

125 Alcorn St, Suffolk Park

DWG No.	Drawing.	Revision.	Scale.
DA.00	Cover Sheet	D	NTS
DA.01	Site Analysis Plan	C	1:200
DA.02	Site Plan	D	1:200
DA.03	Ground Floor Plan	D	1:150
DA.04	First Floor Plan	C	1:150
DA.05	Roof Plan	D	1:150
DA.06	Section A & B	D	1:150
DA.07	Section C & D	D	1:150
DA.08	Northern & Eastern Elevation	D	1:150
DA.09	Southern & Western Elevation	D	1:150
DA.10	Area Calculation	D	1:200
DA.11	Site Waste Management Plan	C	1:200
DA.12	Shadow Diagrams - 9am 21st June	C	1:400
DA.13	Shadow Diagrams - 12pm 21st June	C	1:400
DA.14	Shadow Diagrams - 3pm 21st June	C	1:400
DA.15	Shadow Diagrams - 9am 21st December	C	1:400
DA.16	Shadow Diagrams - 12pm 21st December	C	1:400
DA.17	Shadow Diagrams - 3pm 21st December	C	1:400



References.

- Refer Survey Plan prepared by **Kennedy Surveying**
- Refer BASIX Certificate prepared by **Partners Energy**
- Refer Stormwater Plan prepared by **Charlie Hewitt Engineering Design**
- Refer Statement of Environmental Effects prepared by **Planners North**

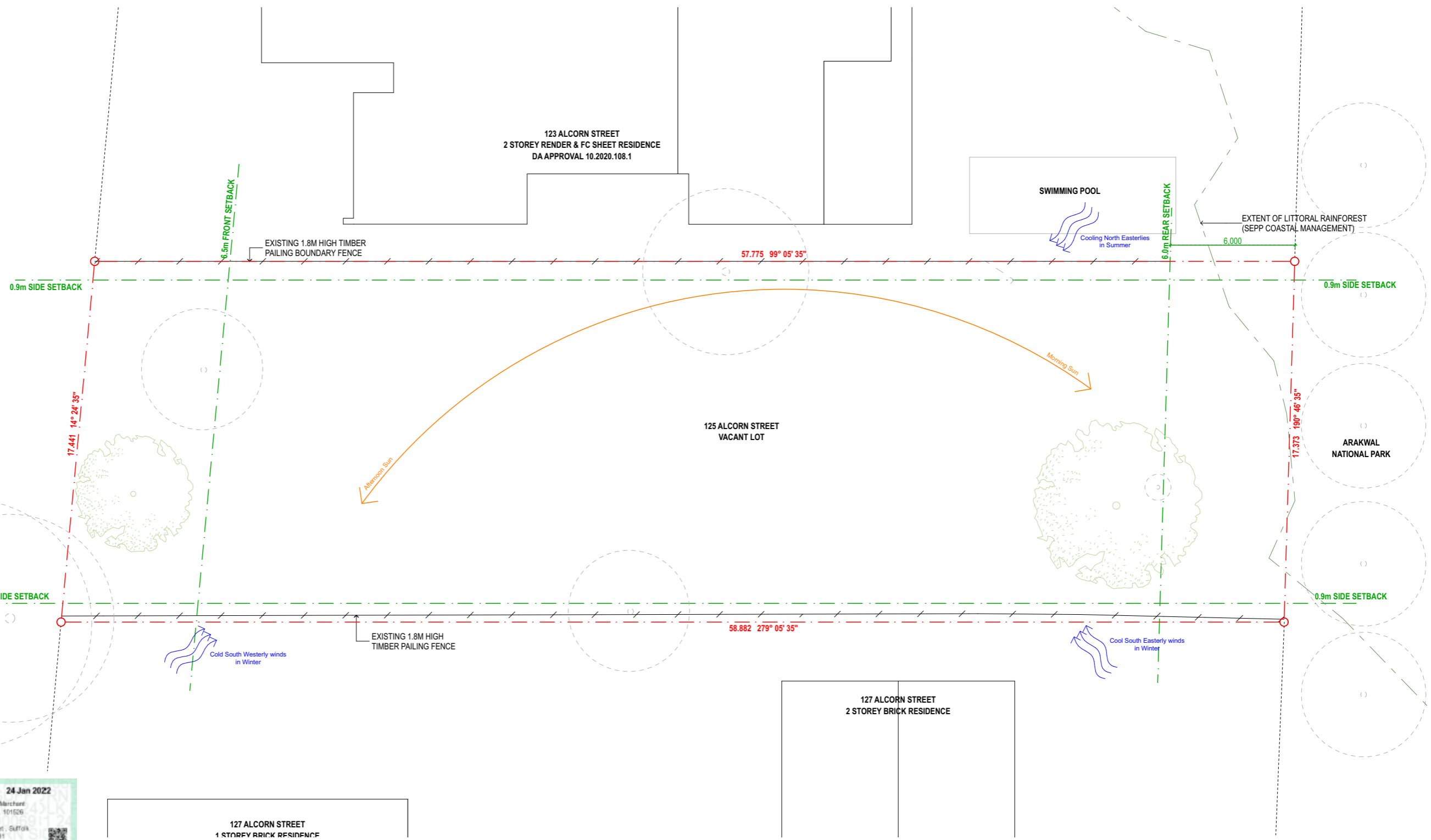
Compliance Table.

LGA.	Byron Shire Council	
Lot + DP No.	Lot 3, Section 4, DP 11632	
Zoning.	DM - Deferred Matter: (pub. 26-2-2021)	
Site Area.	1012.90m ²	
Controls.	Byron Shire DCP 2010	PROPOSAL
FSR.	0.5:1 (506.45m ²)	Complies - 0.21:1 (211.80m ²)
Building Height.	9.0m	Complies - Max 6.6m
Landscaping.	25% (253.22m ²)	Complies - 50.5% (511.77m ²)
Front Setback.	4.5m	Complies - Min 6.5m
Side Setback.	0.9m	Complies - Min 2.0m
Rear Setback.	6.0m	Complies - Min 17.0m

References	Legend - Codes	Thermal Performance Specifications	BASIX Commitments	Legend - Demolition	Legend - Shadow Study
Refer Survey Plan prepared by Kennedy Surveying	A/C A/C Condenser AHD Australian Height Datum CF Ceiling Fan 1200mm CL Centre Line COL Column CONC Concrete type - CPT Carpet DP Down Pipe EG Eaves Gutter F Fence type - FC Fibre Cement FCL Finished Ceiling Level FLL Finished Floor Level FG Fixed Glass FT Floor Tile type -	FW Floor Waste G Gate GR Hand Rail HWS Hot Water System LG Louvre Glass OG Opaque Glass PAV Paver type - PC Polished Concrete PR Painted Render type - PT Pool Tile RWT Rain Water Tank SG Sliding Glass TF Timber Flooring TOF Top of Fence TOW Top of Wall	Water: Rainwater Storage Energy: Hot Water Systems Alternative Energy	Existing Construction. To be Demolished. Excavation Area. New Construction.	Shadow cast by Existing Building. Additional Shadow cast on Private Open Space as a result of New Development. Reduction in Shadow cast on Private Open Space as a result of New Development. Private Open Space Area.

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	Draft DA - For Review					8/9/21
	C	For Development Application	KS				29/9/21
	D	For Development Application	KS				5/11/21
		T H O S E	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au			

ALCORN STREET



1 Site Analysis 1:200



- References**
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 - Refer Stormwater Plan prepared by **Charlie Hewitt Engineering Design**
 - Refer Statement of Environmental Effects prepared by **Planners North**

Legend - Codes

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EG	Eaves Gutter	PR	Painted Render type -
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FC	Fibre Cement	RWT	Rain Water Tank
FCL	Finished Ceiling Level	SG	Sliding Glass
FFL	Finished Floor Level	TF	Timber Flooring
FG	Fixed Glass	TOF	Top of Fence
FT	Floor Tile type -	TOW	Top of Wall

Thermal Performance Specifications

External Floors:
Concrete slab on ground - no insulation

Walls:
External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally)
Cavity panel - with vapour barrier (garage only)

External colour: Light colour
Internal Walls: Cavity panel - no insulation (generally)
Cavity panel - R2.5 90mm thick bulk insulation (between garage & living areas)

Roof:
Sheet metal roofing - 60mm reflective foil blanket (non ventilated)
External colour: Light colour

Ventilation:
Ceiling fans 1200mm diameter in all bedrooms and studio

Windows:
Given values are AFRC, total window system values (glass and frame)
U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)

Walls:
U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Skylights:
U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Ceiling space with roof above:
Plasterboard ceiling - R2.5 insulation (raked ceiling)
Plasterboard ceiling - no insulation (garage)

Note: Rated with LED downlights which do not penetrate ceiling insulation (IC rated)

External shade:
900mm horizontal projection awning above D-003 & W-001 (as per elevations)

BASIX Commitments

Water: Rainwater Storage
Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap

Energy: Hot Water Systems
Electric storage

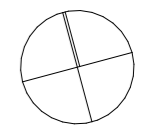
Alternative Energy
min. 2.2kW peak PV system

Legend - Demolition

- Existing Construction.
- To be Demolished.
- Excavation Area.
- New Construction.

Legend - Shadow Study

- Shadow cast by Existing Building.
- Additional Shadow cast on Private Open Space as a result of New Development.
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- Private Open Space Area.



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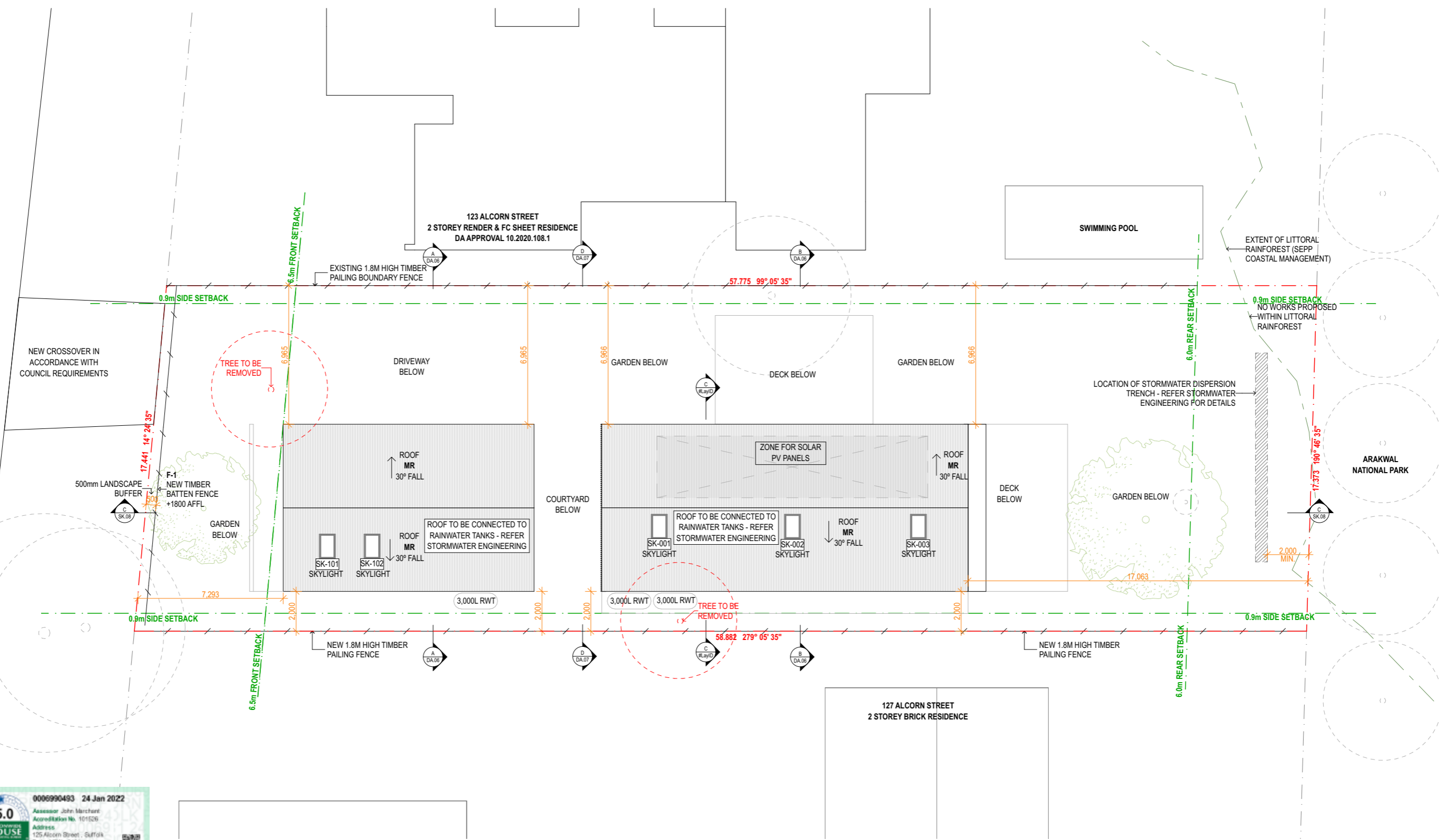
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sydney@thosearchitects.com.au

No. 21011
Address: 125 Alcorn St, Suffolk Park
Title: Site Analysis Plan
Scale: 1:200 at A3
Drawn/Checked: KS / AE
Issued: For Development Application

DA.01 C

ALCORN STREET



ABSA
Accredited Assessor
Assessment conducted with the accreditation issued by the ABSA Quality Assurance Board
Assessment Period: 24/03/2021-23/03/2022
Assessor Name: Darrell Marchant
Assessor Number: 101526
Assessor Signature: *[Signature]*

5.0
NATIONWIDE HOUSE
54.6
www.nationwide.gov.au

0006990493 24 Jan 2022
Assessor: John Marchant
Accreditation No. 101526
Address: 125 Alcorn Street, Suffolk Park, NSW, 2481

- References
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Legend - Codes

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FG	Fixed Glass	TOF	Top of Fence
FT	Floor Tile type -	TOW	Top of Wall

Thermal Performance Specifications

External Floors:
Concrete slab on ground - no insulation

Walls:
External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally)
Cavity panel - with vapour barrier (garage only)

External colour: Light colour
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Roof:
Sheet metal roofing - 60mm reflective foil blanket (non ventilated)
External colour: Light colour

Ventilation:
Ceiling fans 1200mm diameter in all bedrooms and studio

Windows:
Given values are AFRC, total window system values (glass and frame)
U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)

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Plasterboard ceiling - no insulation (garage)

External shade:
900mm horizontal projection awning above D-003 & W-001 (as per elevations)

BASIX Commitments

Water: Rainwater Storage
Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap

Energy: Hot Water Systems
Electric storage

Alternative Energy
min. 2.2kW peak PV system

Legend - Demolition

Legend - Shadow Study

[Black Box]	Existing Construction.	[Grey Box]	Shadow cast by Existing Building.
[Red Box]	To be Demolished.	[Red Hatched Box]	Additional Shadow cast on Private Open Space as a result of New Development.
[Blue Hatched Box]	Excavation Area.	[Blue Hatched Box]	Reduction in Shadow cast on Private Open Space as result of New Development.
[Grey Box]	New Construction.	[Purple Box]	Private Open Space Area.

