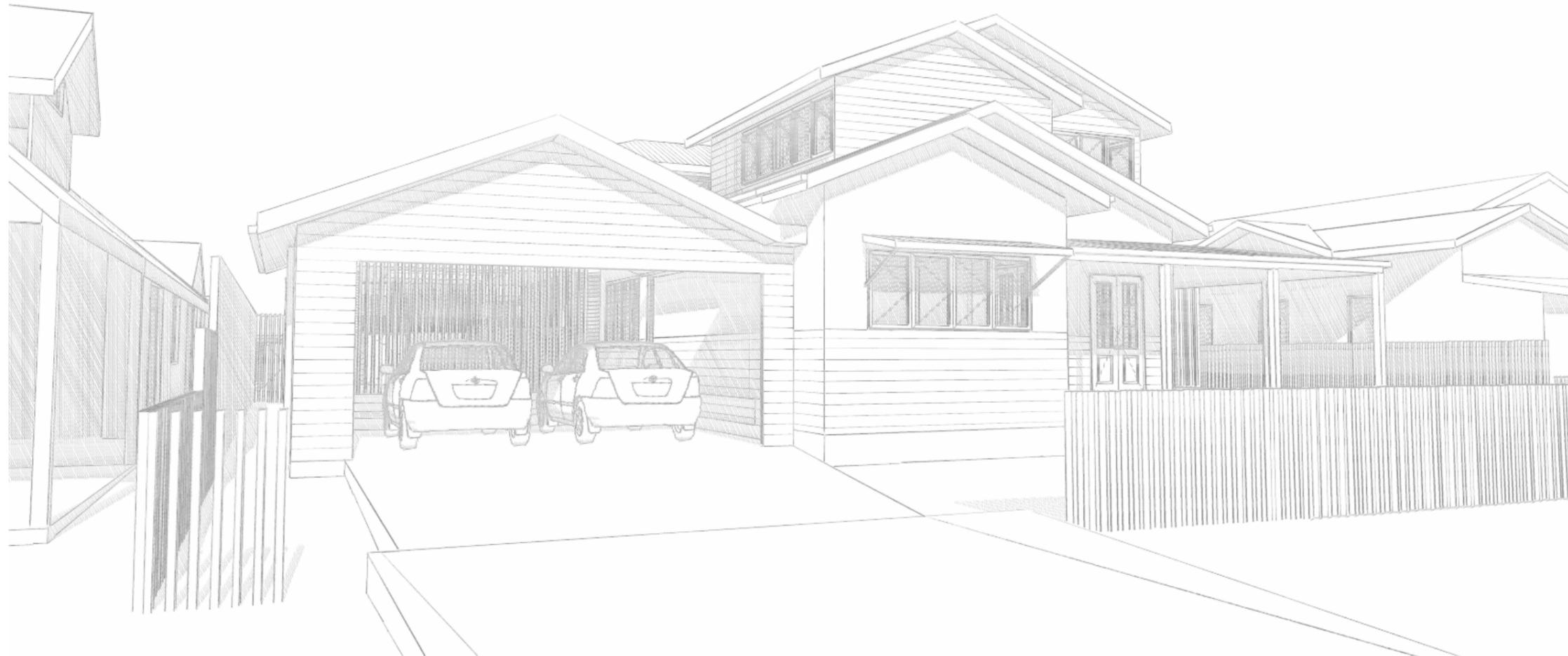


CARLYLE STREET RENOVATION NORTHERN DUAL OCCUPANCY



28 Carlyle Street Byron Bay
 ALTERATIONS AND ADDITIONS TO EXISTING DWELLING.
 ADDITIONAL SECOND STOREY AND POOL
 DP 325904, LOT B

AREA SCHEDULE
 SITE AREA - 1012m²
 LOT AREA - 539m²

DEEP SOIL ZONES
 25% of site area as required by Byron DCP 2014
 Northern Dual Occupancy - 191m² (134m² required - complies 35%)

BYRON SHIRE COUNCIL
 Development Application
APPROVED PLAN
 DA No. 10.2021.342.1
 Date: 7 October 2021

| Sheet Index | |
|-------------|-------------------------------|
| Layout ID | Layout Name |
| 0.0 | Carlyle House Renovation |
| 0.1 | Index Sheet |
| 0.2 | Perspective |
| 1.1 | Site Plan |
| 1.2 | Concept Drainage Plan |
| 1.3 | FSR Breakdown |
| 2.1 | Ground Floor Plan 1:100 |
| 2.2 | First Floor Plan 1:100 |
| 2.3 | Roof Plan 1:100 |
| 2.4 | Ground Floor Plan RCP |
| 3.1 | Carlyle Street Elevations N/S |
| 3.2 | Carlyle Street Elevations E/W |
| 3.3 | Street Elevations |
| 4.1 | Carlyle Street Sections S1/S2 |
| 4.2 | Carlyle Street Sections S3/S4 |
| 4.3 | Site Sections 1:200 |

AMENDMENTS

| NO. | DESCRIPTION | DATE |
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CONSULTANTS

STRUCTURAL ENGINEER

Kaan Whittall
 p: 0411 326 100
 e: kaanw@westerapartners.com.au

CIVIL ENGINEER

Mitchell Williams
 p: 02 6674 8047
 e: mitchellw@westerapartners.com.au

GEOTECH

ASCT Darran Kennedy
 p: 02 6686 8567
 e: office@asct.com.au

SURVEYOR

Heath & McPhail Surveying
 p: (02) 6688 6181
 e: glen@hmsurveying.com.au

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DAVIS ARCHITECTS

T - 02 6680 9202
 M - 0439 850 627
 E - DAVIS@DAVISARCHITECTS.COM.AU
 W - WWW.DAVISARCHITECTS.COM.AU
 A - 3/61 Centennial Circuit, Byron Bay NSW 2481

Client Name
Ian and Louise Heanes
 Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
 Carlyle House Renovation



Date: 3/05/2021

Status: CD Scale: 1:1.25, 1:2.22, 1:0.87

Project No:
1709 Drawing No: **0.0** Revision:

LEGEND/NOTES

| | |
|------|-----------------------------------|
| CT | CERAMIC FLOOR TILES |
| CPT | CARPET |
| CS | CORRUGATED STEEL COLORBOND |
| CFT | CONCRETE FLOOR TILE |
| DP | DOWNPIPE 90 Ø ROUND |
| EX | EXISTING |
| EF | EXHAUST FAN |
| F | FRIDGE |
| FFL | FINISHED FLOOR LEVEL |
| FCL | FINISHED CEILING LEVEL |
| FC | FIBRE CEMENT SHEETING |
| FP | FIREPLACE |
| FS | TIMBER FASCIA PAINT FINISH |
| FG | FIXED GLASS |
| FW | FLOOR WASTE |
| G1 | 90mm HALF ROUND GUTTER |
| G2 | COLOURBOND BOX GUTTER 300mm |
| GS | GUTTER WATER SPITTER |
| GD | GARAGE DOOR VERTICAL TIMBER CLAD |
| GHRL | GLASS HAND RAIL |
| GT | EXTERNAL GARDEN TAP |
| HWU | HOT WATER UNIT TO BASIX |
| LB | LINING BOARDS |
| LN | LINEN CUPBOARD |
| LV | LOUVRES |
| MB | MAIN POWER BOARD |
| MDR1 | METAL DECK ROOF NATURAL ZINCALUME |
| NGL | NATURAL GROUND LINE |
| NT | NATURAL TIMBER STAIN FINISH |
| PBK | PAINTED AND RENDERED BRICK |
| PB | PAINTED PLASTER BOARD |
| PCS | POLISHED CONCRETE SLAB |
| PS | PRIVACY SCREEN |
| R | ROBE |
| RC | REINFORCED CONCRETE |
| RB | RENDERED BLOCK WALL PAINT FINISH |
| RWT | RAINWATER TANK TO BASIX |
| SC | STEEL COLUMN TO ENG DETAILS |
| SM | SMOKE DETECTOR TO BCA |
| SHR | SHOWER |
| STC | STEEL TROWELLED CONCRETE |
| STN | STONE CLADDING |
| SP | OVERFLOW SPITTER |
| SL | SKYLIGHT TO BASIX SPECIFICATIONS |
| SW | STONE FEATURE WALL |
| ST | STORAGE |
| TB | TIMBER BATTENS DARK |
| TD | TIMBER DECKING SPOTTED GUM |
| TP | TIMBER POST |
| TF | TIMBER FLOORING HARDWOOD |
| TS | TIMBER SCREEN |
| TR | TREE REMOVED |
| WB | TIMBER WEATHERBOARD WHITE PAINT |
| WB2 | TIMBER WEATHERBOARD NATURAL |
| WL | WASHING LINE |
| WM | WASHING MACHINE |
| WP | WASTE PIPE |
| V | TRADITIONAL ROOF VENT |
| ZC | ZINC CLADDING |

BYRON SHIRE COUNCIL
Development Application
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Door List

| Window ID | WxH Dimension | Description |
|-----------|---------------|------------------------------|
| D01 | 900x2,400 | Solid Timber entry door |
| D02 | 1,200x2,100 | Timber side hung double door |
| D03 | 900x2,100 | Solid timber cavity slider |
| D03 | 900x2,100 | Solid timber cavity slider |
| D04 | 1,400x2,700 | CG external slider panel 1 |
| D04 | 1,400x2,700 | CG external slider panel 2 |
| D05 | 2,820x2,700 | CG sliding door over fixed |
| D06 | 1,650x2,700 | CG external slider panel 1 |
| D06 | 1,650x2,700 | CG external slider panel 2 |
| D07 | 1,800x2,400 | CG Slider over fixed |
| D08 | 1,200x2,100 | Solid side hung double door |

Window List

| Window ID | WxH Dimension | Sill Height | Description |
|-----------|---------------|-------------|------------------------------------|
| W01 | 2,700x1,100 | 1,000 | CG Casement windows |
| W02 | 450x1,400 | 900 | Obs Louvres |
| W03 | 2,695x1,400 | 900 | CG Louvres |
| W04 | 2,890x1,400 | 900 | CG Louvres |
| W05 | 800x1,800 | 900 | CG Louvres |
| W06 | 2,510x1,800 | 900 | CG fixed |
| W07 | 800x1,800 | 900 | CG Louvres |
| W08 | 1,400x2,400 | 0 | CG Louvres |
| W09 | 3,390x600 | 920 | Fixed Glass with 900 LV on side CG |
| W10 | 500x1,100 | 1,000 | CG Fixed glass |
| W11 | 960x1,100 | 1,000 | CG Fixed glass |
| W12 | 2,200x900 | 1,200 | CG Fixed glass with 600 LV on side |
| W13 | 750x900 | 1,200 | CG Louvres |
| W14 | 900x1,100 | 1,000 | CG Casement windows |
| W15 | 2,110x1,200 | 900 | CG Casement windows |
| W16 | 1,390x1,100 | 1,000 | CG Casement windows |
| W17 | 4,190x1,100 | 1,000 | CG Casement windows |
| W18 | 1,685x1,200 | 900 | CG fixed glass with 600 LV on side |
| W18 | 2,575x1,200 | 900 | CG Fixed |
| W19 | 2,200x1,180 | 920 | CG fixed with 400 LV on side |
| W20a | 600x1,200 | 900 | CG SJ corner window to W20b |
| W20b | 590x1,200 | 900 | CG SJ Corner window to W20a |
| W21 | 1,260x1,200 | 900 | CG louvres with fixed |
| W22 | 2,200x600 | 1,500 | CG Louvres with fixed |
| W23 | 600x600 | 1,500 | CG Louvres with fixed |
| W24 | 1,240x1,200 | 900 | CG Louvres with fixed |
| W25 | 2,200x900 | 1,200 | CG Louvres with fixed |

BASIX REQUIREMENTS

FIXTURES

- The development will install with a minimum 3 star rating (>7.5<=9 L/min) in all showers in the development
 - A toilet flushing system is to be installed with a minimum of 3 stars rating in each toilet in the development
 - Kitchen taps to be installed with a min rating of 4 stars
 - Basin taps to be installed with a min rating of 4 stars in each bathroom of the development
- ### ALTERNATIVE WATER
- The development will install a rainwater tank of at least 2400L capacity. Refer plans for locations
 - The rainwater tank(s) must collect runoff from at least 100sqm of roof area
 - Rainwater tank to be connected to all toilets in the development. The cold water tap that supplies the washing machine, and one outdoor tap
- ### THERMAL COMFORT
- The proposal shall be constructed in accordance with the thermal performance specifications set out in the Assessor Certificate and in accordance with those aspects of the Development Application or CDC which were used to calculate those specifications.

HOT WATER

- Lot A 5 star hot water system, instantaneous gas shall be installed in the development
- Lot B Solar electric boosted 36-40 STC's

COOLING SYSTEM

- Living areas and bedrooms are not to incorporate any cooling system or ducting
- ### HEATING SYSTEM
- Living areas and bedrooms are not to incorporate any cooling system or ducting

VENTILATION

- The following measures will be installed in the development:
- Bathroom individual fan, not ducted. Manual on/off switch.
 - Kitchen individual fan, not ducted. Manual on/off switch.
 - Laundry Lot A individual fan, not ducted. Manual on/off switch. Lot B must have natural ventilation only

OTHER

- An electric oven and gas cooktop are to be installed in the kitchen of the dwelling
- An outdoor clothes drying area is to be installed in the development. refer plans.
- No pool heating system and timber to be installed.
- All Balustrades to comply to BCA 1m above FFL minimum
- All Pool Fences to comply to BCA and Aust. Standards 1.2m min.
- All external Doors and windows to be in HWD Timber natural oiled finish.
- Solar Hot water unit - Gas Boosted as per BASIX.
- All glazing to be to Australian Standards and to comply with the BASIX report.
- All Lighting Requirements as per the BASIX report
- Roof Insulation R3.0 min to comply to BASIX report
- Wall Insulation R2.5 min to comply to BASIX report
- All tap fittings and plumbing fixtures to comply with BASIX report
- Smoke detectors to be installed to BCA

THERMAL PERFORMANCE SPECIFICATIONS:

(7263 – Lot A – 28 Carlyle St)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building.

