cavity Panel – R2.5 – 90mm thick Bulk insulation with vapour barrier

INTERNAL WALL

Cavity Panel – No Insulation

EXTERNAL FLOOR

Suspended Timber (Brick Encl. Sub-Floor) – No insulation

CEILING SPACE with ROOF ABOVE

Plasterboard – R3.0 bulk insulation (Flat ceiling)

Plasterboard – R2.5 bulk insulation (Raked ceiling)

ROOF (Dark colour) (Non-ventilated)

Sheet Metal Roofing – 55mm Foil Blanket with reflective airgap

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

AMENDMENTS

NO .	DESCRIPTION	DATE

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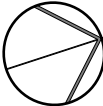
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Client Name
Ian and Louise Heanes

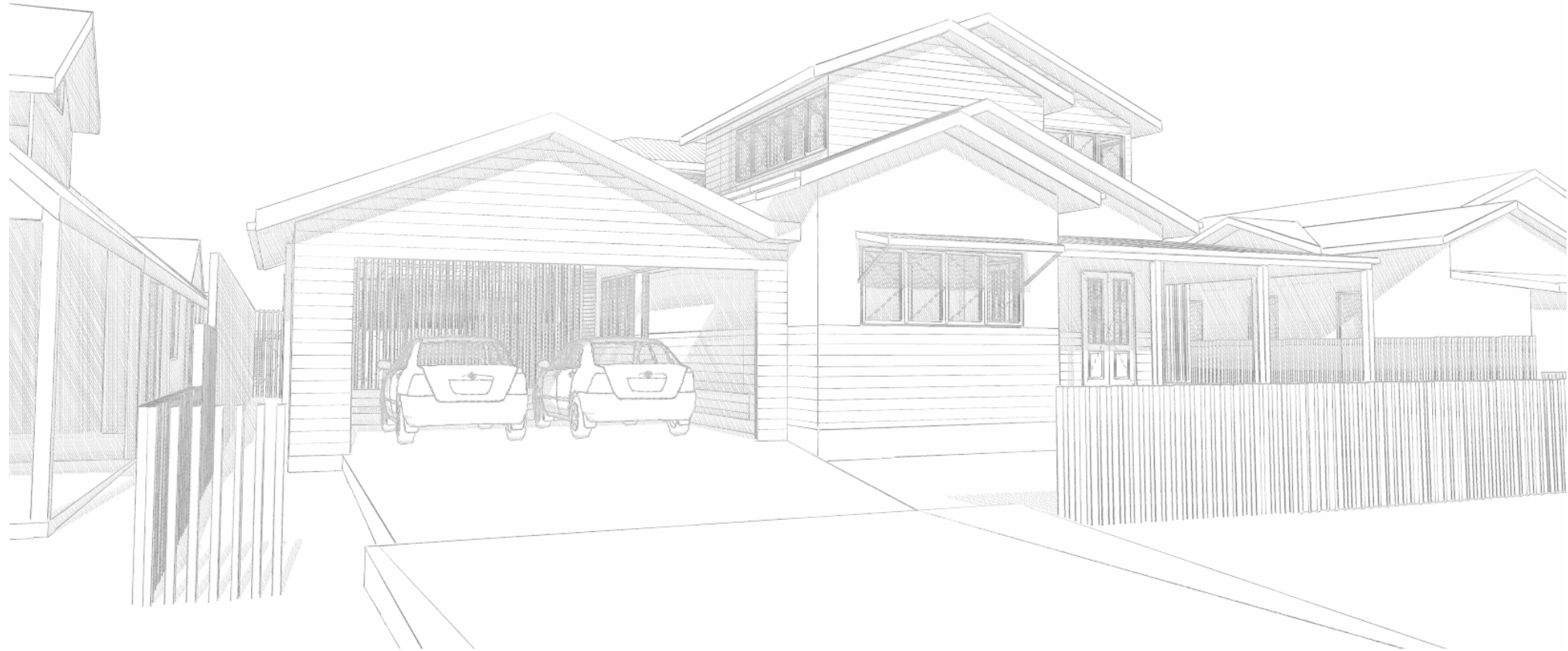
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Index Sheet



	Date: 3/05/2021	
Status: CD	Scale: 1:1.65, 1:1 @ A3	
Project No: 1709	Drawing No: 0.1	Revision:



AMENDMENTS

NO .	DESCRIPTION	DATE

CONSULTANTS

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Client Name

Ian and Louise Heanes

Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:

Perspective

Date: 3/05/2021

Scale: 1:0.95, 1:1.04 @ A3

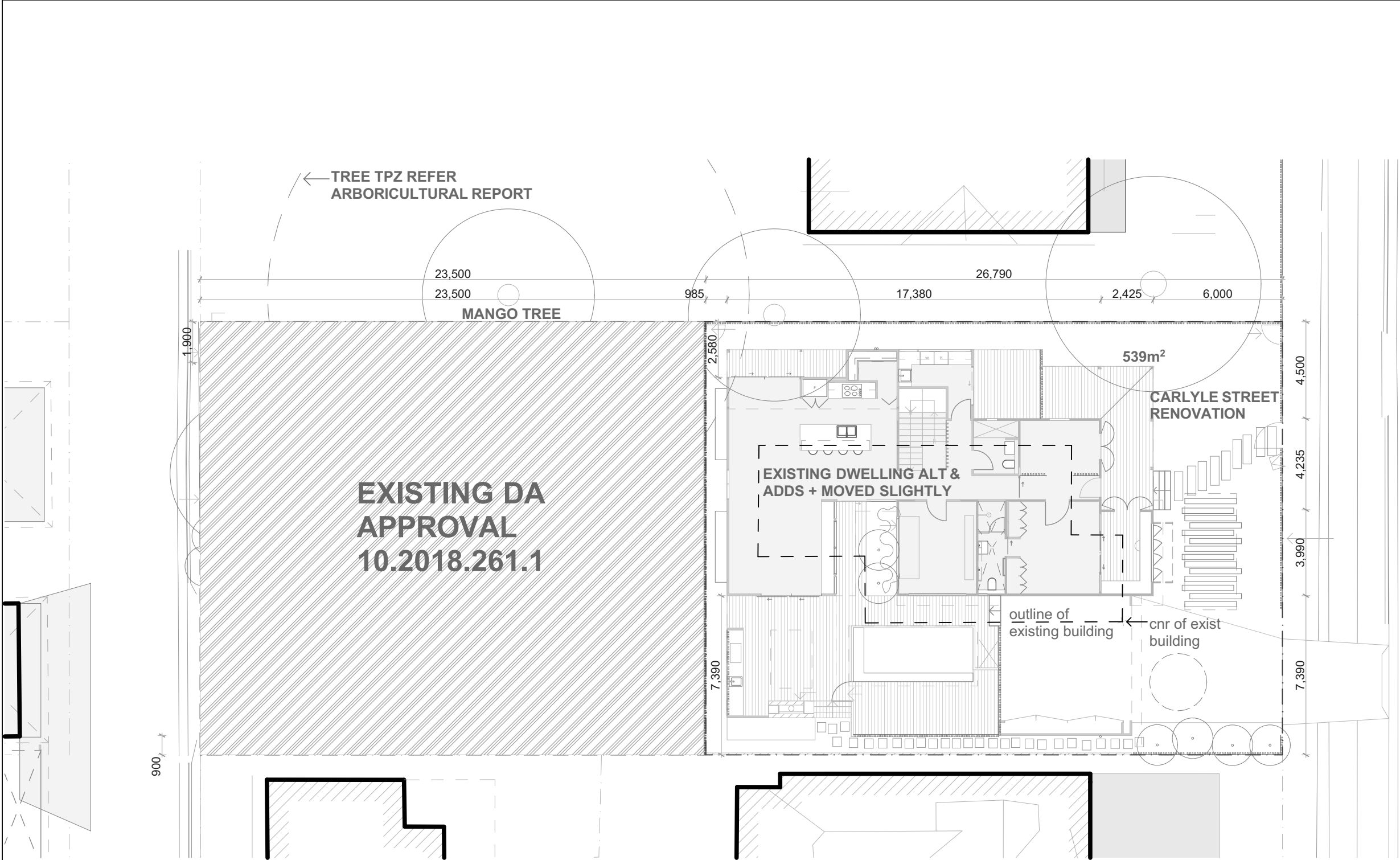
Project No:

