



Member of the Fire Protection Association of Australia

Tuesday, 16 April 2024.

- **Purpose;** To provide advice to the Principal Certifying Authority.
- **Address;** 67 Bougainvillea Drive Federal.
- **Lot and DP number;** lot 1, DP1220595
- **Referenced documents;** Previous Bushfire Risk Assessment dated Monday 18<sup>th</sup> October 2021. Revised plans (attached).
- **Proposed works;** Alterations and additions to an existing dwelling.

The General Manager, Federation Council.

Dear Sir/Madam.

The proposed new works are for modifications/ extensions to an existing dwelling.

A change to the plans has been necessary and this letter is to provide information on what if any changes the revised plans have made to the original bushfire report that was undertaken for the lot as referenced above.

This company has undertaken a review of the original report and compared any new variables contained within the revised plans against the outcomes of the previous assessment.

It is my considered opinion as a person recognised by the New South Wales Rural Fire Service as a qualified consultant in Bushfire Risk Assessment that this revised proposal does not adversely affect the results of the original bushfire assessment.

Should any further clarification be necessary please do not hesitate to contact me.

Yours Sincerely

Matthew Willis

Grad Dip Planning for Bushfire Prone Areas (**FPAA BPAD Level 3 BPD-PA 09337**)  
Bushfire Planning Services Pty Limited.

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PLANS PUBLISHED  
16 April 2024

These plans are for Council Approval only.

SHEET NUMBER	SHEET NAME	DATE PUBLISHED
MOD00	COVER	
MOD01	NOTATION	
MOD02	SAFTEY NOTES	
MOD03	LOCATION PLAN	
MOD04	SITE ANALYSIS	
MOD05	SITE / ROOF / SEDIMENT EROSION / WASTE MANAGEMENT / STORMWATER CONCEPT PLAN	
MOD06	EXISTING GROUND FLOOR PLAN	
MOD07	EXISTING FIRST FLOOR PLAN	
MOD08	PROPOSED GYM FLOOR PLAN	
MOD09	PROPOSED GYM ELEVATIONS	
MOD10	AREA CALCULATIONS	
MOD11	WINTER SOLSTICE 9 AM	
MOD12	WINTER SOLSTICE 12 PM	
MOD13	WINTER SOLSTICE 3 PM	
MOD14	BASIX COMMITMENTS	

ITEM DETAILS	DEVELOPMENT APPLICATION 67 BOUGAINVILLE, FEDERAL NSW 2480			
ADDRESS LOT & DP-SP COUNCIL SITE AREA FRONTAGE	LOT 1 DP 1220555 BYRON SHIRE COUNCIL 26,380m <sup>2</sup> 10.42m			
CONTROLS	PERMISSIBLE / REQUIRED m : m <sup>2</sup> : %	EXISTING m : m <sup>2</sup> : %	PROPOSED m : m <sup>2</sup> : %	COMPLIANCE
<b>LEZ</b>				
LAND ZONING	R5 - LARGE LOT RESIDENTIAL	R5	R5	YES
MINIMUM LOT SIZE	2.5ha	25380m <sup>2</sup>	UNCHANGED	YES
MAXIMUM BUILDING HEIGHT	9m	6.195m	UNCHANGED	YES
<b>HAZARDS</b>				
BUSHFIRE	VEGETATION BUFFER	N/A	N/A	NA
<b>DCP</b>				
LANDSCAPE AREA	25% (6595m <sup>2</sup> )	93.03% (24,543.51m <sup>2</sup> )	91% (24,197.14m <sup>2</sup> )	YES
FRONT SETBACK	15m	UNABLE TO BE MEASURED AT 90 DEGREES	UNCHANGED	NA
SIDE SETBACK - DWELLING	0.9m	N: 45.007m E: 39.480m S: 37.480m	N: UNCHANGED E: UNCHANGED S: UNCHANGED	YES
SIDE SETBACK - DETACHED BUILDING (GYM)	0.9m	N/A	N: 12.785m E: N/A W: 110.158m	YES

[illegible]

## NCC 2022 & AS COMPLIANCES SPECIFICATIONS

- STRUCTURE -PART II & SECTION 2 OF NCC  
 -SITE PREPARATION -PART III & SECTION 3 OF NCC  
 -FOOTINGS & SLAB -PART III & SECTION 3 OF NCC  
 -MASONRY -PART II & SECTION 2 OF NCC  
 -FLOORING -PART II & SECTION 2 OF NCC  
 -CLADDING -PART II & SECTION 2 OF NCC  
 -GLAZING -PART II & SECTION 2 OF NCC  
 -DRAFT & WEATHERPROOFING -PART II & SECTION 2 OF NCC  
 -FIRE SAFETY -PART II & SECTION 2 OF NCC  
 -HEALTH & AMENITY -PART II & SECTION 2 OF NCC  
 -SAFE MOVEMENT & ACCESS -PART II & SECTION 1 OF NCC  
 -ANALYTICAL PROVISIONS -PART II & SECTION 2 OF NCC  
 -SWIMMING POOLS -PART II & SECTION 2 OF NCC  
 -CONSTRUCTION & FINISHED PRONE AREAS -PART II & SECTION 2 OF NCC  
 -ENERGY EFFICIENCY -PART II & SECTION 3 OF NCC  
 -ELECTRICAL & OTHER PROVIDED WORK -PART II & SECTION 3 OF NCC  
 -DEMOLITION WORKS TO COMPLY WITH AS 2601-2007 -PART II & SECTION 3 OF NCC  
 -WATERPROOFING OF WET AREAS TO COMPLY WITH AS 3740-2001  
 -ALL LUBRICATING OILS AND GREASES TO BE REMOVED FROM ALL PLASTERED SURFACES TO COMPLY WITH AS 2606B-2007  
 -ALL STRUCTURAL STEEL WORK TO COMPLY WITH AS 1160-2002 & AS 1554-1912  
 -ALL ROOF SHEETING WORK TO COMPLY WITH AS 3681-1982 & AS 1506-1978  
 -ALL CHIMNEY TIGHTENING TO COMPLY WITH AS 3955-1982 & AS 3958-1982  
 -ALL CHIMNEY TIGHTENING TO COMPLY WITH AS 3955-1982 & AS 3958-1982  
 -ALL TANKING RETAINING WALLS ARE TO COMPLY WITH AS 1720-1981  
 -ALL TANKING WALLS ARE TO COMPLY WITH AS 3700-2001 & AS 3902-2001

The Holder is to obtain approval for interruptions to existing services and minimise the duration and number of interruptions. Any interruption to existing services and equipment, is to be undertaken by appropriately qualified persons.