This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing
- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

WINDOWS (total product specification – glass + frame)

U-value 3.44 (or less than) & SHGC 0.48 (+/-5%) (Typically: Low-e Tinted Glass in Timb. frame)

U-value 2.80 (or less than) & SHGC 0.50 (+/-5%) (Typically: DG Tinted Glass in Timb. frame)

(Double Glazing only for W12)

EXTERNAL WALL (Light colour)

Cavity Panel – R2.5 – 90mm thick Bulk insulation with vapour barrier

INTERNAL WALL

Cavity Panel – No Insulation

EXTERNAL FLOOR

Suspended Timber (Brick Encl. Sub-Floor) – No insulation

CEILING SPACE with ROOF ABOVE

Plasterboard – R3.0 bulk insulation (Flat ceiling)

Plasterboard – R2.5 bulk insulation (Raked ceiling)

ROOF (Dark colour) (Non-ventilated)

Sheet Metal Roofing – 55mm Foil Blanket with reflective airgap

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

AMENDMENTS

| NO . | DESCRIPTION | DATE |
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CONSULTANTS

STRUCTURAL ENGINEER

Kaan Whittall
p: 0411 326 100
e: kaanw@westerapartners.com.au

CIVIL ENGINEER

Mitchell Williams
p: 02 6674 8047
e: mitchellw@westerapartners.com.au

GEOTECH

ASCT Darran Kennedy
p: 02 6686 8567
e: office@asct.com.au

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e: glen@hmsurveying.com.au

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Client Name

Ian and Louise Heanes

Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:

Index Sheet



Date: 3/05/2021

Status: CD

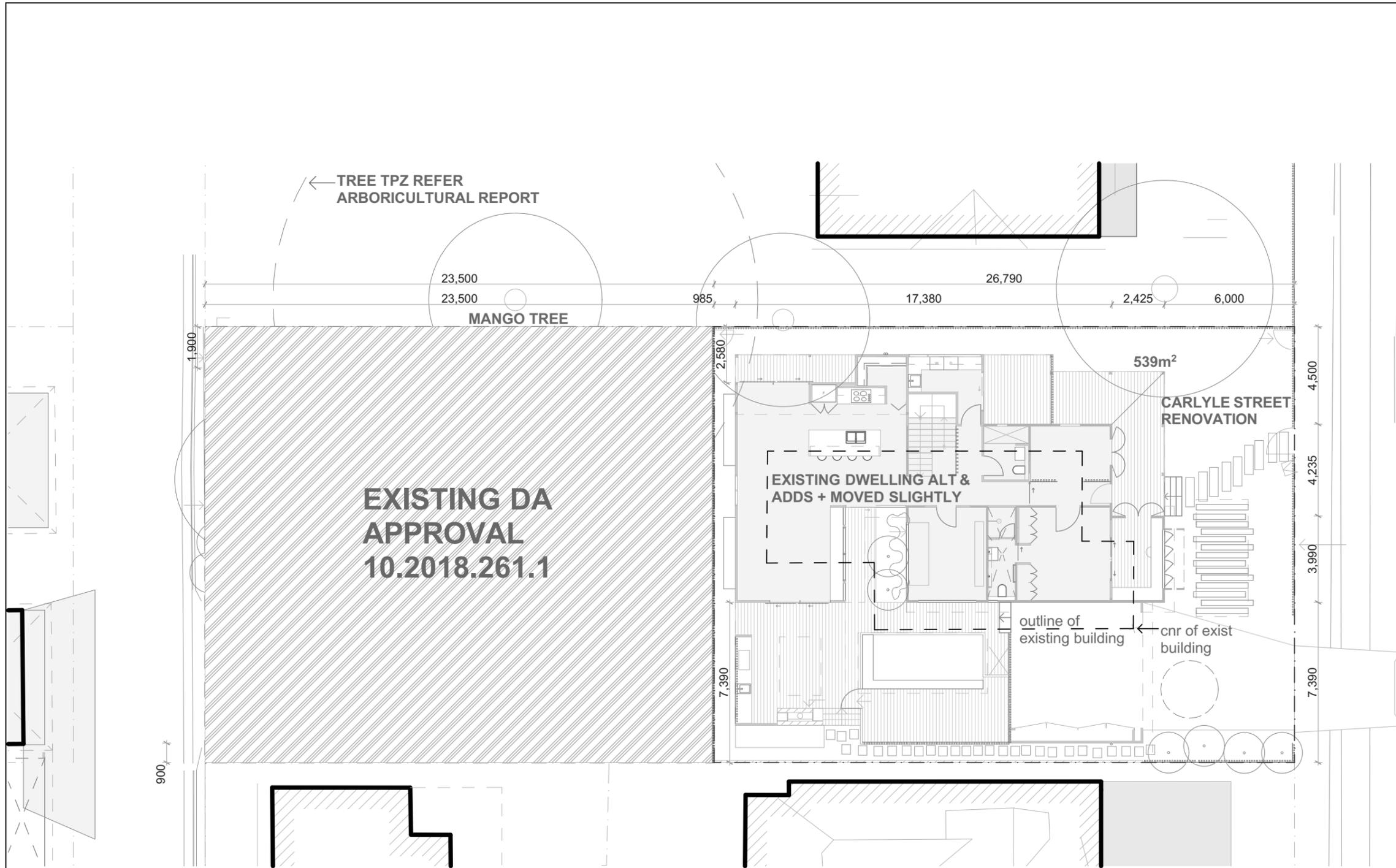
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Project No:

1709

Drawing No: Revision:

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STRUCTURAL ENGINEER

Kaan Whittall
 p: 0411 326 100
 e: kaanw@westerapartners.com.au

CIVIL ENGINEER

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 p: 02 6674 8047
 e: mitchellw@westerapartners.com.au

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 e: office@asct.com.au

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Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
 Site Plan 

Date: 3/05/2021

Status: CD Scale: 1:200 @ A3

Project No:
1709 Drawing No: **1.1** Revision:

AREA SCHEDULE

SITE AREA - 1012m²

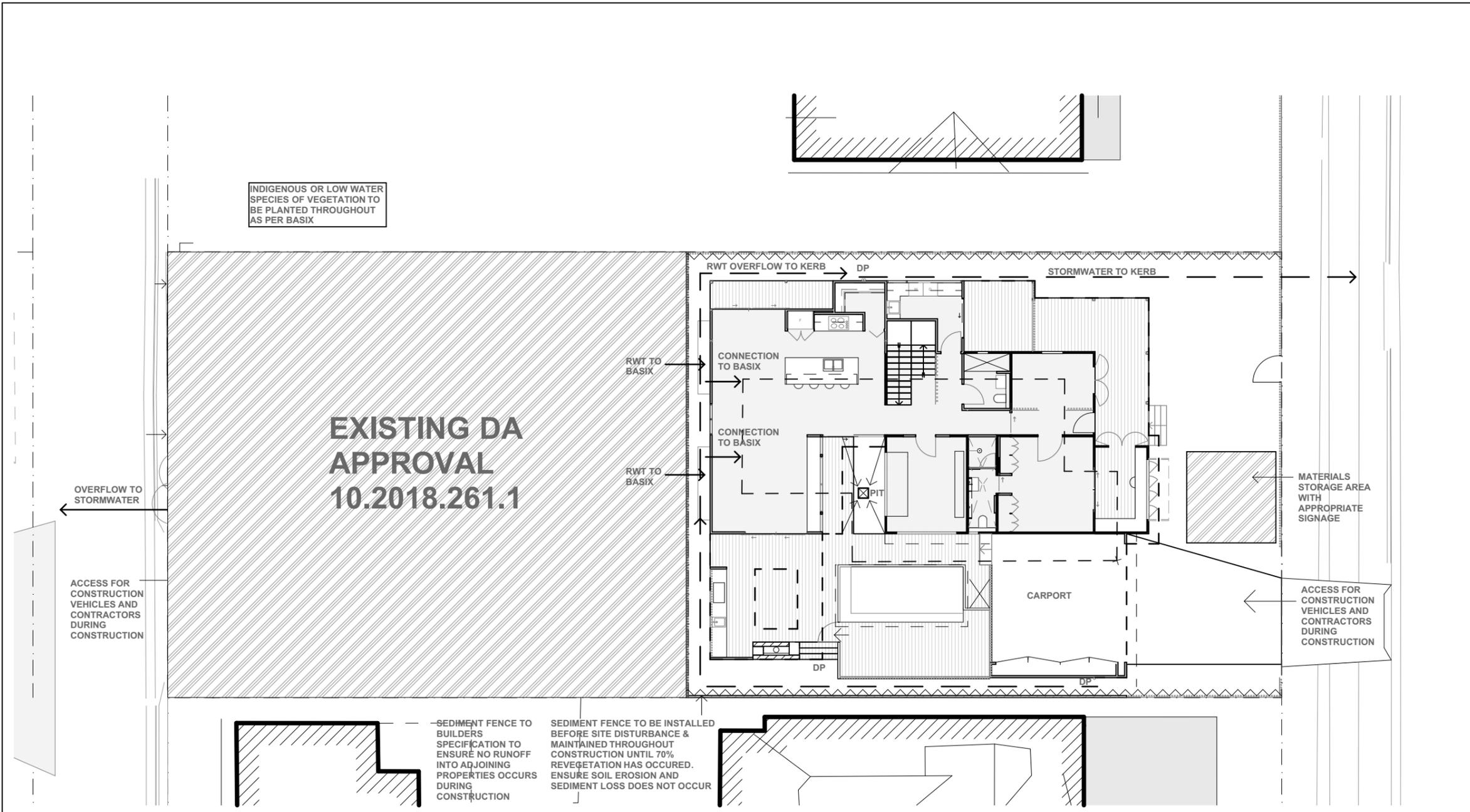
PROPOSED GROUND FLOOR AREA: 296m²
 PROPOSED FIRST FLOOR AREA: 99m²

TOTAL INTERNAL AREA - 395m²
 FSR: 0.39:1 (0.5:1 required - complies)
 FSR is calculated to inside face of external walls, excluding stairs, garages, storage and decks as per clause 4.5 of Byron LEP 2014

DEEP SOIL ZONES

25% of site area as required by Byron DCP 2014
 Northern Dual Occupancy - 191m² (134m² required - complies 35%)
 Southern Dual Occupancy - 159m² (118m² required - complies 33%)
 Total - 350m² (253m² required - complies 35%)

BYRON SHIRE COUNCIL
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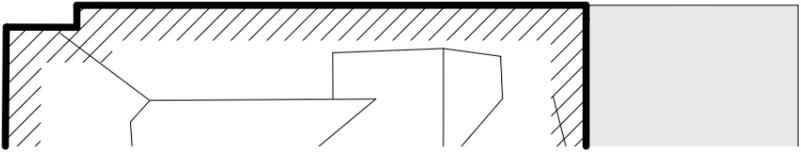


INDIGENOUS OR LOW WATER SPECIES OF VEGETATION TO BE PLANTED THROUGHOUT AS PER BASIX

EXISTING DA APPROVAL 10.2018.261.1



SEDIMENT FENCE TO BE INSTALLED BEFORE SITE DISTURBANCE & MAINTAINED THROUGHOUT CONSTRUCTION UNTIL 70% REVEGETATION HAS OCCURRED. ENSURE SOIL EROSION AND SEDIMENT LOSS DOES NOT OCCUR



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SILT FENCES

DESCRIPTION: SILT FENCES ARE TEMPORARY BARRIERS MADE FROM A COMBINATION OF FILTER CLOTH AND BLUE METAL

USAGE: SILT FENCES FILTER RUN OFF LEAVING THE SITE TRAPPING THE SEDIMENT AND ALLOWING CLEAN FILTERED WATER TO PASS. SILT FENCES ARE TO BE PLACED ON THE CONTOUR OR SLIGHTLY CONVEX TO THE CONTOUR. IF ON THE CONTOUR EACH END OF THE FENCE SHOULD BE TURNED UP TO CREATE A 'STILLING POND' UPSLOPE OF THE FENCE. WHERE POSSIBLE, A SILT FENCE SYSTEM SHOULD BE NO LONGER THAN ABOUT 20 METERS, THEY SHOULD NOT INTERCEPT LARGE CONCENTRATED OR CHANNELLED FLOWS.

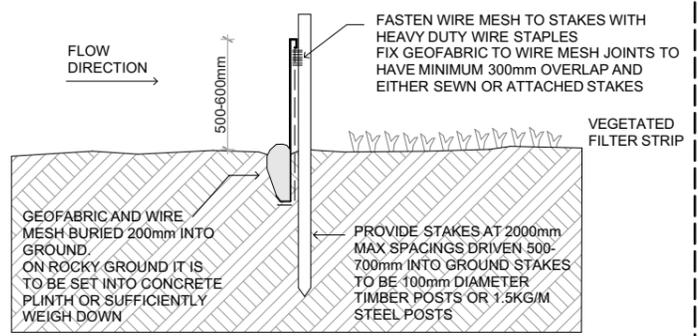
INSTALLATION: THE AREA BELOW A SILT FENCE MUST BE UNDISTURBED OR STABILISED

MAINTENANCE: SILT FENCES REQUIRE REGULAR MAINTENANCE TRAPPED SEDIMENTS SHOULD BE REMOVED, PICKETS STRAIGHTENED, FILTER CLOTH RESECURED AND TIGHTENED AND BLUE METAL REPLACED WHEN HEAVILY CONTAMINATED WITH SILT.