1709

Drawing No:

0.2

Revision:



AREA SCHEDULE
SITE AREA - 1012m²

PROPOSED GROUND FLOOR AREA: 296m²
PROPOSED FIRST FLOOR AREA: 99m²

TOTAL INTERNAL AREA - 395m²
FSR: 0.39:1 (0.5:1 required - complies)
FSR is calculated to inside face of external walls, excluding stairs, garages, storage and decks as per clause 4.5 of Byron LEP 2014

DEEP SOIL ZONES
25% of site area as required by Byron DCP 2014
Northern Dual Occupancy - 191m² (134m² required - complies 35%)
Southern Dual Occupancy- 159m² (118m² required - complies 33%)
Total - 350m² (253m² required - complies 35%)

AMENDMENTS		
NO .	DESCRIPTION	DATE

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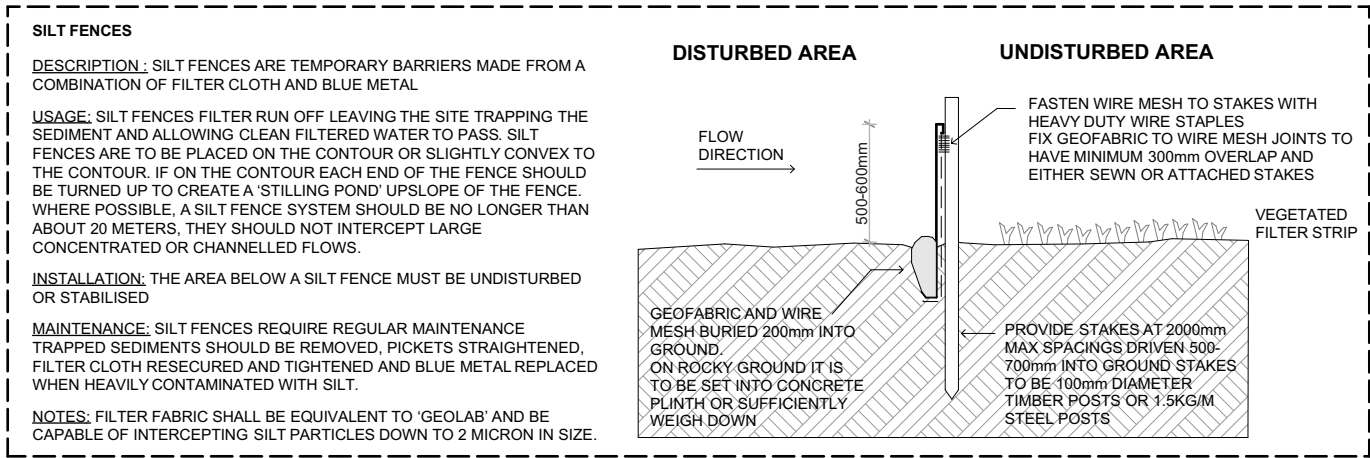
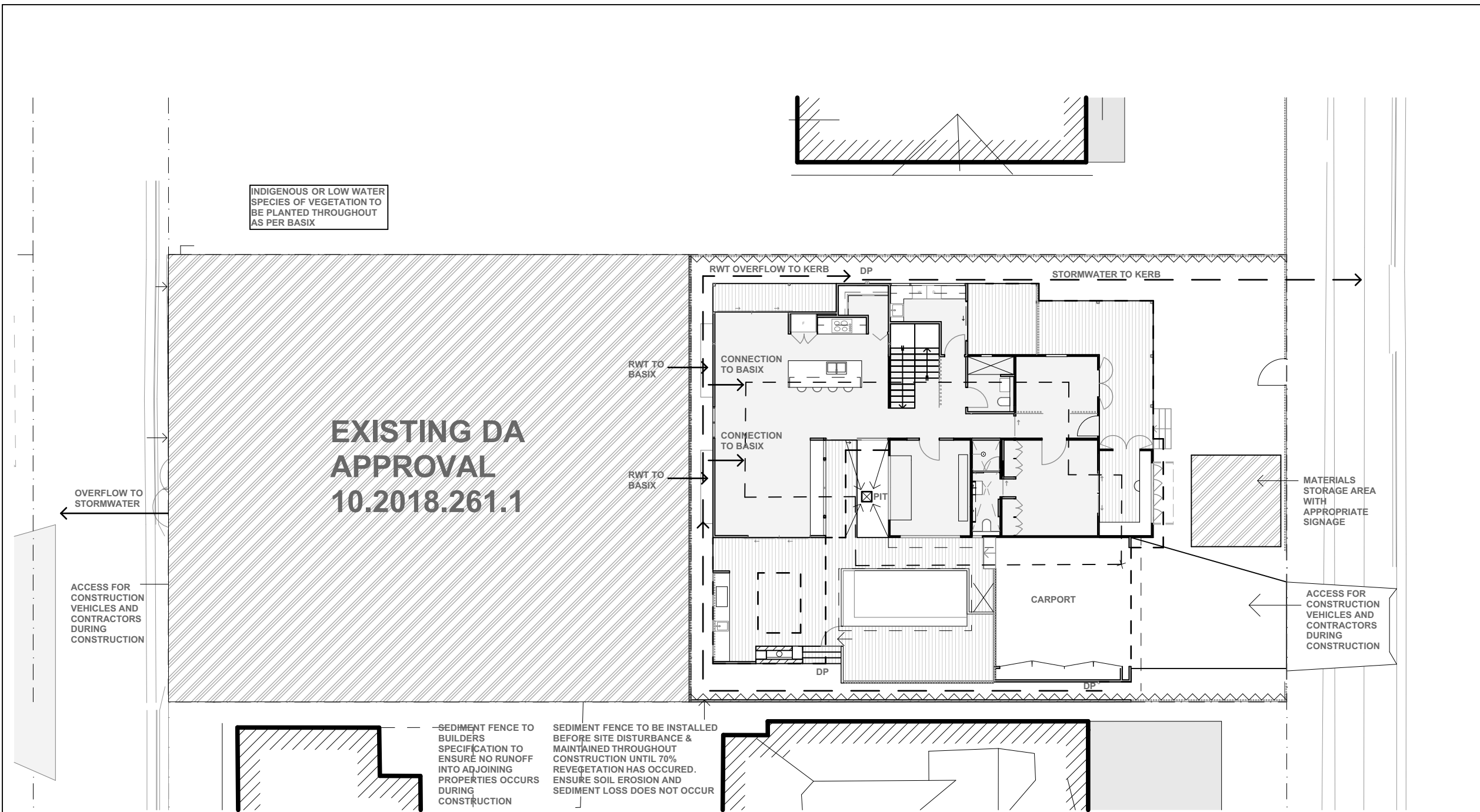
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Client Name
Ian and Louise Heanes
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:	
Site Plan	