The Holder shall restore, maintain or replace any damage to existing structures or landscaping caused by the excavation work or workmen.

Service protection to existing lines to remain, or as required by the Approval Conditions.

[illegible][illegible]

**Approved means:** to be a local authority or council?

All products must comply with the current Australian standards at the time of commencement, when applicable.

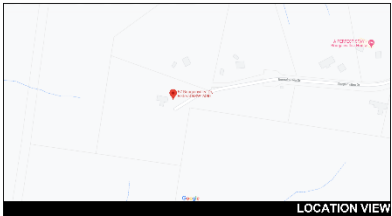
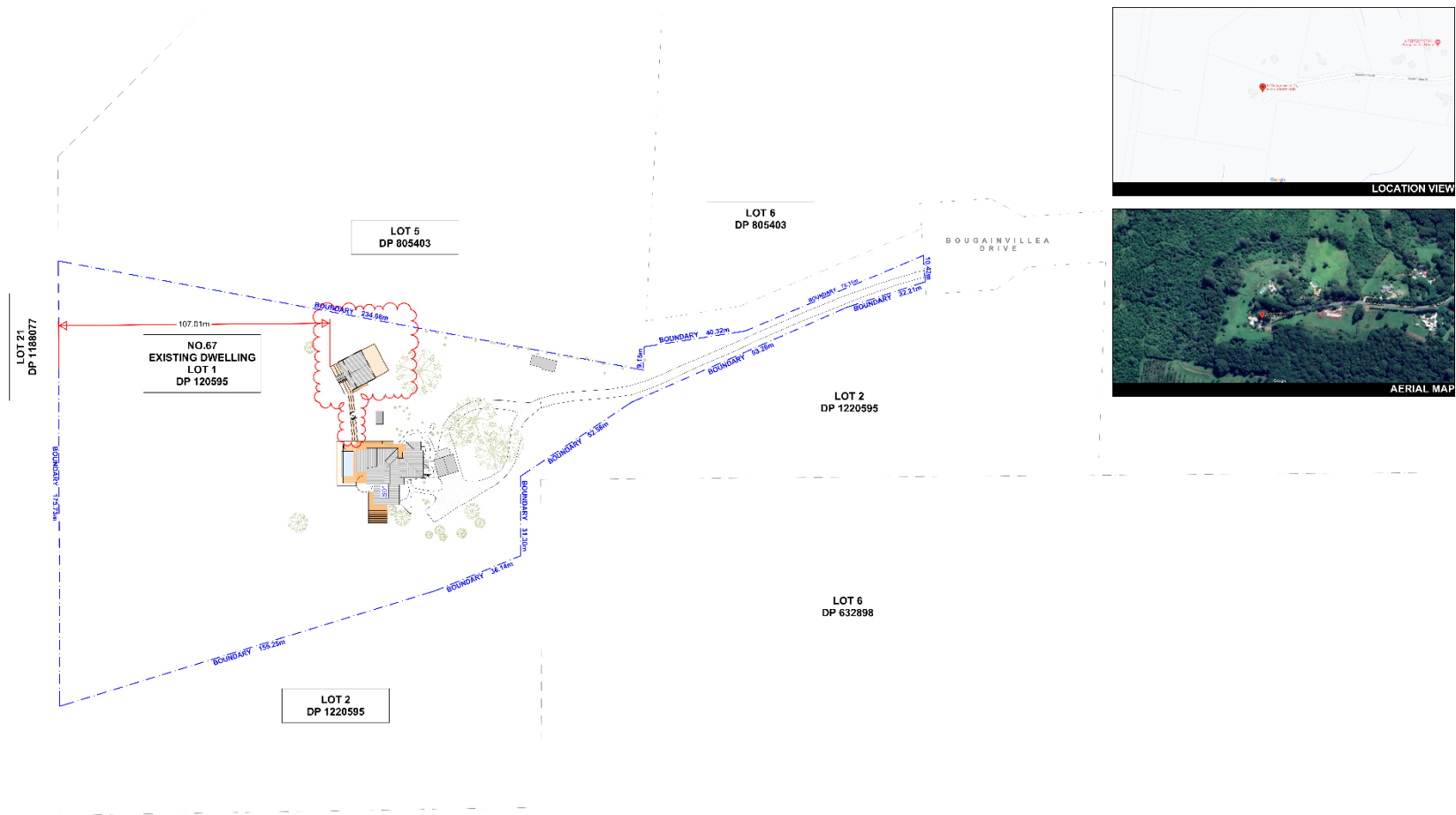
The supplier is to comply with all ordnance, local authority regulations and the requirements of all services supply, or services having jurisdiction over the works.

- All new downpipes are to be connected to the existing stormwater system.
- All timber size and concrete details to be confirmed by the builder prior to commencement of any work.
- All doors, glazing, to be colorfast.
- All wall and ceiling linings to be plasterboard or cement render as specified, and walls board in wet areas. To comply with relevant Australian standards, and installed in accordance with manufacturer's installation.

