

PROPOSED S4.55/S68 MODIFICATION TO APPROVED DA #10.2021.361.1:
ALTERATION AND ADDITION TO EXISTING COTTAGE, SECONDARY DWELLING
FOR: 3 SHORT STREET, BRUNSWICK HEADS NSW, 2483

REAL PROPERTY DESCRIPTION

LOT B DP 386422
TITLE AREA: 675.4SQM
WARD: SHIRE OF BYRON

OWNERS

Sandra Browne and Christopher Chetham
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BASIX CONSULTANT - CYBER ENERGY

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CIVIL & STORMWATER ENGINEER

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P. CERTIFYING AUTHORITY

Sam Davis
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DA ADDENDUM:

The project at 3 Short Street is currently under construction [17
06.24], with the Primary Dwelling predominantly completed.
The proposed modifications are auxillary in nature, being
minor and seperate to Primary Dwelling.

This documentation (S4.55 / S68 Modification, Phasing) is
intended to be read as an Addendum to the Existing DA
Approval documentation, rather than a Superceeding set.

The extent of the modifications do not in any way affect the
Principal Dwelling, and relate only to elements in the rear yard
off Ring Lane.

The existing S138 proposal for works within the road reserve,
and Civil Works within the subject site, will remain unaffected
and will be completed as previously approved.

PROPOSED MODIFICATIONS AND PHASING

CHANGE-LIST & DESCRIPTION OF MODIFICATIONS:

MOD - 1: PROPOSED FENCE

The previous DA fence was deemed as higher than allowed
and refused. The applicant requires a fence for their dog. A
lower, compliant timber fence is now proposed. This fence
also peels back from the boundary extents to allow driveway
visibility and B85 turning circles from Ring Ln.

MOD - 2: GARAGE MODIFICATION

The previously proposed garage was difficult to turn into,
small adjustments have been made to ensure sufficient room
for the B85 vehicle.

PHASED CONSTRUCTION PROPOSED:

Due to escalated construction costs, the owner has opted to
Phase the development with particular regard to the
Secondary Dwelling as follows;

[P1] PHASE 1: RETAIN AND UPGRADE EXISTING SHED.

The shed will be retained in Phase 1 as opposed to
demolished. It will also feature minor upgrades - and will
continue to function as a workshop / tool shed.

[P2] PHASE 2: DEMOLITION OF SHED.

CONSTRUCTION OF SECONDARY DWELLING
The shed is to be demolished and replaced with the
Secondary Dwelling.

S68 STAGING NOTES:

A powder is proposed in the existing shed, this will be
removed when the Secondary Dwelling is built. We
emphasise that this remains a Shed for classification
purposes as it is intended to be used as a workshop for the
owners, and not accomodation purposes. (Non Habitable
Space).

APPROVED. UNAFFECTED COMPONENTS

S138 WORKS WITHIN ROAD RESERVE NOTES:

The previous S138 approvals remain unmodified.
51.2021.361.1.

The changes to the driveway design occur only within the
property boundary extent, to marginal effect upon the
current S138 drawings.

These changes include splays on the driveway and
surrounding fence to increase the sight-line triangles much
higher than the minimum requirements, as well as to allow
for improved turning circles and ease of traffic in and out of
the garage.

The previously proposed gate was part of the fence itself,
but has now been split to become a tilt-door which also
required the deepening of the garage itself to function
cleanly.

LANDSCAPING NOTES:

The overall landscaping approach is substantially
unaffected by the proposed modifications and Phasing.

BASIX NOTES:

The PCA is satisfied that during Phase 1 that the
Stormwater Retention and Rainwater tanks are moved
onto the shed roof and Garage roof respectively. We have
investigated the addition of the tanks to the Primary
Dwelling and have found that due to boundary restrictions
that this is not feasible. Therefore the current 2 BASIX
certificates -
A418503 (Main Dwelling);
1297494S (Secondary Dwelling);
Remain unaffected by the proposed alterations.
With the Secondary Dwelling Certificate becoming relevant
when the second stage of construction is commenced.

BASIX REQUIREMENTS: MAIN HOUSE

Basix Certificate No: A418503

FLOORS/WALLS

The applicant must construct the new or altered
construction (floor(s), walls, and ceilings/roofs) in
accordance with the specifications listed in the table with
the BASIX Report, except that a) additional insulation is not
required where the area of new construction is less than
2m2, b) insulation specified is not required for parts of
altered construction where insulation already exists.

WINDOWS AND DOORS

The applicant must install the windows, glazed doors and
shading devices, in accordance with the specifications
listed in the table below. Relevant overshadowing
specifications must be satisfied for each window and
glazed door.

For projections described in millimetres, the leading edge
of each eave, pergola, verandah, balcony or awning must
be no more than 500 mm above the head of the window or
glazed door and no more than 2400 mm above the sill.

Overshadowing buildings or vegetation must be of the
height and distance from the centre and the base of the
window and glazed door, as specified in the
'overshadowing' column in the table within the BASIX
Report.

