

# PROPOSED S4.55/S68 MODIFICATION TO APPROVED DA #10.2021.361.1: ALTERATION AND ADDITION TO EXISTING COTTAGE, SECONDARY DWELLING FOR: 3 SHORT STREET, BRUNSWICK HEADS NSW, 2483

## REAL PROPERTY DESCRIPTION

LOT B DP 386422  
TITLE AREA: 675.4SQM  
WARD: SHIRE OF BYRON

## OWNERS

Sandra Browne and Christopher Chetham  
E: Sandra.Browne@cotteeparker.com.au  
E: ChristopherC@bureauproberts.com.au

## DESIGN - TANEVMUIR

Laura Muirhead and Peter Tanevski  
E: laura@tanevmuir.com; 0412 728 604  
E: peter@tanevmuir.com; 0434 233 394  
A: 14 Orara Court, Byron Bay NSW 2481.

## TP - MATT WALKER TOWN PLANNING

Matt Walker  
E: mattwalkertownplanning@gmail.com  
P: 0488 422 500  
A: PO Box 1150, Bryon Bay NSW 2481

## BASIX CONSULTANT - CYBER ENERGY

Marcus Gazsik  
P: 0429 986 273  
E: marcus@cyberenergy.com.au

## CIVIL & STORMWATER ENGINEER

Niek Van Oers  
P: 04 1550 7523  
E: niekv@planitconsulting.com.au

## P. CERTIFYING AUTHORITY

Sam Davis  
P: 0419 923 604  
E: sam@ecbc.au

## DA ADDENDUM:

The project at 3 Short Street is currently under construction [17 06.24], with the Primary Dwelling predominantly completed. The proposed modifications are auxillary in nature, being minor and separate to Primary Dwelling.

This documentation (S4.55 / S68 Modification, Phasing) is intended to be read as an Addendum to the Existing DA Approval documentation, rather than a Superceding set.

The extent of the modifications do not in any way affect the Principal Dwelling, and relate only to elements in the rear yard off Ring Lane.

The existing S138 proposal for works within the road reserve, and Civil Works within the subject site, will remain unaffected and will be completed as previously approved.

## PROPOSED MODIFICATIONS AND PHASING

### CHANGE-LIST & DESCRIPTION OF MODIFICATIONS:

#### MOD - 1: PROPOSED FENCE

The previous DA fence was deemed as higher than allowed and refused. The applicant requires a fence for their dog. A lower, compliant timber fence is now proposed. This fence also peels back from the boundary extents to allow driveway visibility and B85 turning circles from Ring Ln.

#### MOD - 2: GARAGE MODIFICATION

The previously proposed garage was difficult to turn into, small adjustments have been made to ensure sufficient room for the B85 vehicle.

### PHASED CONSTRUCTION PROPOSED:

Due to escalated construction costs, the owner has opted to Phase the development with particular regard to the Secondary Dwelling as follows;

#### [P1] PHASE 1: RETAIN AND UPGRADE EXISTING SHED.

The shed will be retained in Phase 1 as opposed to demolished. It will also feature minor upgrades - and will continue to function as a workshop / tool shed.

#### [P2] PHASE 2: DEMOLITION OF SHED.

**CONSTRUCTION OF SECONDARY DWELLING**  
The shed is to be demolished and replaced with the Secondary Dwelling.

### S68 STAGING NOTES:

A powder is proposed in the existing shed, this will be removed when the Secondary Dwelling is built. We emphasise that this remains a Shed for classification purposes as it is intended to be used as a workshop for the owners, and not accomodation purposes. (Non Habitable Space).

## APPROVED, UNAFFECTED COMPONENTS

### S138 WORKS WITHIN ROAD RESERVE NOTES:

The previous S138 approvals remain unmodified.  
**51.2021.361.1.**

The changes to the driveway design occur only within the property boundary extent, to marginal effect upon the current S138 drawings.

These changes include splays on the driveway and surrounding fence to increase the sight-line triangles much higher than the minimum requirements, as well as to allow for improved turning circles and ease of traffic in and out of the garage.

The previously proposed gate was part of the fence itself, but has now been split to become a tilt-door which also required the deepening of the garage itself to function cleanly.

### LANDSCAPING NOTES:

The overall landscaping approach is substantially unaffected by the proposed modifications and Phasing.

### BASIX NOTES:

The PCA is satisfied that during Phase 1 that the Stormwater Retention and Rainwater tanks are moved onto the shed roof and Garage roof respectively. We have investigated the addition of the tanks to the Primary Dwelling and have found that due to boundary restrictions that this is not feasible. Therefore the current 2 BASIX certificates -

**A418503 (Main Dwelling);  
1297494S (Secondary Dwelling);**

Remain unaffected by the proposed alterations. With the Secondary Dwelling Certificate becoming relevant when the second stage of construction is commenced.

## BASIX REQUIREMENTS: MAIN HOUSE

Basix Certificate No: **A418503**

### FLOORS/WALLS

The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table with the BASIX Report, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.

### WINDOWS AND DOORS

The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.

For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table within the BASIX Report.

## BASIX REQUIREMENTS: SECONDARY DWELLING

Basix Certificate No: **1207494S**

### RAINWATER STORAGE

The applicant must install a rainwater tank of at least 5000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.