[illegible]

- Pool-fencing & other provisions - Regulations - AS 1009
- Demolition Works to comply with AS 2601-2007 The Demolition of Structures.
- Waterproofing of Wet Areas to comply with AS 3742-2001
- Air Stopping & Airseals to comply with AS 3743-2001
- Air Infiltration Tests to comply with AS 2047-2001
- Structural Steel Work to comply with AS 4100-2020 & AS 1554-1-2014
- Air Concrete work to comply with AS 3600-2016
- Not affecting work to comply with AS 1562-1-2011
- Air verghis to comply with AS 4205-2016
- Clearing ability to comply with AS 3598-1-2014 & AS 3598-2-2010
- Clearing area of 100m<sup>2</sup> to comply with AS 270-7-2014 & AS 2708-2021
- Air in the building walls to comply with AS 1203-2012 & AS 1172
- Air testing walls to comply with AS 3700-2016 & AS 3600-2016
- Air construction in building- on-site areas to comply with AS 3059-2016





1

LOCATION PLAN

1:1000

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**LEGEND**

EXISTING  
PROPOSED  
DEMOLISHED

PROPOSED  
\$4.35 CHANGES

CLIENT  
ELLA MILES (BYRON)

PROJECT ADDRESS  
67 BOUGAINVILLE  
DRIVE • EDEHVAL, NSW  
2480

DRAWING NO.  
**MOD03**

DATE  
Tuesday, 16 April 2024

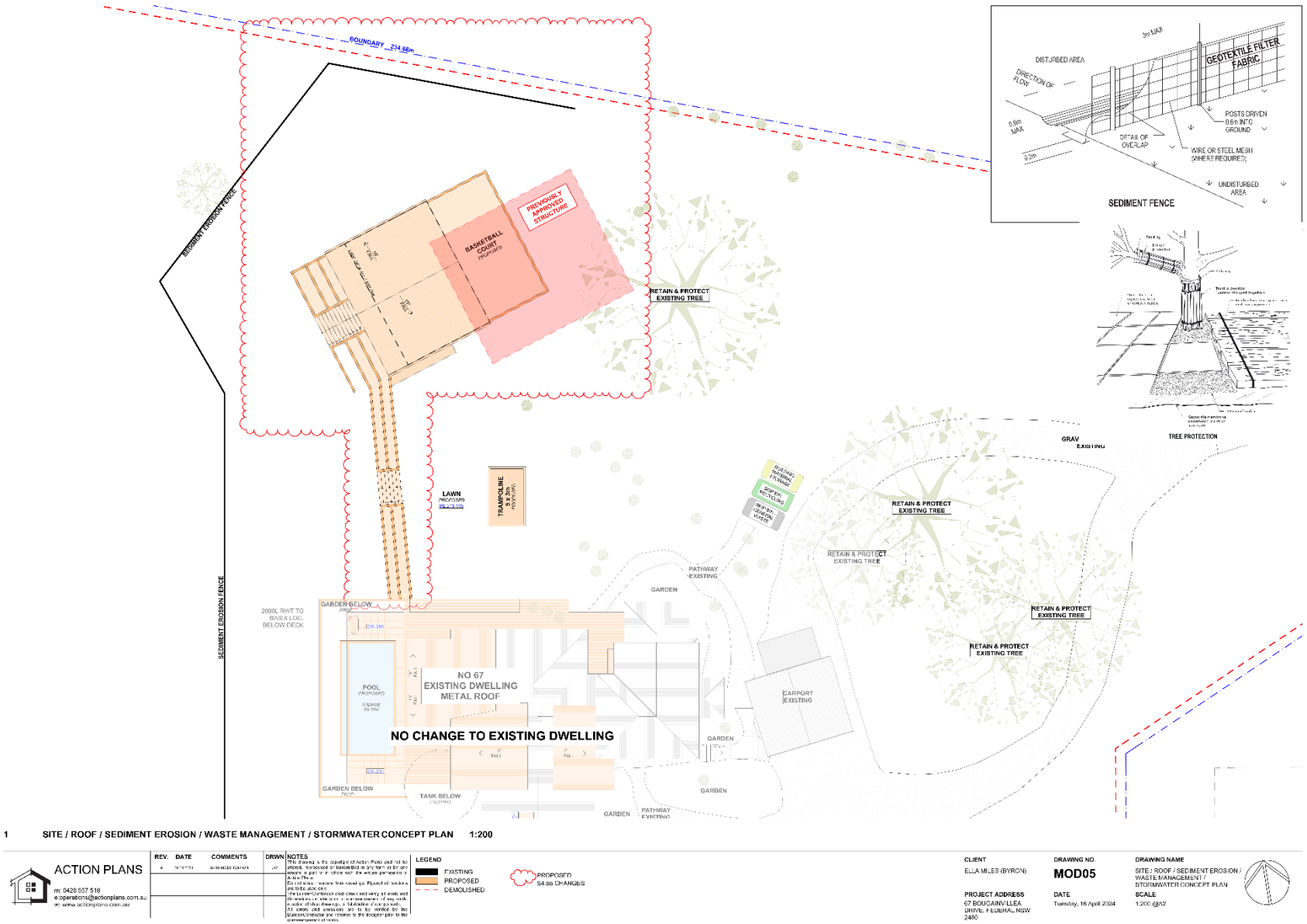
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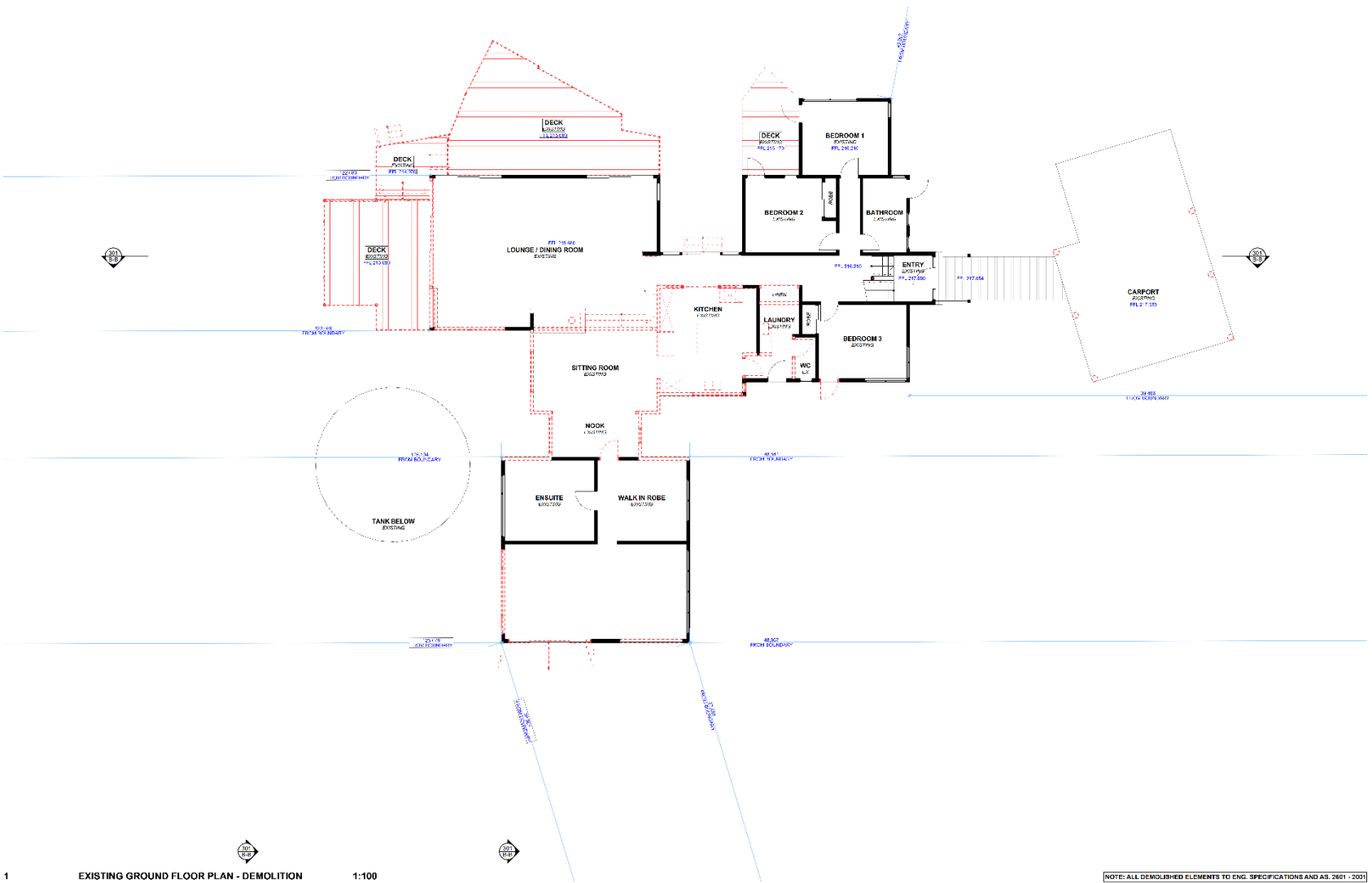
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	A	16/04/2024	EXISTING GROUND FLOOR PLAN	JAT	<p>THIS DRAWING IS THE PROPERTY OF ACTION PLANS AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ACTION PLANS.</p> <p>DO NOT SCALE - DIMENSIONS FROM DIMENSIONS. PLEASE REFER TO THE DIMENSIONS AND NOT THE SCALE.</p> <p>THE DRAWING IS FOR INFORMATION ONLY AND DOES NOT CONSTITUTE A CONTRACT. THE CONTRACT IS THE AGREEMENT OF THE CLIENT AND ACTION PLANS.</p> <p>ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.</p> <p>ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.</p>					
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DATE Tuesday, 16 April 2024										
SCALE 1:100 @A2										