BASIX REQUIREMENTS: SECONDARY DWELLING

Basix Certificate No: 1207494S

RAINWATER STORAGE

The applicant must install a rainwater tank of at least 5000
litres on the site. This rainwater tank must meet, and be
installed in accordance with, the requirements of all
applicable regulatory authorities.

CERTIFICATION

The applicant must show on the plans accompanying the
development application for the proposed development, all
matters which the Assessor Certificate requires to be
shown on those plans. Those plans must bear a stamp of
endorsement from the Accredited Assessor to certify that
this is the case. The applicant must show on the plans
accompanying the application for a construction certificate
(or complying development certificate, if applicable), all
thermal performance specifications set out in the Assessor
Certificate, and all aspects of the proposed development
which were used to calculate those specifications.

The applicant must show on the plans accompanying the
development application for the proposed development, the
locations of ceiling fans set out in the Assessor Certificate.
The applicant must show on the plans accompanying the
application for a construction certificate (or complying
development certificate, if applicable), the locations of
ceiling fans set out in the Assessor Certificate.

FLOORS/WALLS

The applicant must construct the floors and walls of the
dwelling in accordance with the specifications listed in the
BASIX Report.

HOT WATER SYSTEMS

The applicant must install the following hot water system in
the development, or a system with a higher energy rating:
gas instantaneous with a performance of 6 stars.

NATURAL LIGHTING

The applicant must install a window and/or skylight in the
kitchen of the dwelling for natural lighting. The applicant
must install a window and/or skylight in 1 bathroom(s)/toilet
(s) in the development for natural lighting.

SOLAR/PV

The applicant must install a photovoltaic system with the
capacity to generate at least 2.4 peak kilowatts of
electricity as part of the development. The applicant must
connect this system to the development's electrical system.

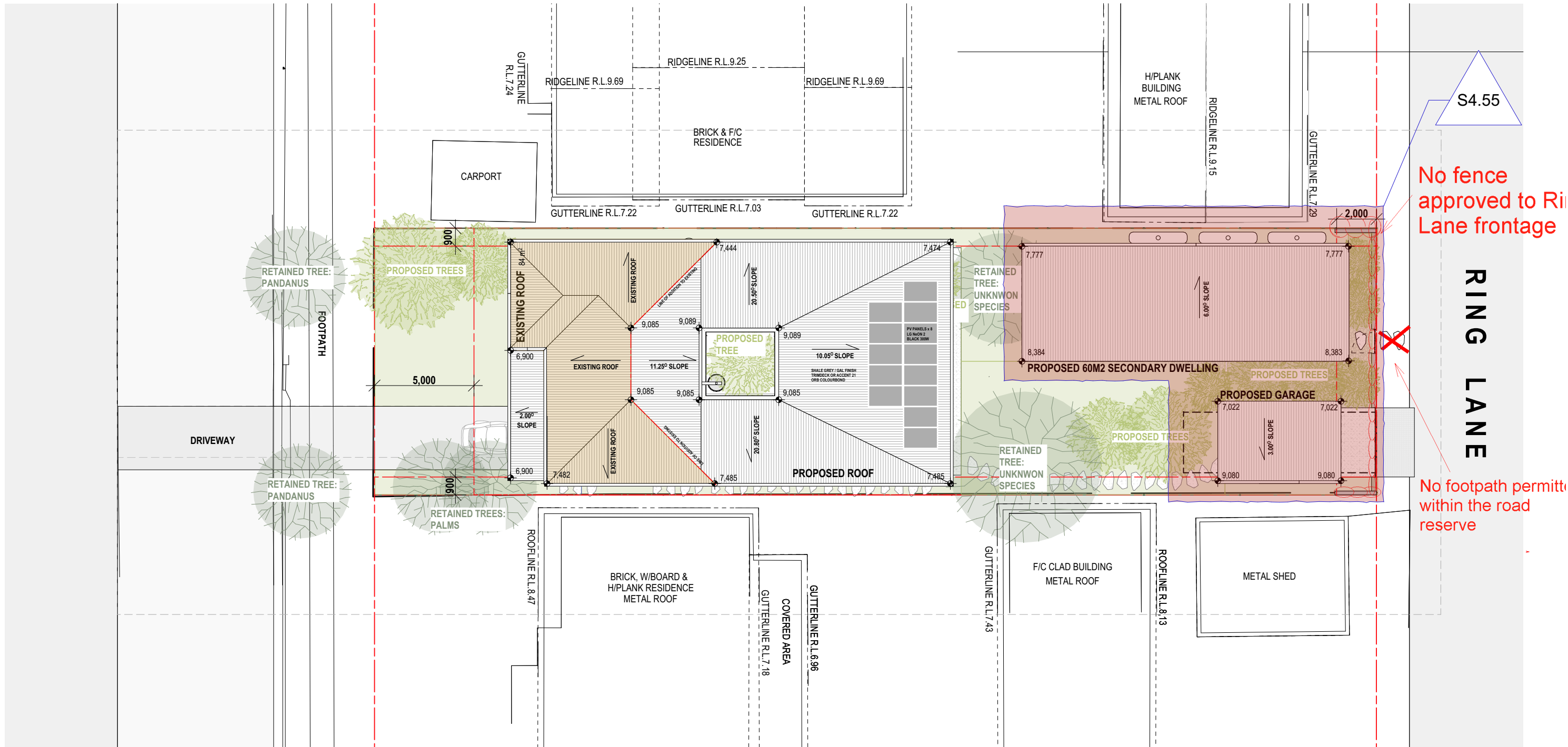
PROPOSED S4.55/S68 MODIFICATION TO APPROVED DA #10.2021.361.1:
ALTERATION AND ADDITION TO EXISTING COTTAGE, SECONDARY DWELLING
FOR: 3 SHORT STREET, BRUNSWICK HEADS NSW, 2483