### CERTIFICATION

The applicant must show on the plans accompanying the development application for the proposed development, all matters which the Assessor Certificate requires to be shown on those plans. Those plans must bear a stamp of endorsement from the Accredited Assessor to certify that this is the case. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), all thermal performance specifications set out in the Assessor Certificate, and all aspects of the proposed development which were used to calculate those specifications.

The applicant must show on the plans accompanying the development application for the proposed development, the locations of ceiling fans set out in the Assessor Certificate. The applicant must show on the plans accompanying the application for a construction certificate (or complying development certificate, if applicable), the locations of ceiling fans set out in the Assessor Certificate.

### FLOORS/WALLS

The applicant must construct the floors and walls of the dwelling in accordance with the specifications listed in the BASIX Report.

### HOT WATER SYSTEMS

The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.

### NATURAL LIGHTING

The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting. The applicant must install a window and/or skylight in 1 bathroom(s)/toilet (s) in the development for natural lighting.

### SOLAR/PV

The applicant must install a photovoltaic system with the capacity to generate at least 2.4 peak kilowatts of electricity as part of the development. The applicant must connect this system to the development's electrical system.

TANEVMUIR

14 ORARA CT, BYRON BAY, NSW 2481

T: 04 3423 3394 | PETER@TANEVMUIR.COM

ABN: 34 733 735 972 | PETER TANEVSKI | NSW REGISTERED ARCHITECT NO. 11855



All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

©

Copyright TANEVMUIR

Revision ID	Issue Name	Date	CLIENT	SANDRA & CHRIS	ADDRESS	3 SHORT STREET BRUNSWICK HEADS	APPROVED: TM	NORTH	JOB NO: TM-02	
MOD.A	S4.55/S68 Modification	17/06/2024							DWG NO	REV
			JOB NAME	SHORT STREET	LOT + DP	LOT B DP 386422	SCALE	PAPER		
			DRAWING	S4.55 ADDENDUM COVER			A3		A0.01	MOD.A

**PROPOSED S4.55/S68 MODIFICATION TO APPROVED DA #10.2021.361.1:**  
**ALTERATION AND ADDITION TO EXISTING COTTAGE, SECONDARY DWELLING**  
**FOR: 3 SHORT STREET, BRUNSWICK HEADS NSW, 2483**

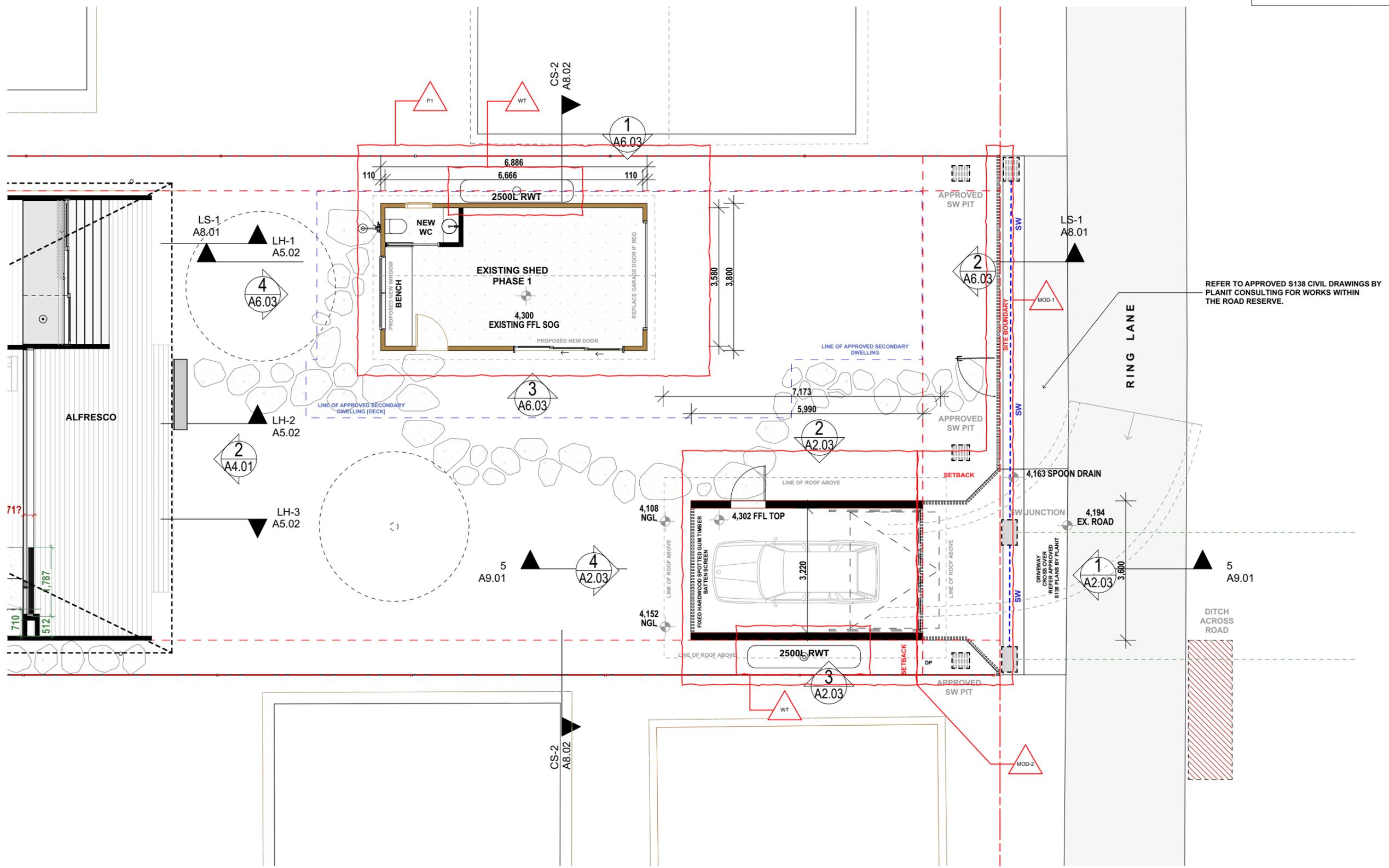
S4.55 S4.55 - DA ADDENDUM DRAWING LIST			
	DRAWING NUMBER	DRAWING LAYOUT NAME	Issue ID
<b>A0 NOTES &amp; COVER</b>			
	A0.01	S4.55 ADDENDUM COVER	MOD.A
	A0.02	S4.55 ADDENDUM DRAWING LIST	MOD.A
<b>A1 SITE</b>			
	A1.01	SITE PLAN - APPROVED DA	MOD.A
	A1.02	SITE PLAN - MODIFICATION EXTENT	MOD.A
<b>A2 FLOOR PLANS - MODIFICATIONS</b>			
	A2.01	PROPOSED FLOOR PLAN - S4.55	MOD.A
	A2.02	PROPOSED ROOF PLAN - S4.55	MOD.A
	A2.03	PROPOSED GARAGE AND FENCE: MOD-1 / MOD-2	MOD.A
<b>A3 PHASED DEVELOPMENT</b>			
	A3.01	PROPOSED PHASING: P1/P2	MOD.A
	A3.02	EXISTING SHED MODIFICATIONS: P1	MOD.A

