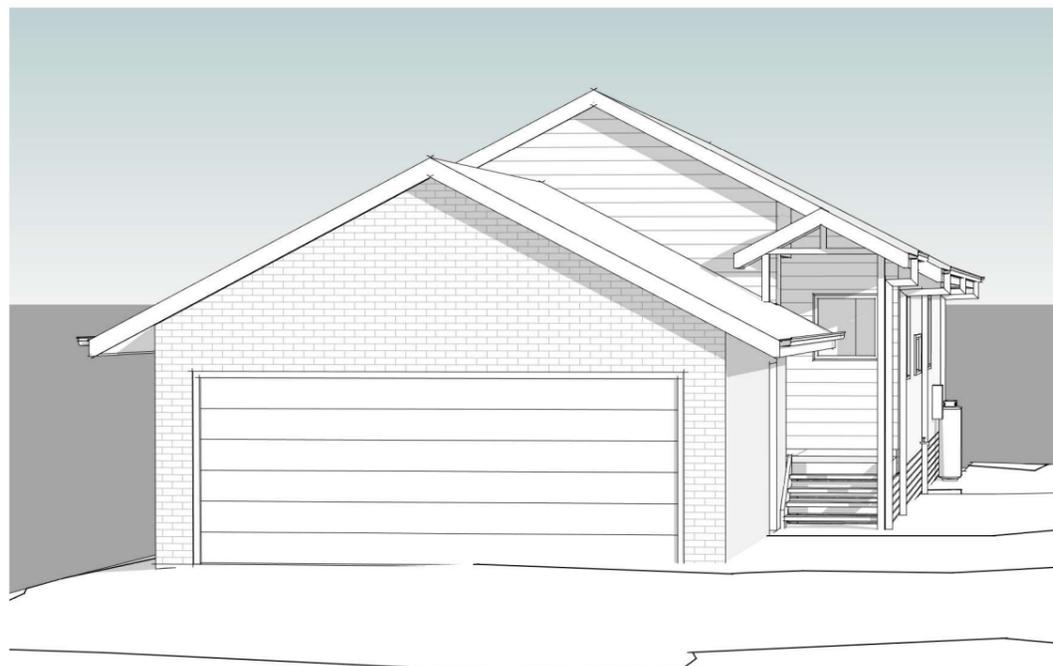


2



1

Sheet Index				
No.	Layout Name	Drawn By	Revision	Date
DA-100	Cover Sheet	PD	DA6	04.04.22
DA-101	Existing Survey	PD	DA6	04.04.22
DA-102	Site Plan	PD	DA6	04.04.22
DA-103	Demolition Plan	DO	DA6	04.04.22
DA-104	Ground Floor Plan	PD	DA6	04.04.22
DA-105	Roof Plan	PD	DA6	04.04.22
DA-200	Elevations	PD	DA6	04.04.22
DA-201	Elevations	PD	DA6	04.04.22
DA-300	Sections	PD	DA6	04.04.22
DA-401	Site Areas	DO	DA6	04.04.22
DA-402	Site Analysis	DO	DA6	04.04.22

BASIX Requirements NSW

WATER

ALTERNATIVE SUPPLY	AS PER BASIX REPORT
ROOF COLLECTION	MINIMUM m² AS PER BASIX CERTIFICATE
AREA TO TANK	AS PER BASIX REPORT
USED TO SUPPLY	TOILETS, A GARDEN TAP & LAUNDRY WM COLD TAP
WELS STAR RATING	3 STAR SHOWERHEADS (7.5 -9.0 L/M) 4 STAR TOILETS 4 STAR KITCHEN TAPS 4 STAR BATHROOM TAPS

EXTERNAL COLOURS

LIGHT WALL COLOURS WITH MEDIUM COLOUR FASCIA
NEUTRAL WARM TONES

THERMAL COMFORT INSULATION

CEILING INSULATION	R3.0 BATTS
EXTERNAL WALLS INSULATION	R2.0 PLUS PERMEABLE SARKING
INTERNAL WALL INSULATION	R2.0 TO INTERNAL GARAGE WALLS
ROOF INSULATION	R1.3 60 mm ANTICON
SUB-FLOOR	AS PER BASIX CERTIFICATE (R2.1 FLOOR BATTS)

HEATING AND COOLING

CEILING FANS	LIVING & ALFRESCO AND BEDS 1-3
AIR CONDITIONERS	LIVING (7.5 kW) = STARS COOLING 2.5 /HEATING 3.0 BED 1 (2.5 kW) = STARS COOLING 4.0 /HEATING 4.0

SOLAR

3.3kW PHOTOVOLTAIC SOLAR PANELS

HOT WATER SYSTEM

26 LITRE GAS INSTANTANEOUS - 6 STAR
PROVIDE 2x LPG GAS BOTTLES TO SERVICE

KITCHEN APPLIANCES

GAS COOK TOP, ELECTRIC OVEN, DISHWASHER
DUCTED EXHAUST FAN TO OUTSIDE

VENTILATION

BATHROOMS	NATURAL &/OR EXHAUST DUCTED TO EXTERNAL AS PER PLANS
KITCHEN	RECIRCULATING RANGE HOOD WELL VENTILATED FRIDGE SPACE
LAUNDRY	NATURAL &/OR EXHAUST DUCTED TO EXTERNAL AS PER PLANS
CLOTHES DRYING LINE	YES

Initial here: _____ Initial here: _____



NOTE:
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REFER ENGINEERS AND MANUFACTURERS DRAWINGS FOR DETAILS ON ENGINEERING, TRUSS AND ROOF DESIGN.
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DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