S4.55 S4.55 - DA ADDENDUM DRAWING LIST			
	DRAWING NUMBER	DRAWING LAYOUT NAME	Issue ID
A0 NOTES & COVER			
	A0.01	S4.55 ADDENDUM COVER	MOD.A
	A0.02	S4.55 ADDENDUM DRAWING LIST	MOD.A
A1 SITE			
	A1.01	SITE PLAN - APPROVED DA	MOD.A
	A1.02	SITE PLAN - MODIFICATION EXTENT	MOD.A
A2 FLOOR PLANS - MODIFICATIONS			
	A2.01	PROPOSED FLOOR PLAN - S4.55	MOD.A
	A2.02	PROPOSED ROOF PLAN - S4.55	MOD.A
	A2.03	PROPOSED GARAGE AND FENCE: MOD-1 / MOD-2	MOD.A
A3 PHASED DEVELOPMENT			
	A3.01	PROPOSED PHASING: P1/P2	MOD.A
	A3.02	EXISTING SHED MODIFICATIONS: P1	MOD.A

REV-ID	CH-ID	CHANGE NAME	DATE
MOD.A	MOD-1	PROPOSED FENCE	17/06/2024
	MOD-2	GARAGE MODIFICATION	
	P1	PHASE 1 - RETAIN AND UPGRADE EXIST SHED	
	P2	PHASE 2 - CONSTRUCT SECONDARY DWELLING PER. PREV APPROVED DA	
	S4.55	EXTENT OF S4.55 MODS - NORTHERN YARD ONLY	
	WT	PHASE 1 - WATER TANKS TO BE RELOCATED TO SECONDARY DWELLING IN P2	

LEGEND

EXISTING COTTAGE (& ALTERATIONS)



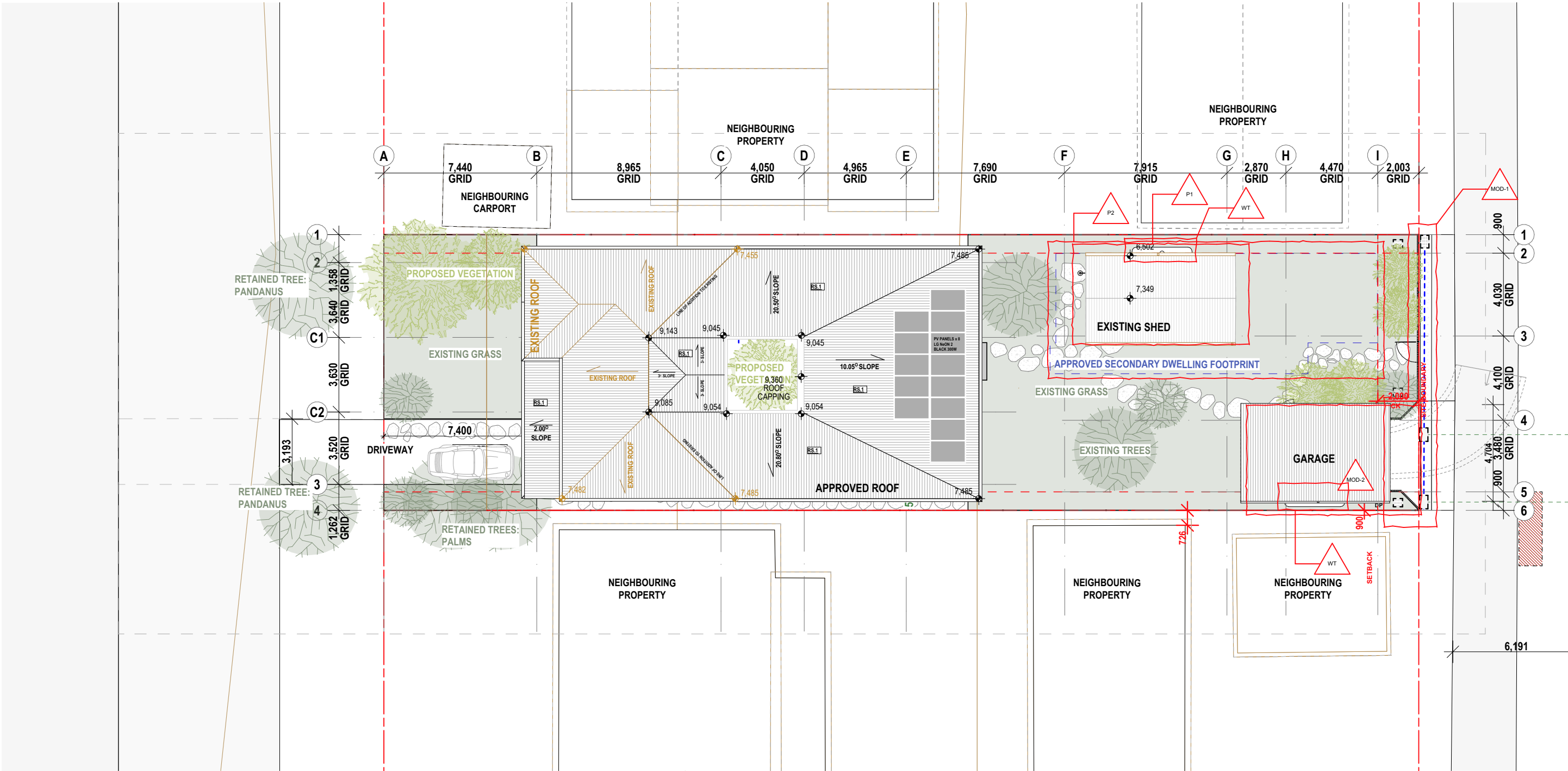
NOTE: THE ABOVE PLAN IS AN IDENTICAL COPY OF THE APPROVED DA, WITH THE MODIFICATION (S4.55) EXTENTS HIGHLIGHTED.
THE FOLLOWING DOCUMENTATION CLARIFIES - AS AN ADDENDUM TO THE APPROVED DA - THE WORKS WITHIN THIS PROPOSED AREA.