REV-ID	CH-ID	CHANGE NAME	DATE
MOD.A	MOD-1	PROPOSED FENCE	17/06/2024
	MOD-2	GARAGE MODIFICATION	
	P1	PHASE 1 - RETAIN AND UPGRADE EXIST SHED	
	P2	PHASE 2 - CONSTRUCT SECONDARY DWELLING PER. PREV APPROVED DA	
	S4.55	EXTENT OF S4.55 MODS - NORTHERN YARD ONLY	
	WT	PHASE 1 - WATER TANKS TO BE RELOCATED TO SECONDARY DWELLING IN P2	





LEGEND	
	EXISTING
	SECONDARY DWELLING PHASE 2



**TAN E V M U I R**

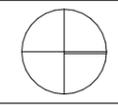
14 ORARA CT, BYRON BAY, NSW 2481  
 T: 04 3423 3394 | PETER@TAN E V M U I R . C O M  
 A B N : 3 4 7 3 3 7 3 5 9 7 2 | P E T E R T A N E V S K I | N S W R E G I S T E R E D A R C H I T E C T N O . 1 1 8 5 5



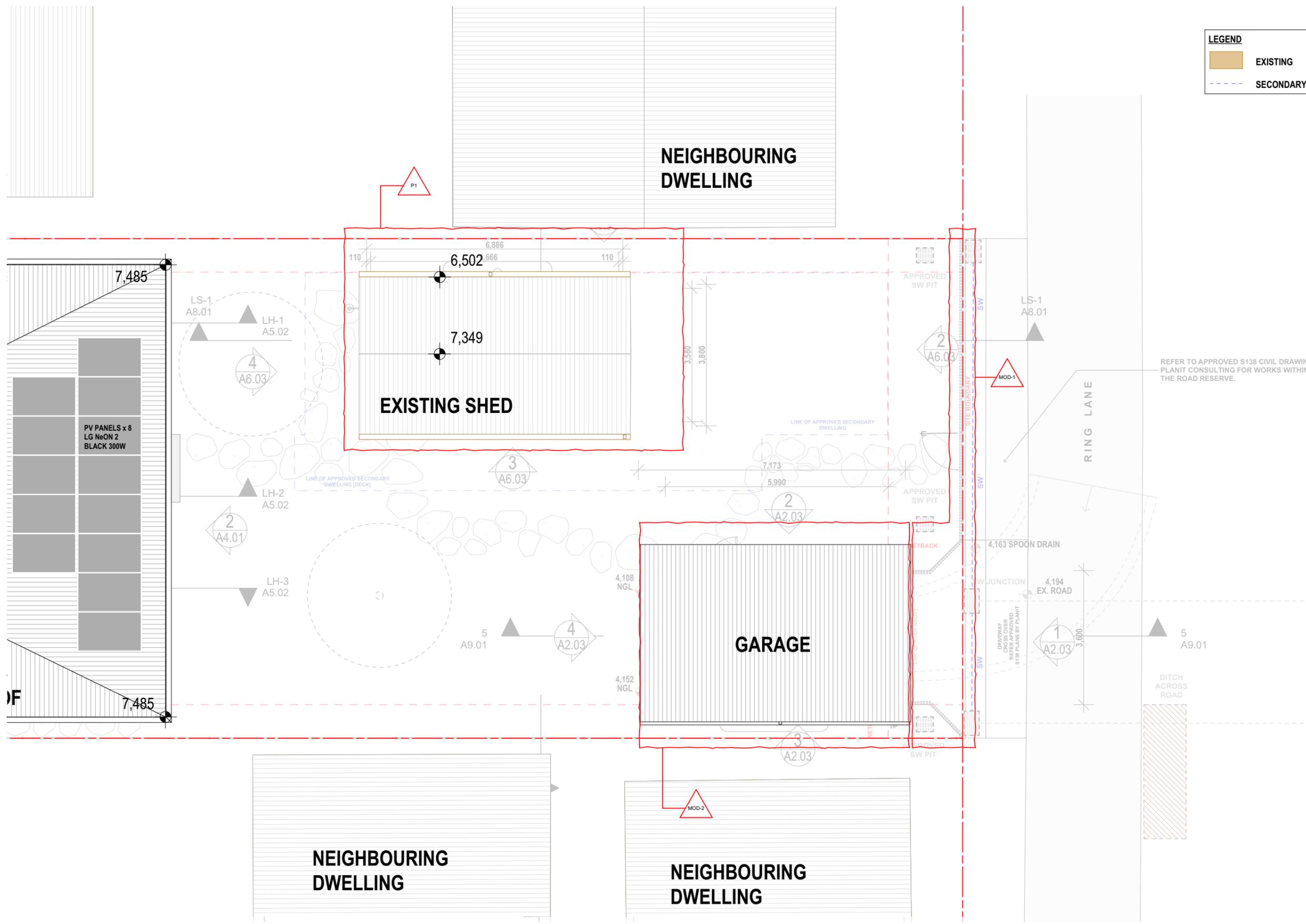
All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.  
 © Copyright T A N E V M U I R