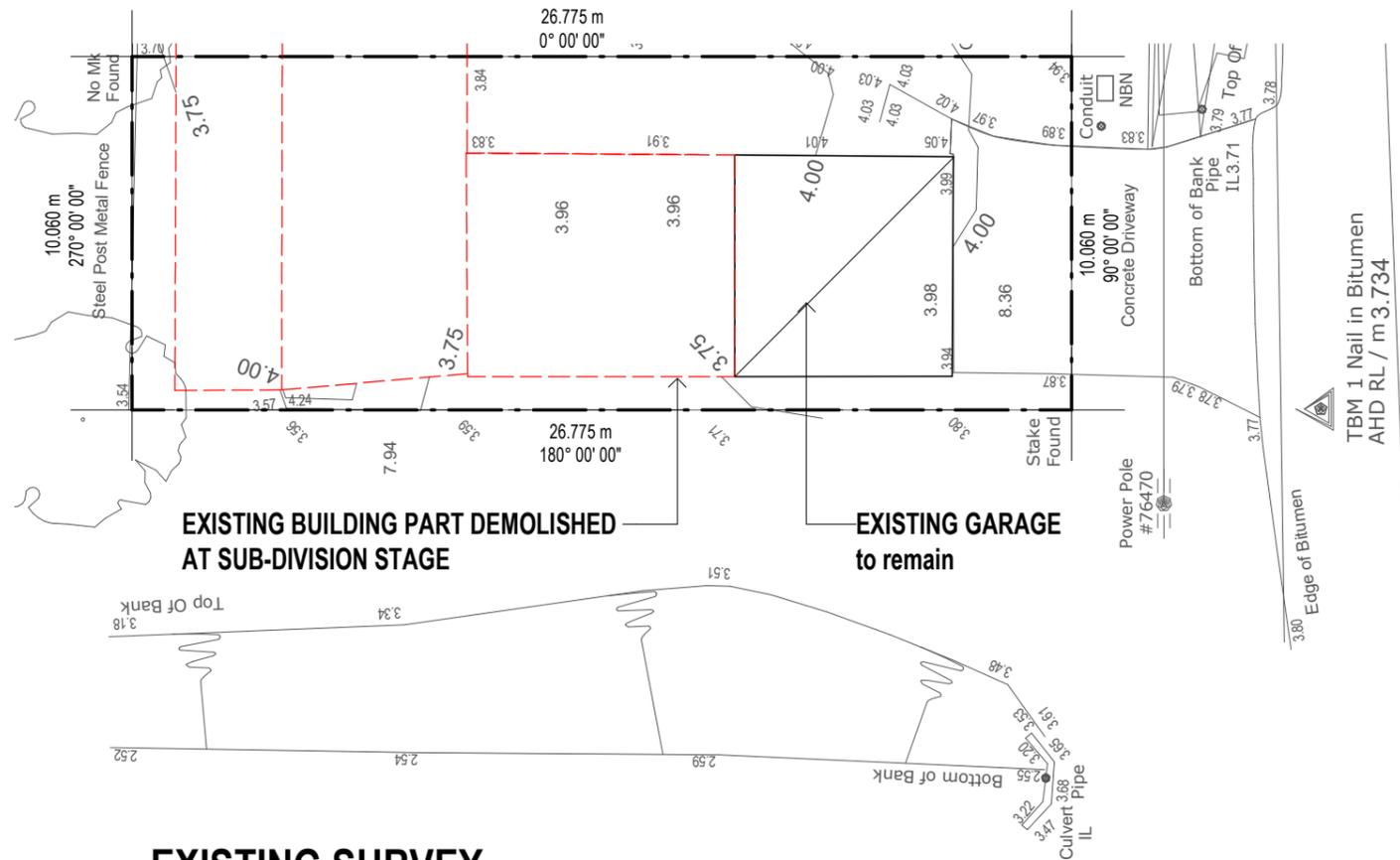
AREA CALCULATIONS

NOTE:
DRAWINGS ARE CONCEPTUAL. ALL SITE BEARINGS, DIMENSIONS & CONTOURS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY PLAN. FLOOR PLANS AND ELEVATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO COVENANT AND BUILDING APPROVAL

PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-100
DRAWN BY: PD	SCALE: 1 : 100 @A3	
CHECKED BY: TKL	ISSUE: DA6	

CLIENT MANGLESON
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
Cover Sheet
HOUSE DESIGN:
CUSTOM



Mill Street

- SITE LEGEND:**
- AC AIR CONDITIONING UNIT
 - CL CLOTHES LINE
 - GD GRATED DRAIN
 - HWS GAS HOT WATER SYSTEM
 - LB LETTER BOX
 - LP LIGHT POLE
 - LS LANDSCAPE
 - NBN NBN PIT
 - MSB MAIN SWITCH BOARD
 - OMP OUTER MOST PROJECTION
 - *SL EXT. SPOT LEVEL
 - SM SEWER MANHOLE
 - TBM TEMPORARY BENCH MARK
 - PGM PREFERRED GAS METER LOCATION
 - PB POWER BOX
 - POS PRIVATE OPEN SPACE
 - PP POWER POLE
 - RWT RAINWATER TANK 5000L (1150x2600x1860H)
 - WM WATER METER

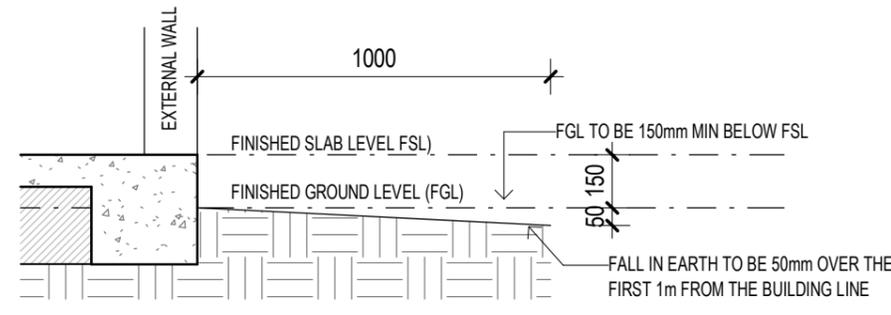
NOTES:
ALL ITEMS AND LEVELS SHOWN ARE INDICATIVE ONLY AND SHOULD BE CONFIRMED ON SITE.

STORMWATER TAKEN TO STREET OR NEAREST PIT AS PER LOCAL AUTHORITIES REQUIREMENTS.

ALL WORKS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTIONS CODES AND LOCAL AUTHORITY REGULATIONS.

INSTALLATION OF PRODUCTS SHOULD BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

EXISTING SURVEY
1 : 200



NOTE: SITE DRAINAGE TO BE INSTALLED TO DIVERT SURFACE WATER AND SUBSOIL WATER AWAY FROM BUILDING, FOOTINGS, BASEMENTS AND RETAINING WALLS. DRAINAGE REQUIREMENTS TO BE IN ACCORDANCE WITH NCC 3.1.2 AND AS 3500.

Surface Water Drainage Detail
1 : 20

Initial here: _____ Initial here: _____



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DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

NOTE:
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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-101
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Existing Survey
HOUSE DESIGN: CUSTOM

- SITE LEGEND:**
- AC AIR CONDITIONING UNIT
 - CL CLOTHES LINE
 - GD GRATED DRAIN
 - HWS GAS HOT WATER SYSTEM
 - LB LETTER BOX
 - LP LIGHT POLE
 - LS LANDSCAPE
 - NBN NBN PIT
 - MSB MAIN SWITCH BOARD
 - OMP OUTER MOST PROJECTION
 - *SL EXT. SPOT LEVEL
 - SM SEWER MANHOLE
 - TBM TEMPORARY BENCH MARK
 - PGM PREFERRED GAS METER LOCATION
 - PB POWER BOX
 - POS PRIVATE OPEN SPACE
 - PP POWER POLE
 - RWT RAINWATER TANK 5000L (1150x2600x1860H)
 - WM WATER METER

NOTES:
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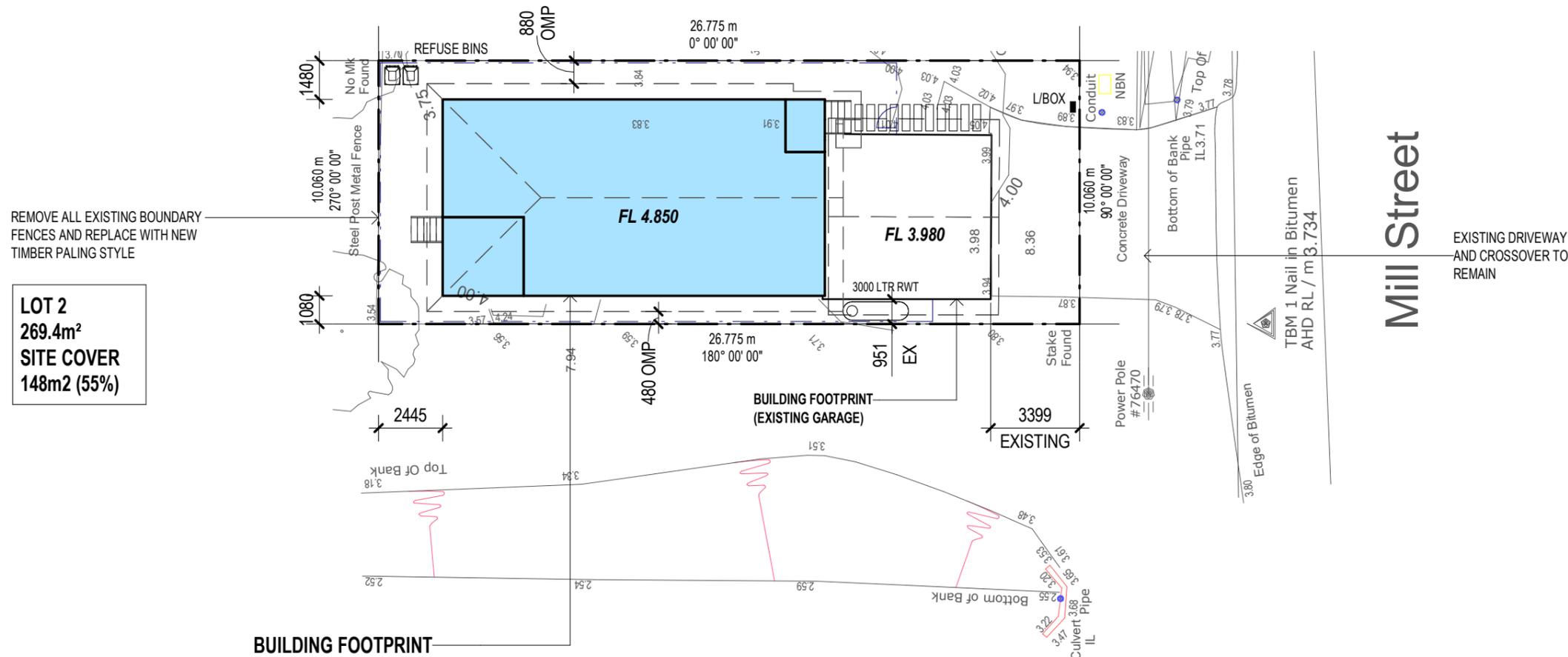
STORMWATER TAKEN TO STREET OR NEAREST PIT AS PER LOCAL AUTHORITIES REQUIREMENTS.