TANEVMUIR 14 ORARA CT, BYRON BAY, NSW 2481 T: 04 3423 3394 PETER@TANEVMUIR.COM ABN: 34 733 735 972 PETER TANEVSKI NSW REGISTERED ARCHITECT NO. 11855		All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale. © Copyright TANEVMUIR	Revision ID	Issue Name	Date	CLIENT	SANDRA & CHRIS	ADDRESS	3 SHORT STREET BRUNSWICK HEADS	APPROVED: TM		JOB NO: TM-02	
			MOD.A	S4.55/S68 Modification	17/06/2024	JOB NAME	SHORT STREET	LOT + DP	LOT B DP 386422	SCALE		DWG NO	REV
						DRAWING	SITE PLAN - APPROVED DA			1:200		A1.01	MOD.A
										A3			

LEGEND

EXISTING

SECONDARY DWELLING PHASE 2



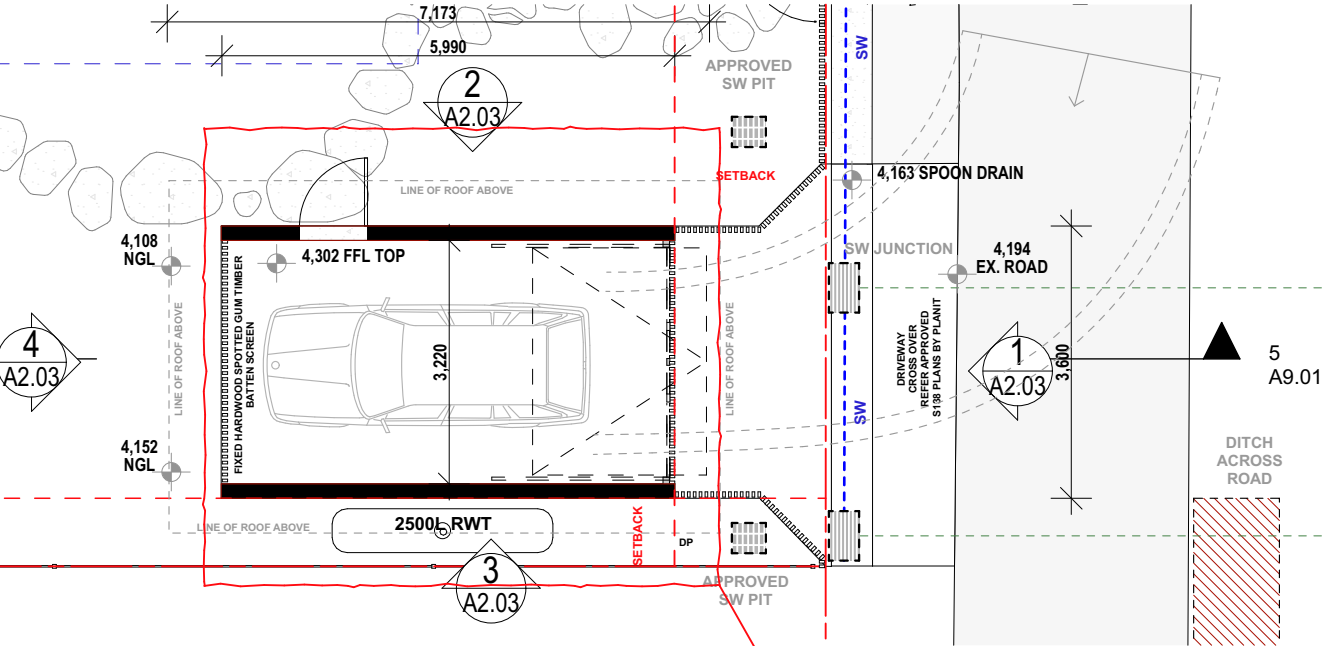
NOTE: P1 INDICATES "PHASE 1".
REFER TO COVER PAGE FOR DETAILS ON PHASING.
THE SECONDARY DWELLING IS STILL ANTICIPATED TO BE CONSTRUCTED "IN PHASE 2" AS PER THE APPROVED DA#10.2021.361.1