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A	16/10/2024	ISSUED FOR PERMIT	JAT	THE DRAWING IS THE PROPERTY OF ACTION PLANS AND NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ACTION PLANS. DO NOT SCALE - DIMENSIONS GIVEN IN NOTES AND DIMENSIONS ON THE DRAWING ARE TO BE USED FOR CONSTRUCTION OF THE PROJECT. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE SPECIFIED.

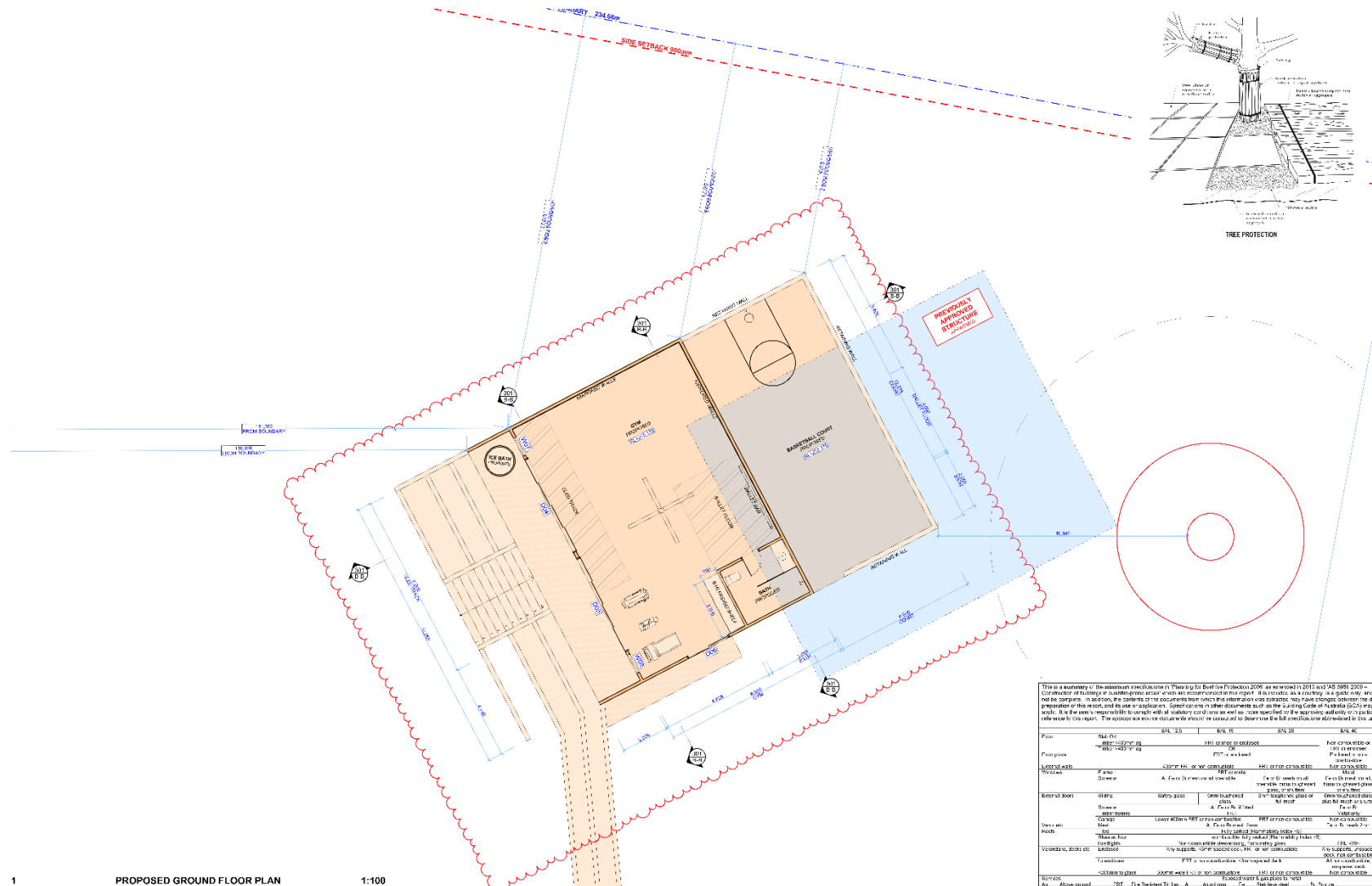
**LEGEND**  
EXISTING  
PROPOSED  
DEMOLISHED  
PROPOSED \$4.35 CHANGES

CLIENT  
ELLA MILES (BYRON)  
  
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DRAWING NO.  
**MOD07**  
  
DATE  
Tuesday, 16 April 2024

DRAWING NAME  
EXISTING FIRST FLOOR PLAN  
  
SCALE  
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[illegible]

**LEGEND**

 EXISTING

 PROPOSED

 DEMOLISHED

 PROPOSED  
\$4.58 CHANGES

CLIENT  
ELLA MILES (BYRON)