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INSTALLATION OF PRODUCTS SHOULD BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

FLOOD AFFECTED LOT



REMOVE ALL EXISTING BOUNDARY FENCES AND REPLACE WITH NEW TIMBER PALING STYLE

LOT 2
269.4m²
SITE COVER
148m² (55%)

BUILDING FOOTPRINT (NEW WORKS)

REFER DEMOLITION PLAN FOR DEMO WORKS PRIOR TO CONSTRUCTION

SITE PLAN
1 : 200

Initial here: _____ Initial here: _____



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DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA
 PARISH: TBA
 COUNTY: TBA
 LOCAL AUTHORITY: BYRON

ORIENTATION



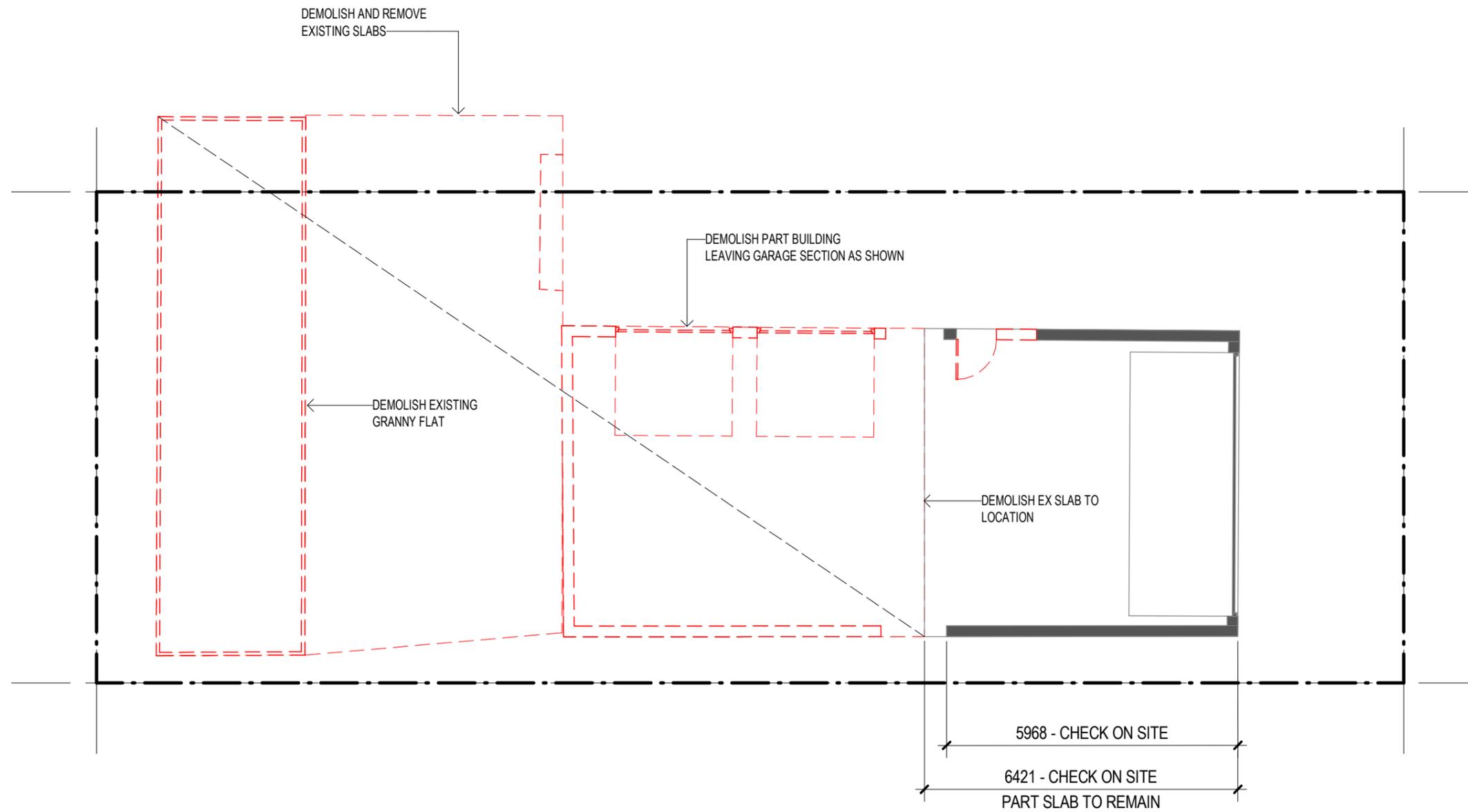
AREA CALCULATIONS

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PROJECT COMMENCED:	09.08.21	PROJECT NO:	MUL2
DRAWN BY:	PD	DRAWING NO:	DA-102
CHECKED BY:	TKL	SCALE:	As indicated @A3
		ISSUE:	DA6

CLIENT MANGLESON
 PROJECT ADDRESS
 LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
 Site Plan
 HOUSE DESIGN:
 CUSTOM



DEMOLITION PLAN
1 : 100

Initial here: _____ Initial here: _____

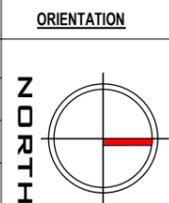


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DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIC NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION
LOT: 2 PLAN: TBA
PARISH: TBA
COUNTY: TBA
LOCAL AUTHORITY: BYRON



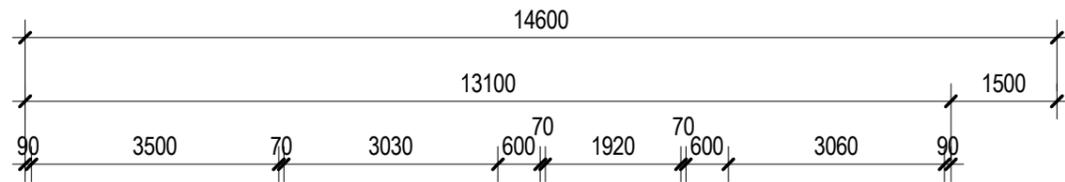
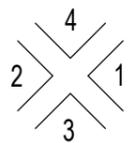
AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	DRAWN BY: DO	PROJECT NO: MUL2	DRAWING NO: DA-103
CHECKED BY: TKL	SCALE: 1 : 100 @A3	ISSUE: DA6	

CLIENT MANGLESON
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE:
Demolition Plan
HOUSE DESIGN:
CUSTOM