	Date: 3/05/2021
Status: CD	Scale: 1:200 @ A3
Project No: 1709	Drawing No: 1.1
	Revision:



AMENDMENTS		
NO .	DESCRIPTION	DATE

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Client Name
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Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Concept Drainage Plan

Date: 3/05/2021

Status: CD

Scale: 1:200 @ A3

Project No:
1709

Drawing No:
1.2

Revision:



AREA SCHEDULE
SITE AREA - 1012 sqm

EXISTING DA APPROVED FSR - GROUND - 132m2, FIRST 99m2 (231m2)
PROPOSED DA FSR - GROUND 163m2, FIRST 93m2 (256m2)

TOTAL INTERNAL AREA 487m2
FSR FOR ENTIRE SITE 0.48:1

FSR is calculated to inside face of external walls, excludes stairs, garages, storage and decks as per clause 4.5 of Byron LEP 2014

AMENDMENTS

NO .	DESCRIPTION	DATE

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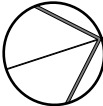
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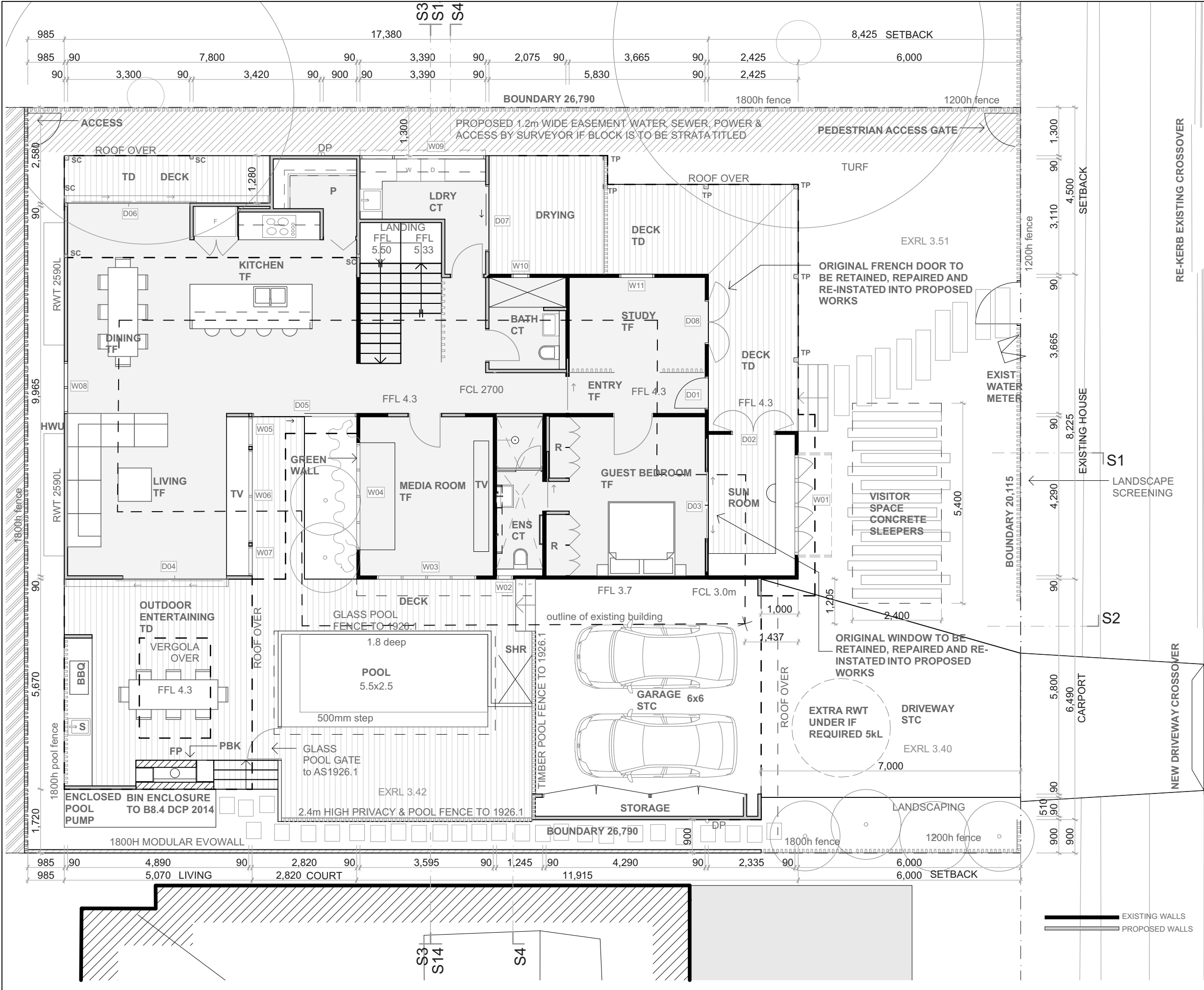
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
FSR Breakdown



	Date: 3/05/2021	
Status: CD	Scale: 1:200 @ A3	
Project No: 1709	Drawing No: 1.3	Revision:



AMENDMENTS

NO .	DESCRIPTION	DATE

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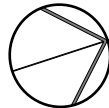
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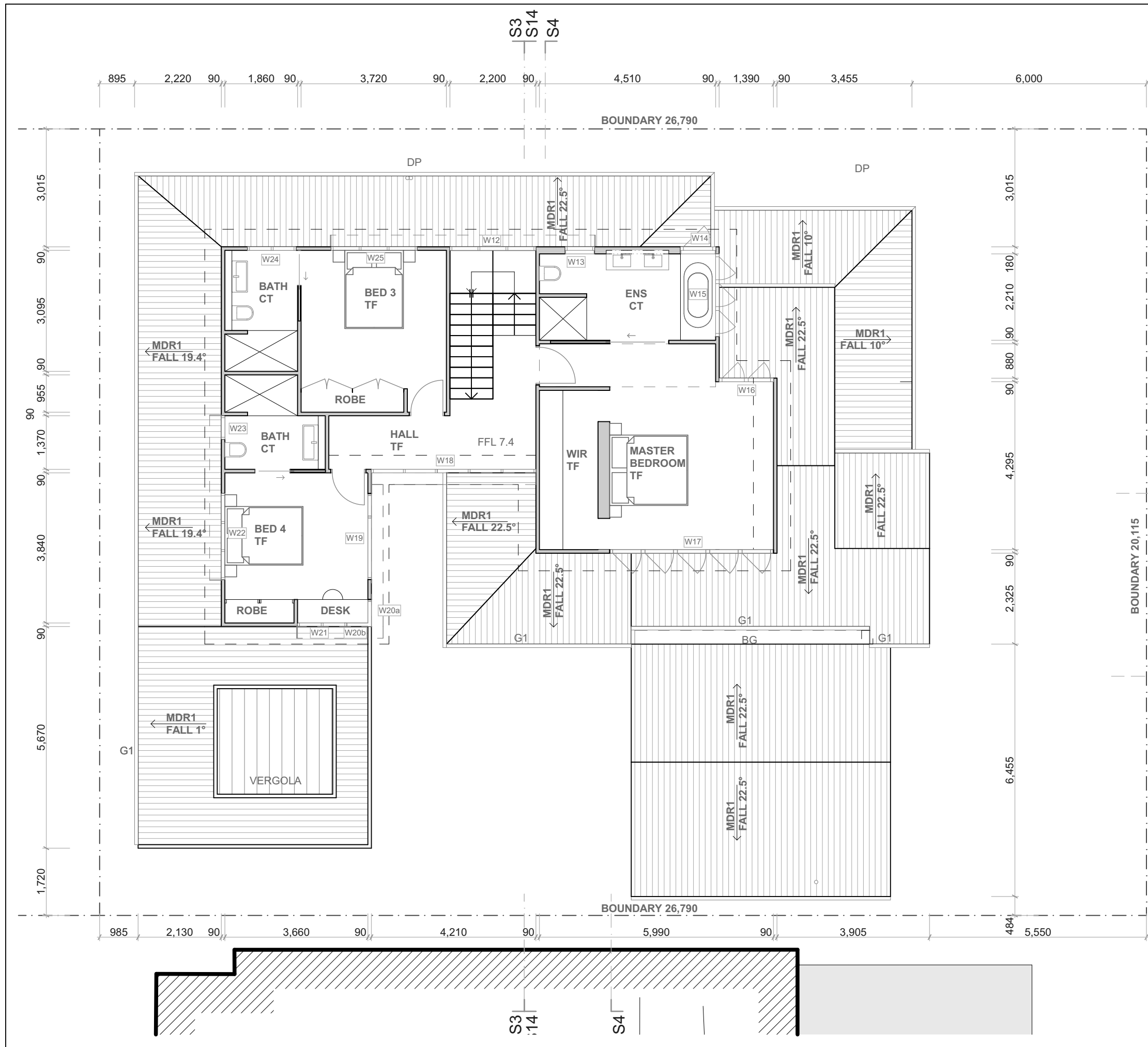
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Ground Floor Plan 1:100



	Date: 3/05/2021
Status: CD	Scale: 1:100 @ A3
Project No: 1709	Drawing No: 2.1 Revision:



AMENDMENTS

NO .	DESCRIPTION	DATE

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NOTES

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SMOKE ALARMS IN ACCORDANCE WITH 3.7.2.3 & 3.7.2.4 OF THE BCA
WATER PROOFING TO AS 3740 OR PART 3.8.1.2 OF THE BCA
STAIR CONSTRUCTION TO VOL 2 PART 3.9.1 OF THE BCA
BALUSTRADE CONSTRUCTION TO VOL 2 PART 3.9.2 OF THE BCA

DAVIS ARCHITECTS

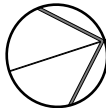
T - 02 6680 9202
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A - 3/61 Centennial Circuit, Byron Bay NSW 2481

Client Name
Ian and Louise Heanes

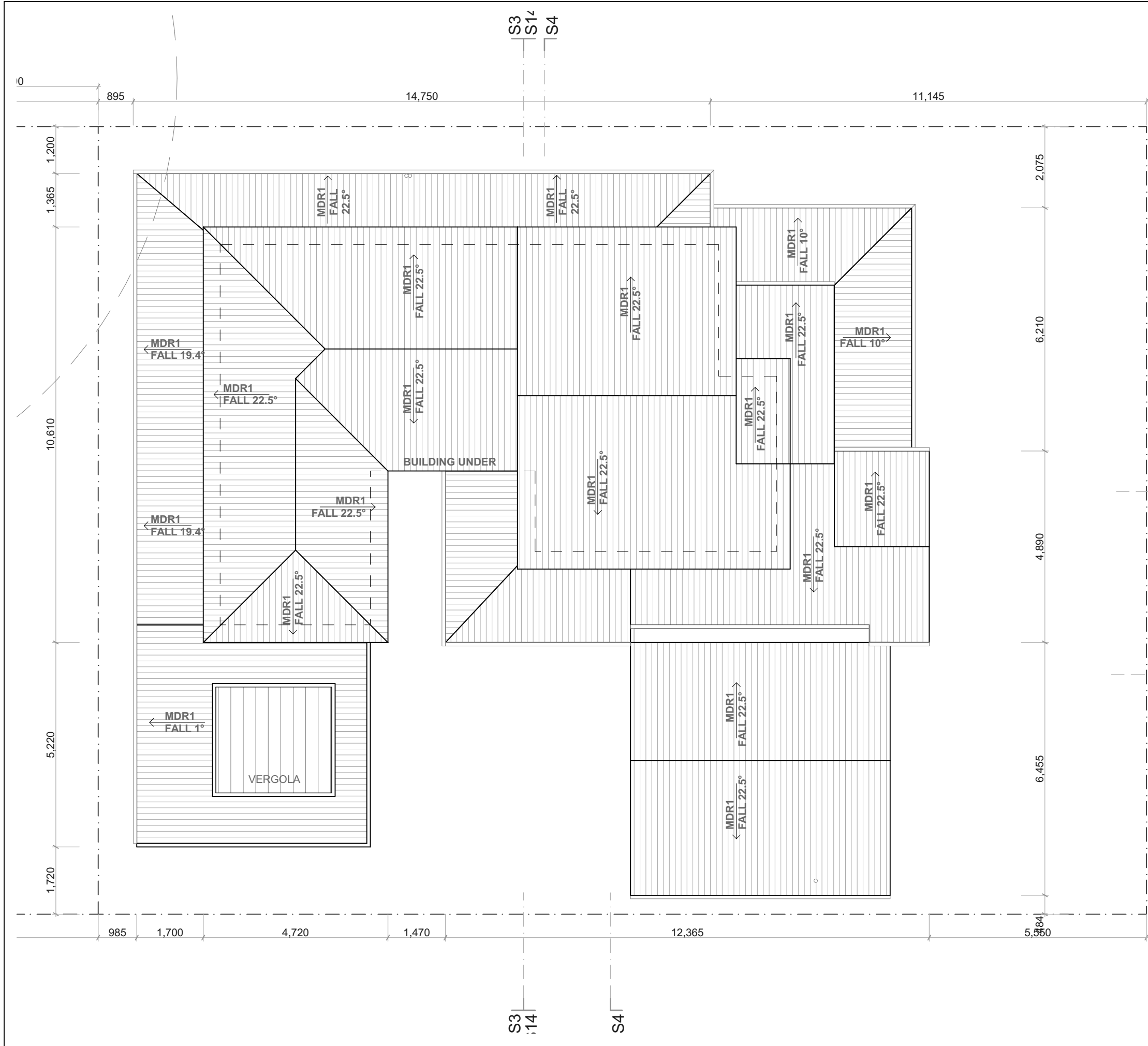
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
First Floor Plan 1:100