Revision ID	Issue Name	Date
MOD.A	S4.55/S68 Modification	17/06/2024

CLIENT	ADDRESS	APPROVED: TM	NORTH	JOB NO: TM-02
SANDRA & CHRIS	3 SHORT STREET BRUNSWICK HEADS			
JOB NAME	LOT + DP	SCALE	PAPER	DWG NO
SHORT STREET	LOT B DP 386422	1:100	A3	A2.01
DRAWING	PROPOSED FLOOR PLAN - S4.55			REV
				MOD.A



LEGEND	
	EXISTING
	SECONDARY DWELLING PHASE 2



REFER TO APPROVED S138 CIVIL DRAWINGS BY PLANIT CONSULTING FOR WORKS WITHIN THE ROAD RESERVE.

**TANEVMUIR**  
 14 ORARA CT, BYRON BAY, NSW 2481  
 T: 04 3423 3394 | PETER@TANEVMUIR.COM  
 ABN: 34 733 735 972 | PETER TANEVSKI | NSW REGISTERED ARCHITECT NO. 11855



All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.  
 © Copyright TANEVMUIR

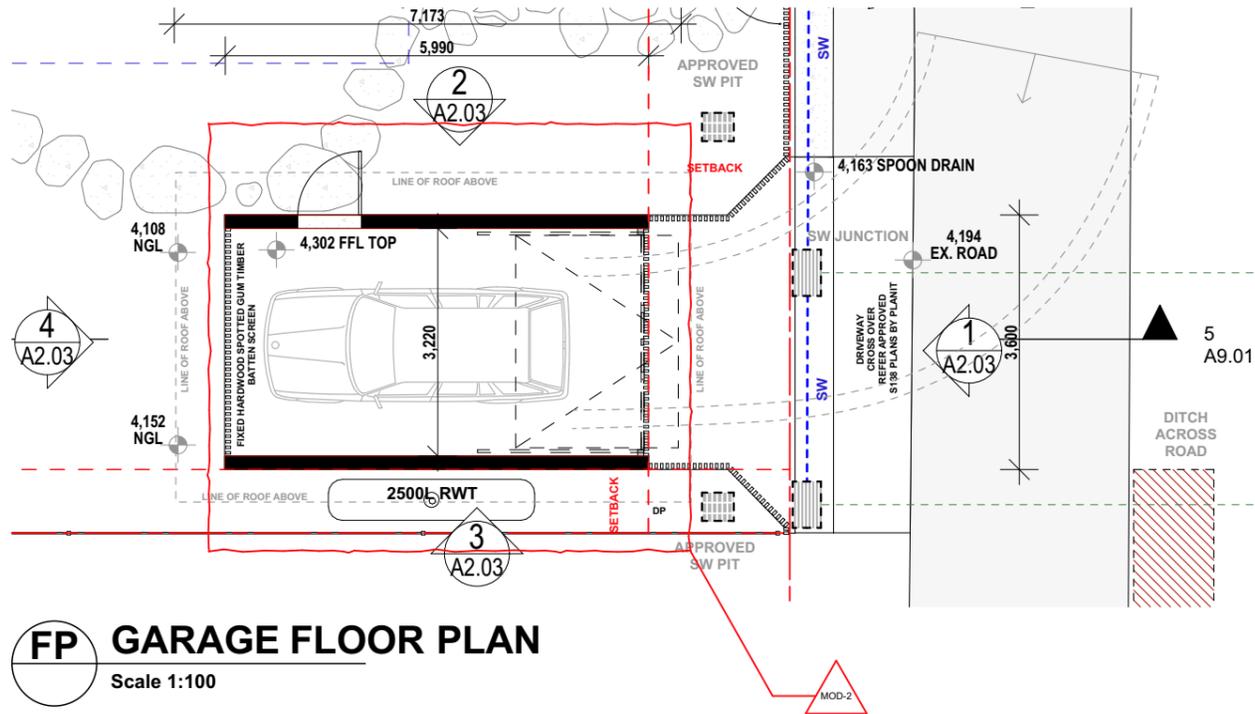
Revision ID	Issue Name	Date
MOD.A	S4.55/S68 Modification	17/06/2024