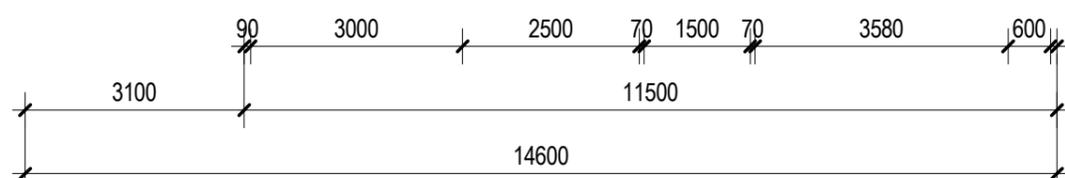
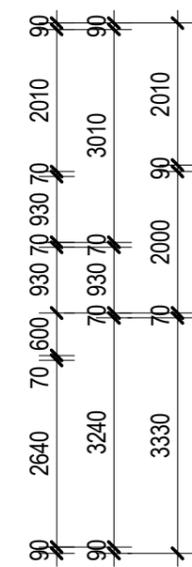
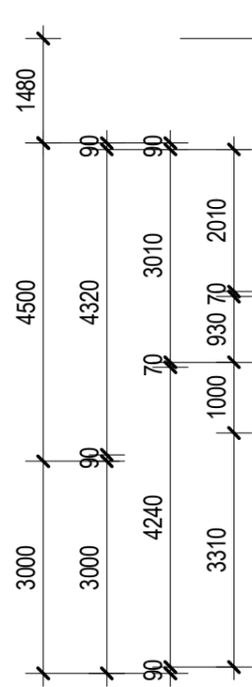
ELEVATIONS



FLOOD AFFECTED LOT

LEGEND

- AC AIR CONDITIONING
- BRM BROOM CUPBOARD
- CBD CUPBOARD
- DHR DOUBLE HANGING RAIL
- DP DOWNPIPE
- DW DISHWASHER
- DR DRYER
- FW FLOOR WASTE
- HR SINGLE HANGING RAIL
- HWS GAS HOT WATER SYSTEM
- MH MAN HOLE
- MSB MAIN SWITCH BOARD
- MT MIXER TAP
- MW MICROWAVE
- OH OVER HEAD CUPBOARDS
- O/H OVER HANG
- OV OVEN
- PGM PREFERRED GAS METER LOCATION
- PL PLUMBING DUCT
- PTY PANTRY
- RA HAND RAIL
- REF REFRIGERATOR
- RHC RANGEHOOD CANOPY
- RWT RAINWATER TANK 5000L (1150x2600x1860H)
- S SMOKE ALARM
- SB SUB BOARD
- SH SHELF
- SP SPREADER PIPE
- TH TOILET ROLL HOLDER
- TR TOWEL RAIL/RING
- WM WASHING MACHINE
- WB WALL BASIN
- UBO UNDER BENCH OVEN



GROUND FLOOR PLAN

1 : 100

Ⓢ SMOKE ALARM TO BE INTERCONNECTED AND PHOTOELECTRIC.

SMOKE ALARM TO BE INTERCONNECTED AND PHOTOELECTRIC.

NOTE: SECURE MESH TO UPPER LEVEL OPENABLE WINDOWS.

WHERE THRESHOLDS OF DOORWAYS ARE MORE THAN 230mm ABOVE ADJOINING SURFACE STEPS MUST BE INCORPORATED IN ACCORDANCE WITH NCC SECTION 3.9.1.2.

LIFT OFF HINGES TO DOORS TO SANITARY COMPARTMENTS IN ACCORDANCE WITH NCC 2.4.3.

ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7

NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

Initial here: _____ Initial here: _____



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REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

REAL PROPERTY DESCRIPTION		ORIENTATION
LOT: 2	PLAN: TBA	
PARISH: TBA		
COUNTY: TBA		
LOCAL AUTHORITY: BYRON		

AREA CALCULATIONS	
GROUND	97.05 m ²
EX GARAGE	39.90 m ²
ALFRESCO	9.30 m ²
PORCH	3.02 m ²
TOTAL:	149.27 m ²

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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-104
CHECKED BY: TKL	SCALE: 1 : 100 @A3
	ISSUE: DA6

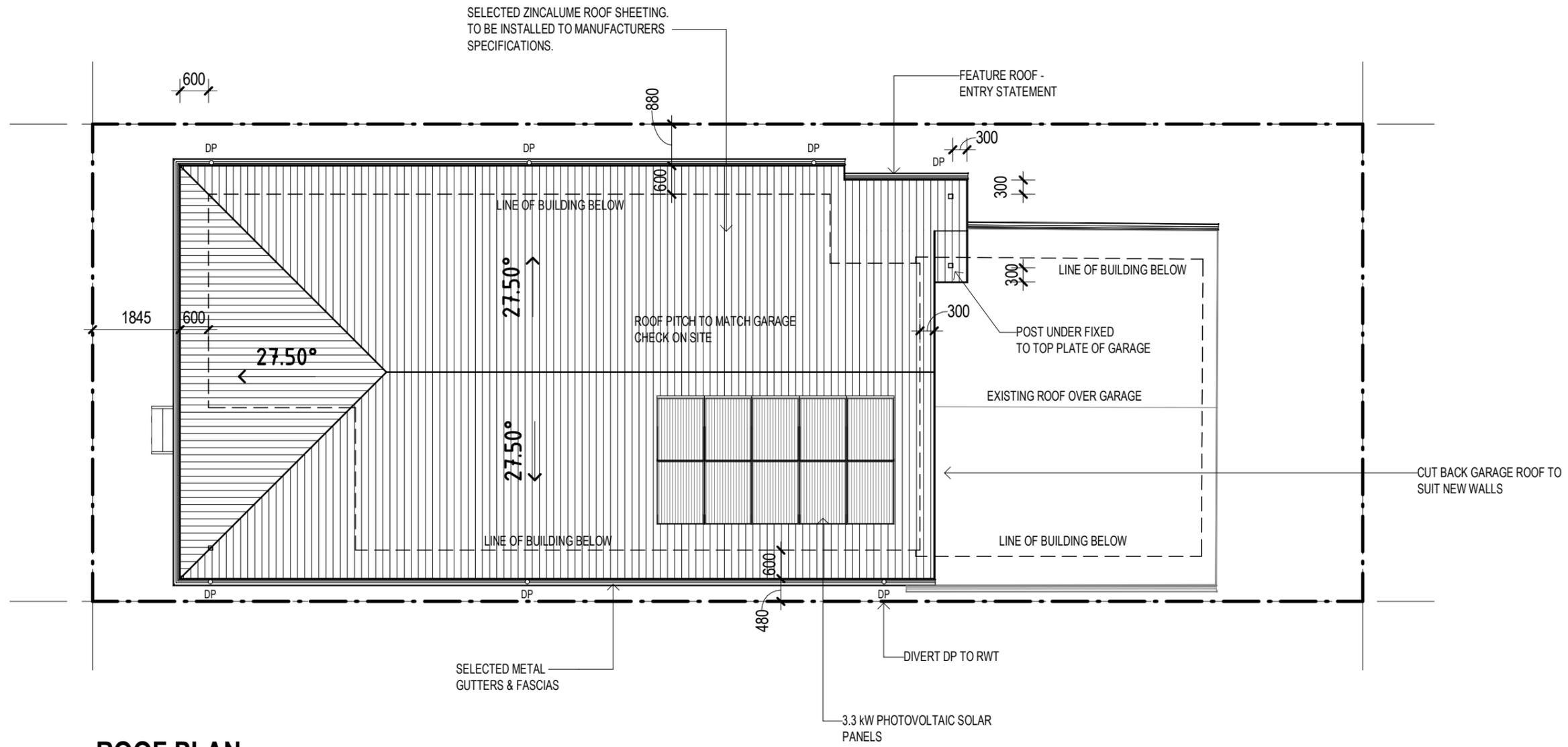
CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Ground Floor Plan
HOUSE DESIGN: CUSTOM

ROOF LEGEND

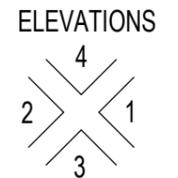
- FL FLASHING
- DP DOWNPIPE
- DP/S DOWNPIPE SPREADER
- EG EAVES GUTTER
- RS ROOF SHEETING
- VG VALLEY GUTTER

NOTE:
 ALL GUTTERS AND DOWNPIPES INSTALLED IN ACCORDANCE WITH NCC VOLUME TWO 3.2.5 AND AS3500. VALLEY GUTTERS ON ROOF WITH PITCH LESS THAN 12.5° MUST BE DESIGNED AS A BOX GUTTER. DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER & BE LOCATED TO VALLEY GUTTERS AS CLOSE OF POSSIBLE. BOX GUTTER TO HAVE SUMP OR RAINHEAD AND OVERFLOW IN ACCORDANCE WITH AS 3500. 3.7.5.

ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7



ROOF PLAN
1 : 100



NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

Initial here: _____ Initial here: _____



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DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION
 LOT: 2 PLAN: TBA
 PARISH: TBA
 COUNTY: TBA
 LOCAL AUTHORITY: BYRON

ORIENTATION

AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21
 DRAWN BY: PD
 CHECKED BY: TKL

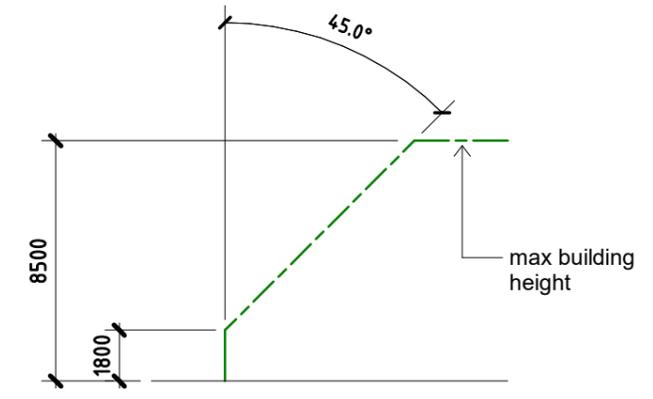
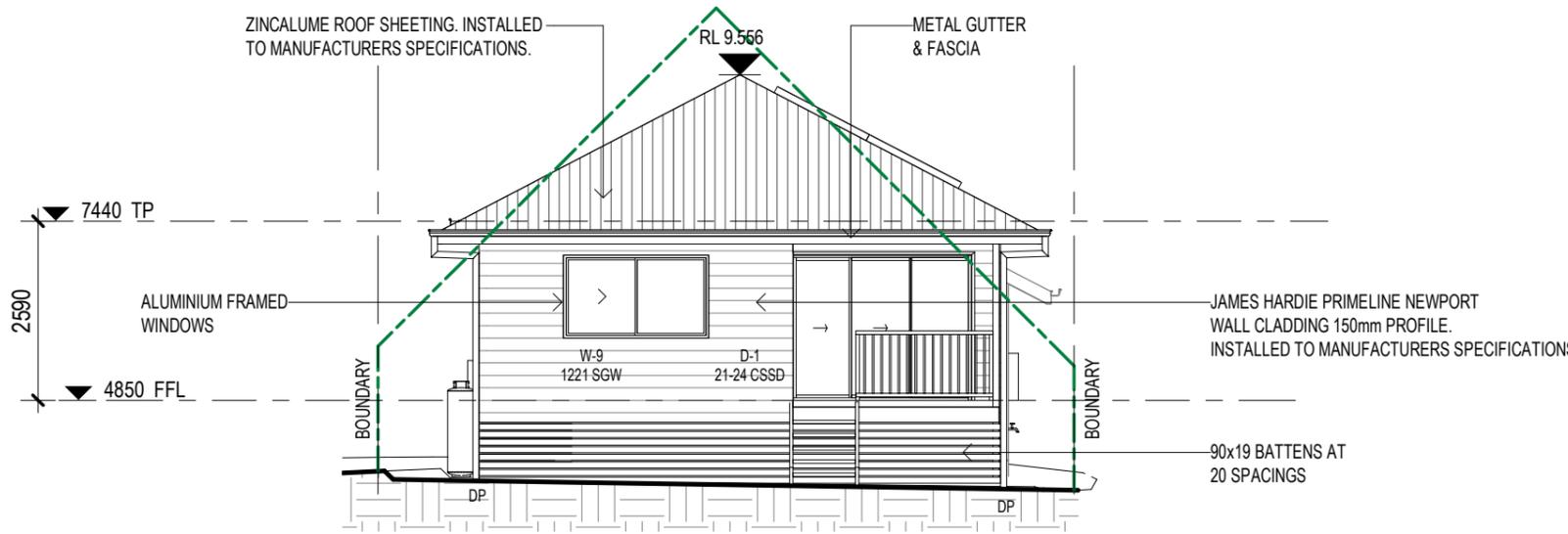
PROJECT NO: MUL2
 DRAWING NO: DA-105
 SCALE: 1 : 100 @A3
 ISSUE: DA6

CLIENT MANGLESON

PROJECT ADDRESS
 LOT 2 MILL STREET, MULLUMBIMBY

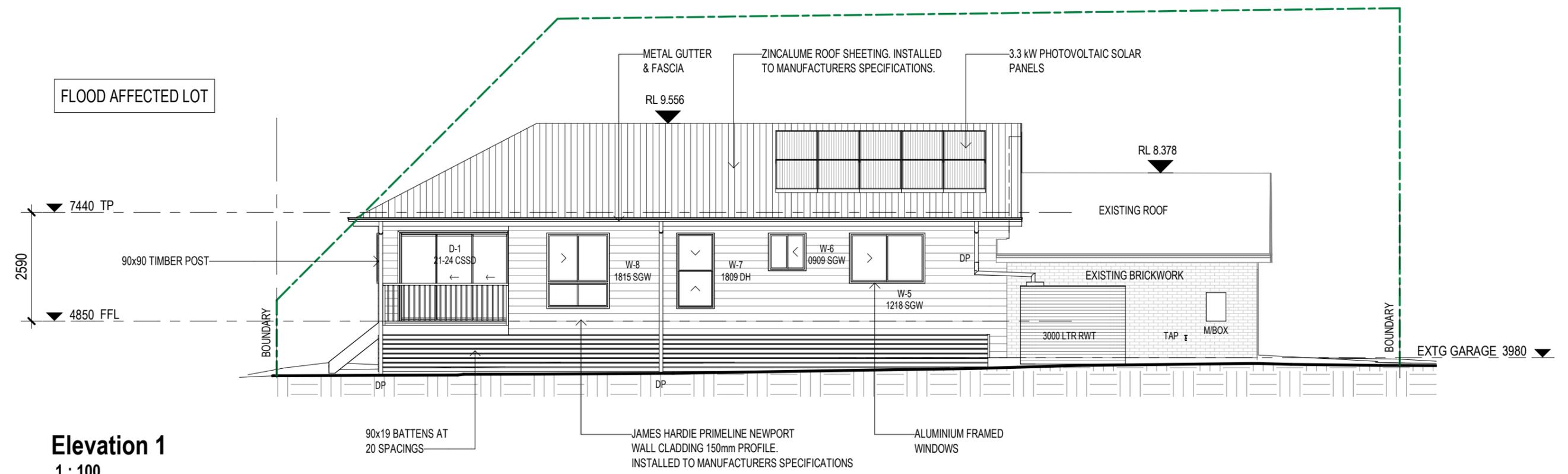
DRAWING TITLE:
 Roof Plan

HOUSE DESIGN:
 CUSTOM



Building Envelope
1 : 250

Elevation 3
1 : 100



Elevation 1
1 : 100

Initial here: _____ Initial here: _____



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DA6	04.04.22	CEILING RAISED	DO