NOTES: FILTER FABRIC SHALL BE EQUIVALENT TO 'GEOLAB' AND BE CAPABLE OF INTERCEPTING SILT PARTICLES DOWN TO 2 MICRON IN SIZE.

DISTURBED AREA

UNDISTURBED AREA



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Kaan Whittall
p: 0411 326 100
e: kaanw@westerapartners.com.au

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T - 02 6680 9202
M - 0439 850 627
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Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
Concept Drainage Plan



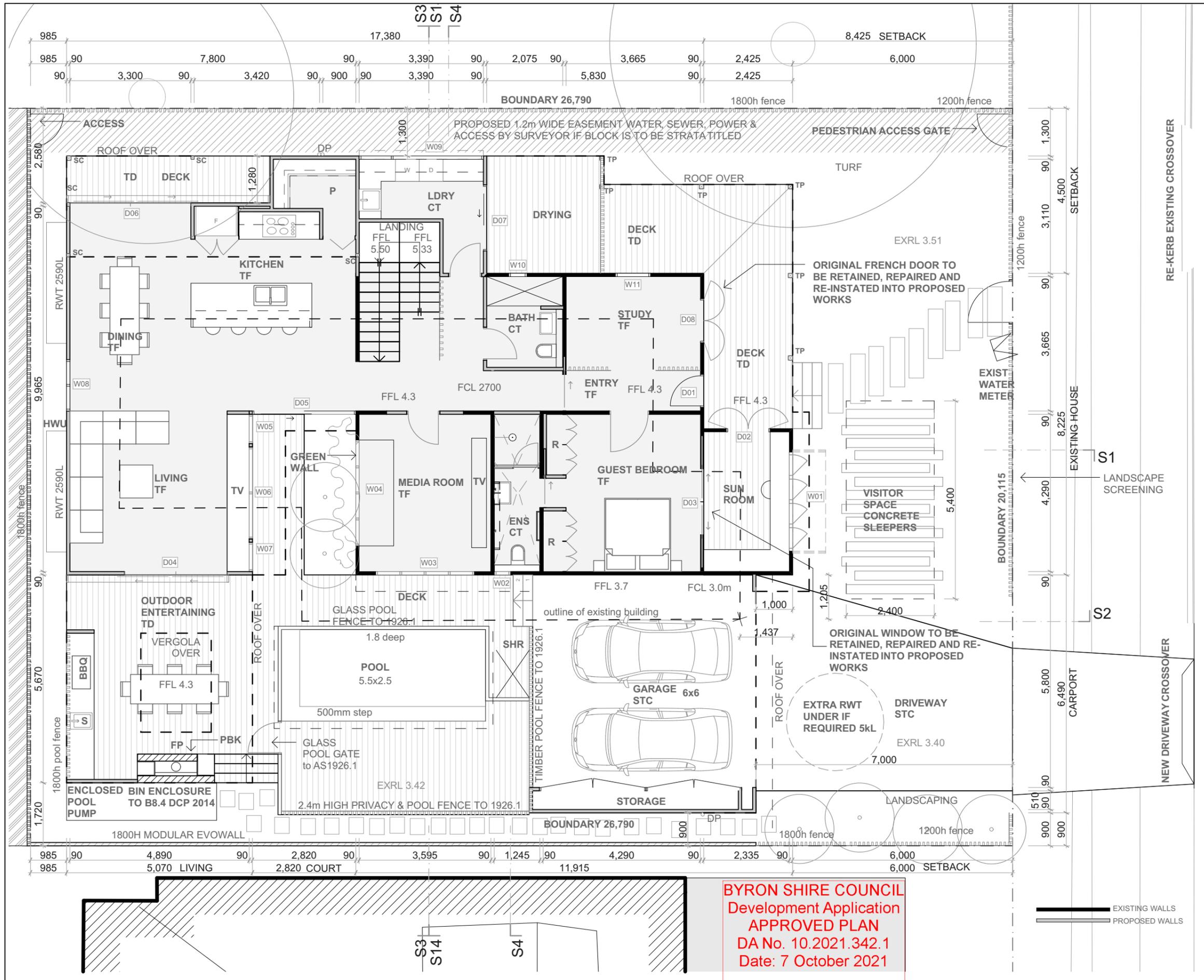
Date: 3/05/2021

Status: CD
Scale: 1:200 @ A3

Project No:
1709

Drawing No:
1.2

Revision:



BYRON SHIRE COUNCIL
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CONSULTANTS

STRUCTURAL ENGINEER

Kaan Whittall
 p: 0411 326 100
 e: kaanw@westerapartners.com.au

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Ian and Louise Heanes

Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:

Ground Floor Plan 1:100



Status: CD

Project No: **1709**

Date: 3/05/2021

Scale: 1:100 @ A3

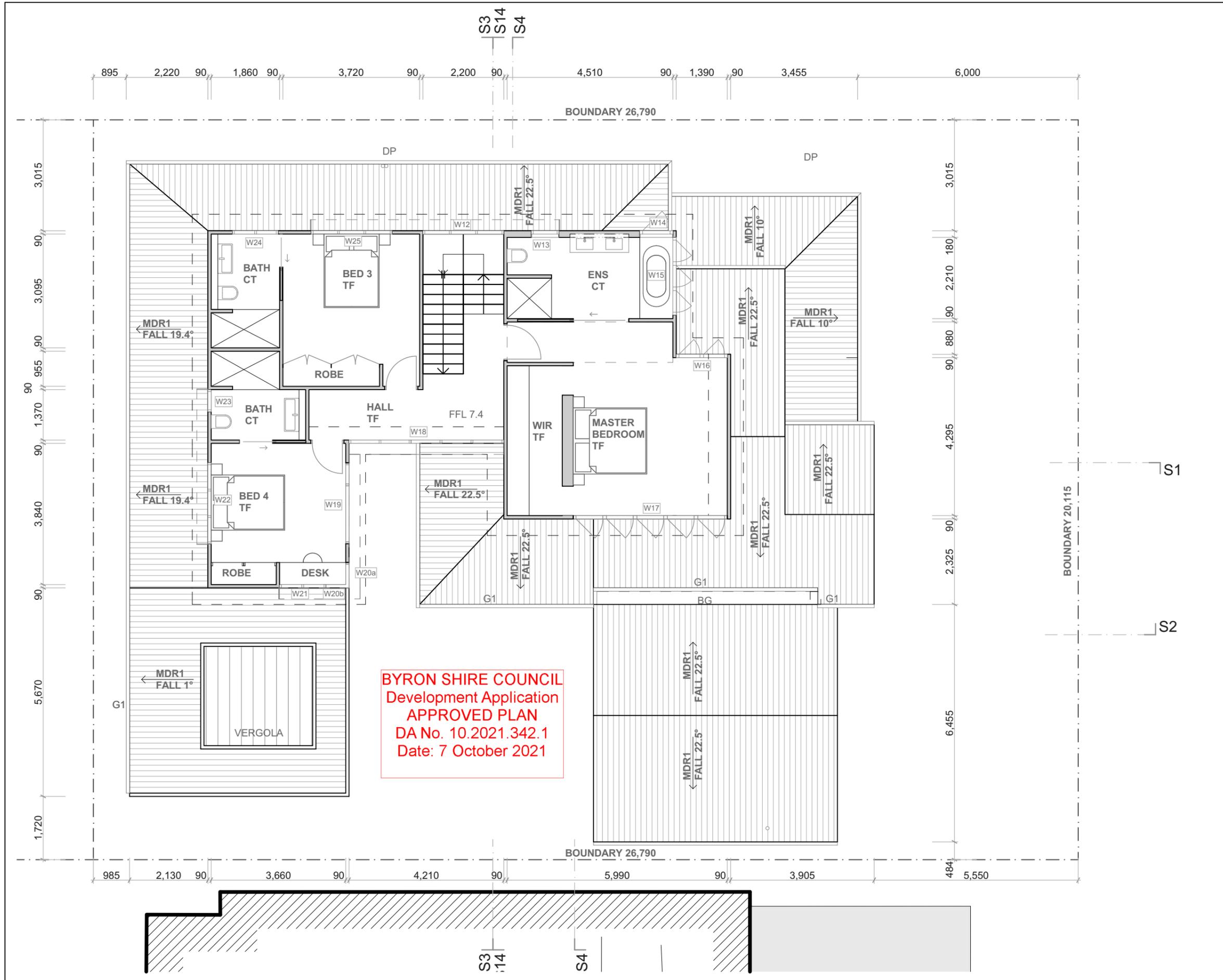
Drawing No:

2.1

Revision:

2.1

RE-KERB EXISTING CROSSOVER
 LAYBACK KERB OVER
 UPRIGHT KERB & GUTTER
 NEW DRIVEWAY CROSSOVER



AMENDMENTS

| NO. | DESCRIPTION | DATE |
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STRUCTURAL ENGINEER
 Kaan Whittall
 p: 0411 326 100
 e: kaanw@westerapartners.com.au

CIVIL ENGINEER
 Mitchell Williams
 p: 02 6674 8047
 e: mitchellw@westerapartners.com.au

GEOTECH
 ASCT Darran Kennedy
 p: 02 6686 8567
 e: office@asct.com.au

SURVEYOR
 Heath & McPhail Surveying
 p: (02) 6688 6181
 e: glen@hmsurveying.com.au

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TERMITE TREATMENT TO AS 3660.1
 WALL & ROOF INSULATION ACCORDING TO BASIX CERTIFICATE ATTACHED
 SMOKE ALARMS IN ACCORDANCE WITH 3.7.2.3 & 3.7.2.4 OF THE BCA
 WATER PROOFING TO AS 3740 OR PART 3.8.1.2 OF THE BCA
 STAIR CONSTRUCTION TO VOL 2 PART 3.9.1 OF THE BCA
 BALUSTRADE CONSTRUCTION TO VOL 2 PART 3.9.2 OF THE BCA

DAVIS ARCHITECTS

T - 02 6680 9202
 M - 0439 850 627
 E - DAVIS@DAVISARCHITECTS.COM.AU
 W - WWW.DAVISARCHITECTS.COM.AU
 A - 3/61 Centennial Circuit, Byron Bay NSW 2481

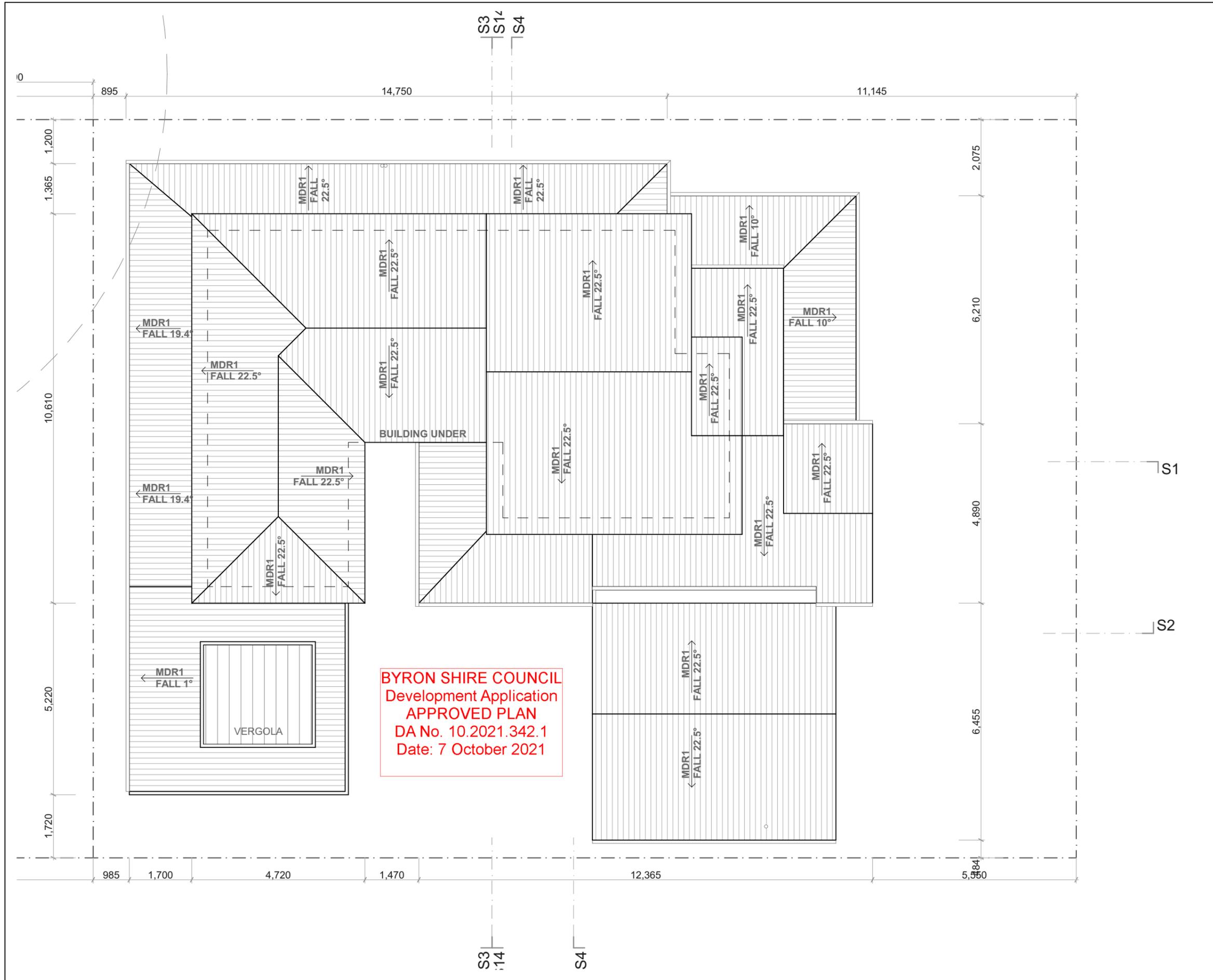
Client Name
Ian and Louise Heanes
 Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
 First Floor Plan 1:100