<div>TANEVMUIR</div> <div>14 ORARA CT, BYRON BAY, NSW 2481</div> <div>T: 04 3423 3394 PETER@TANEVMUIR.COM</div> <div>ABN: 34 733 735 972 PETER TANEVSKI NSW REGISTERED ARCHITECT NO. 11855</div>	<div></div>	All building works to be carried out in accordance with the Building Code of Australia (BCA), NCC, Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.		©	Copyright TANEVMUIR	Revision ID	Issue Name	Date	CLIENT	SANDRA & CHRIS	ADDRESS	3 SHORT STREET BRUNSWICK HEADS	APPROVED: TM		NORTH	JOB NO: TM-02	
						MOD.A	S4.55/S68 Modification	17/06/2024									
									JOB NAME	SHORT STREET	LOT + DP	LOT B DP 386422	SCALE		<div></div>	DWG NO	REV
									DRAWING	SITE PLAN - MODIFICATION EXTENT			1:200	A3			

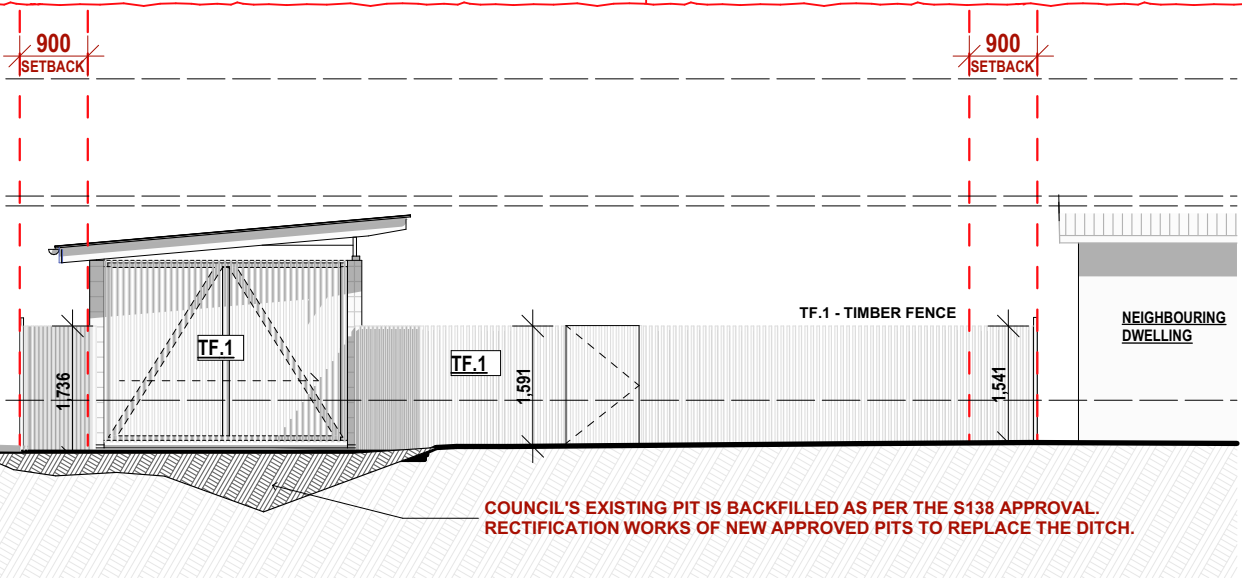
NOTE TO BSC REGARDING FENCE HEIGHT NGL'S:

The council's previous position was that the existing stormwater ditch on Ring Lane constitutes the NGL from which the fence height limits were set - resulting in a refusal of the previously proposed fence.

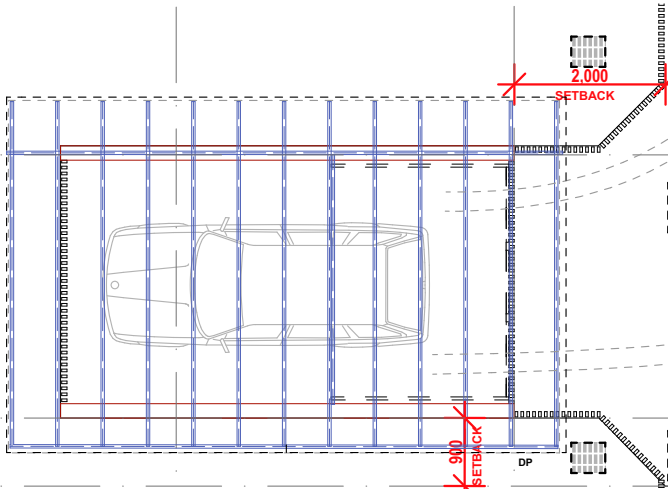
The currently proposed fence is less substantial in height but also articulates back from the stormwater ditch to allow for improved sight triangles from the property. This also mitigates the NGL of the existing stormwater dipping where the fence is constructed, resulting in a compliant outcome.