Notes

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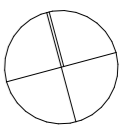
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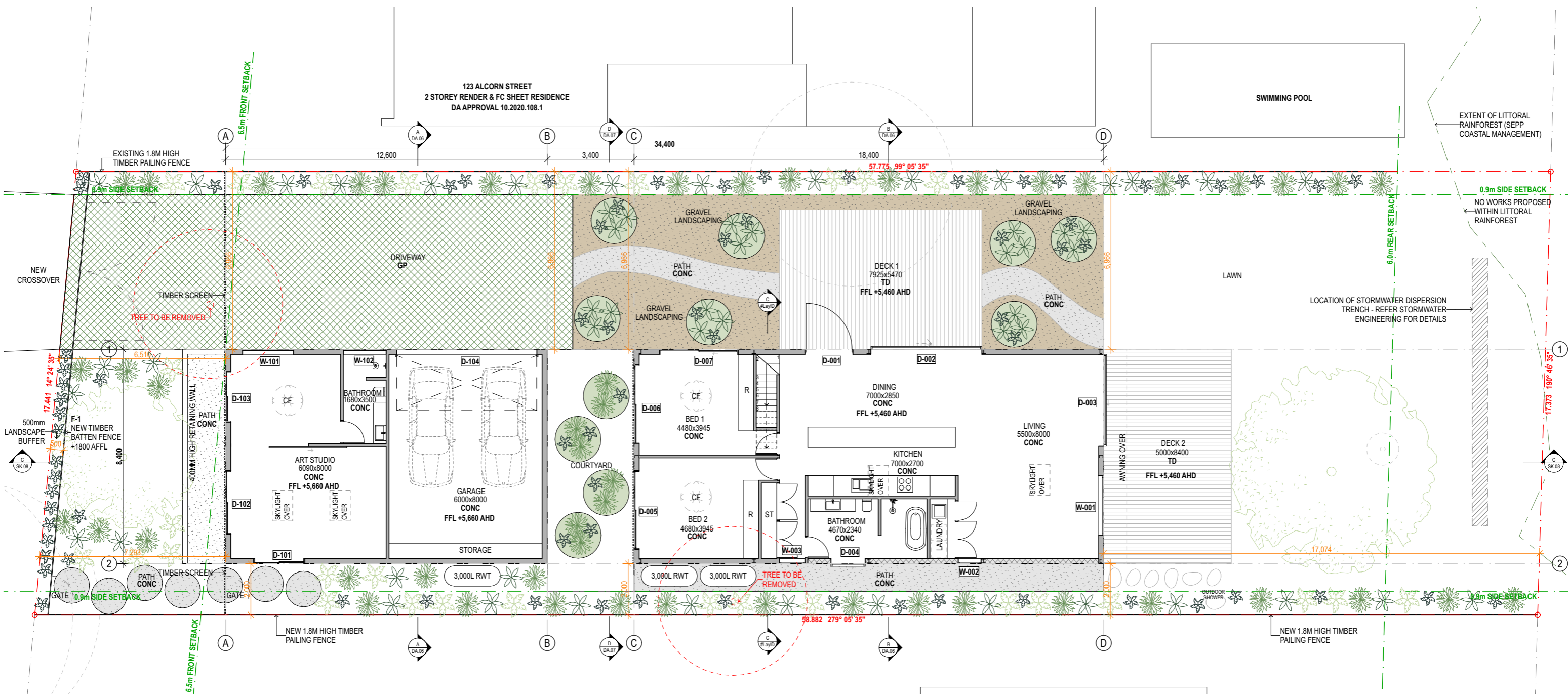
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No. 21011
Address: 125 Alcorn St, Suffolk Park
Title: Site Plan
Scale: 1:200 at A3
Drawn/Checked: KS / AE
Issued: For Development Application

DA.02 D



1 Site Plan 1:200



References
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Legend - Demolition

- To be Demolished.
- Excavation Area.
- New Construction.

Legend - Shadow Study

- Shadow cast by Existing Building.
- Additional Shadow cast on Private Open Space as a result of New Development.
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Notes

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A	Draft DA - For Review	10/8/21
B	Draft DA - For Review	8/9/21
C	For Development Application	KS 29/9/21
D	For Development Application	KS 5/11/21

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Document / Project

Drawing

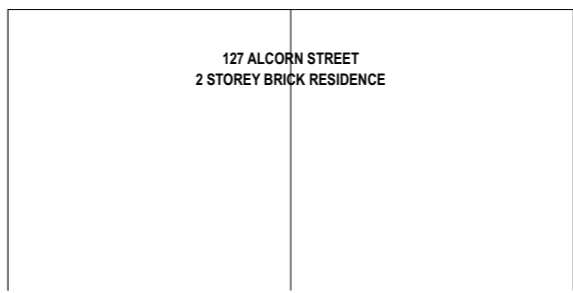
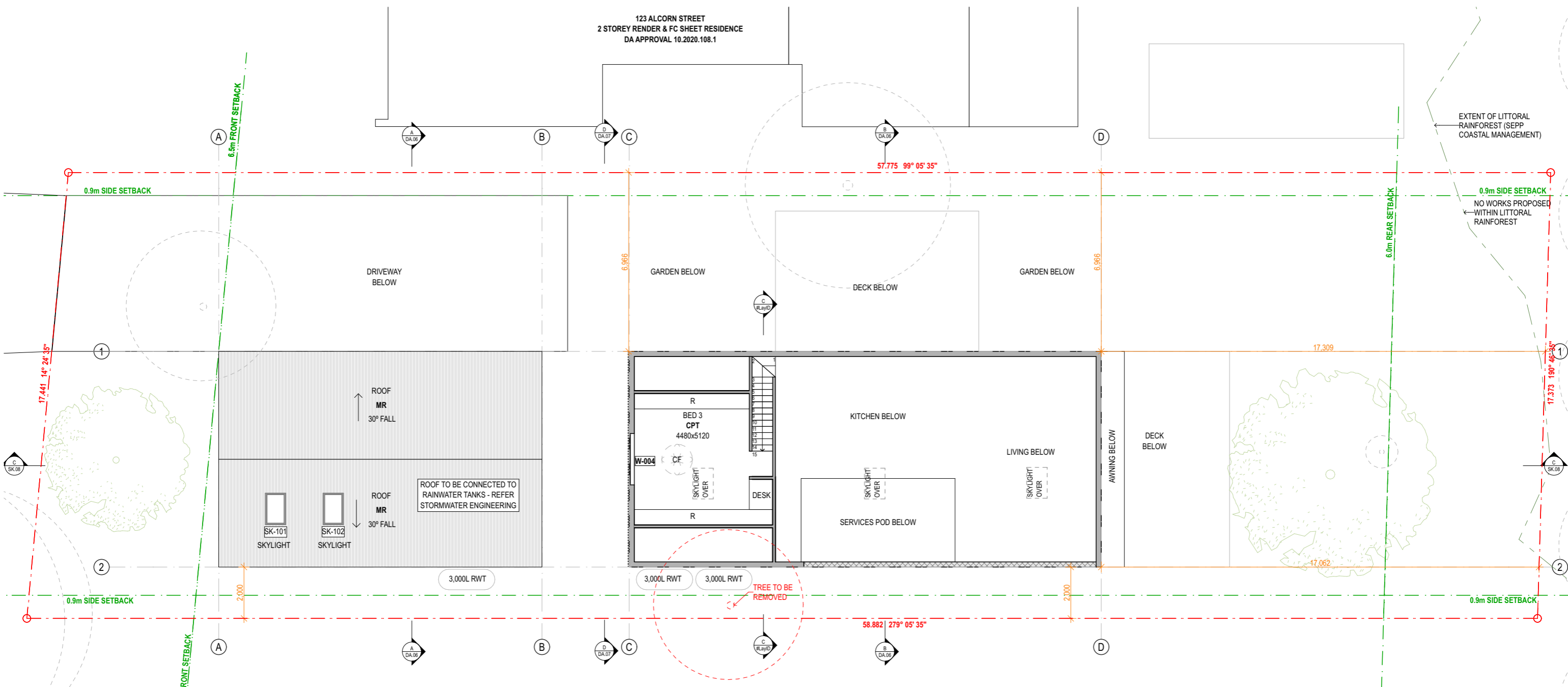
Revision

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 Address: 125 Alcorn St, Suffolk Park
 Title: Ground Floor Plan
 Scale: 1:150 at A3
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DA.03 D

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Legend - Demolition

Legend - Shadow Study

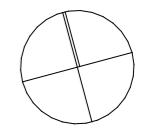
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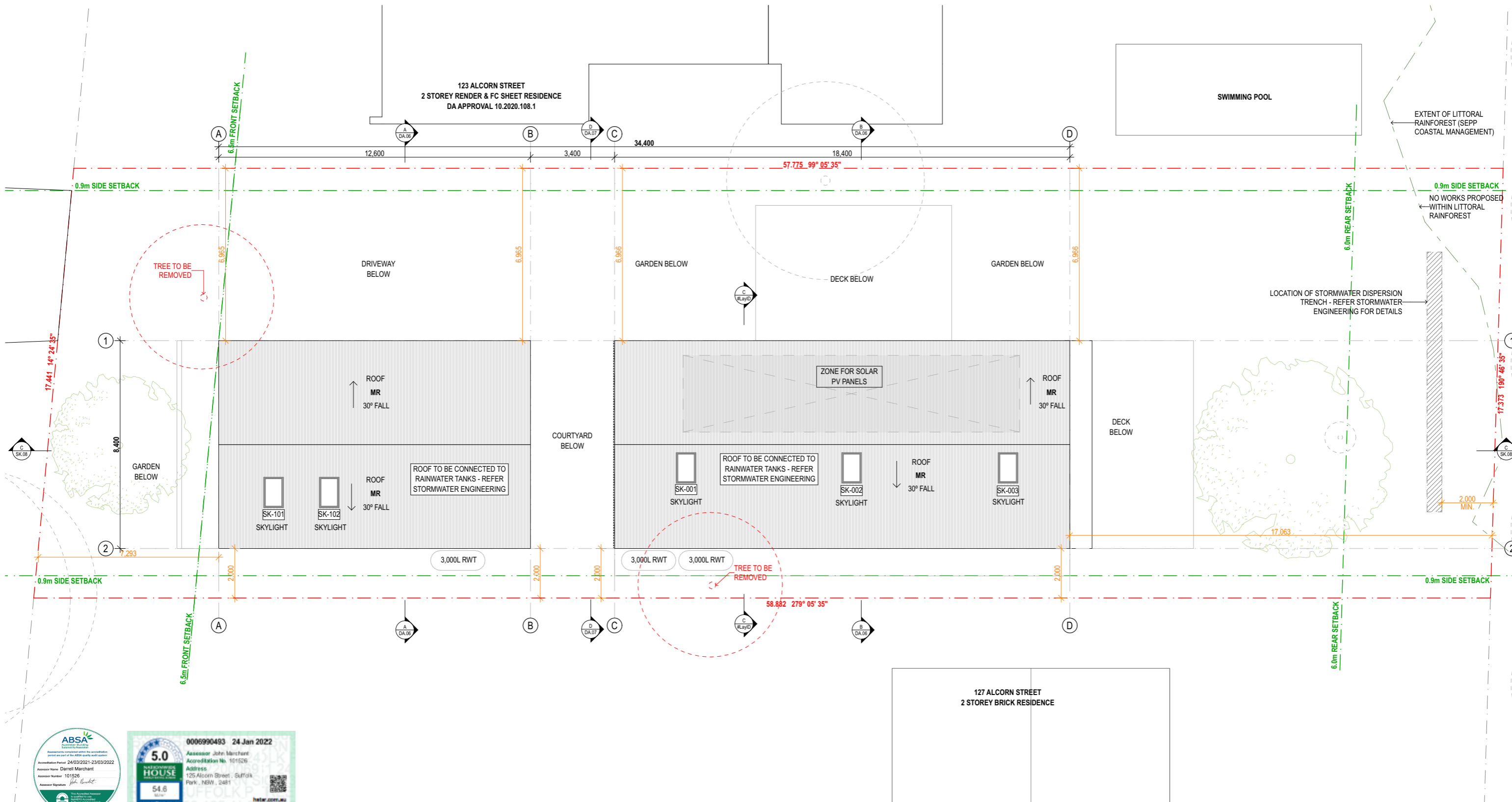
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Existing Construction