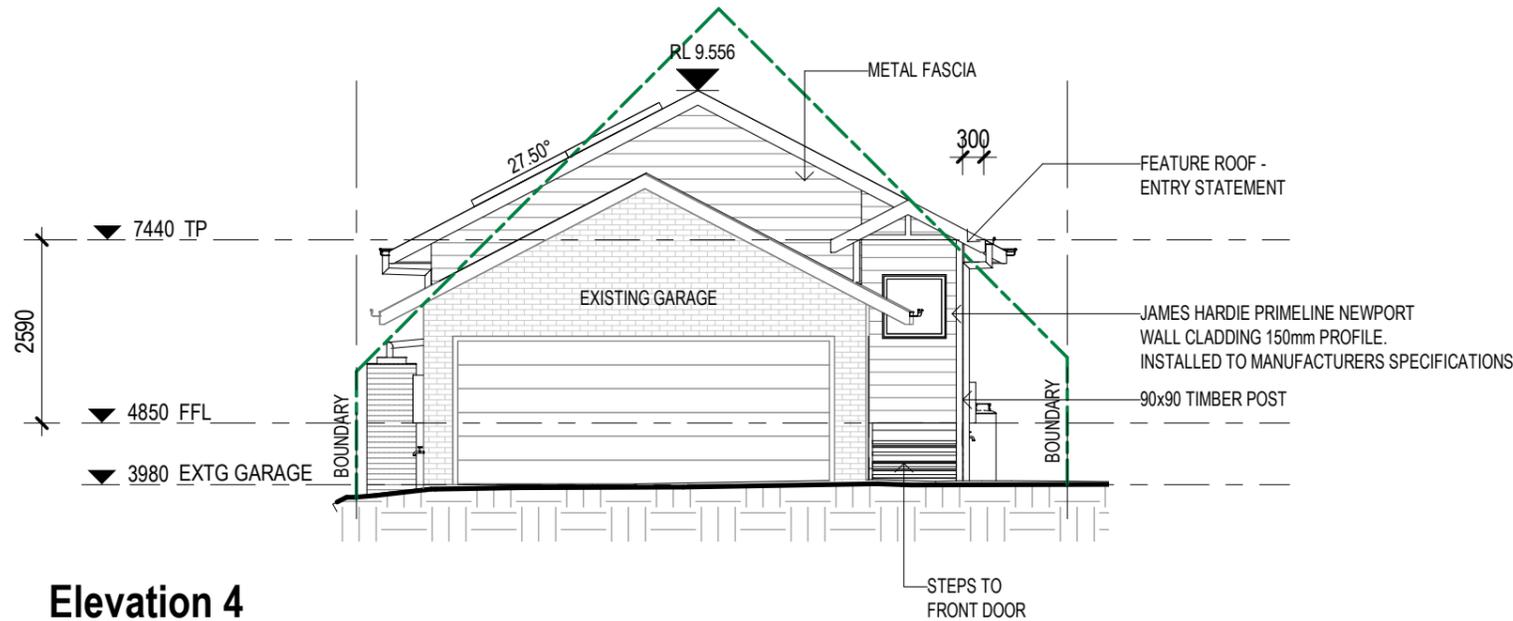
DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

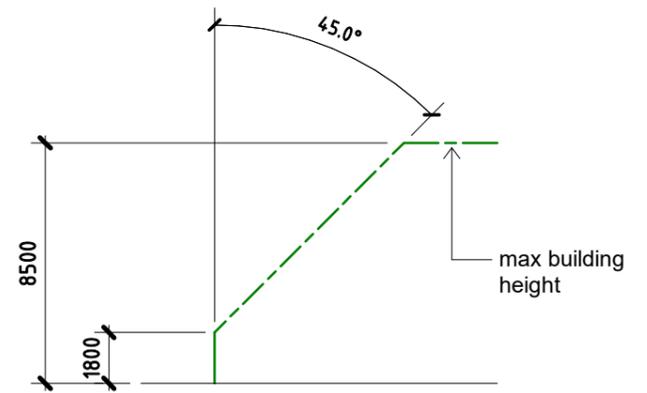
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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-200
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

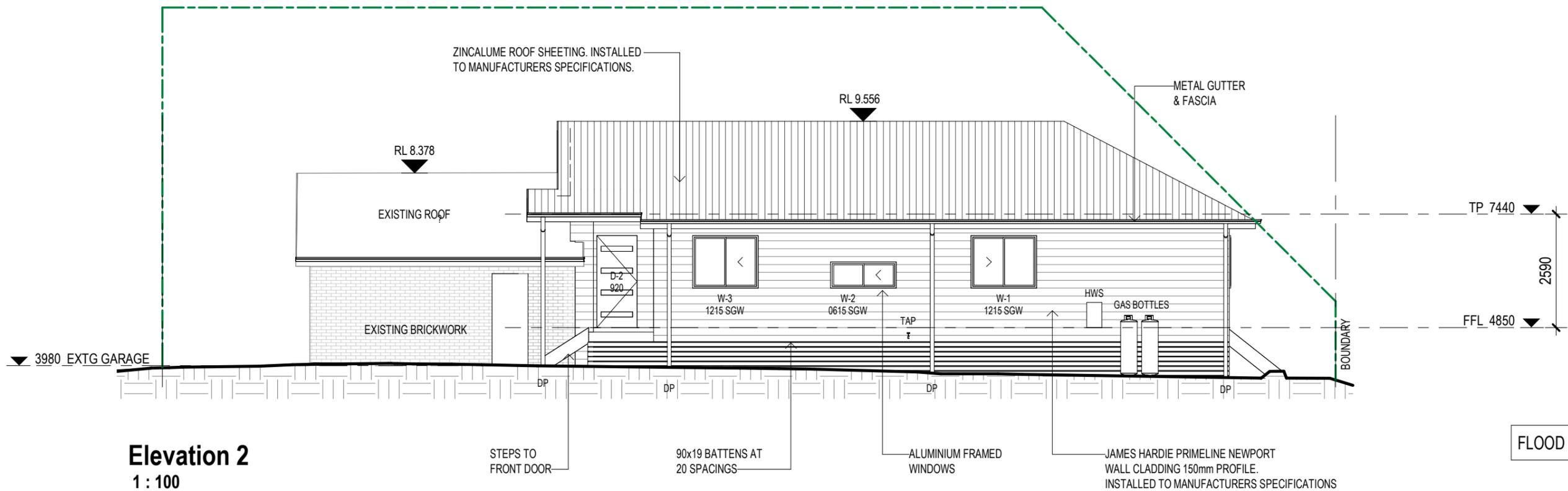
CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Elevations
HOUSE DESIGN: CUSTOM



Elevation 4
1 : 100



building envelope
1 : 250



Elevation 2
1 : 100

Initial here: _____ Initial here: _____



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DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