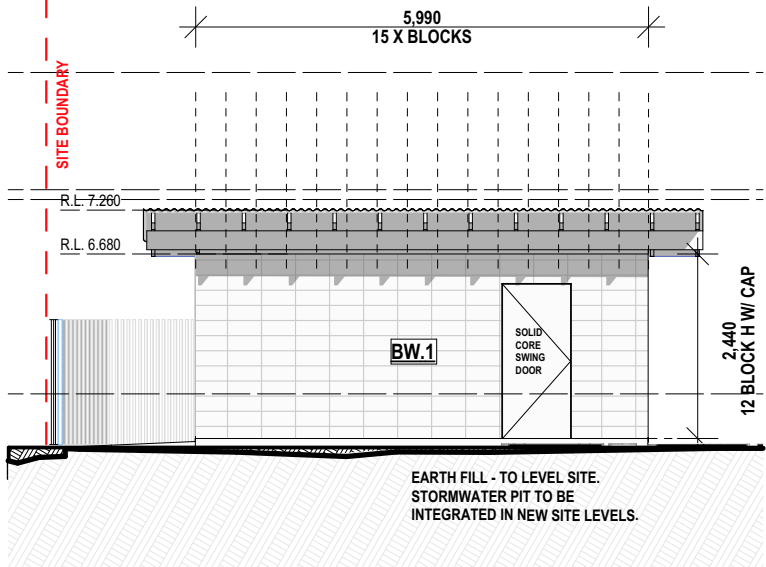
FP GARAGE FLOOR PLAN
Scale 1:100



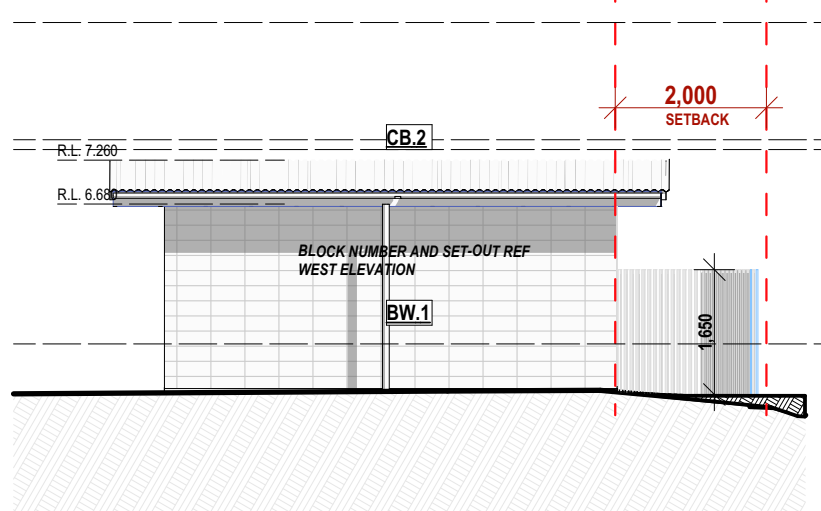
1 NORTH ELEVATION
Scale 1:100



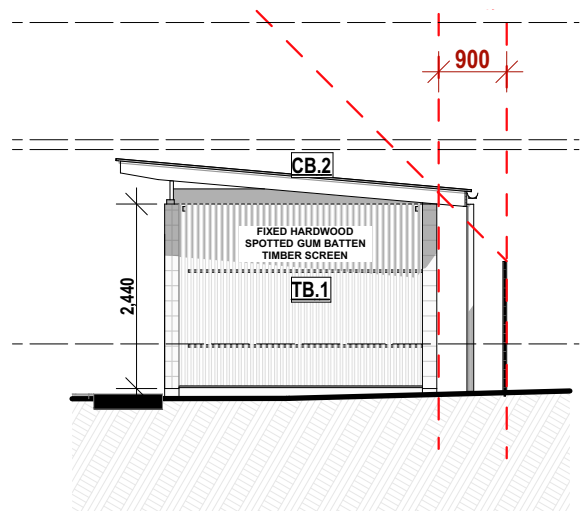
RP GARAGE: ROOF PLAN
Scale 1:100



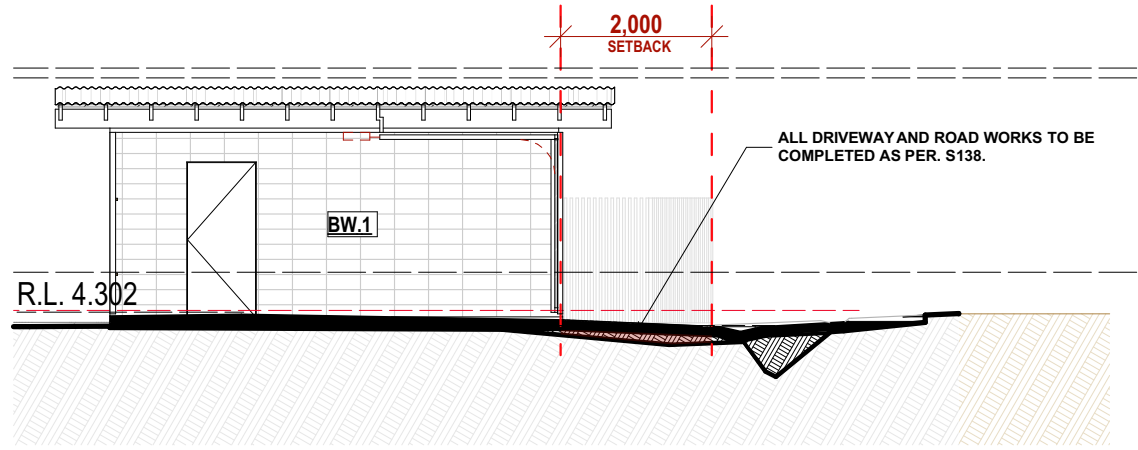
2 WEST ELEVATION
Scale 1:100



3 EAST ELEVATION
Scale 1:100



4 SOUTH ELEVATION
Scale 1:100

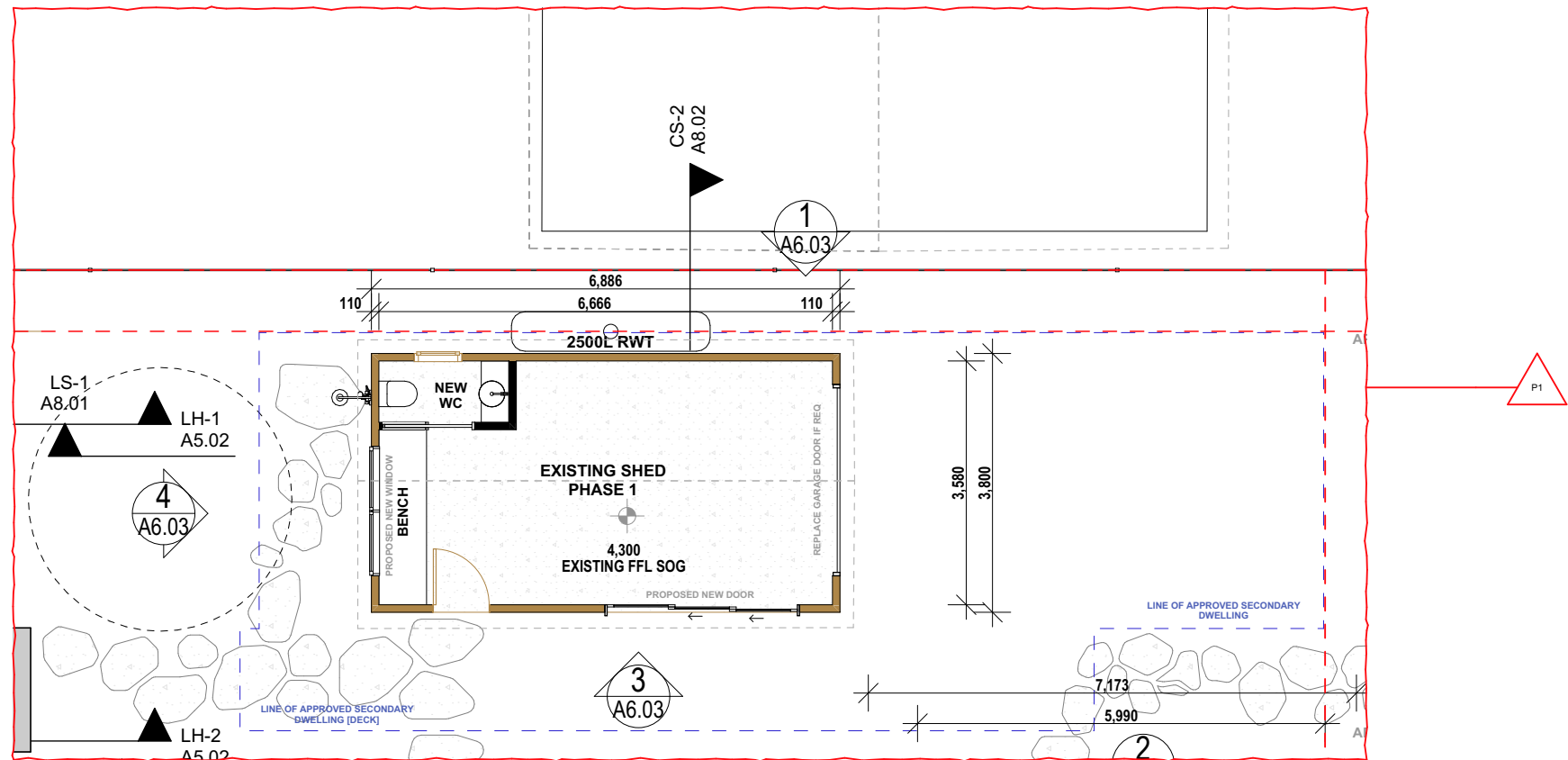


5 GARAGE SECTION