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Excavation Area

New Construction

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Additional Shadow cast on Private Open Space as a result of New Development

Reduction in Shadow cast on Private Open Space as a result of New Development

Private Open Space Area

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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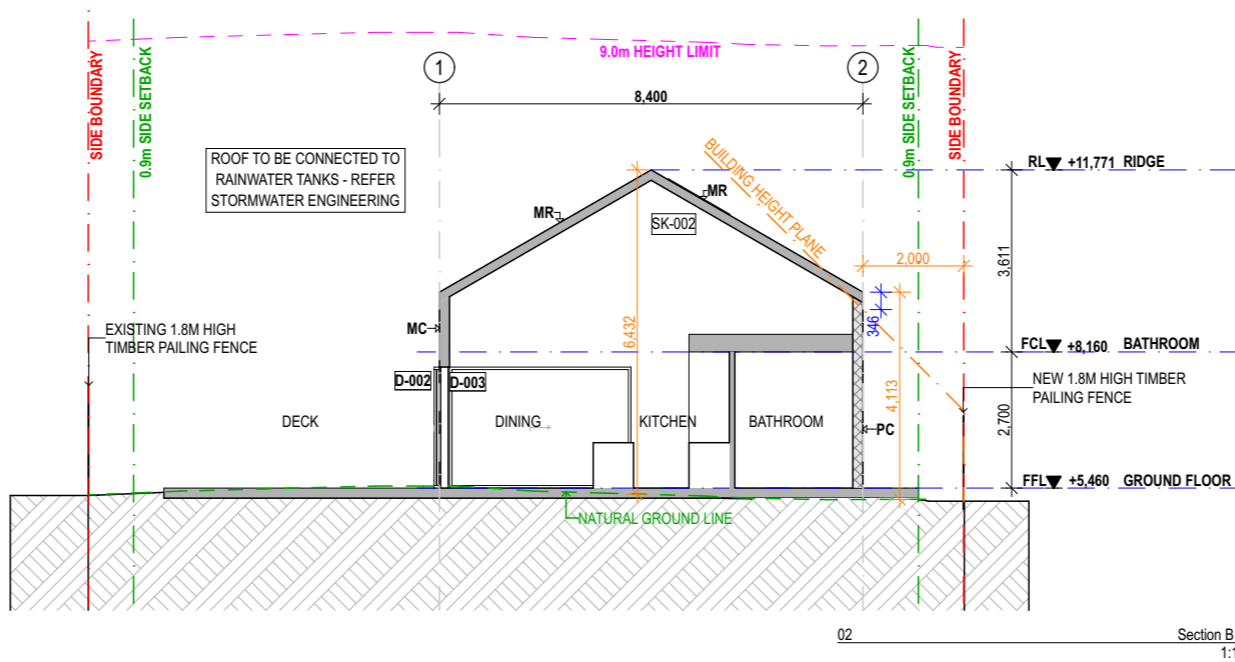
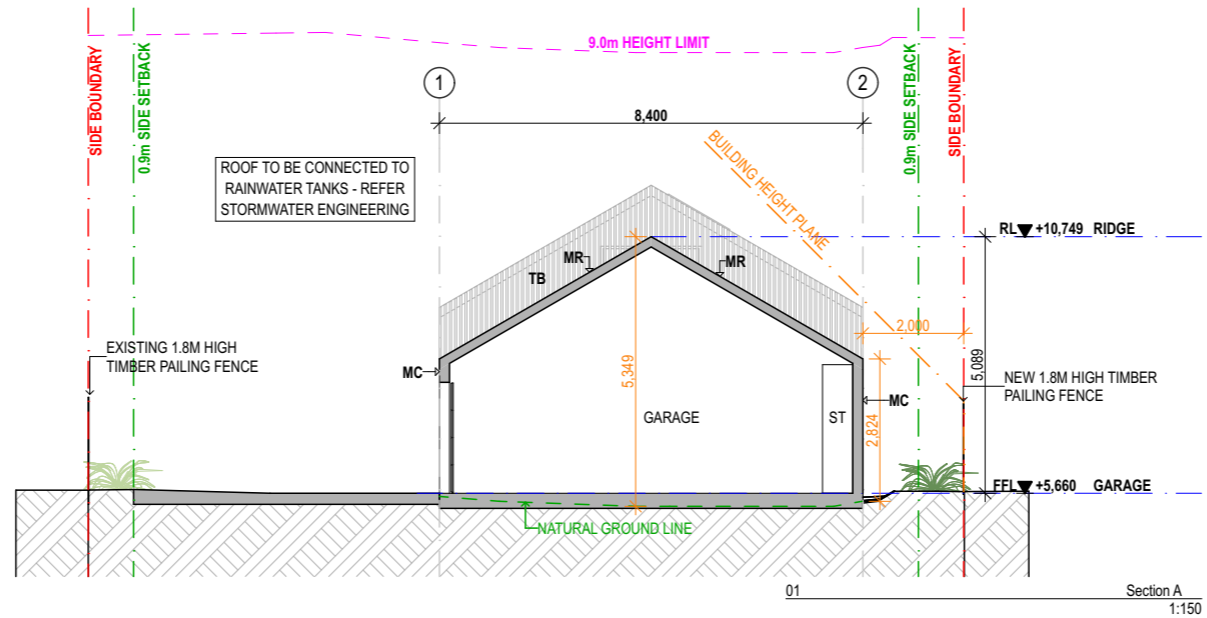
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 Scale: 1:150 at A3
 Drawn/Checked: KS / AE
 Issued: For Development Application

DA.05 D



- References
- Refer Survey Plan prepared by **Kennedy Surveying**
 - Refer BASIX Certificate prepared by **Partners Energy**
 - Refer Stormwater Plan prepared by **Charlie Hewitt Engineering Design**
 - Refer Statement of Environmental Effects prepared by **Planners North**

Legend - Codes

A/C	A/C Condenser	FW	Floor Waste
AHD	Australian Height Datum	G	Gate
CF	Ceiling fan 1200mm	HR	Hand Rail
CL	Centre Line	HWS	Hot Water System
COL	Column	LG	Louvre Glass
CONC	Concrete type -	OG	Opaque Glass
CPT	Carpet	PAV	Paver type -
DP	Down Pipe	PC	Polished Concrete
EG	Eaves Gutter	PR	Painted Render type -
F	Fence type -	PT	Pool Tile
FC	Fibre Cement	RWT	Rain Water Tank
FCL	Finished Ceiling Level	SG	Sliding Glass
FFL	Finished Floor Level	TF	Timber Flooring
FG	Fixed Glass	TOF	Top of Fence
FT	Floor Tile type -	TOW	Top of Wall

Thermal Performance Specifications

External Floors:
Concrete slab on ground - no insulation

Walls:
External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally)
Cavity panel - with vapour barrier (garage only)
External colour: Light colour
Internal Walls: Cavity panel - no insulation (generally)
Cavity panel - R2.5 90mm thick bulk insulation (between garage & living areas)

Roof:
Sheet metal roofing - 60mm reflective foil blanket (non ventilated)
External colour: Light colour

Ventilation:
Ceiling fans 1200mm diameter in all bedrooms and studio

Windows:
Given values are AFRC, total window system values (glass and frame)
U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)

Skylights:
U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Ceiling space with roof above:
Plasterboard ceiling - R2.5 insulation (raked ceiling)
Plasterboard ceiling - no insulation (garage)
Note: Rated with LED downlights which do not penetrate ceiling insulation (IC rated)

External shade:
900mm horizontal projection awning above D-003 & W-001 (as per elevations)

BASIX Commitments

Water: Rainwater Storage
Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap

Energy: Hot Water Systems
Electric storage

Alternative Energy
min. 2.2kW peak PV system

Legend - Demolition

Existing Construction

To be Demolished

Excavation Area

New Construction

Legend - Shadow Study

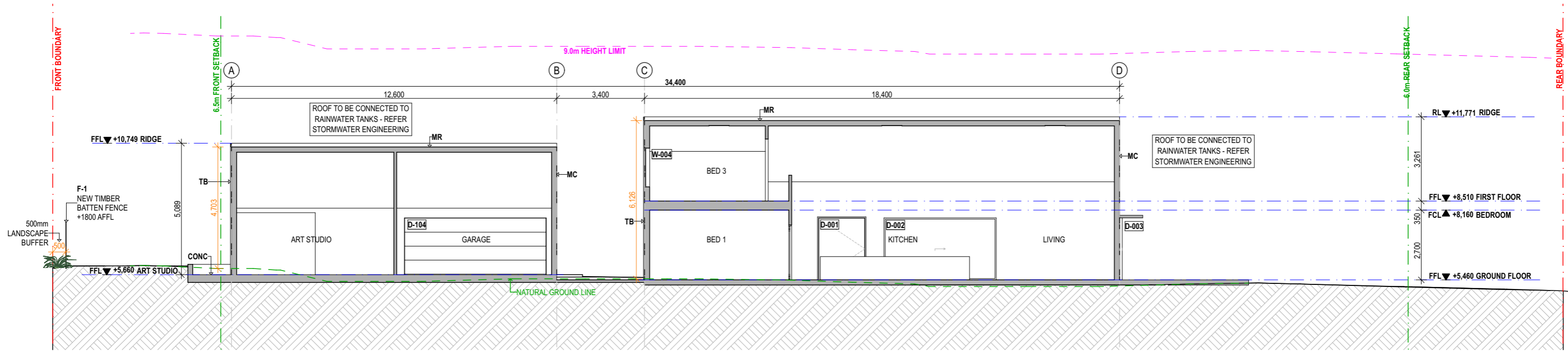
Shadow cast by Existing Building

Additional Shadow cast on Private Open Space as a result of New Development

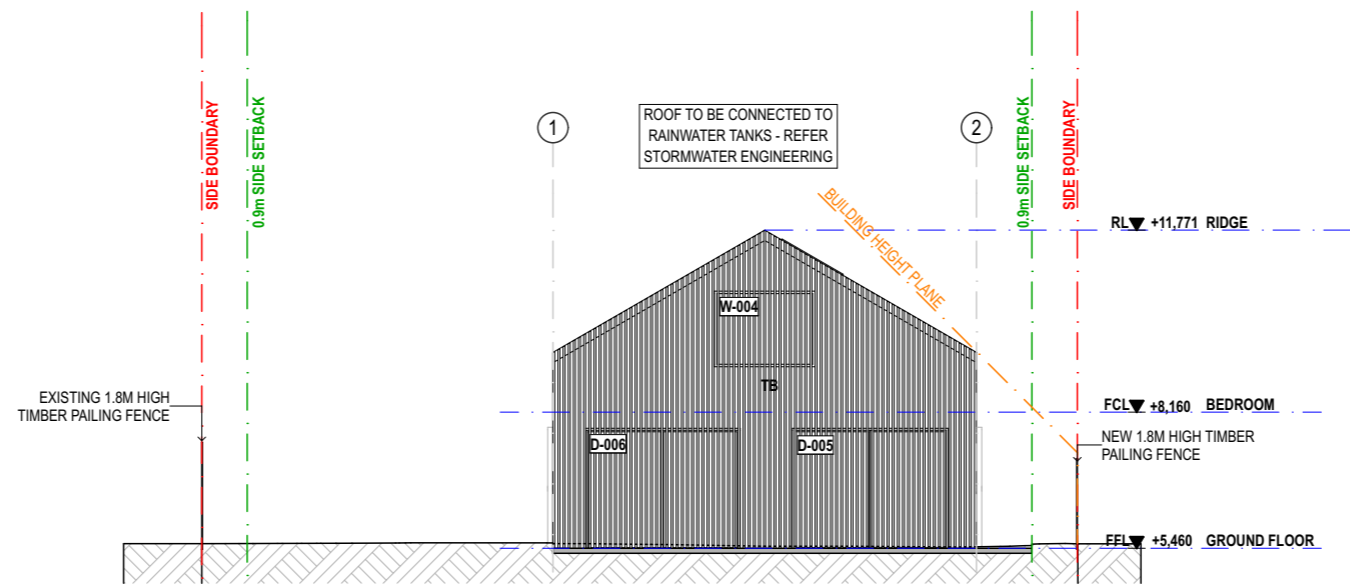
Reduction in Shadow cast on Private Open Space as a result of New Development

Private Open Space Area

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	Draft DA - For Review	8/9/21				
	C	For Development Application	KS	29/9/21			
	D	For Development Application	KS	5/11/21			
		THOSE 11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au				



01 Section C
1:150



02 Section D
1:150



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Energy: Hot Water Systems
 Electric storage