CLIENT	ADDRESS	APPROVED: TM	NORTH	JOB NO: TM-02
SANDRA & CHRIS	3 SHORT STREET BRUNSWICK HEADS	TM		
JOB NAME	LOT + DP	SCALE	PAPER	DWG NO
SHORT STREET	LOT B DP 386422	1:100	A3	A2.02
DRAWING	PROPOSED ROOF PLAN - S4.55			REV
				MOD.A

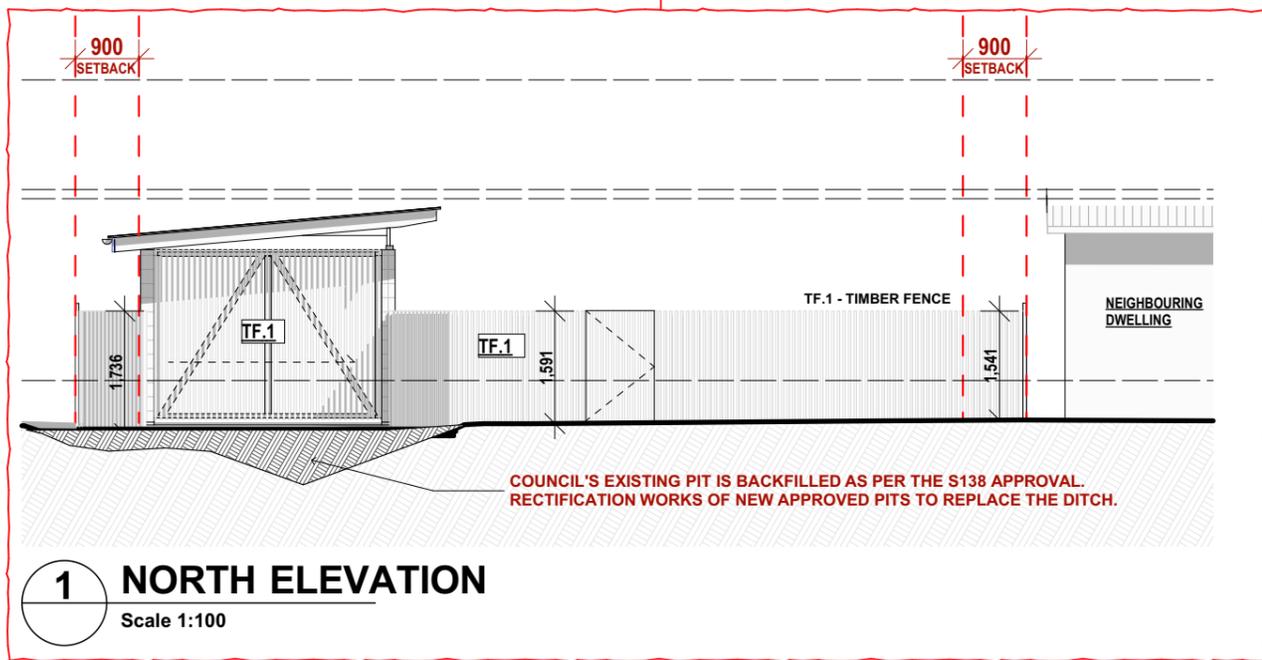
**NOTE TO BSC REGARDING FENCE HEIGHT NGL'S:**

The council's previous position was that the existing stormwater ditch on Ring Lane constitutes the NGL from which the fence height limits were set - resulting in a refusal of the previously proposed fence.