Scale 1:100

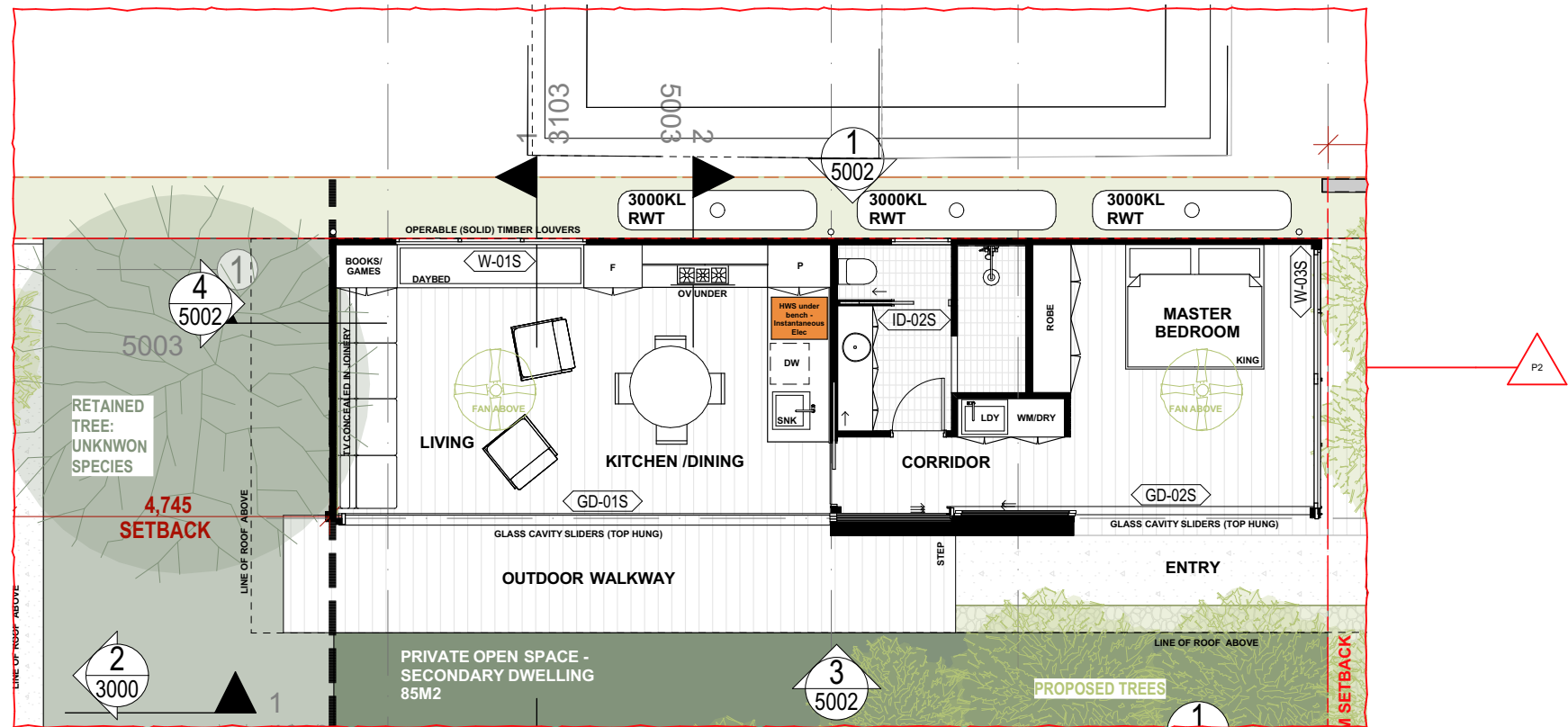
PROPOSED PHASED DEVELOPMENT FOR DA #10.2021.361.1:

LEGEND

EXISTING



[P1] PHASE 1: RETAIN AND UPGRADE EXISTING SHED.
The shed will be retained in Phase 1 as opposed to demolished. It will also feature minor upgrades - and will continue to function as a workshop / tool shed. The plan illustrated here is the current working drawings.



**[P2] PHASE 2: DEMOLITION OF SHED.
CONSTRUCTION OF SECONDARY DWELLING**
The shed is to be demolished and replaced with the Secondary Dwelling as previously approved by BSC. The timeline for this is dependent on the owners financial discretion. The plan illustrated here is the "As Approved" plan.

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						DRAWING	PROPOSED PHASING: P1/P2			1:100		A3.01	MOD.A

REFER DWG'S A2.01 / A2.02 FOR PLANS