Alternative Energy
 min. 2.2kW peak PV system

Legend - Demolition

- Existing Construction
- To be Demolished
- Excavation Area
- New Construction

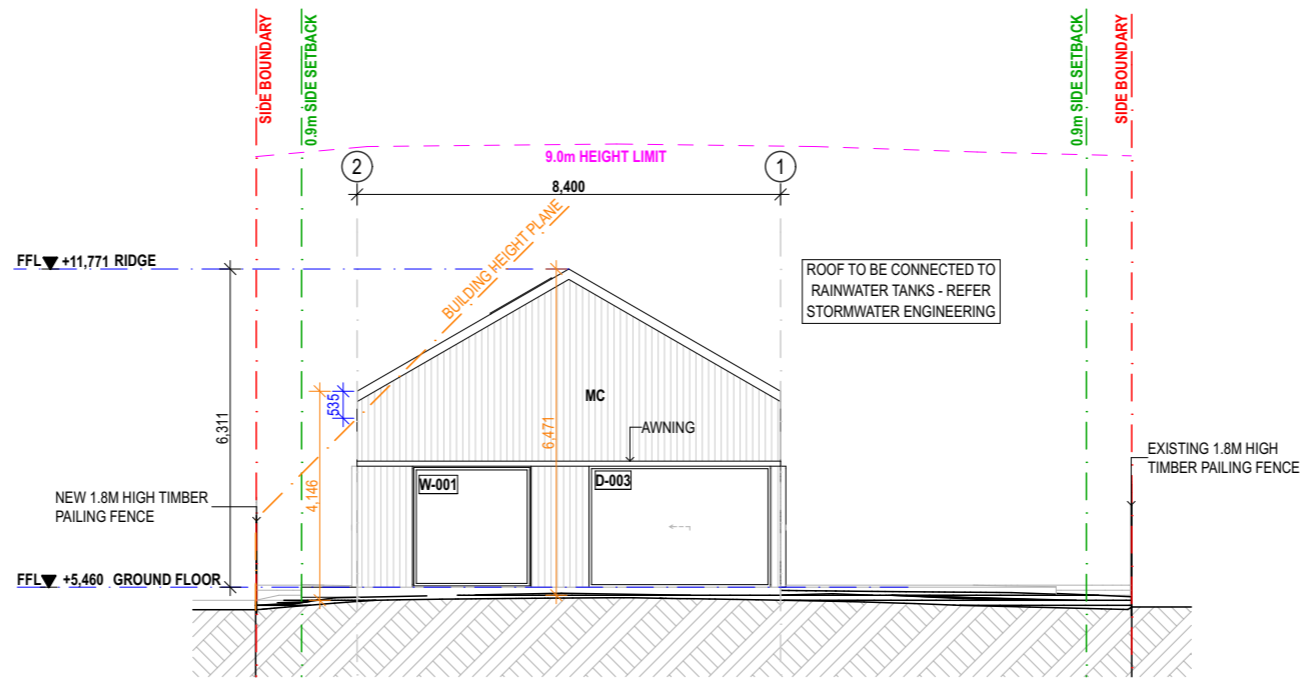
Legend - Shadow Study

- Shadow cast by Existing Building
- Additional Shadow cast on Private Open Space as a result of New Development
- Reduction in Shadow cast on Private Open Space as result of New Development
- Private Open Space Area

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	Draft DA - For Review					
	C	For Development Application	KS				
	D	For Development Application	KS				
			THOSE 11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au			



01 Northern Elevation 1:150



02 Eastern Elevation 1:150



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Energy: Hot Water Systems
 Electric storage

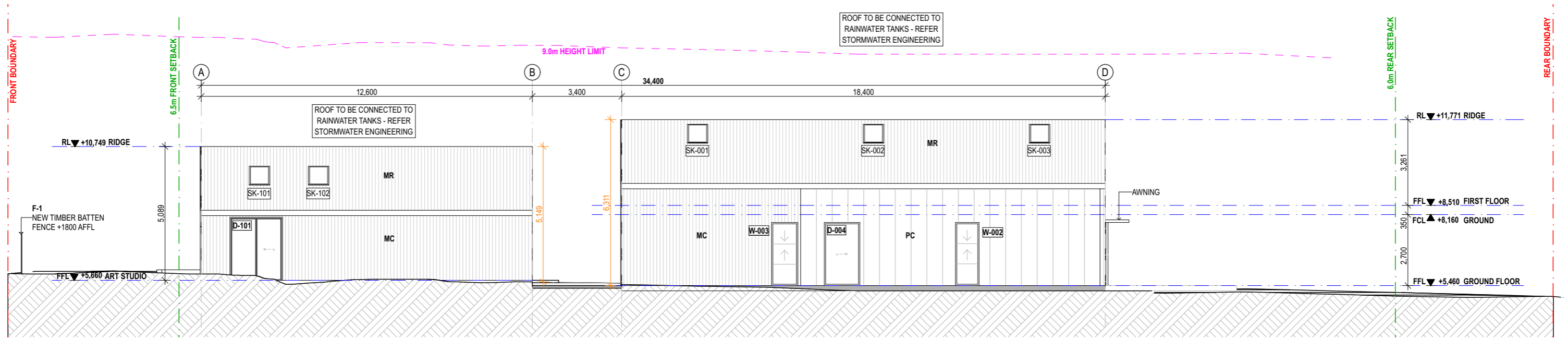
Alternative Energy
 min. 2.2kW peak PV system

Legend - Demolition

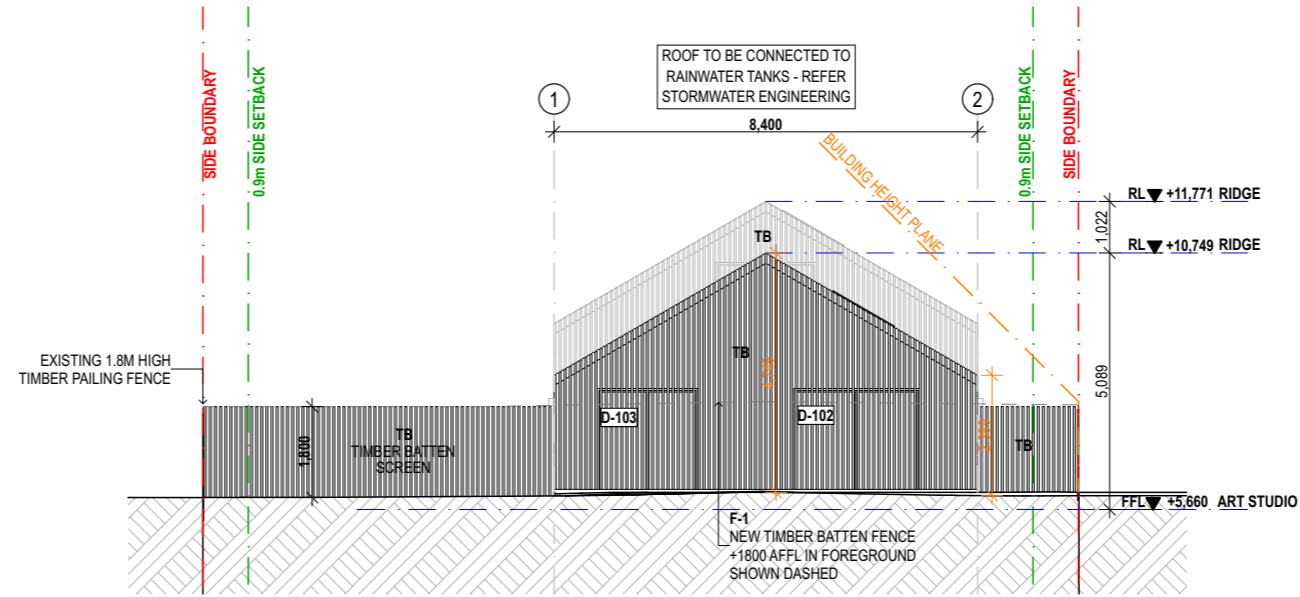
Legend - Shadow Study

	Existing Construction.		Shadow cast by Existing Building.
	To be Demolished.		Additional Shadow cast on Private Open Space as a result of New Development.
	Excavation Area.		Reduction in Shadow cast on Private Open Space as a result of New Development.
	New Construction.		Private Open Space Area.

Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	C	For Development Application					29/9/21
	D	For Development Application					5/11/21
		THOSE	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au	No. 21011 Address: 125 Alcorn St, Suffolk Park Title: Northern & Eastern Elevation Scale: 1:150 at A3 Drawn/Checked: KS / AE Issued: For Development Application	DA.08	D



01 Southern Elevation
1:150



02 Western Elevation
1:150



References
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 Electric storage

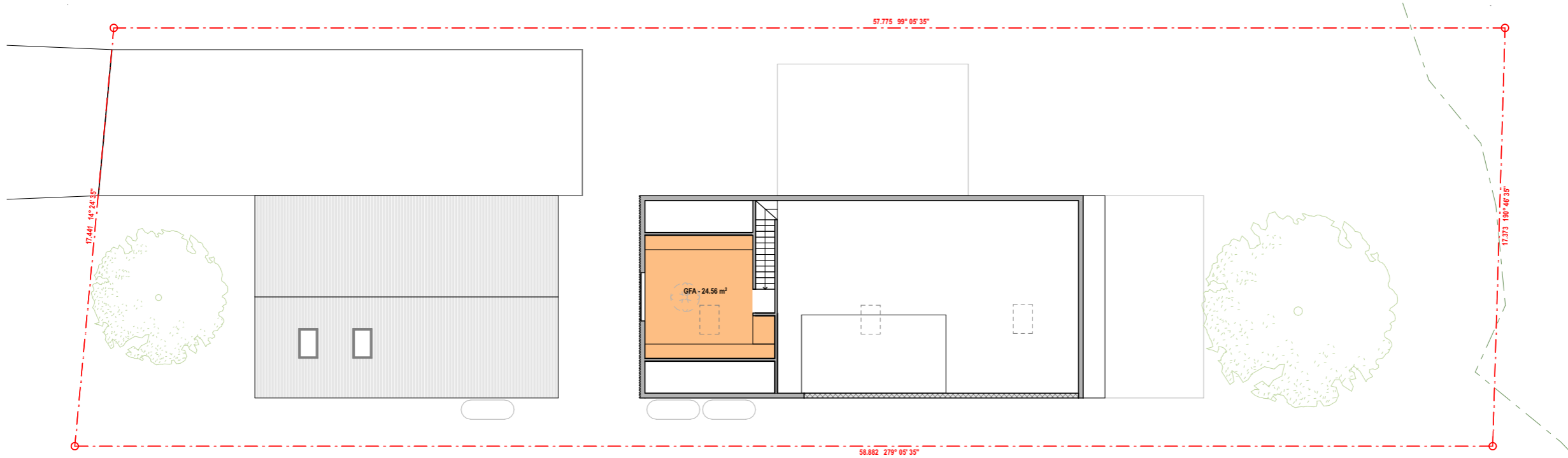
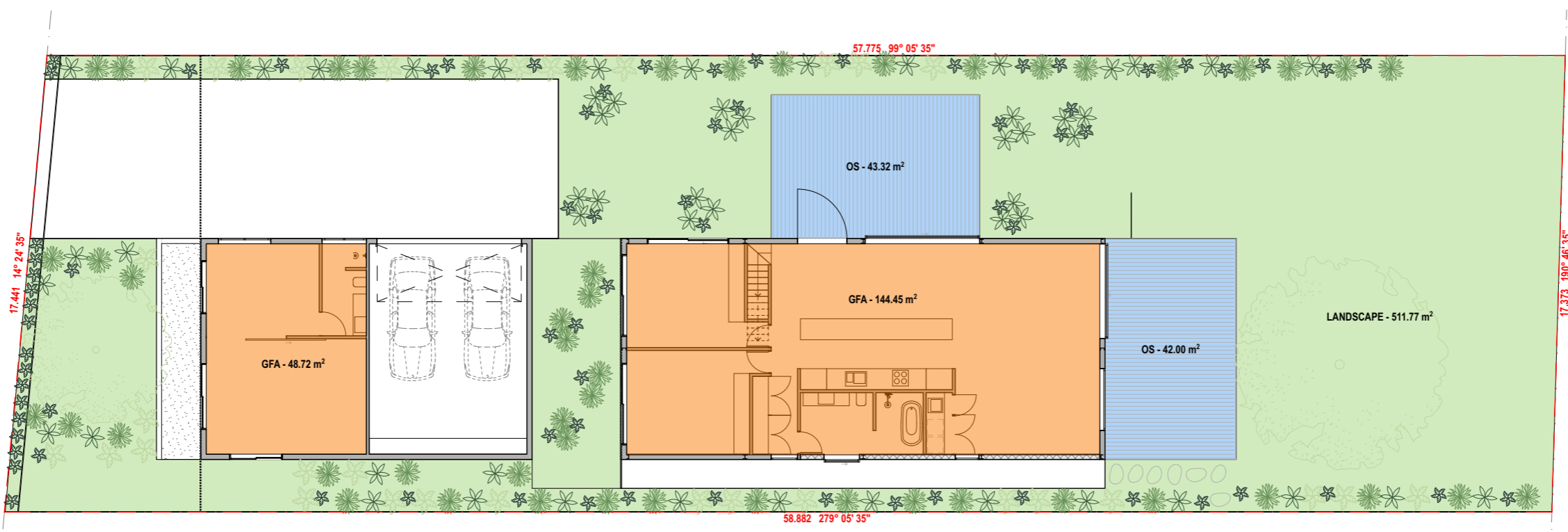
Alternative Energy
 min. 2.2kW peak PV system

Legend - Demolition

Legend - Shadow Study

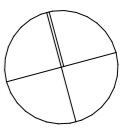
[Red hatched]	To be Demolished.	[Grey hatched]	Existing Construction.
[Red hatched]	Excavation Area.	[Red hatched]	Additional Shadow cast by Existing Building.
[Black hatched]	New Construction.	[Blue hatched]	Reduction in Shadow cast on Private Open Space as result of New Development.
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Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	Draft DA - For Review					8/9/21
	C	For Development Application	KS				29/9/21
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		THOSE 11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au		L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au			