NOTE:
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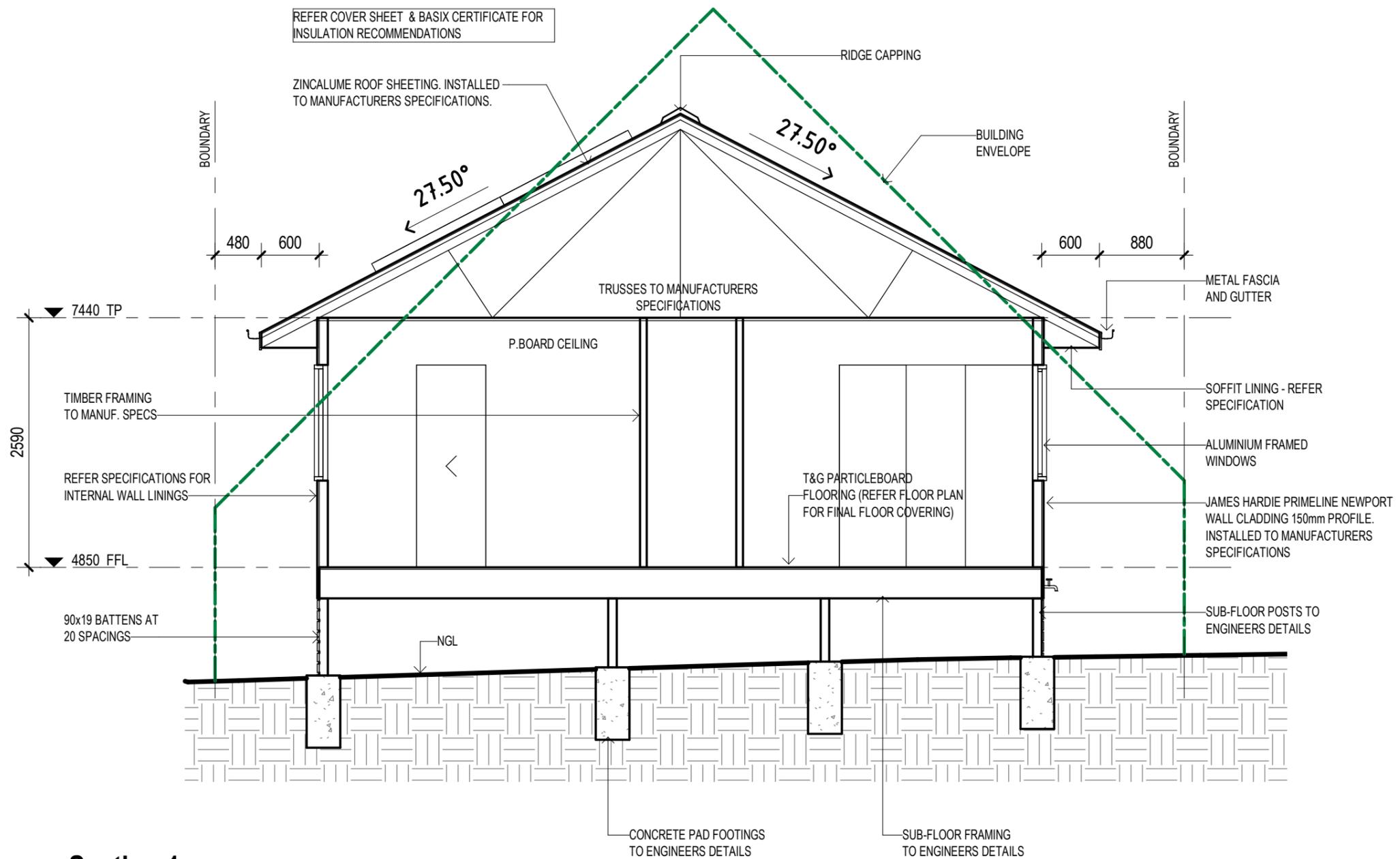
PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-201
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE:
Elevations
HOUSE DESIGN:
CUSTOM

CONSTRUCTION NOTES

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES, BUILDING ACT AMENDMENT & AUSTRALIAN STANDARDS

- FOOTINGS: TO ENGINEERS DESIGN AND DETAIL
- CONCRETE SLAB: TO ENGINEERS DESIGN AND DETAIL
- SLAB HEIGHT: TO ENGINEERS DESIGN AND DETAIL
- TERMITE TREATMENT: IN ACCORDANCE WITH NCC VOL. 2 3.1.4 TERMITE RISK MANAGEMENT. AND A.S. 3660.1-2014
- EXTERNAL WALLS: MASONRY CONSTRUCTION TO COMPLY WITH A.S. 3700-2018 'MASONRY CODE'. TIMBER CONSTRUCTION TO COMPLY WITH NCC 70mm OR 90mm TIMBER STUDS AS REQUIRED, WALL TIES IN ACCORDANCE WITH BCA PART 3.3.3 AND AS 1684
- INTERNAL LININGS: 10mm PLASTERBOARD, 6mm VILLABOARD TO WET AREAS
- CEILING LININGS: 10mm PLASTERBOARD
- SOFFIT LININGS: 4.5mm HARDIFLEX
- CEILING HEIGHT: 2400mm
- JOINERY HEIGHT: 2100mm
- WINDOW FLASHINGS: TO ALL WINDOWS
- WET AREAS: TO COMPLY WITH BCA VOLUME 2, PART 3.8.1 'WET AREAS' TO MANUFACTURER'S SPECIFICATIONS
- ROOFING: SELECTED METAL ROOF SHEETING @ NOMINATED PITCH, FIXED TO MANUFACTURER'S SPECIFICATIONS
- ROOF BRACING: SPEED BRACE TO CROSS EACH TRUSS & FASTENED TO TOP PLATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FASCIA: METAL FASCIA FIXED TO STANDARD RAFTER BRACKET METAL
- GUTTERING: 90mm ROUND PVC DOWNPIPES
- DOWNPIPES: 90mm ROUND PVC DOWNPIPES
- SMOKE ALARMS: TO BE HARD WIRE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE BCA VOLUME 2. ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 3000-2007. SMOKE ALARMS TO BE INTERCONNECTED & PHOTO ELECTRIC.
- NOGGINGS:** TO BE PROVIDED WHERE:
 - TOWEL RAILS SHOWN @ 1200H.
 - TOILET ROLL HOLDERS @ 800H.
 - VANITIES @ 360H & 800H (EXTEND LENGTH OF NOGGIN 100 PAST)



Section 1
1 : 50

FLOOD AFFECTED LOT

Initial here: _____ Initial here: _____



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DA6	04.04.22	CEILING RAISED	DO

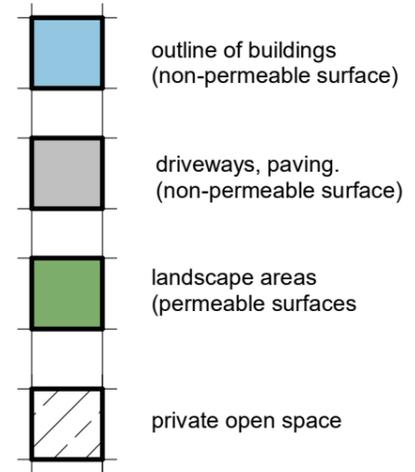
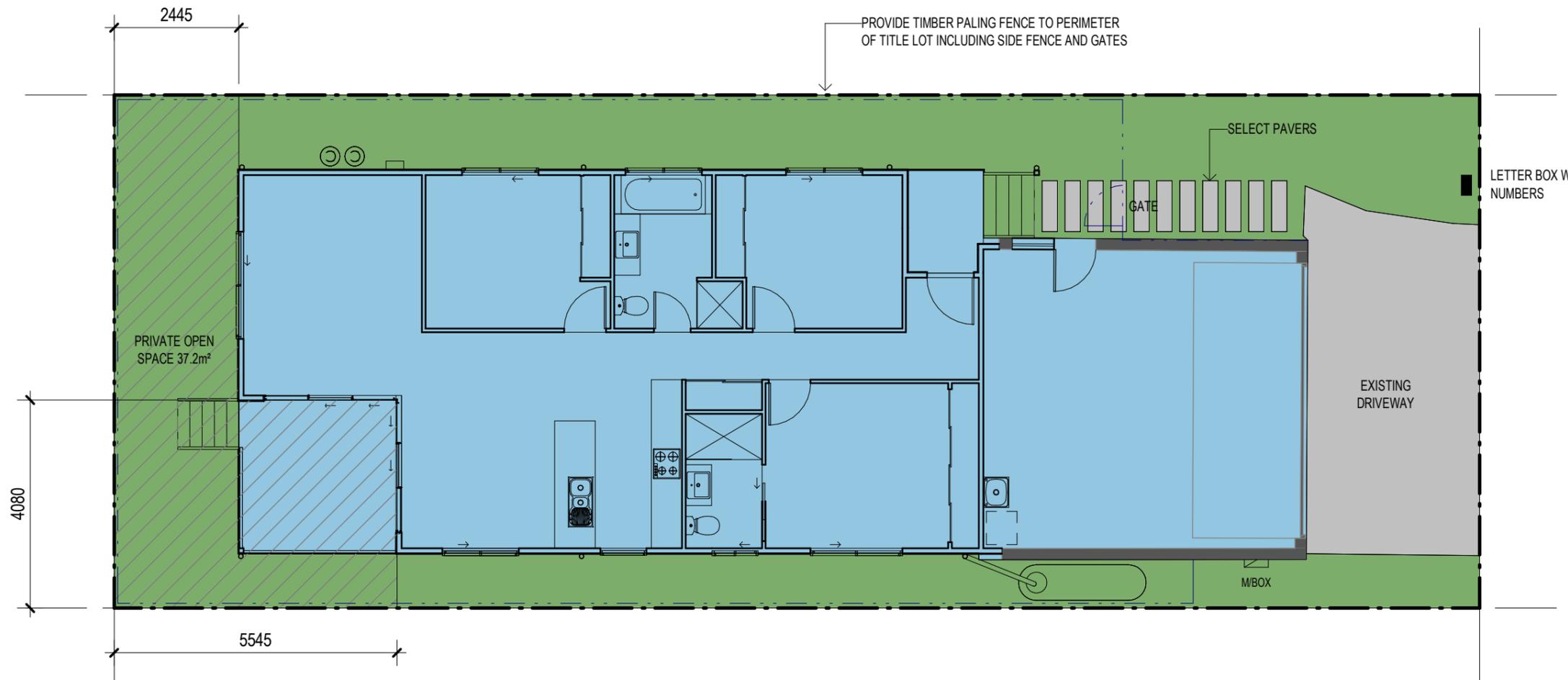
DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS	