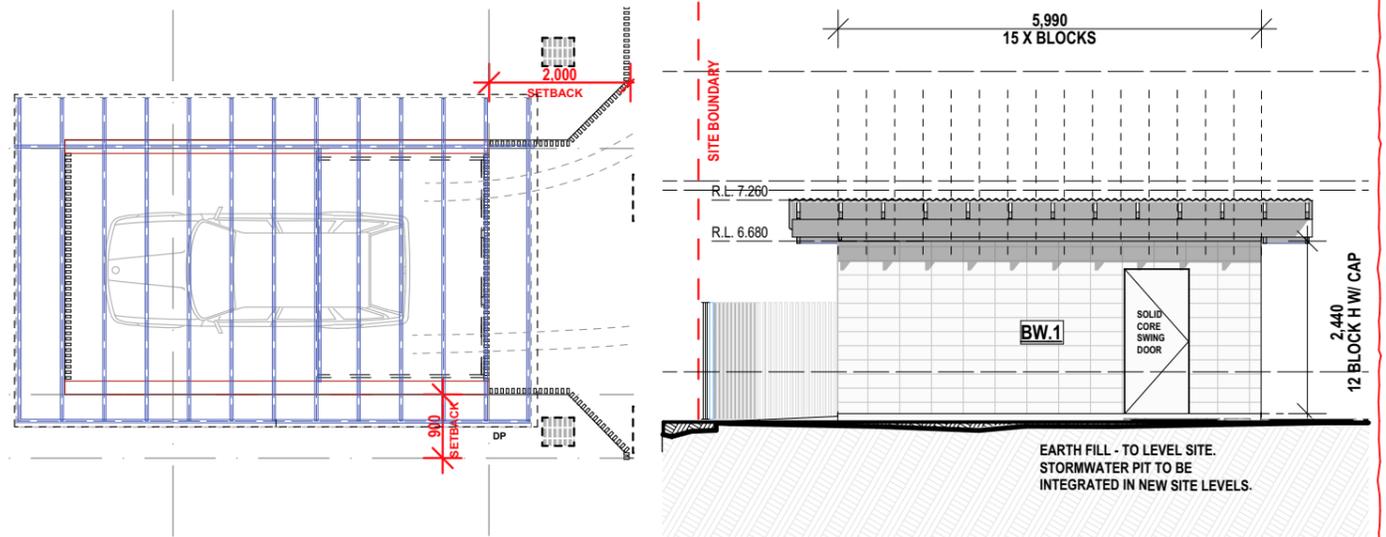
The currently proposed fence is less substantial in height but also articulates back from the stormwater ditch to allow for improved sight triangles from the property. This also mitigates the NGL of the existing stormwater dipping where the fence is constructed, resulting in a compliant outcome.