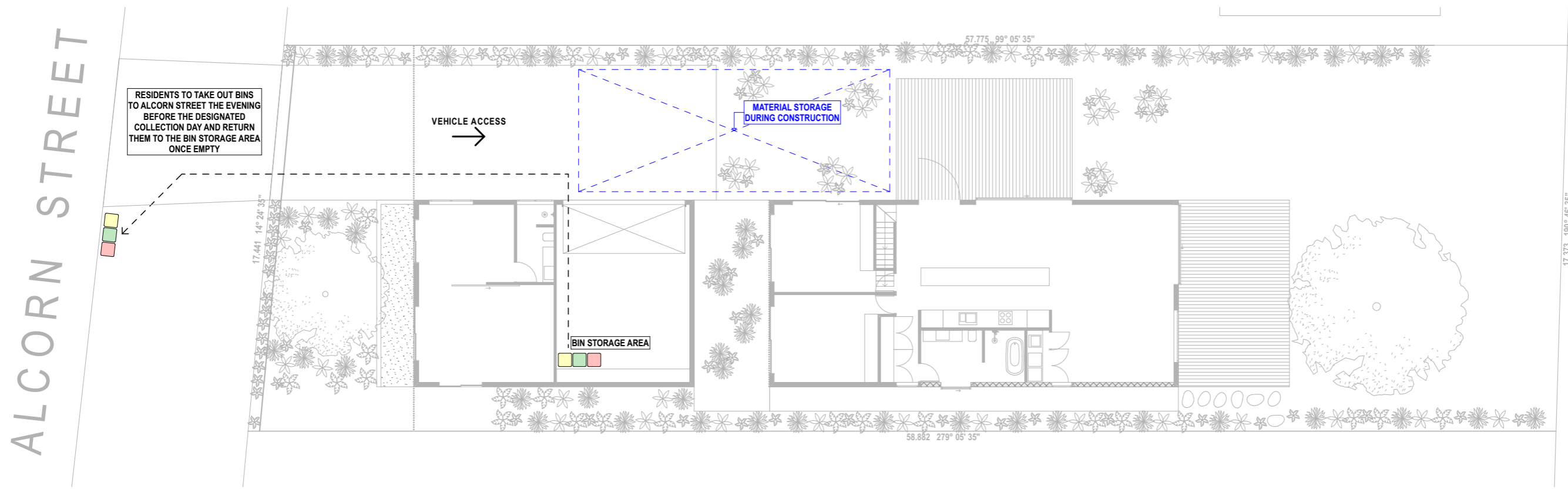


GFA Calculations		Proposed GFA	
Control			
Site Area:	1012.9 m2	Ground Floor	193.17 m2
Allowable FSR:	0.5:1 (506.45 m2)	First Floor	24.56 m2
		Proposed FSR:	0.21:1

Landscape Open Space Plan and Calculations			
Control		Proposed	
Landscape Area.	25% Overall Site - 253.22m ²	Landscape Area.	50.5% - 511.77m ²
Open Space	n/a	Open Space	85.32m ²



Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	Draft DA - For Review	8/9/21				
	C	For Development Application	KS 29/9/21				
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		THOSE 11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au				

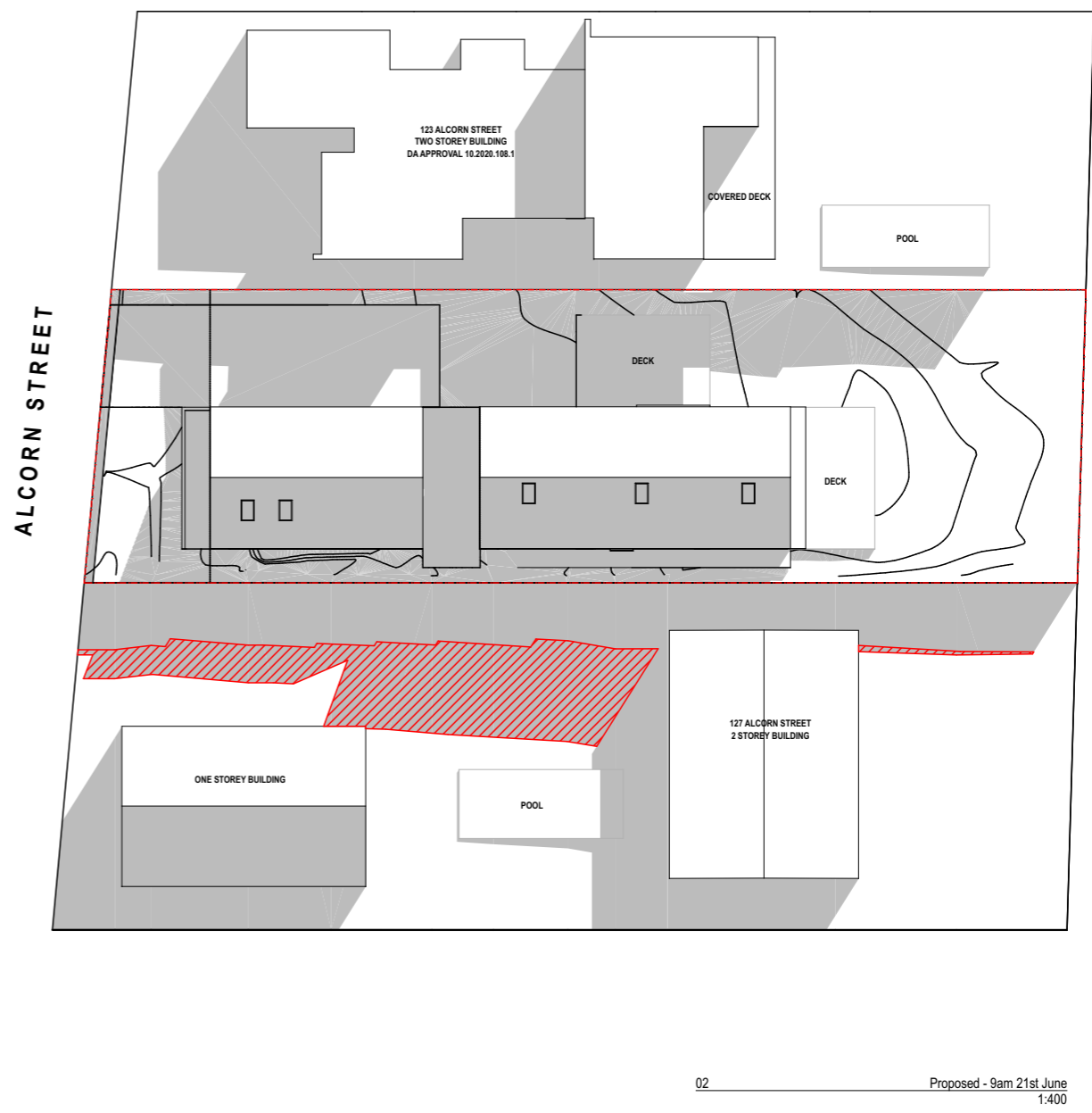
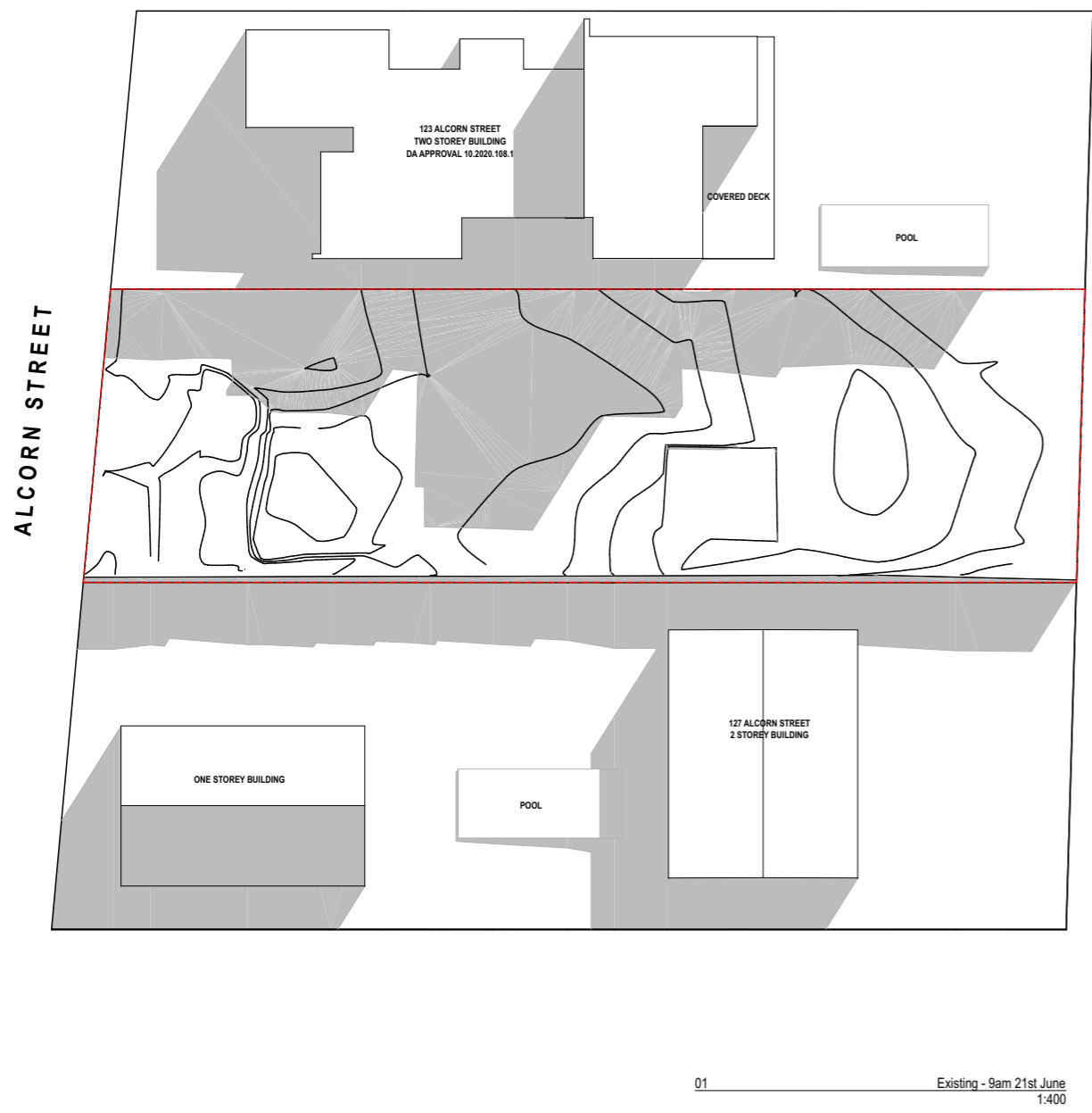


<p>References</p> <ul style="list-style-type: none"> Refer Survey Plan prepared by Kennedy Surveying Refer BASIX Certificate prepared by Partners Energy Refer Stormwater Plan prepared by Charlie Hewitt Engineering Design Refer Statement of Environmental Effects prepared by Planners North 	<p>Legend - Codes</p> <table border="0"> <tr><td>A/C</td><td>A/C Condenser</td><td>FW</td><td>Floor Waste</td></tr> <tr><td>AHD</td><td>Australian Height Datum</td><td>G</td><td>Gate</td></tr> <tr><td>CF</td><td>Ceiling fan 1200mm</td><td>HR</td><td>Hand Rail</td></tr> <tr><td>CL</td><td>Centre Line</td><td>HWS</td><td>Hot Water System</td></tr> <tr><td>COL</td><td>Column</td><td>LG</td><td>Louvre Glass</td></tr> <tr><td>CONC</td><td>Concrete type -</td><td>OG</td><td>Opaque Glass</td></tr> <tr><td>CPT</td><td>Carpet</td><td>PAV</td><td>Paver type -</td></tr> <tr><td>DP</td><td>Down Pipe</td><td>PC</td><td>Polished Concrete</td></tr> <tr><td>EG</td><td>Eaves Gutter</td><td>PR</td><td>Painted Render type -</td></tr> <tr><td>F</td><td>Fence type -</td><td>PT</td><td>Pool Tile</td></tr> <tr><td>FC</td><td>Fibre Cement</td><td>RWT</td><td>Rain Water Tank</td></tr> <tr><td>FCL</td><td>Finished Ceiling Level</td><td>SG</td><td>Sliding Glass</td></tr> <tr><td>FFL</td><td>Finished Floor Level</td><td>TF</td><td>Timber Flooring</td></tr> <tr><td>FG</td><td>Fixed Glass</td><td>TOF</td><td>Top of Fence</td></tr> <tr><td>FT</td><td>Floor Tile type -</td><td>TOW</td><td>Top of Wall</td></tr> </table>	A/C	A/C Condenser	FW	Floor Waste	AHD	Australian Height Datum	G	Gate	CF	Ceiling fan 1200mm	HR	Hand Rail	CL	Centre Line	HWS	Hot Water System	COL	Column	LG	Louvre Glass	CONC	Concrete type -	OG	Opaque Glass	CPT	Carpet	PAV	Paver type -	DP	Down Pipe	PC	Polished Concrete	EG	Eaves Gutter	PR	Painted Render type -	F	Fence type -	PT	Pool Tile	FC	Fibre Cement	RWT	Rain Water Tank	FCL	Finished Ceiling Level	SG	Sliding Glass	FFL	Finished Floor Level	TF	Timber Flooring	FG	Fixed Glass	TOF	Top of Fence	FT	Floor Tile type -	TOW	Top of Wall	<p>Thermal Performance Specifications</p> <p>External Floors: Concrete slab on ground - no insulation</p> <p>Walls: External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally) Cavity panel - with vapour barrier (garage only)</p> <p>External colour: Light colour Internal Walls: Cavity panel - no insulation (generally) Cavity panel - R2.5 90mm thick bulk insulation (between garage & living areas)</p> <p>Roof: Sheet metal roofing - 60mm reflective foil blanket (non ventilated) External colour: Light colour</p> <p>Ventilation: Ceiling fans 1200mm diameter in all bedrooms and studio</p>	<p>Windows: Given values are AFRC, total window system values (glass and frame) U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)</p> <p>Skylights: U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal</p> <p>Ceiling space with roof above: Plasterboard ceiling - R2.5 insulation (raked ceiling) Plasterboard ceiling - no insulation (garage)</p> <p>External shade: 900mm horizontal projection awning above D-003 & W-001 (as per elevations)</p>	<p>BASIX Commitments</p> <p>Water: Rainwater Storage Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap</p> <p>Energy: Hot Water Systems Electric storage Alternative Energy min. 2.2kW peak PV system</p>	<p>Legend - Demolition</p> <ul style="list-style-type: none"> Existing Construction. To be Demolished. Excavation Area. New Construction. 	<p>Legend - Shadow Study</p> <ul style="list-style-type: none"> Shadow cast by Existing Building. Additional Shadow cast on Private Open Space as a result of New Development. Reduction in Shadow cast on Private Open Space as result of New Development. Private Open Space Area.
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A	Draft DA - For Review	10/8/21													
B	For Development Application	29/9/21													
C	For Development Application	5/11/21													