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|----------------------------|-------------------|
| Status: CD | Date: 3/05/2021 |
| Project No: 1709 | Scale: 1:100 @ A3 |
| Drawing No: 2.2 | Revision: |



AMENDMENTS

| NO . | DESCRIPTION | DATE |
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CONSULTANTS

STRUCTURAL ENGINEER

Kaan Whittall
 p: 0411 326 100
 e: kaanw@westerapartners.com.au

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Client Name
Ian and Louise Heanes
 Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
 Roof Plan 1:100



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|----------------------------|-------------------|
| Status: CD | Date: 3/05/2021 |
| Project No: 1709 | Scale: 1:100 @ A3 |
| Drawing No: 2.3 | Revision: |



West

Elevation

1:100



East

Elevation

1:100

BYRON SHIRE COUNCIL
 Development Application
APPROVED PLAN
 DA No. 10.2021.342.1
 Date: 7 October 2021

AMENDMENTS

| NO . | DESCRIPTION | DATE |
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 e: kaanw@westerapartners.com.au

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 p: 02 6674 8047
 e: mitchellw@westerapartners.com.au

GEOTECH

ASCT Darran Kennedy
 p: 02 6686 8567
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Client Name

Ian and Louise Heanes

Project Name

Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:

Carlyle Street Elevations E/W

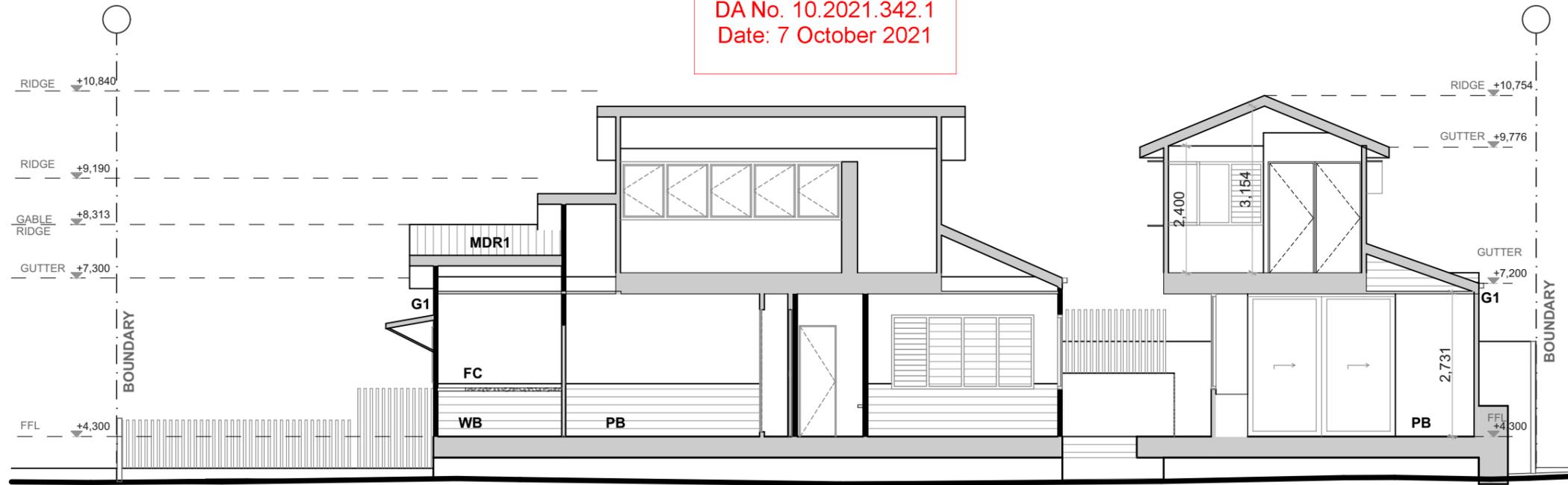


Date: 3/05/2021

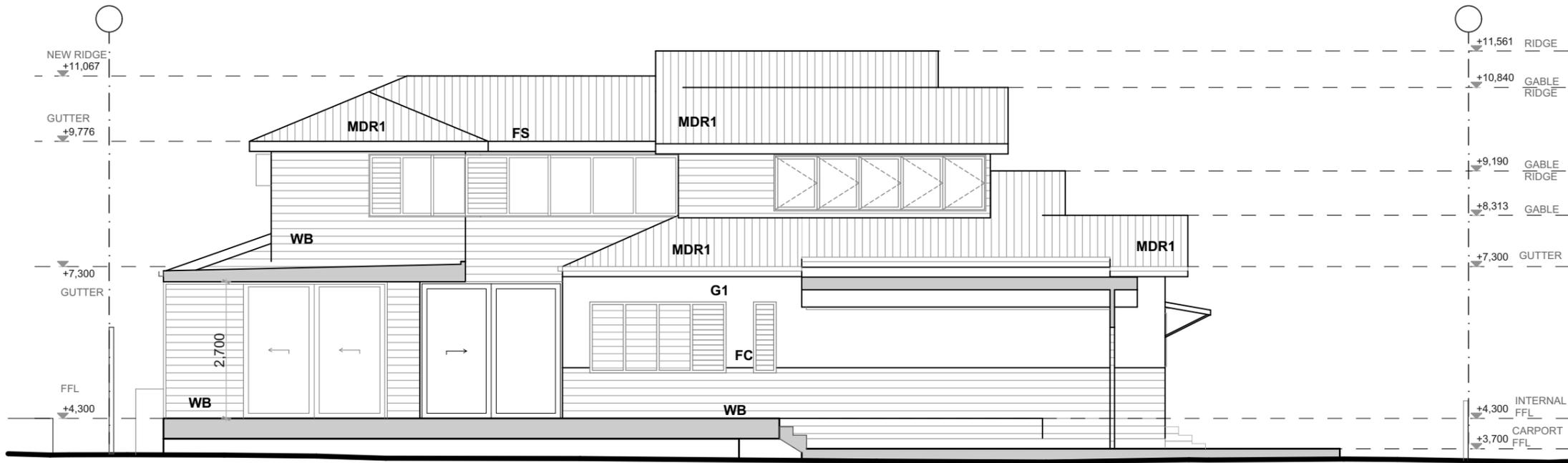
Status: CD Scale: 1:100 @ A3

Project No: **1709** Drawing No: **3.2** Revision:

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2021.342.1
Date: 7 October 2021