**FP GARAGE FLOOR PLAN**  
Scale 1:100

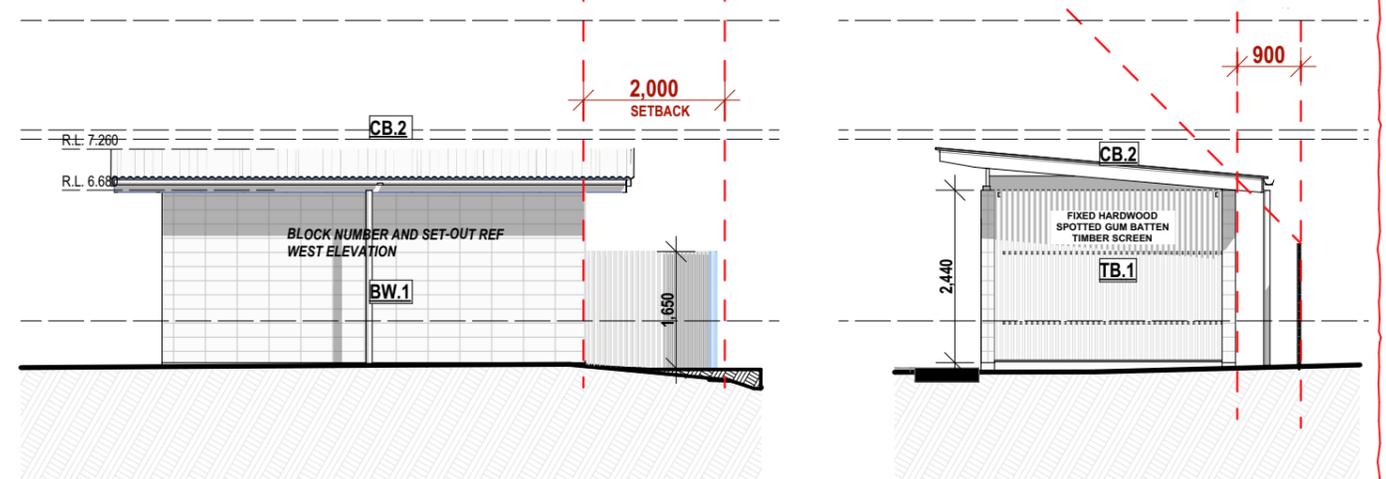


**1 NORTH ELEVATION**  
Scale 1:100



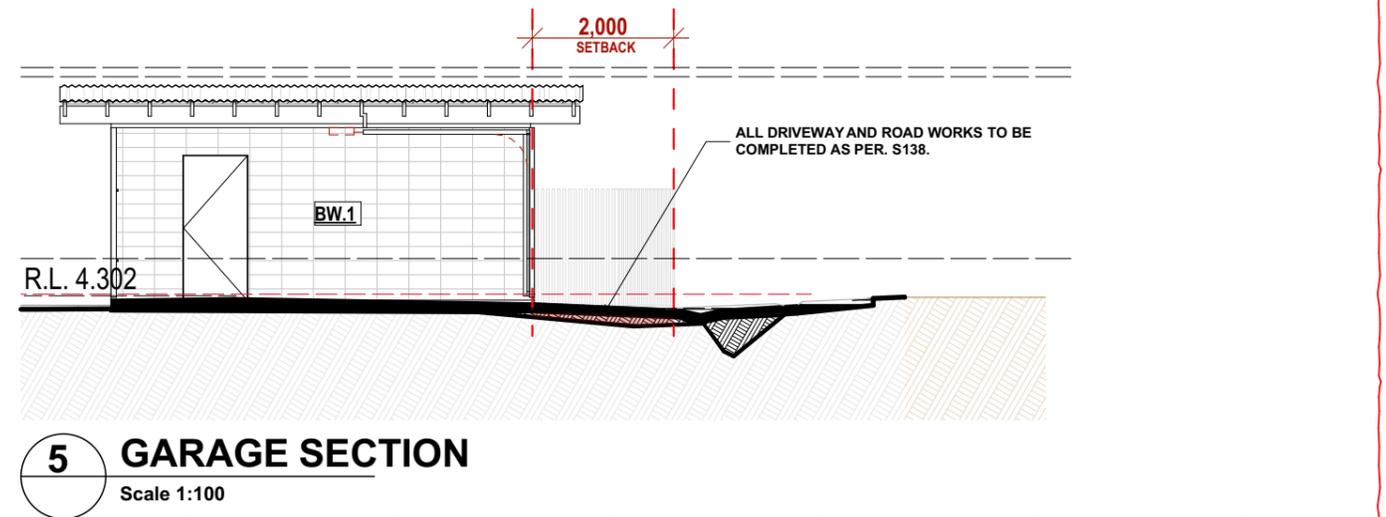
**RP GARAGE: ROOF PLAN**  
Scale 1:100

**2 WEST ELEVATION**  
Scale 1:100



**3 EAST ELEVATION**  
Scale 1:100

**4 SOUTH ELEVATION**  
Scale 1:100



**5 GARAGE SECTION**  
Scale 1:100

**TAN EVMUIR**

14 ORARA CT, BYRON BAY, NSW 2481  
T: 04 3423 3394 | PETER@TAN EVMUIR.COM  
ABN: 34 733 735 972 | PETER TAN E V M U I R | NSW REGISTERED ARCHITECT NO. 11855



All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not fabricate.