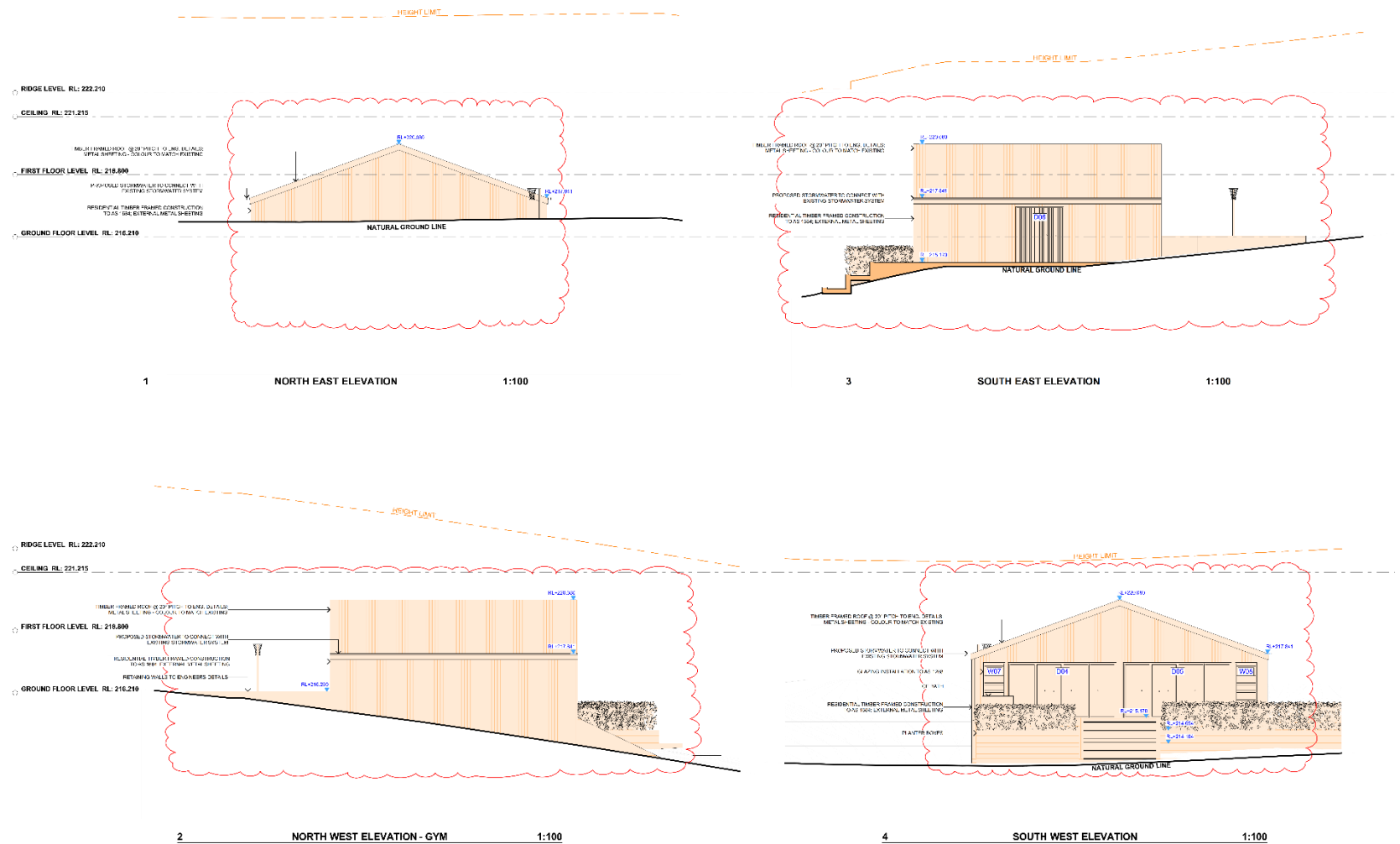
DRAWING NO.  
**MOD08**

DRAWING NAME  
PROPOSED GYM FLOOR PLAN

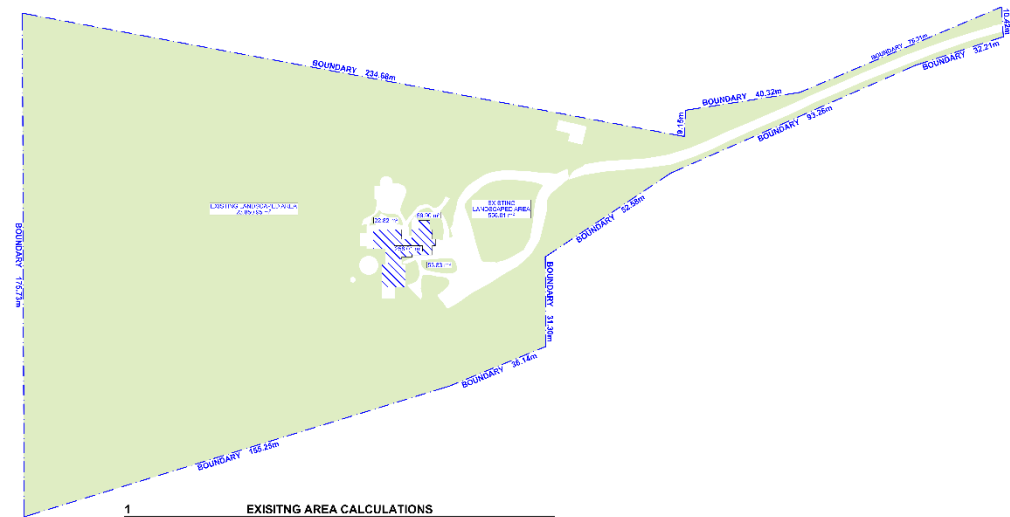
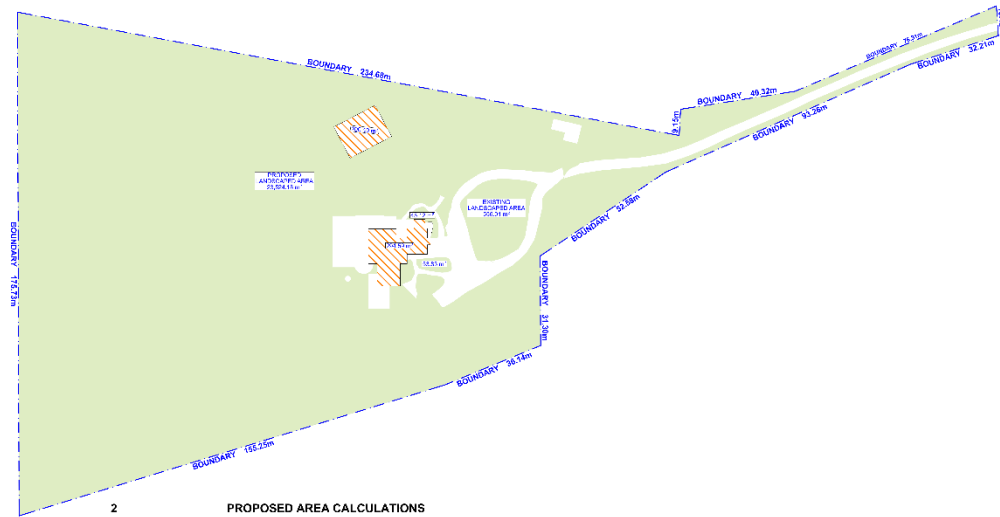
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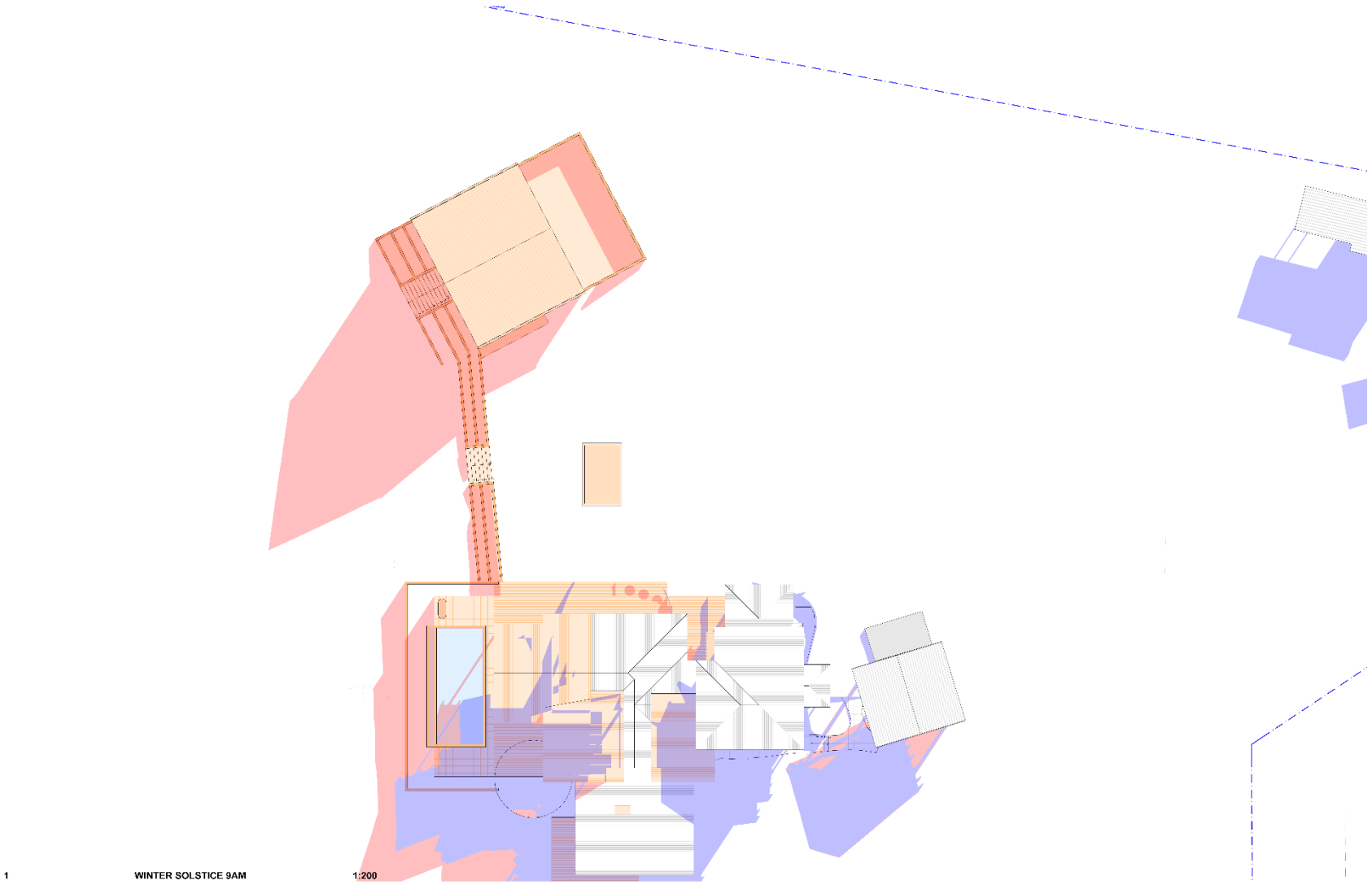
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	1	16/10/2024	DRAFTING/DESIGN/REVISED	JL	<div>1. This drawing is the property of Action Plans and not to be reproduced or transmitted in any form or by any means, electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without prior written permission from Action Plans.</div> <div>2. All dimensions are in millimetres unless otherwise stated.</div> <div>3. All elevations are to be constructed in accordance with the Australian Standard AS/NZS 1546:2011.</div> <div>4. All elevations are to be constructed in accordance with the Australian Standard AS/NZS 1546:2011.</div> <div>5. All elevations are to be constructed in accordance with the Australian Standard AS/NZS 1546:2011.</div>				<div><div>EXISTING</div><div>PROPOSED</div><div>DEMOLISHED</div></div> <div><div>PROPOSED \$4.35 CHANGES</div></div>
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REV.	DATE	COMMENTS	DRWN	NOTES
1	16/10/2024	10/10/2024 ELM/10/24	10/10/2024	10/10/2024