0006990493 24 Jan 2022
 Assessor John Marchant
 Accreditation No. 101526
 Address: 125 Alcorn Street, Suffolk Park, NSW, 2481
 Assessor Number: 101526
 Assessor Signature: *John Marchant*



References
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 Refer BASIX Certificate prepared by **Partners Energy**
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Legend - Codes

A/C	A/C Condenser	FW	Floor Waste
AHD	Australian Height Datum	G	Gate
CF	Ceiling fan 1200mm	HR	Hand Rail
CL	Centre Line	HWS	Hot Water System
COL	Column	LG	Louvre Glass
CONC	Concrete type -	OG	Opaque Glass
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FC	Fibre Cement	RWT	Rain Water Tank
FCL	Finished Ceiling Level	SG	Sliding Glass
FFL	Finished Floor Level	TF	Timber Flooring
FG	Fixed Glass	TOF	Top of Fence
FT	Floor Tile type -	TOW	Top of Wall

Thermal Performance Specifications

External Floors:
 Concrete slab on ground - no insulation

Walls:
 External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally)
 Cavity panel - with vapour barrier (garage only)
 External colour: Light colour
 Internal Walls: Cavity panel - no insulation (generally)
 Cavity panel - R2.5 90mm thick bulk insulation (between garage & living areas)

Roof:
 Sheet metal roofing - 60mm reflective foil blanket (non ventilated)
 External colour: Light colour

Ventilation:
 Ceiling fans 1200mm diameter in all bedrooms and studio

Windows:
 Given values are AFRC, total window system values (glass and frame)
 U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)

Walls:
 U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Skylights:
 U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Ceiling space with roof above:
 Plasterboard ceiling - R2.5 insulation (raked ceiling)
 Plasterboard ceiling - no insulation (garage)
 Note: Rated with LED downlights which do not penetrate ceiling insulation (IC rated)

External shade:
 900mm horizontal projection awning above D-003 & W-001 (as per elevations)

BASIX Commitments

Water: Rainwater Storage
 Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap

Energy: Hot Water Systems
 Electric storage
 Alternative Energy
 min. 2.2kW peak PV system

Legend - Demolition

Existing Construction

To be Demolished

Excavation Area

New Construction

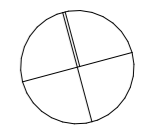
Legend - Shadow Study

Shadow cast by Existing Building

Additional Shadow cast on Private Open Space as a result of New Development

Reduction in Shadow cast on Private Open Space as result of New Development

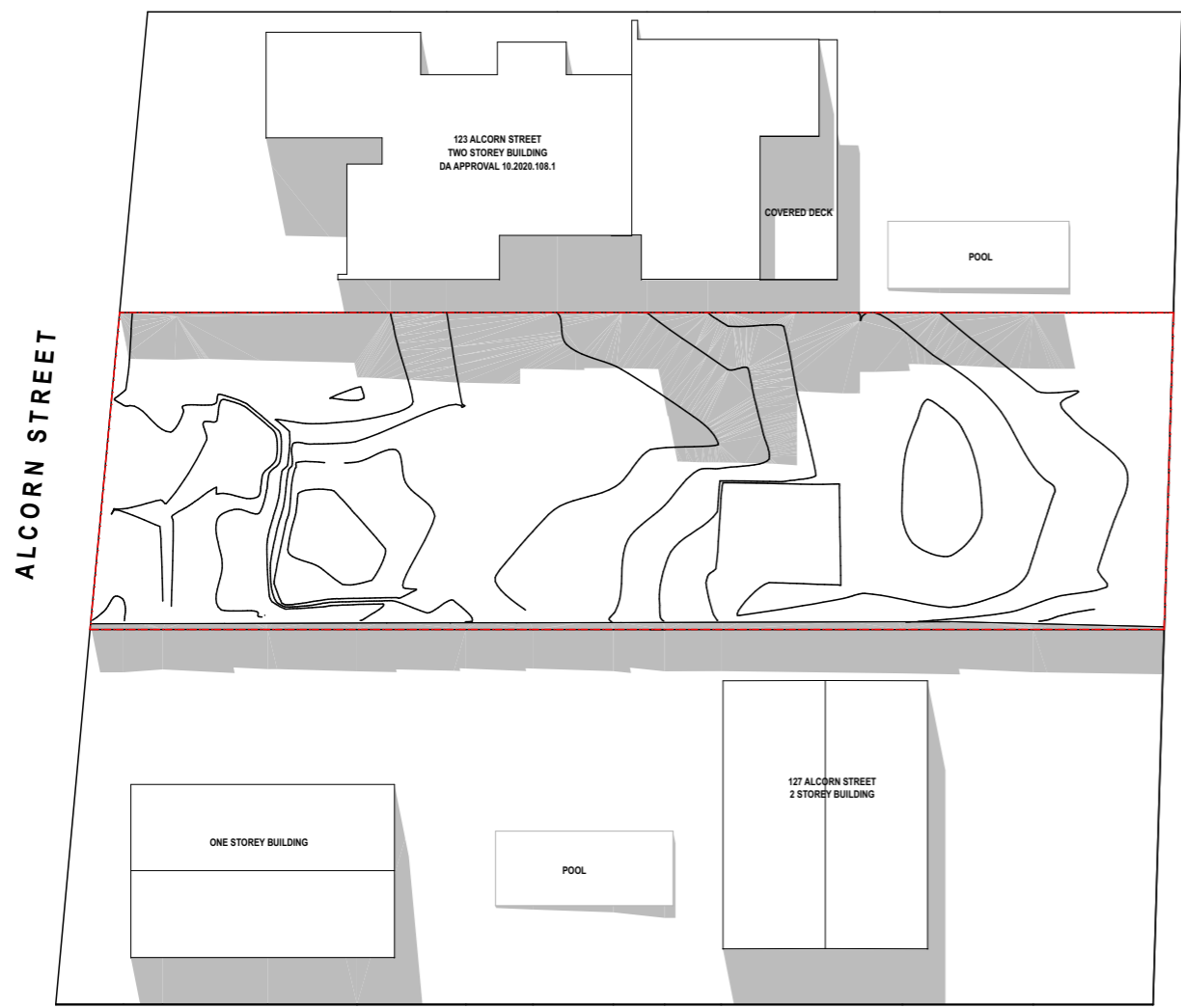
Private Open Space Area



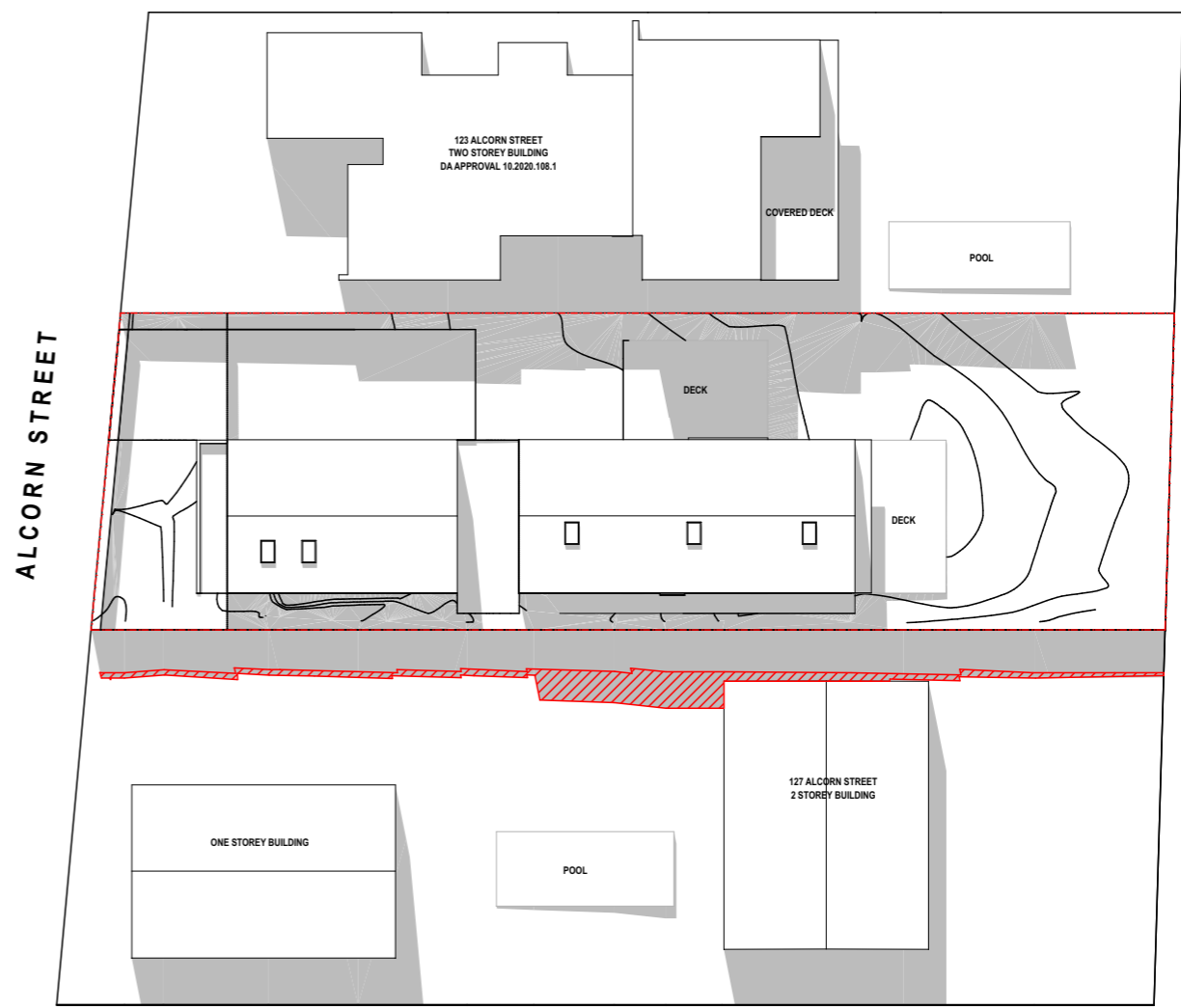
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	B	For Development Application	KS	29/9/21			
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		THOSE	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au			



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01 Existing - 12pm 21st June 1:400