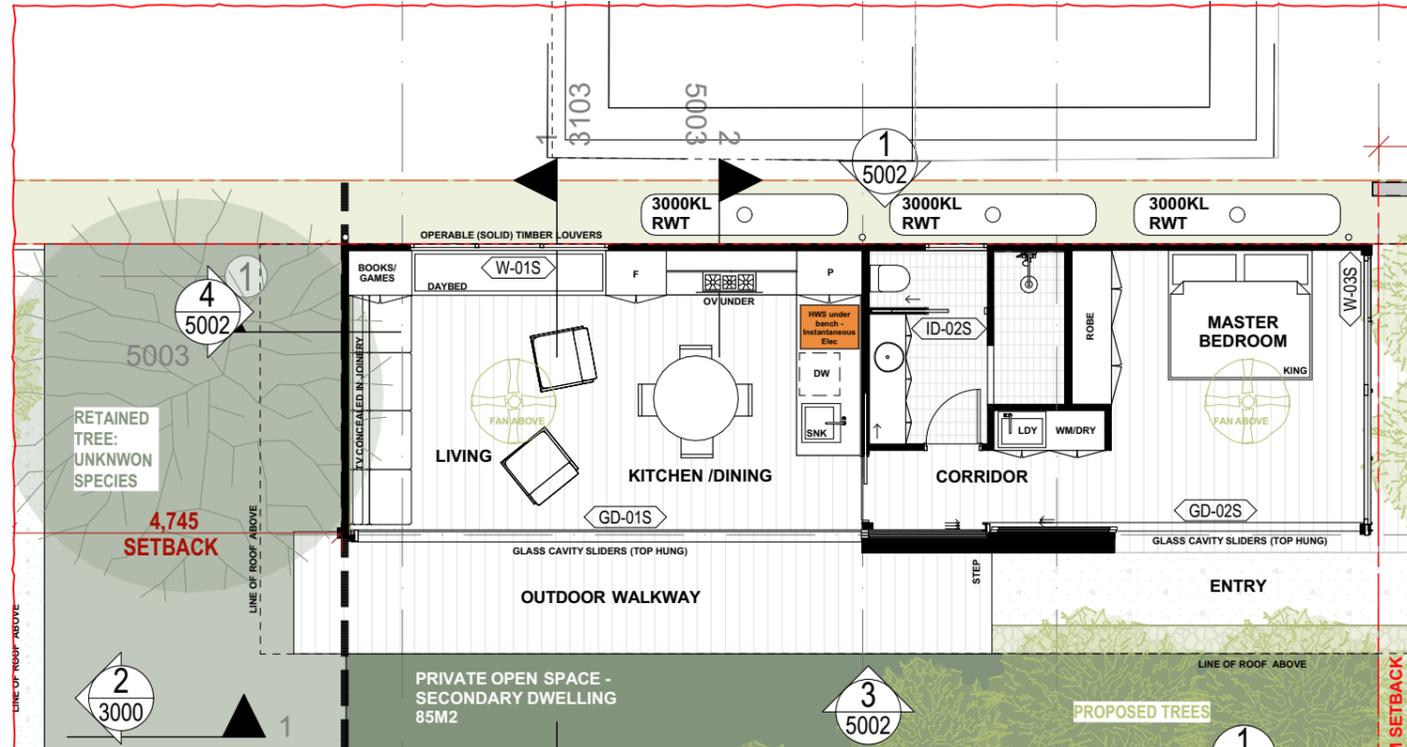
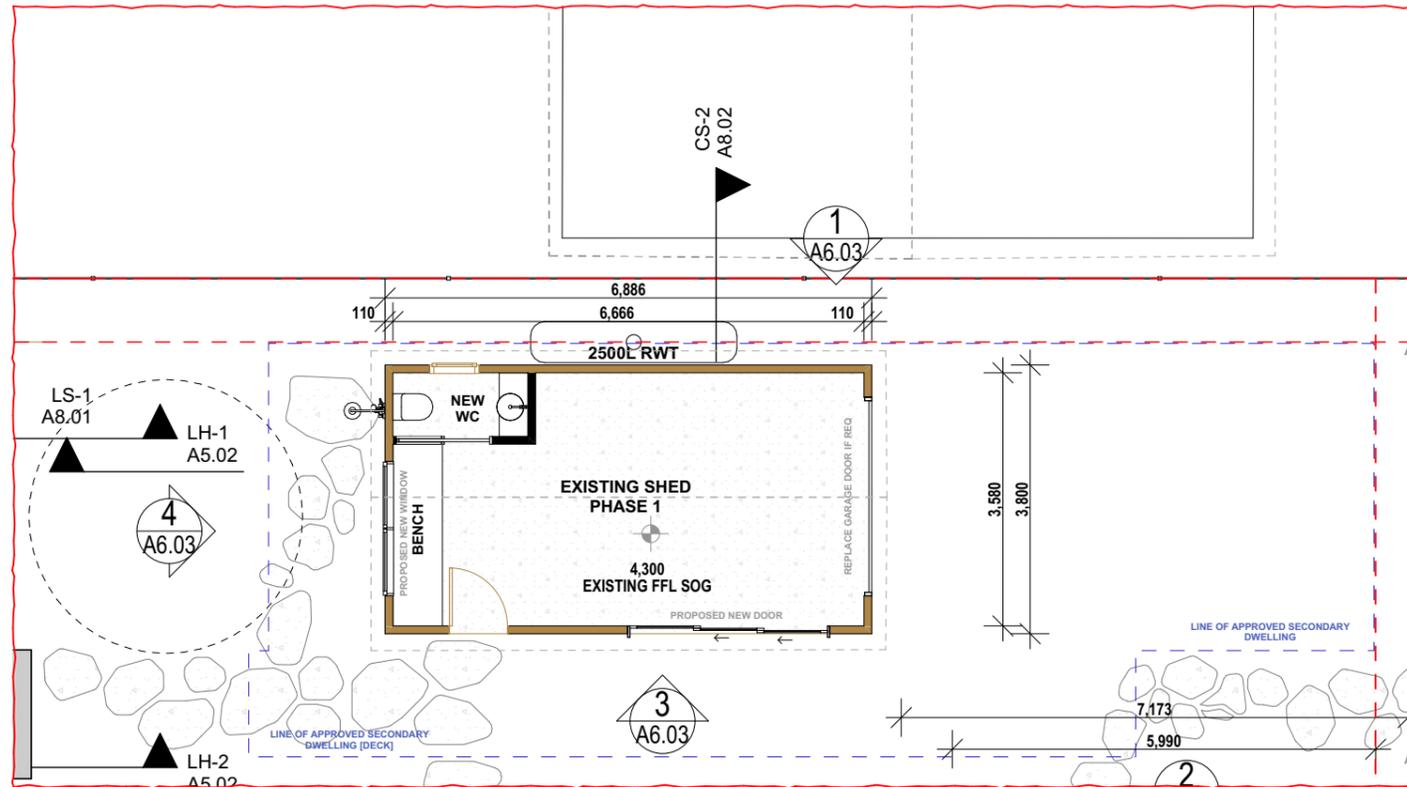
© Copyright T A N E V M U I R

Revision ID MOD.A	Issue Name S4.55/S68 Modification	Date 17/06/2024	CLIENT SANDRA & CHRIS	ADDRESS 3 SHORT STREET BRUNSWICK HEADS	APPROVED: TM	NORTH	JOB NO: TM-02
			JOB NAME SHORT STREET	LOT + DP LOT B DP 386422	SCALE 1:100	PAPER A3	DWG NO A2.03
			DRAWING PROPOSED GARAGE AND FENCE: MOD-1 / MOD-2				REV MOD.A

# PROPOSED PHASED DEVELOPMENT FOR DA #10.2021.361.1:

**LEGEND**

EXISTING



<b>TAN E V M U I R</b> 14 ORARA CT, BYRON BAY, NSW 2481 T: 04 3423 3394   PETER@TAN E V M U I R . C O M A B N : 3 4 7 3 3 7 3 5 9 7 2   P E T E R T A N E V M U I R   N S W R E G I S T E R E D A R C H I T E C T N O . 1 1 8 5 5		All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.		Revision ID MOD.A	Issue Name S4.55/S68 Modification	Date 17/06/2024	CLIENT <b>SANDRA &amp; CHRIS</b>	ADDRESS <b>3 SHORT STREET BRUNSWICK HEADS</b>	APPROVED: TM	NORTH	JOB NO: TM-02
				JOB NAME <b>SHORT STREET</b>	LOT + DP <b>LOT B DP 386422</b>	SCALE <b>1:100</b>	PAPER <b>A3</b>		DWG NO <b>A3.01</b>	REV <b>MOD.A</b>	
				<b>PROPOSED PHASING: P1/P2</b>							