**LEGEND**

- EXISTING SHADOWS
- PROPOSED SHADOWS

**CLIENT**  
ELLA MILES (BYRON)


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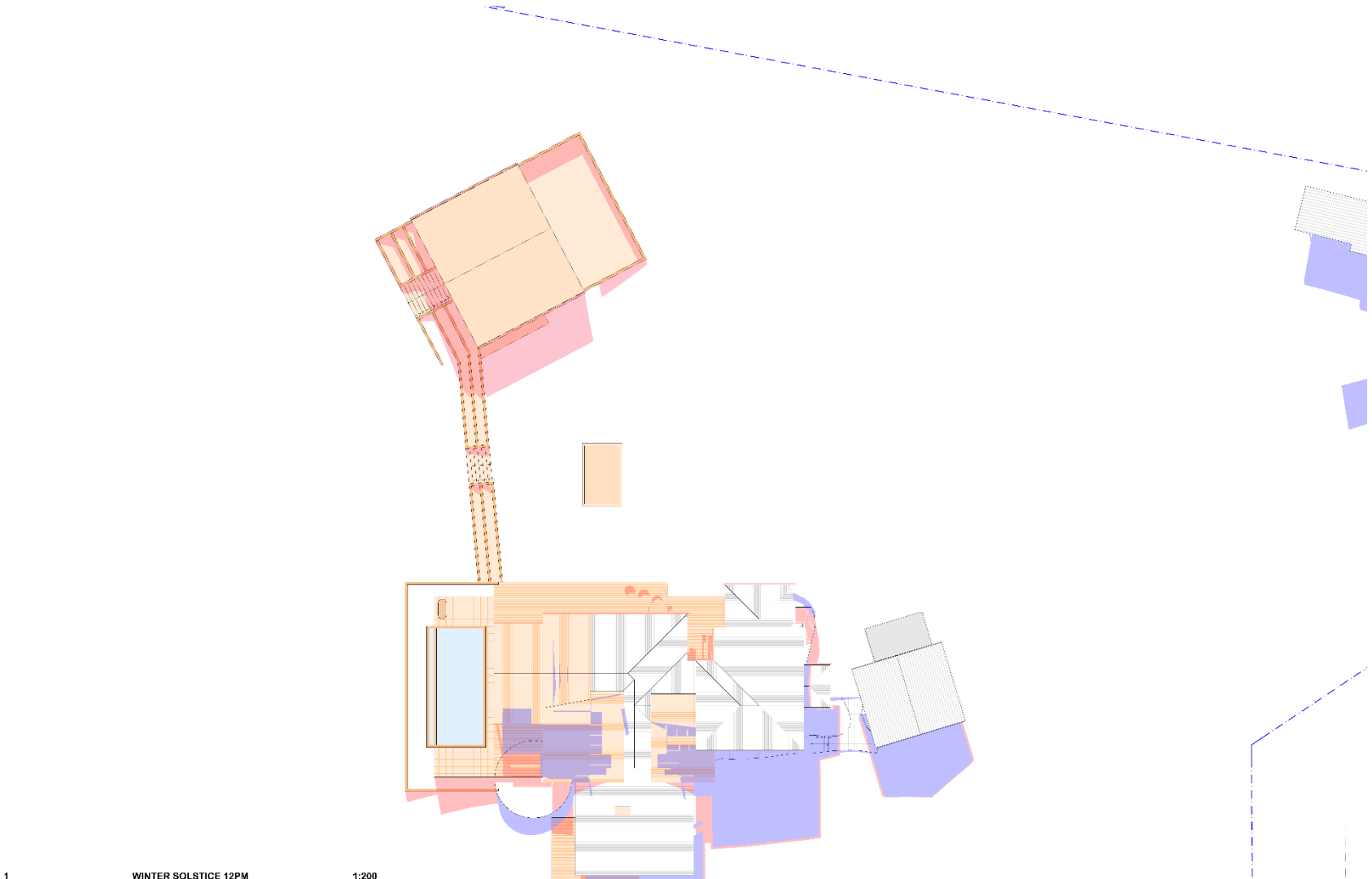
**DRAWING NO.**  
**MOD11**