	Date: 3/05/2021	
Status: CD	Scale: 1:100 @ A3	
Project No: 1709	Drawing No: 2.2	Revision:



AMENDMENTS

NO .	DESCRIPTION	DATE

CONSULTANTS

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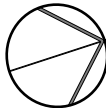
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Client Name
Ian and Louise Heanes
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Roof Plan 1:100



	Date: 3/05/2021	
Status: CD	Scale: 1:100 @ A3	
Project No: 1709	Drawing No: 2.3	Revision:

HERITAGE COLOURS



EXISTING WALLS TO BE PAINTED Y53 SANDSTONE



DOORS, WINDOWS AND SOFFITS TO BE PAINTED Y34 CREAM



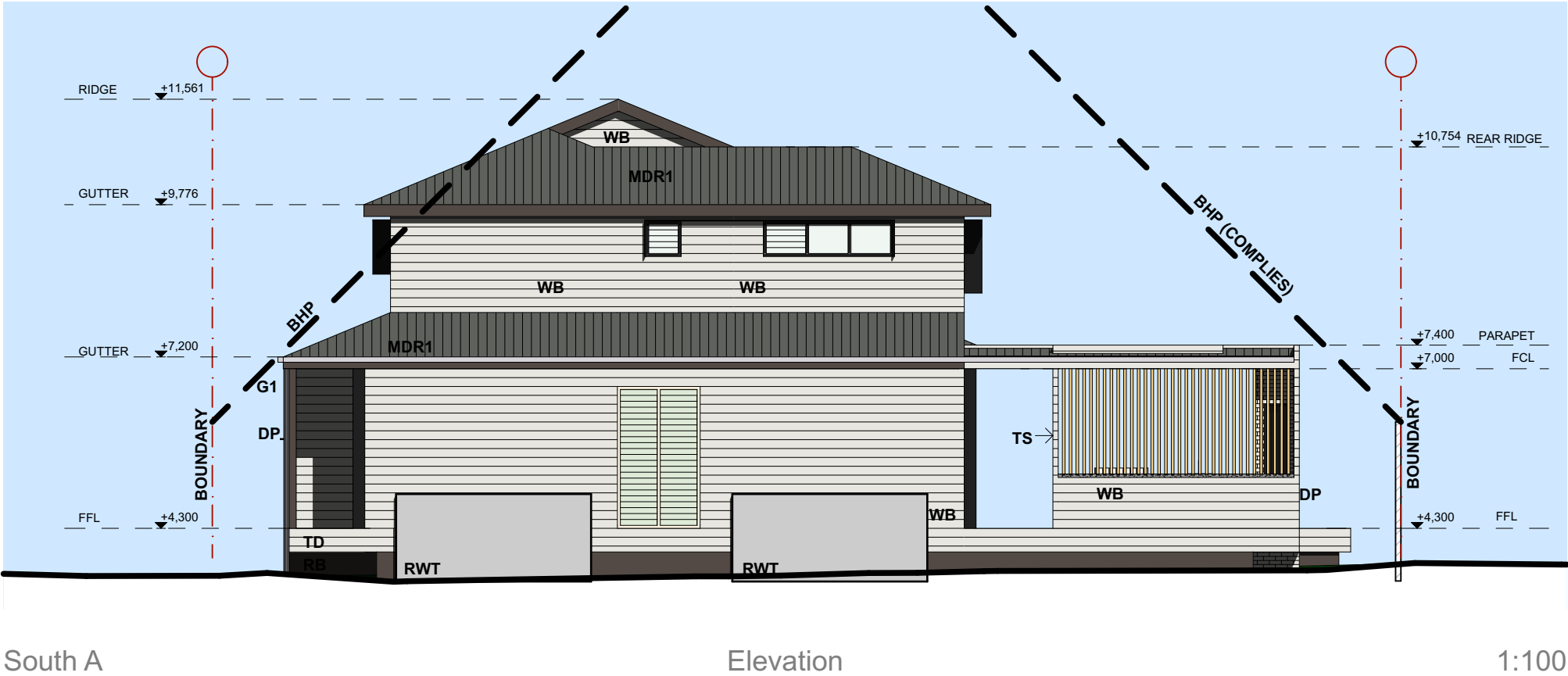
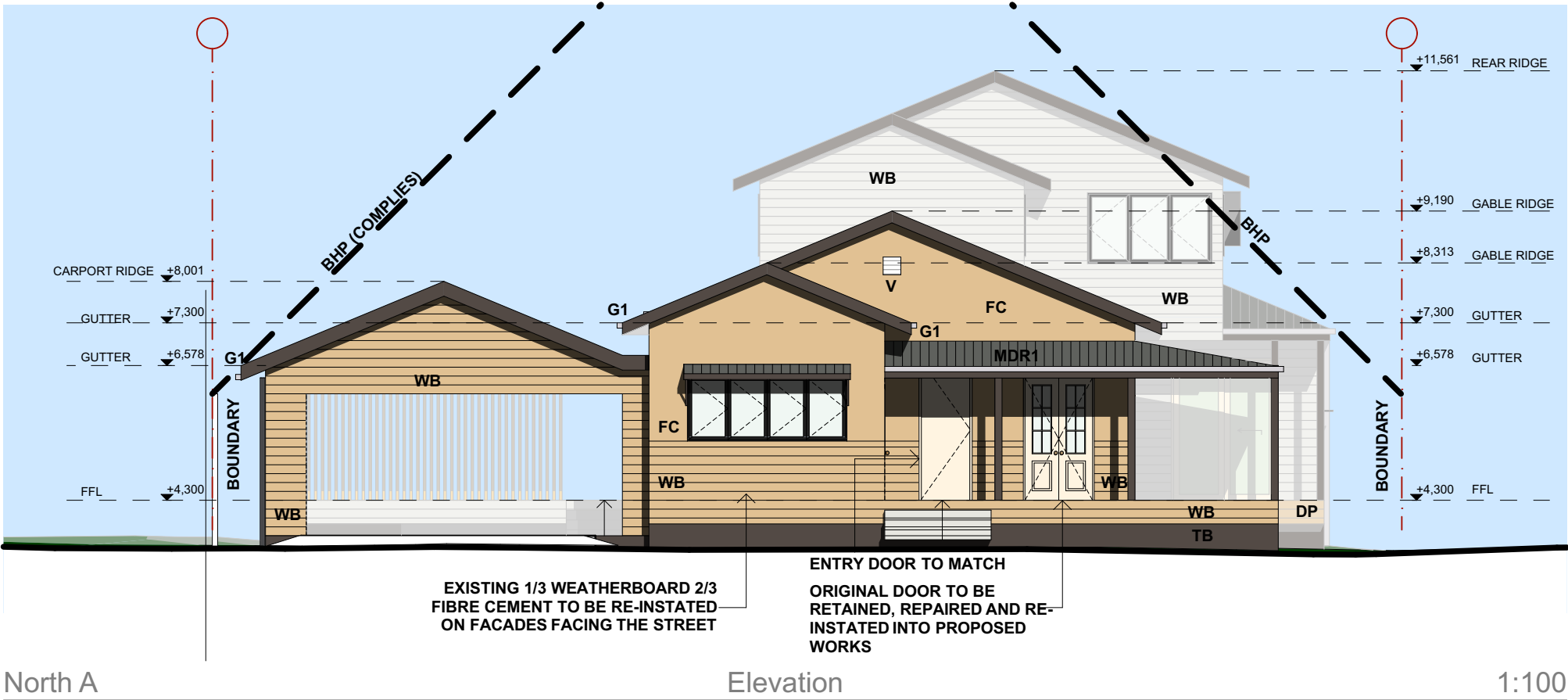
FASCIAS, TRIMS AND UNDERFLOOR TO BE PAINTED X63 IRONBARK