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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-300
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Sections
HOUSE DESIGN: CUSTOM



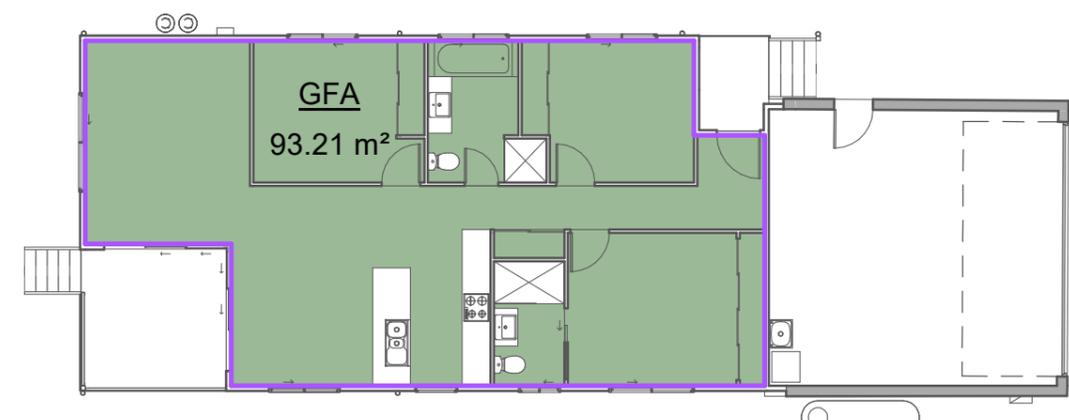
NON-PERMEABLE SURFACES - 269.4m2 x 75% (MAX) = 202 m2

TYPE	AREA	AREA % OF SITE
FOOTPRINT	149.4 m2	55.5 %
DRIVEWAY	22.8 m2	8.4%
PAVERS	3.3m2	1.2%
TOTAL	175.5 m2	65.1 %

PERMEABLE SURFACES - 269.4m2 x 25% (MIN) = 67.4 m2

LANDSCAPE	93.9 m2	34.9 %
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SITE AREAS
1 : 100



GFA 93.21 m²
TOTAL: 93.21 m²

FLOOR SPACE RATIO = 93.21 m2 / 269.4 m2 = 0.35:1
max FSR 0.5:1 - therefore complies

FLOOR SPACE RATIO
1 : 150

Initial here: _____ Initial here: _____

MURPHY
Homes
EST.1975

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REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: DO	DRAWING NO: DA-401
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON

PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
Site Areas

HOUSE DESIGN:
CUSTOM

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DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

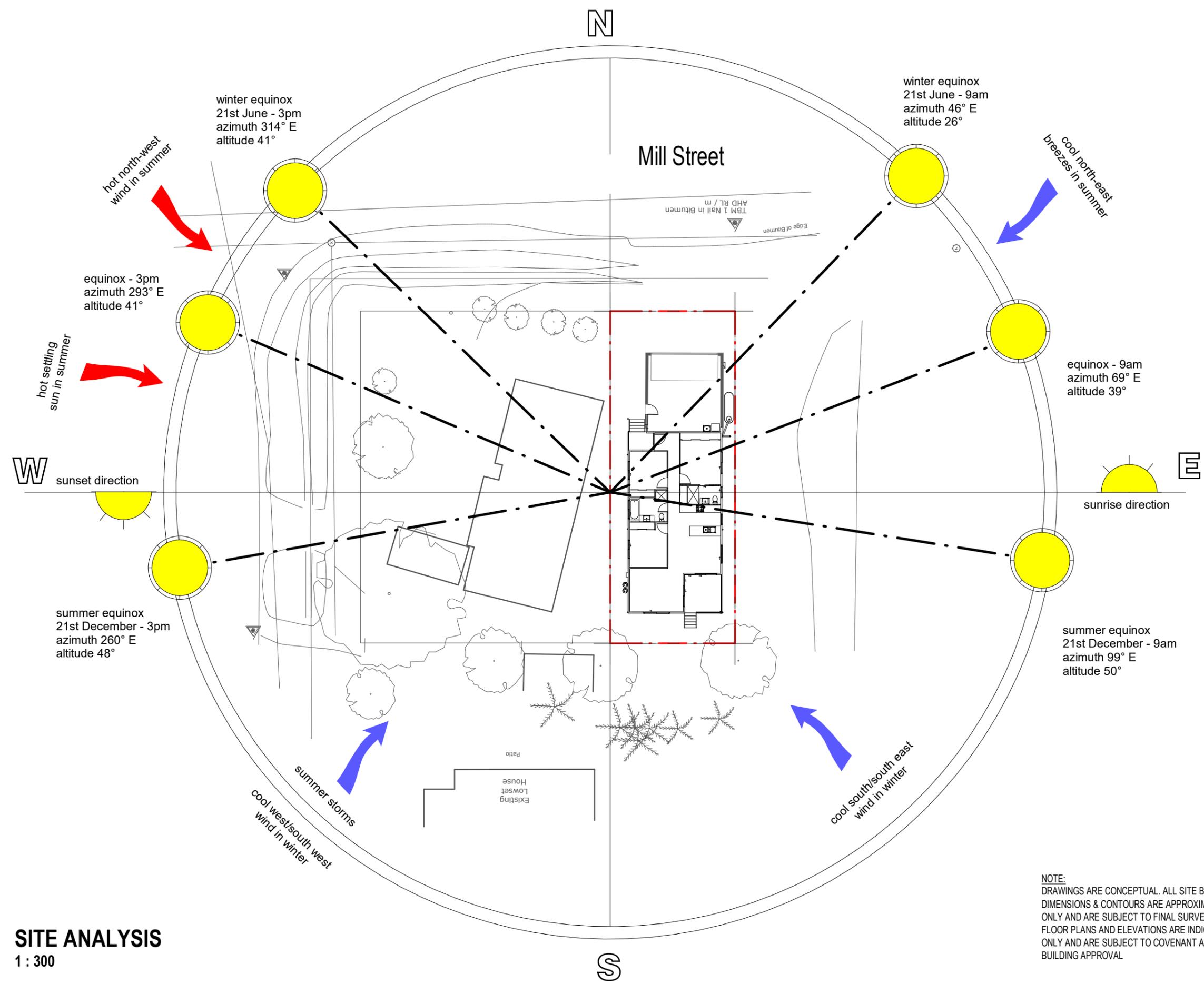
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DRAWN BY: DO	SCALE: 1 : 300 @A3
CHECKED BY: TKL	ISSUE: DA6

CLIENT MANGLESON

PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
Site Analysis

HOUSE DESIGN:
CUSTOM



SITE ANALYSIS
1 : 300

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Initial here: _____ Initial here: _____