S1 Section 1:100



S2 Section 1:100

AMENDMENTS

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p: 0411 326 100
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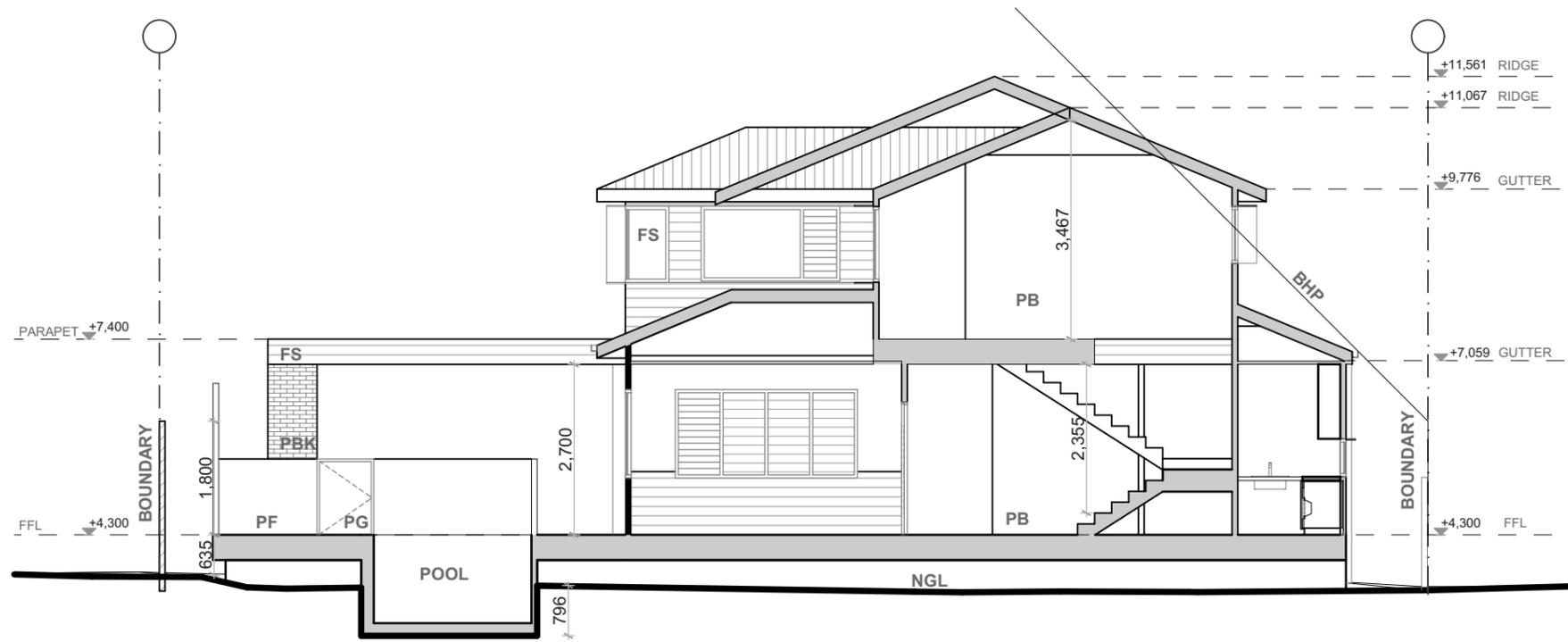
Drawing Title:
Carlyle Street Sections S1/S2



Date: 3/05/2021

Status: CD Scale: 1:100 @ A3

Project No:
1709 Drawing No:
4.1 Revision:

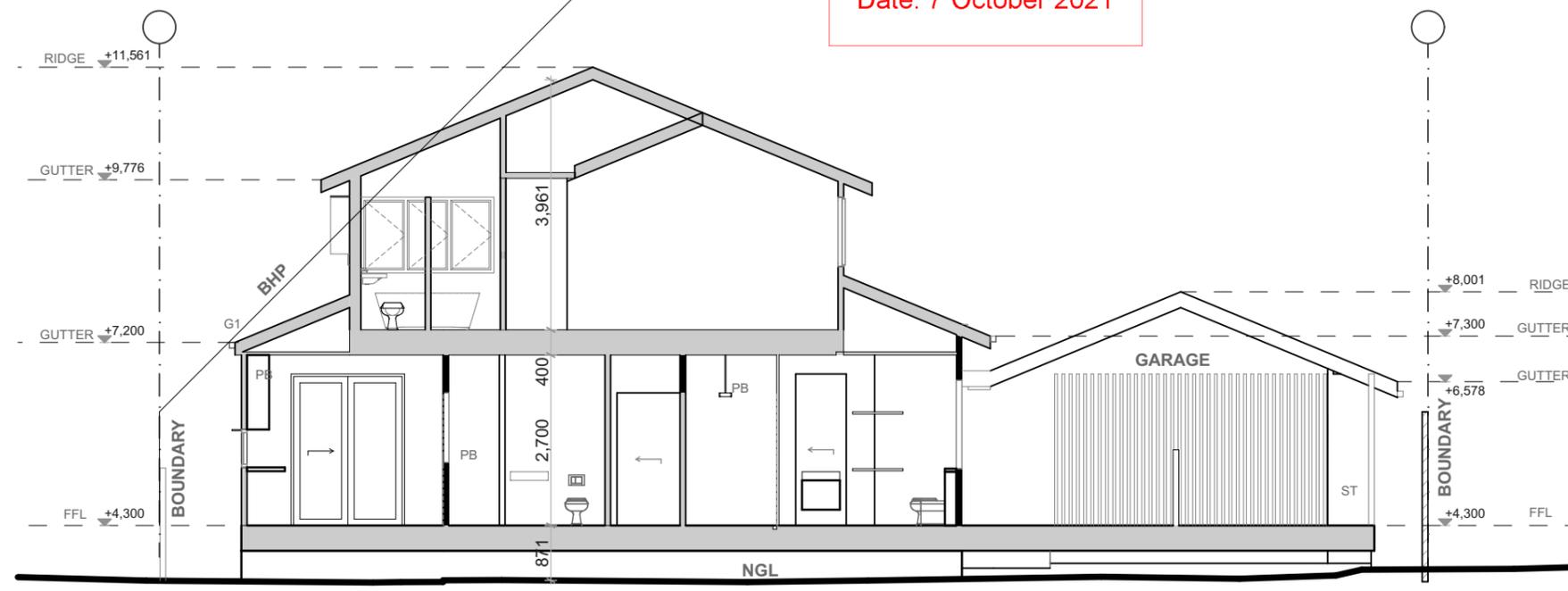


S3

Section

1:100

BYRON SHIRE COUNCIL
 Development Application
 APPROVED PLAN
 DA No. 10.2021.342.1
 Date: 7 October 2021



S4

Section

1:100

AMENDMENTS

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Client Name
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 Project Name
Carlyle Street Renovation

28 Carlyle Street Byron Bay

Drawing Title:
 Carlyle Street Sections S3/S4



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| Date: 3/05/2021 | |
| Status: CD | Scale: 1:100 @ A3 |
| Project No: 1709 | Drawing No: 4.2 Revision: |