**DATE**  
Tuesday, 16 April 2024

**DRAWING NAME**  
WINTER SOLSTICE 9 AM

**SCALE**  
1:200 @A3







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REV.	DATE	COMMENTS	DRWN	NOTES
1	16/10/2024	ISSUED FOR REVIEW	JP	

**LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

**CLIENT**  
ELLA MILES (BYRON)

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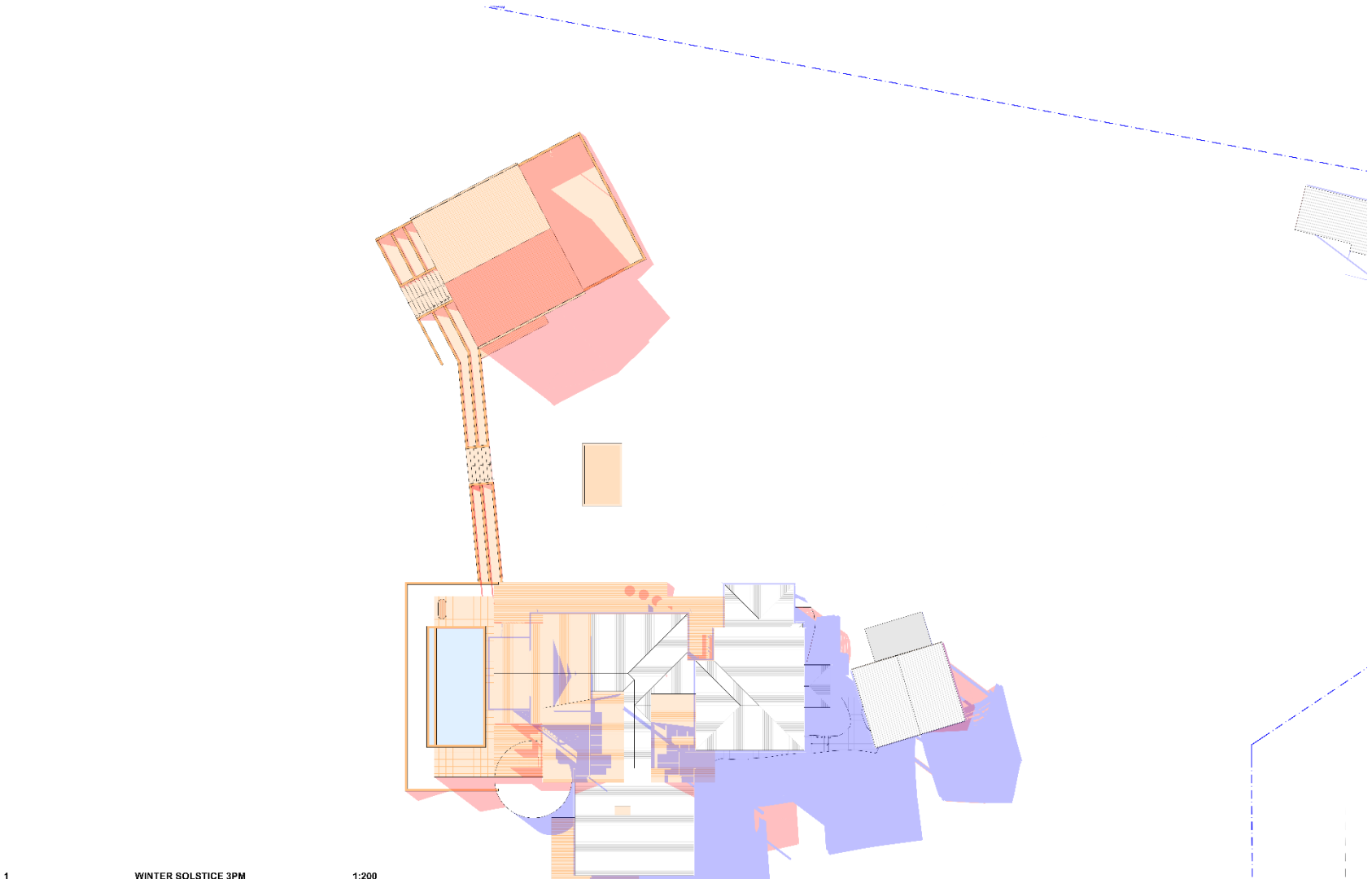
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**MOD12**

**DATE**  
Tuesday, 16 April 2024

**DRAWING NAME**  
WINTER SOLSTICE 12 PM

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REV.	DATE	COMMENTS	DRWN	NOTES
1	16/10/2024	10/10/2024 ELLA MILES	10/10/2024	10/10/2024

**LEGEND**

EXISTING SHADOWS

PROPOSED SHADOWS

CLIENT  
ELLA MILES (BYRON)

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67 SOUGAINVILLEA  
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DRAWING NO.  
**MOD13**

DATE  
Tuesday, 16 April 2024

DRAWING NAME  
WINTER SOLSTICE 3 PM

SCALE  
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