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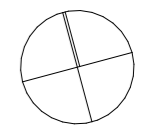
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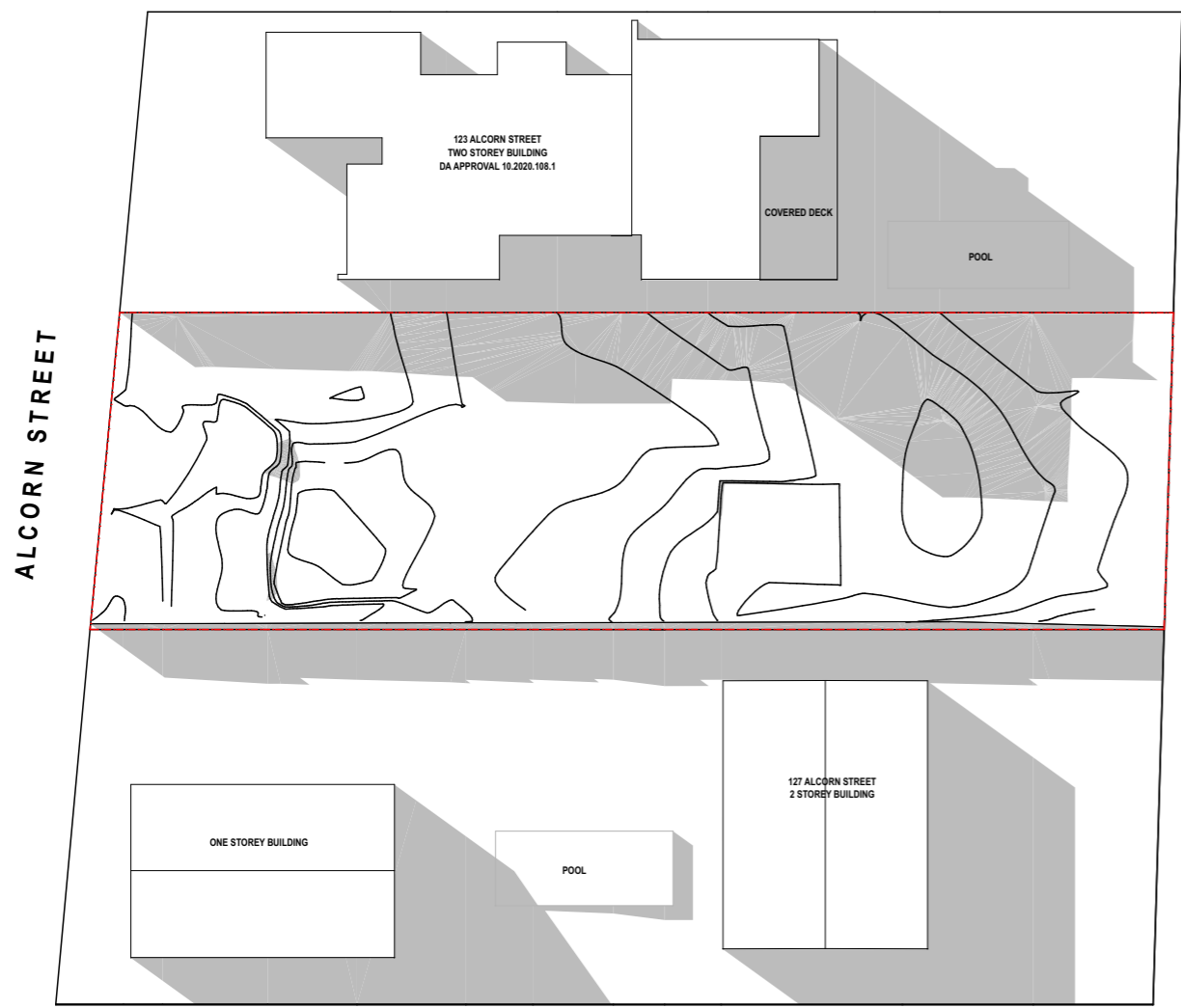
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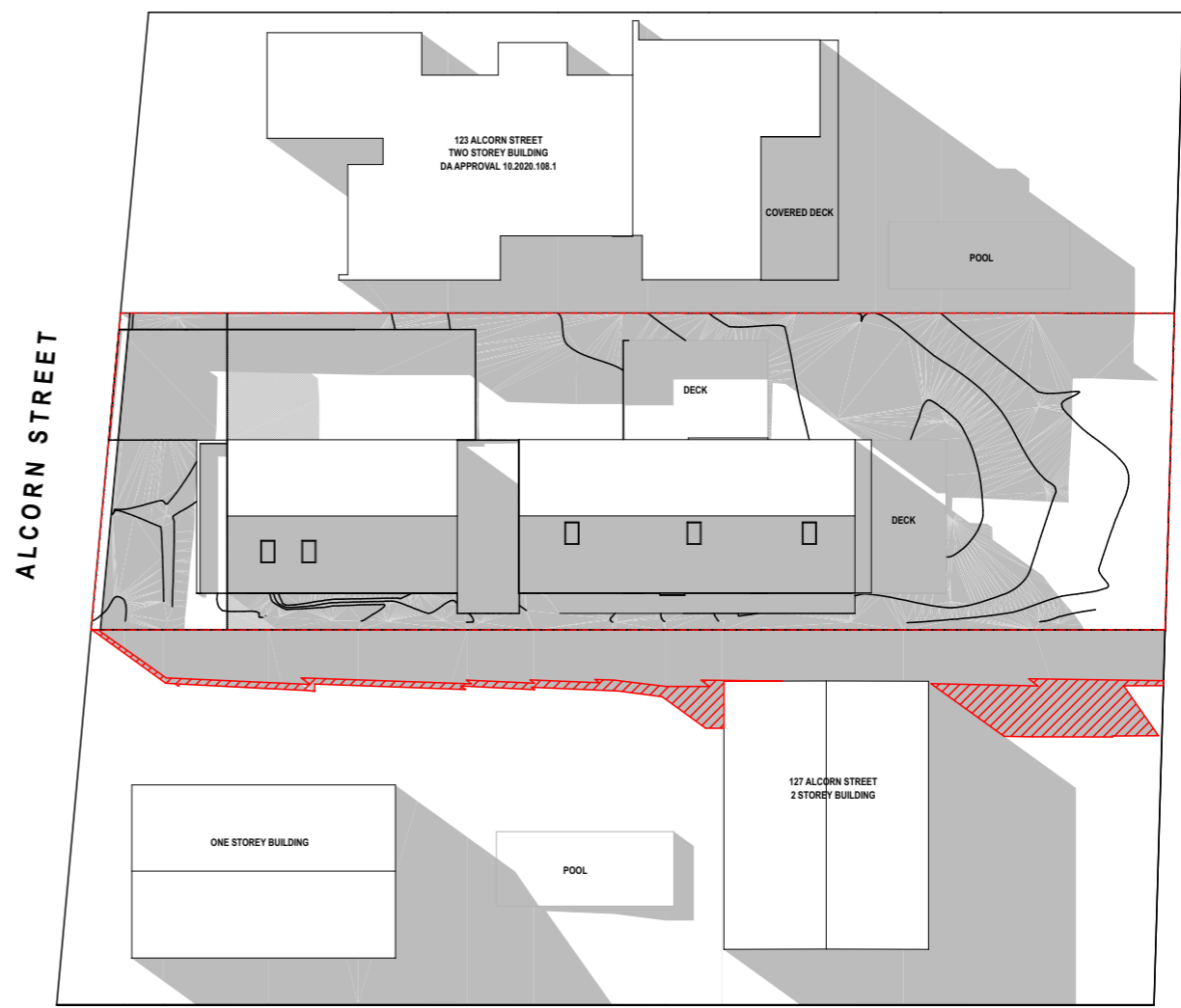
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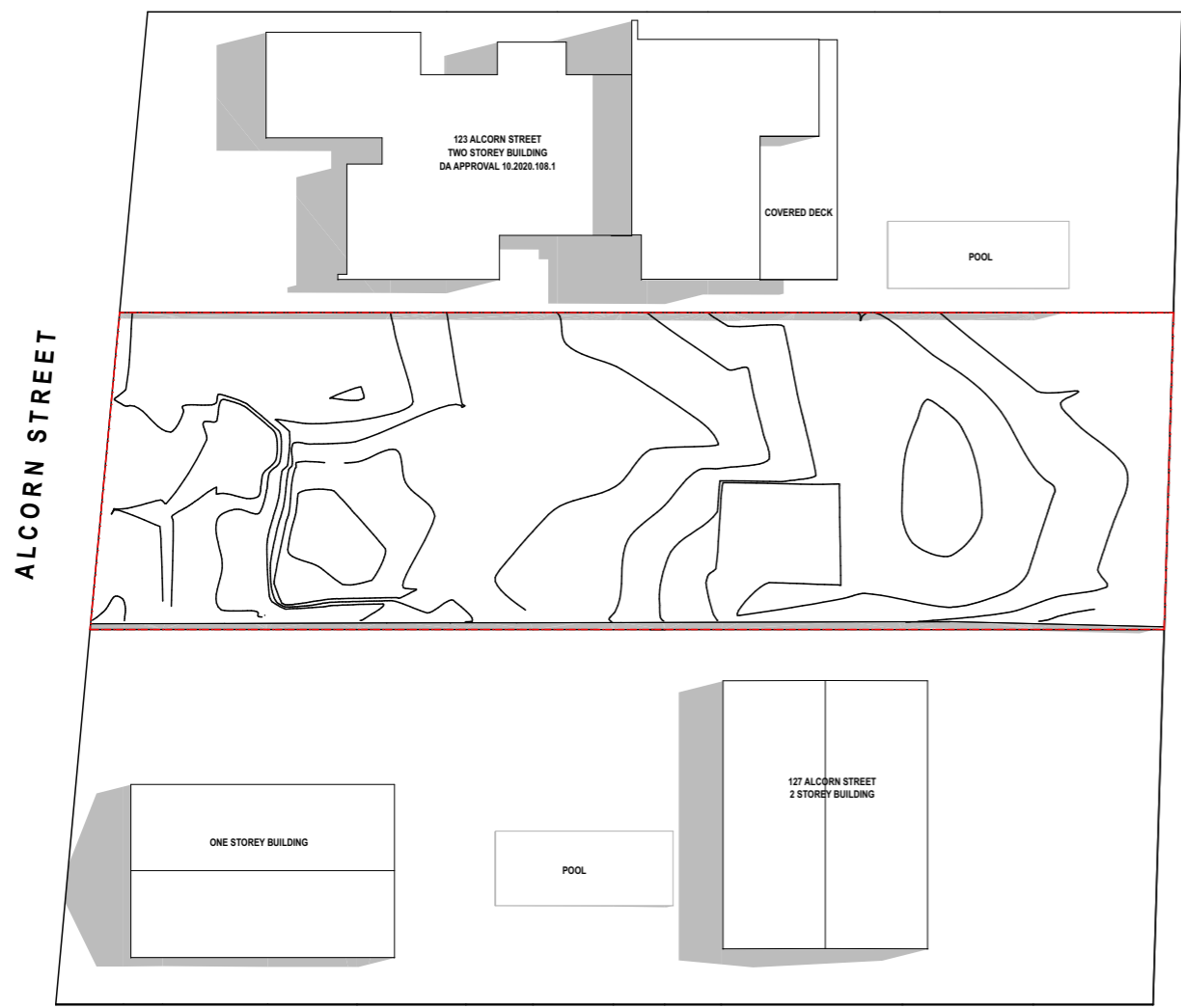
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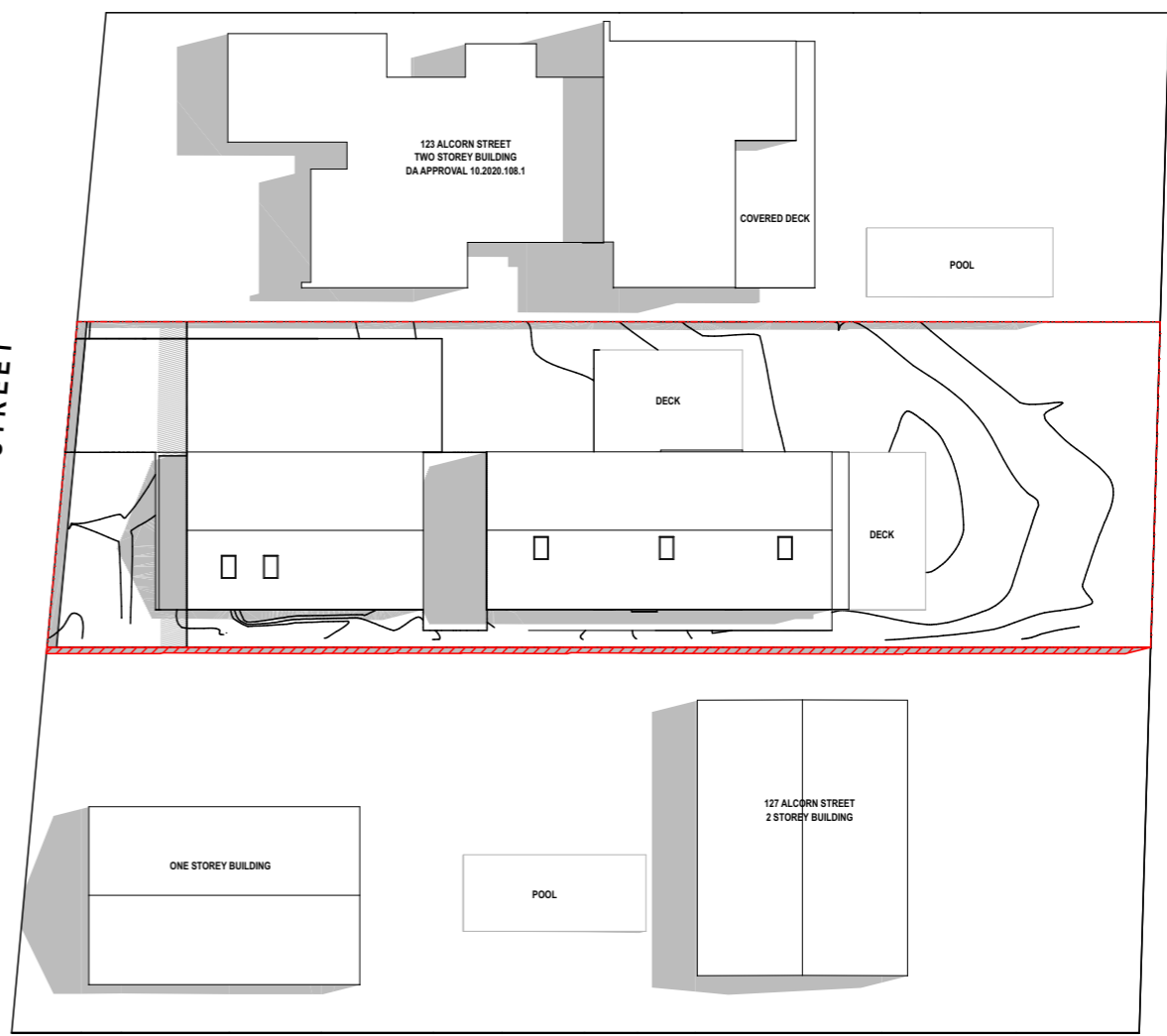
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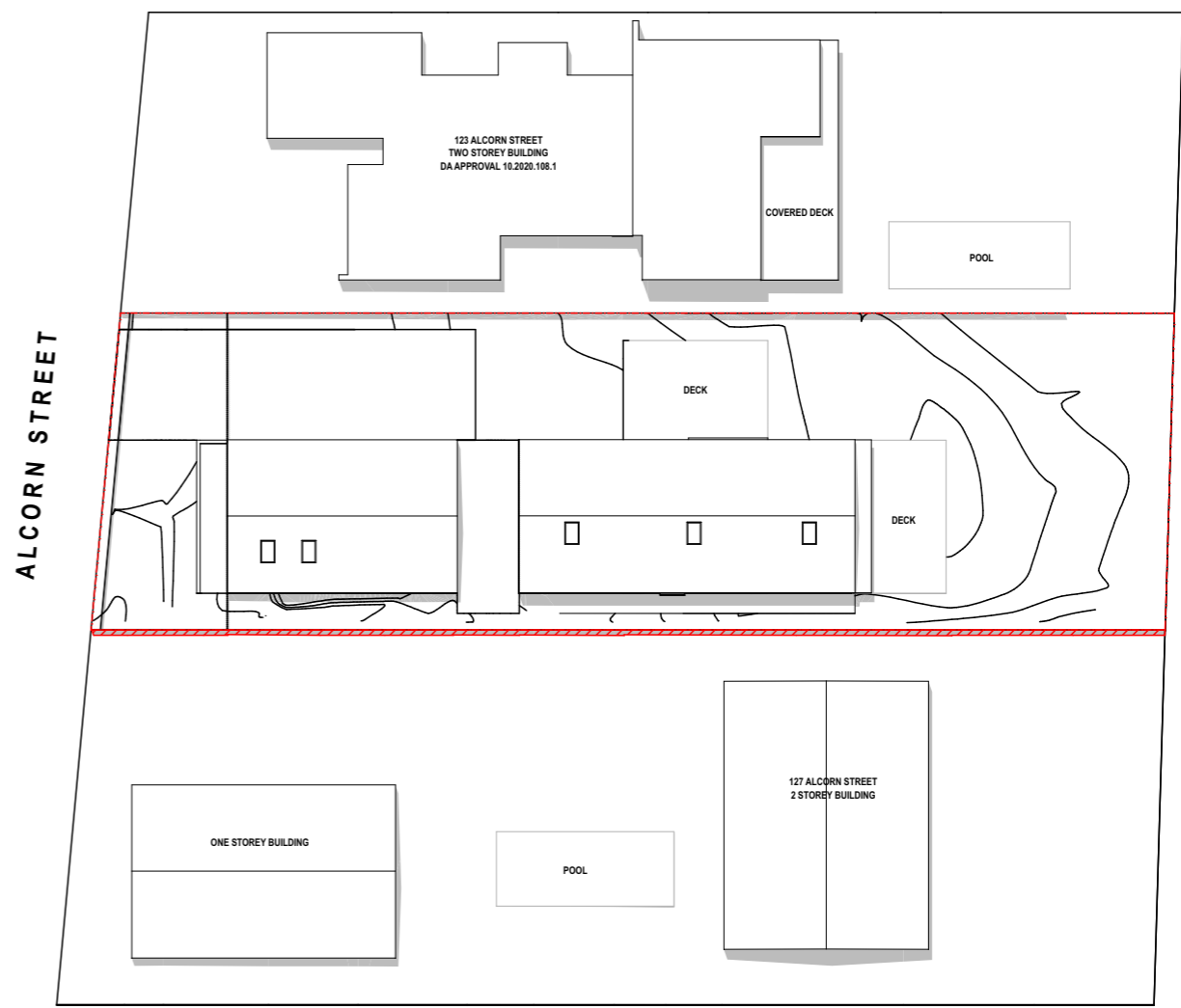
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Thermal Performance Specifications