NEW WEATHERBOARDS AND PAINTED BRICK TO BE DULUX WHITSUNDAY ISLAND



MDR1 BASALT MATT



AMENDMENTS

NO .	DESCRIPTION	DATE

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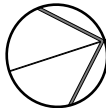
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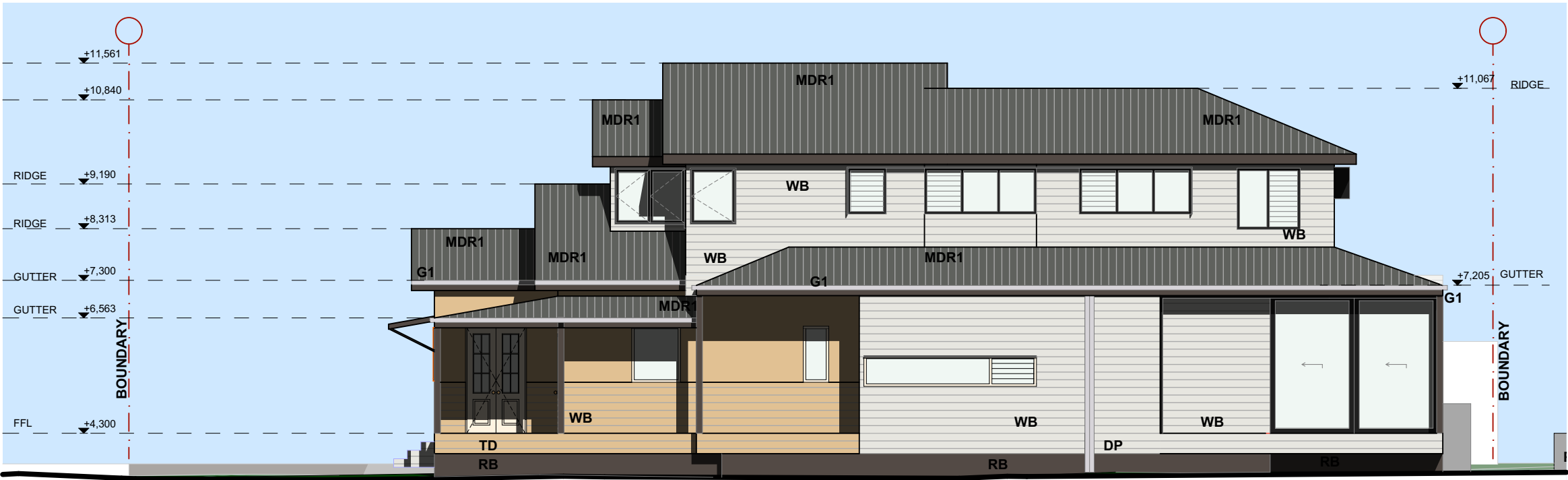
Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Carlyle Street Elevations N/S



	Date: 3/05/2021
Status: CD	Scale: 1:100, 1:1 @ A3
Project No: 1709	Drawing No: 3.1 Revision:



West

Elevation

1:100



East

Elevation

1:100

AMENDMENTS

NO .	DESCRIPTION	DATE

CONSULTANTS

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Client Name

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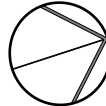
Project Name

Carlyle Street Renovation

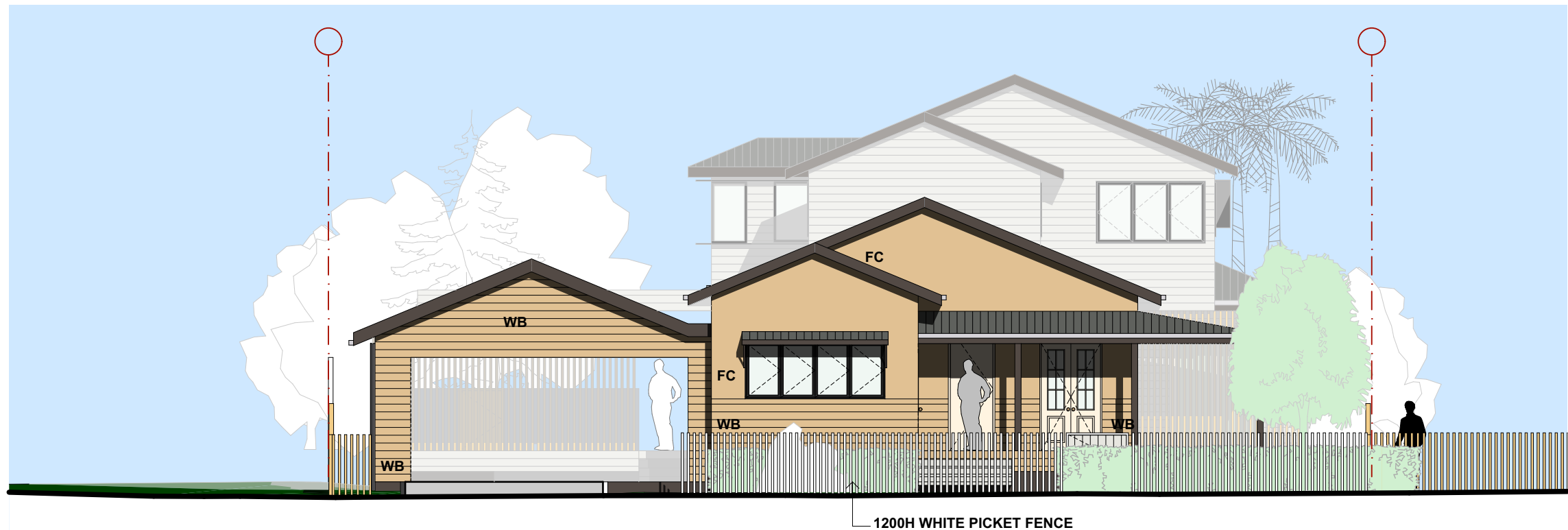
28 Carlyle Street Byron Bay

Drawing Title:

Carlyle Street Elevations E/W



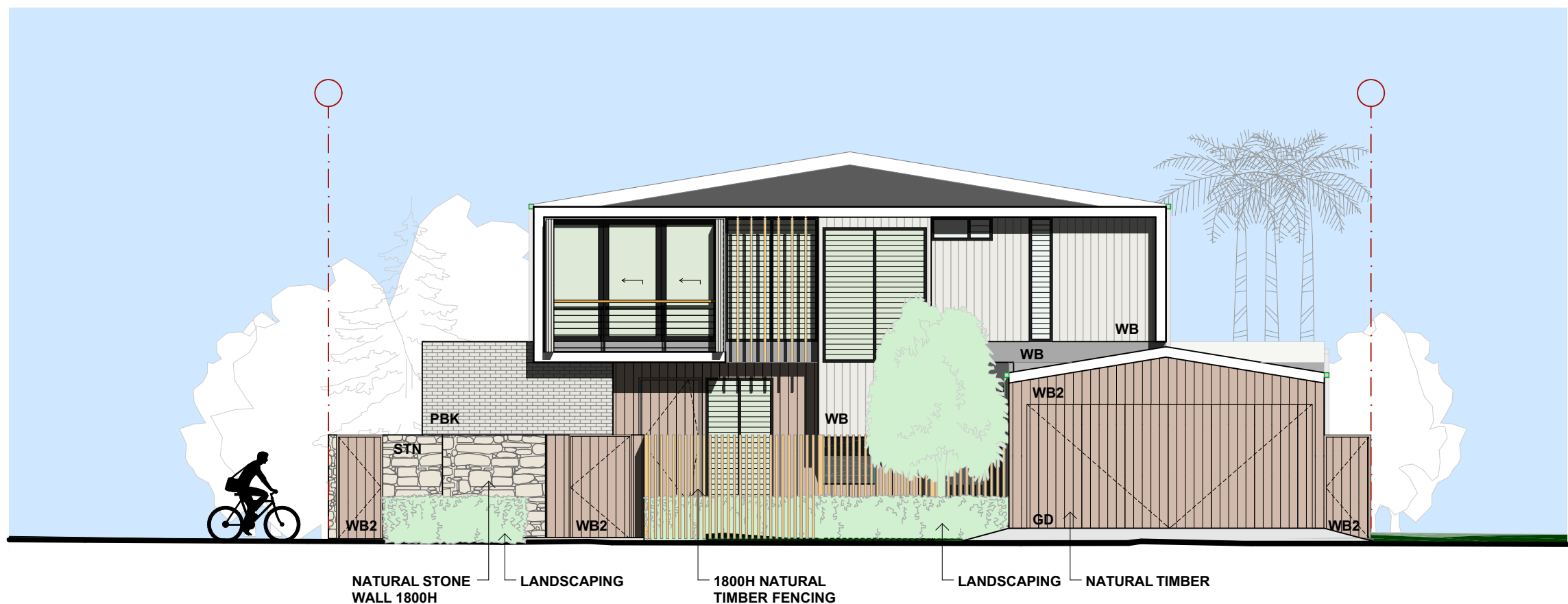
	Date: 3/05/2021
Status: CD	Scale: 1:100 @ A3
Project No: 1709	Drawing No: 3.2
	Revision:



Street North A

Elevation

1:100



South Street B

Elevation

1:100

REFER EXISTING DA APPROVAL 10.2018.261.1

AMENDMENTS

NO .	DESCRIPTION	DATE

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Client Name

Ian and Louise Heanes

Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Street Elevations



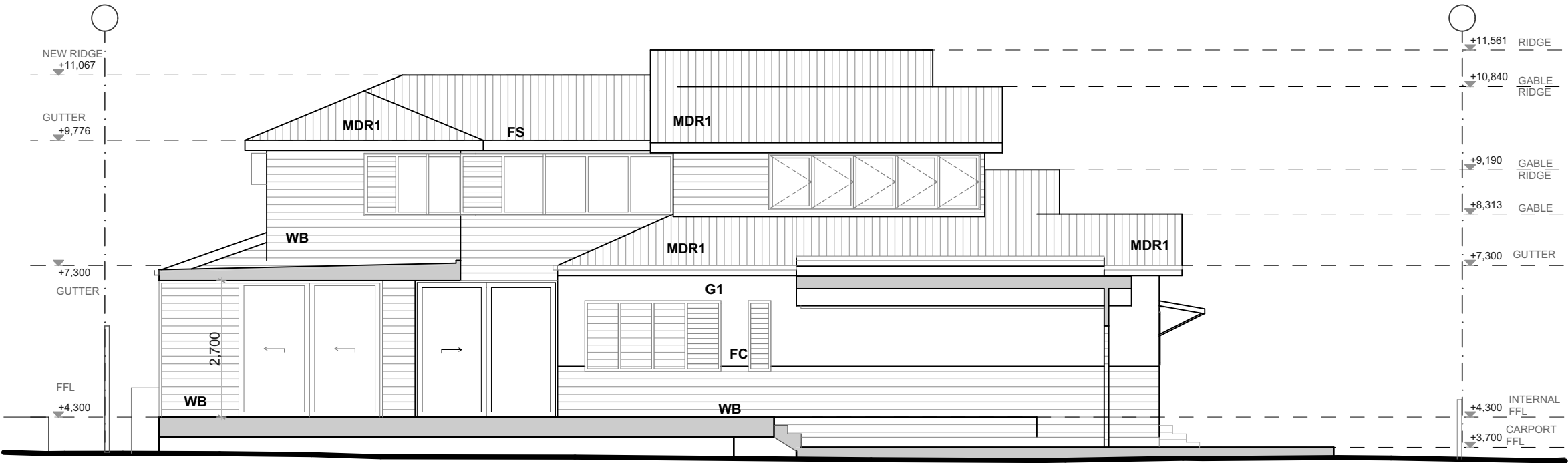
	Date: 3/05/2021
Status: CD	Scale: 1:100 @ A3
Project No: 1709	Drawing No: 3.3
	Revision:



S1

Section

1:100



S2

Section

1:100

AMENDMENTS

NO .	DESCRIPTION	DATE

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Client Name

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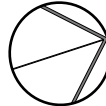
Project Name

Carlyle Street Renovation

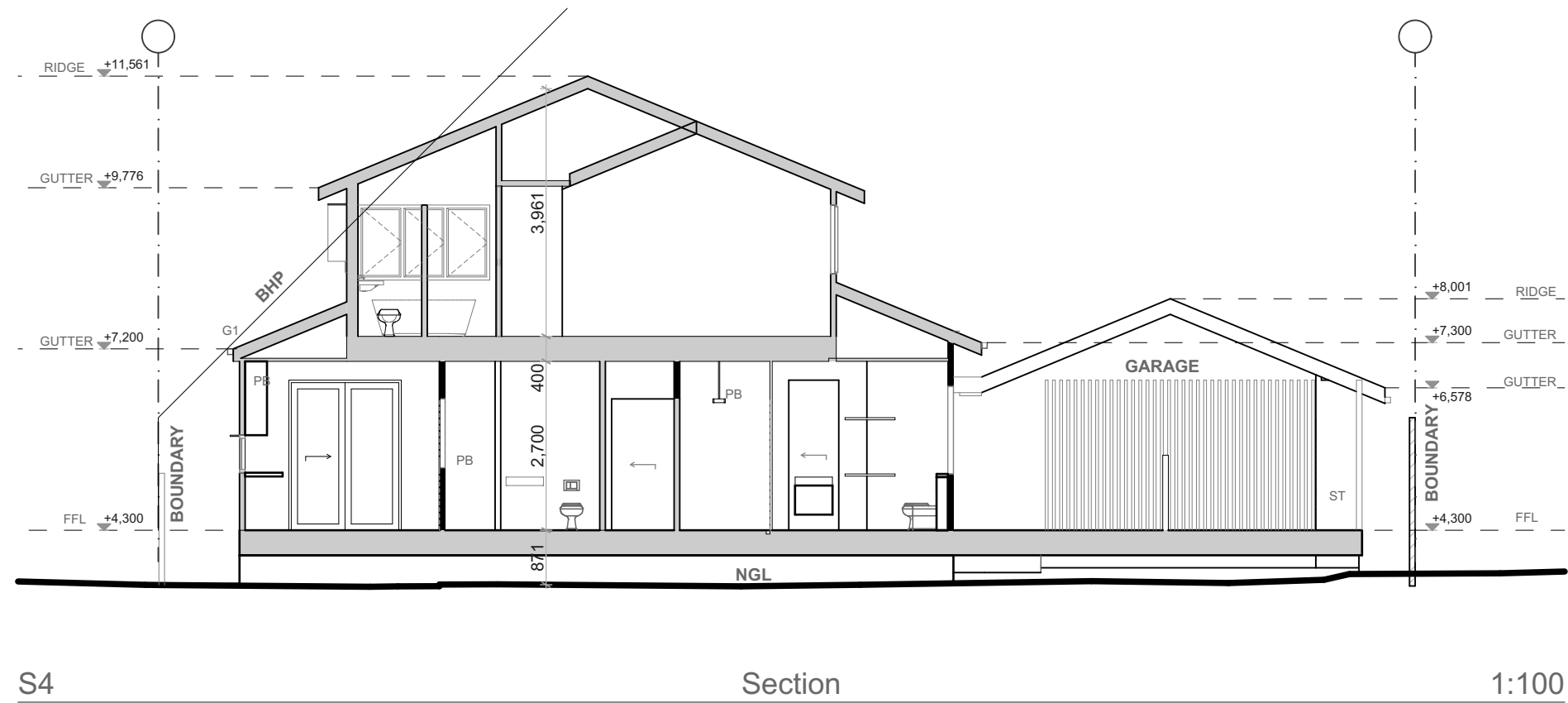
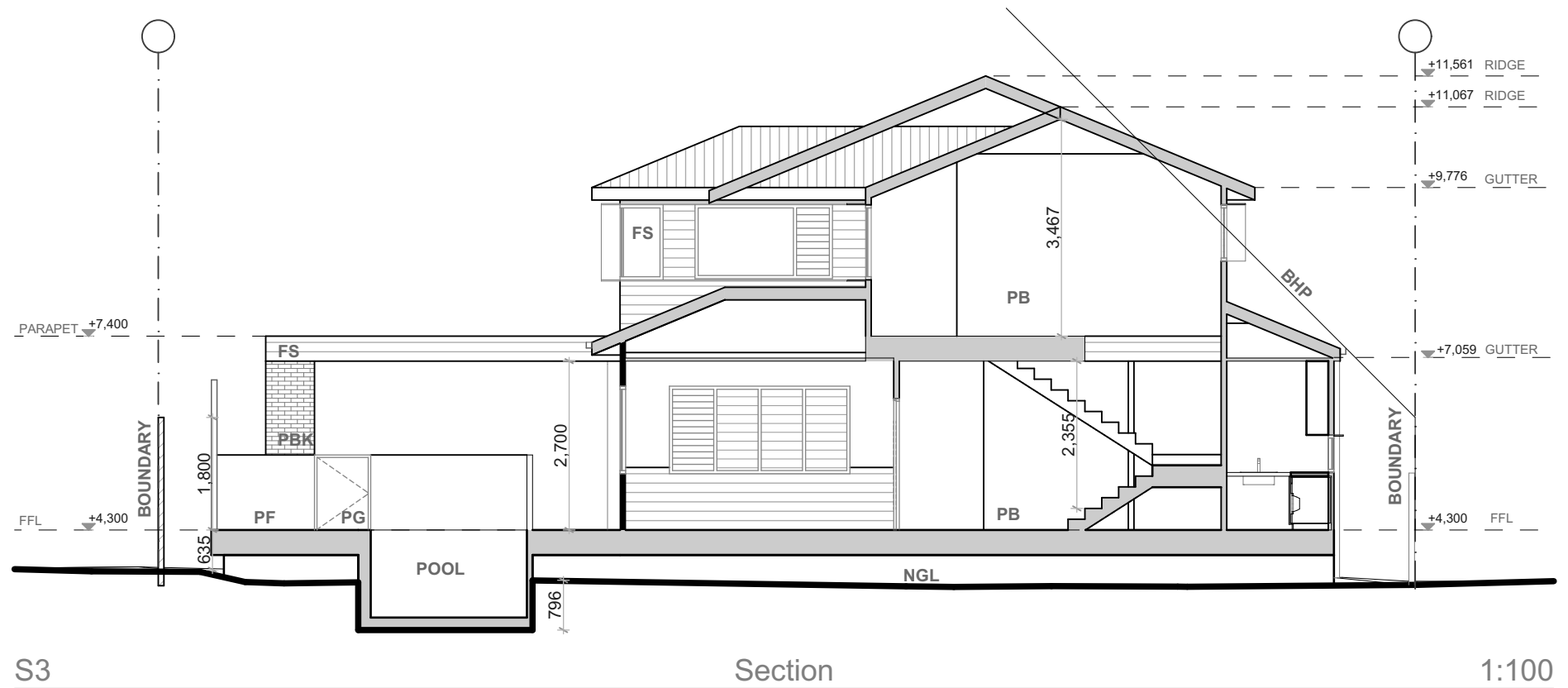
28 Carlyle Street Byron Bay

Drawing Title:

Carlyle Street Sections S1/S2



	Date: 3/05/2021	
Status: CD	Scale: 1:100 @ A3	
Project No: 1709	Drawing No: 4.1	Revision:



AMENDMENTS		
NO .	DESCRIPTION	DATE

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Client Name
Ian and Louise Heanes

Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Carlyle Street Sections S3/S4

Date: 3/05/2021	
Status: CD	Scale: 1:100 @ A3
Project No: 1709	Drawing No: 4.2
Revision:	



S1

Section

1:200



S2

Section

1:200

[illegible]

Project No: 1709	Drawing No: 4.3	Revision:
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