External Floors:
 Concrete slab on ground - no insulation

Walls:
 External Walls: Cavity panel - R2.5 90mm thick bulk insulation with vapour barrier (generally)
 Cavity panel - with vapour barrier (garage only)
 External colour: Light colour
 Internal Walls: Cavity panel - no insulation (generally)
 Cavity panel - R2.5 90mm thick bulk insulation (between garage & living areas)

Roof:
 Sheet metal roofing - 60mm reflective foil blanket (non ventilated)
 External colour: Light colour

Ventilation:
 Ceiling fans 1200mm diameter in all bedrooms and studio

Windows:
 Given values are AFRC, total window system values (glass and frame)
 U-Value: 6.70 (or less than) SHGC: 0.70 (±5%) (Typically: Plain clear glass in AL frame)

Skylights:
 U-Value: 2.60 (or less than) SHGC: 0.24 (±5%) Double glazed opal

Ceiling space with roof above:
 Plasterboard ceiling - R2.5 insulation (raked ceiling)
 Plasterboard ceiling - no insulation (garage)
 Note: Rated with LED downlights which do not penetrate ceiling insulation (IC rated)

External shade:
 900mm horizontal projection awning above D-003 & W-001 (as per elevations)

BASIX Commitments

Water: Rainwater Storage Install min. 9,000L rain water tank to collect rain runoff from at least 200m² of roof area and connected to an outdoor tap

Energy: Hot Water Systems Electric storage
 Alternative Energy min. 2.2kW peak PV system

Legend - Demolition

Existing Construction

To be Demolished

Excavation Area

New Construction

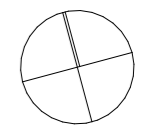
Legend - Shadow Study

Shadow cast by Existing Building

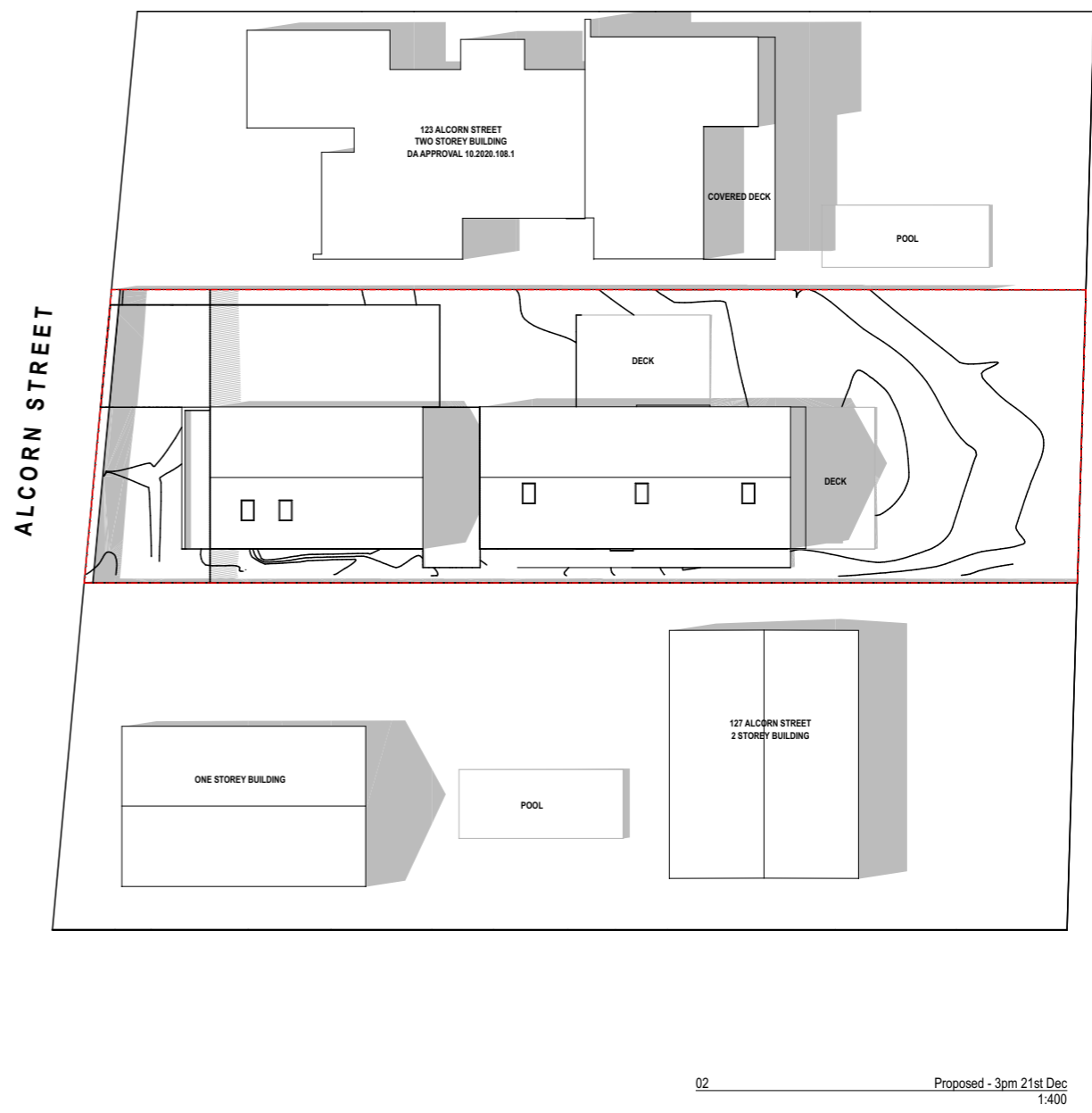
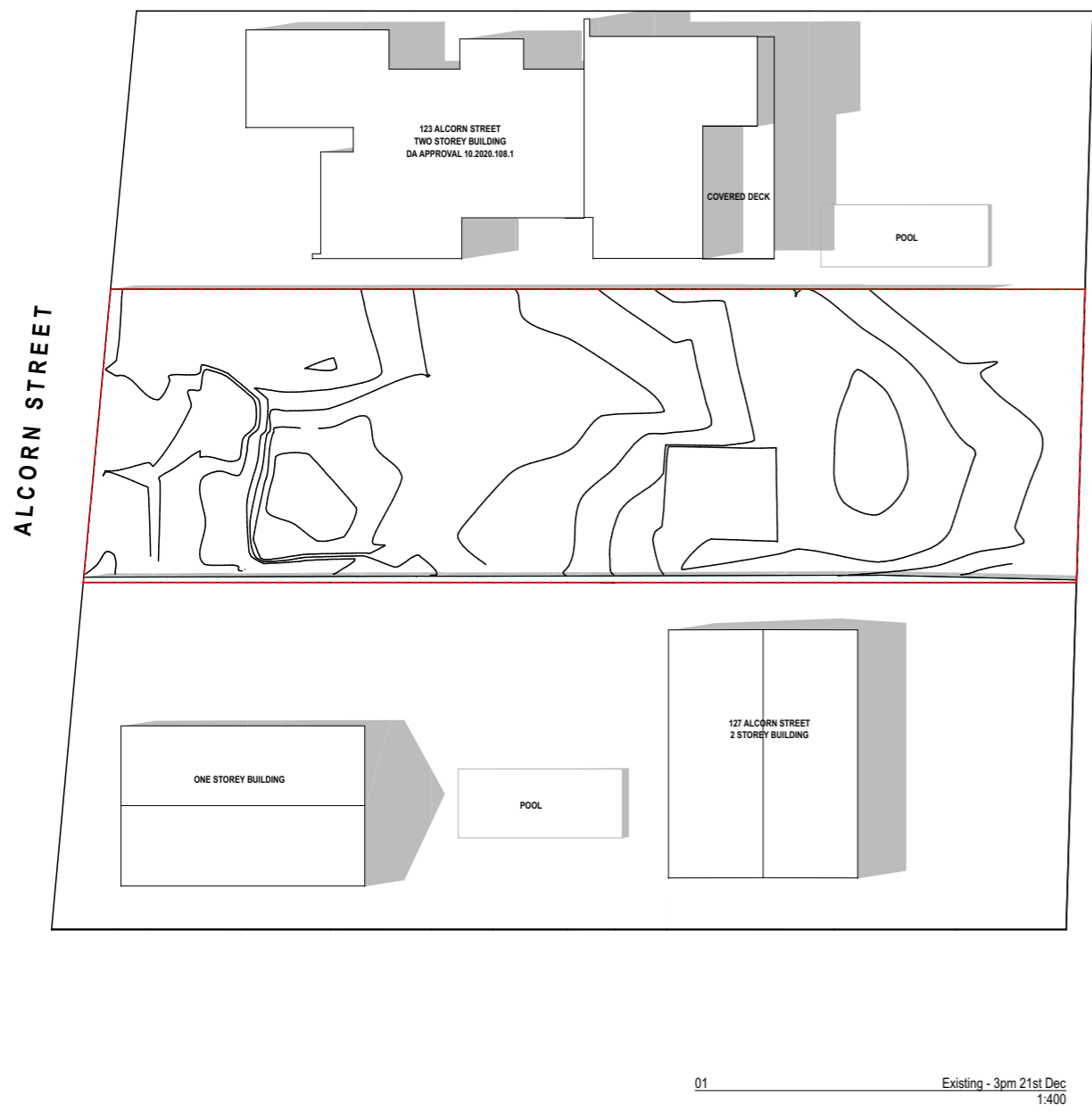
Additional Shadow cast on Private Open Space as a result of New Development

Reduction in Shadow cast on Private Open Space as result of New Development

Private Open Space Area



Notes	Revision / Issue	Those Architects Pty Ltd	Byron Bay	Sydney	Document / Project	Drawing	Revision
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	B	For Development Application	KS	29/9/21			
	C	For Development Application	KS	5/11/21			
		THOSE	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au			



- References
- Refer Survey Plan prepared by **Kennedy Surveying**
 - Refer BASIX Certificate prepared by **Partners Energy**
 - Refer Stormwater Plan prepared by **Charlie Hewitt Engineering Design**
 - Refer Statement of Environmental Effects prepared by **Planners North**

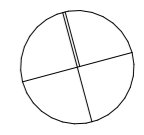
- Legend - Codes
- | | | | |
|------|-------------------------|-----|-----------------------|
| A/C | A/C Condenser | FW | Floor Waste |
| AHD | Australian Height Datum | G | Gate |
| CF | Ceiling fan 1200mm | HR | Hand Rail |
| CL | Centre Line | HWS | Hot Water System |
| COL | Column | LG | Louvre Glass |
| CONC | Concrete type - | OG | Opaque Glass |
| CPT | Carpet | PAV | Paver type - |
| DP | Down Pipe | PC | Polished Concrete |
| EG | Eaves Gutter | PR | Painted Render type - |
| F | Fence type - | PT | Pool Tile |
| FC | Fibre Cement | RWT | Rain Water Tank |
| FCL | Finished Ceiling Level | SG | Sliding Glass |
| FFL | Finished Floor Level | TF | Timber Flooring |
| FG | Fixed Glass | TOF | Top of Fence |
| FT | Floor Tile type - | TOW | Top of Wall |

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		THOSE	11 Wareham Street, Byron Bay NSW 2481 +61 416 235 661 byron@thosearchitects.com.au	L4, 80 Cooper St Surry Hills NSW 2010 +61 414 494 837 sydney@thosearchitects.com.au	No. 21011 Address: 125 Alcorn St, Suffolk Park Title: Shadow Diagrams - 3pm 21st December Scale: 1:400 at A3 Drawn/Checked: KS / AE Issued: For Development Application	DA.17	C