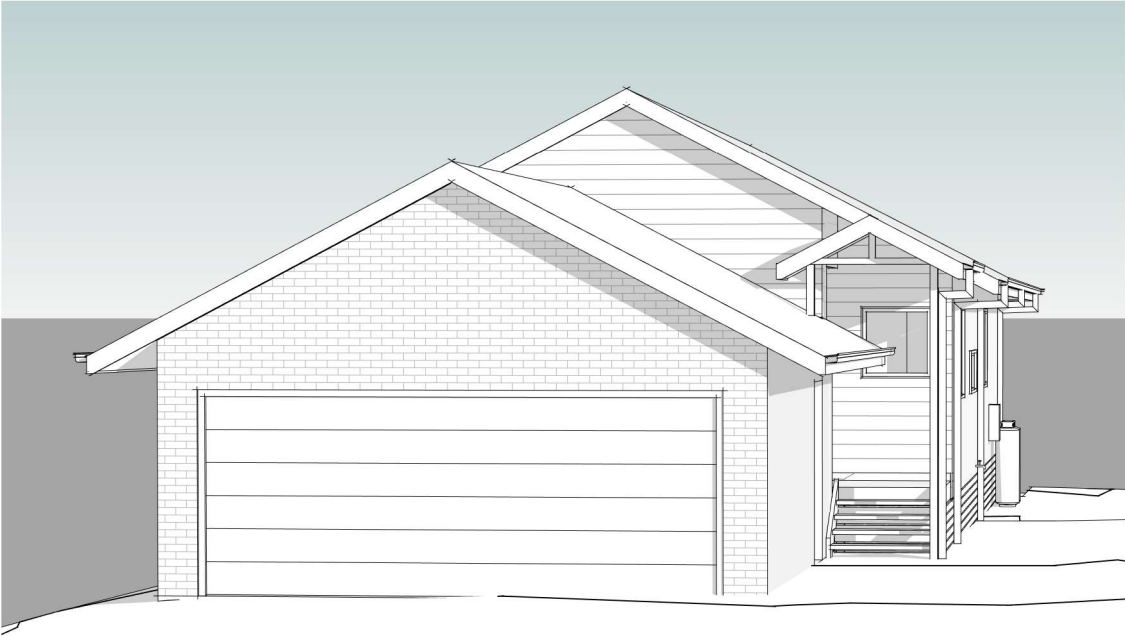


2



1

Sheet Index				
No.	Layout Name	Drawn By	Revision	Date
DA-100	Cover Sheet	PD	DA6	04.04.22
DA-101	Existing Survey	PD	DA6	04.04.22
DA-102	Site Plan	PD	DA6	04.04.22
DA-103	Demolition Plan	DO	DA6	04.04.22
DA-104	Ground Floor Plan	PD	DA6	04.04.22
DA-105	Roof Plan	PD	DA6	04.04.22
DA-200	Elevations	PD	DA6	04.04.22
DA-201	Elevations	PD	DA6	04.04.22
DA-300	Sections	PD	DA6	04.04.22
DA-401	Site Areas	DO	DA6	04.04.22
DA-402	Site Analysis	DO	DA6	04.04.22

**BASIX Requirements NSW**

<b>WATER</b> ALTERNATIVE SUPPLY ROOF COLLECTION AREA TO TANK USED TO SUPPLY WELS STAR RATING	AS PER BASIX REPORT MINIMUM m² AS PER BASIX CERTIFICATE AS PER BASIX REPORT TOILETS, A GARDEN TAP & LAUNDRY WM COLD TAP 3 STAR SHOWERHEADS (7.5 -9.0 L/M) 4 STAR TOILETS 4 STAR KITCHEN TAPS 4 STAR BATHROOM TAPS
<b>EXTERNAL COLOURS</b>	LIGHT WALL COLOURS WITH MEDIUM COLOUR FASCIA NEUTRAL WARM TONES
<b>THERMAL COMFORT INSULATION</b> CEILING INSULATION EXTERNAL WALLS INSULATION INTERNAL WALL INSULATION ROOF INSULATION SUB-FLOOR	R3.0 BATTS R2.0 PLUS PERMEABLE SARKING R2.0 TO INTERNAL GARAGE WALLS R1.3 60 mm ANTICON AS PER BASIX CERTIFICATE (R2.1 FLOOR BATTS)
<b>HEATING AND COOLING</b> CEILING FANS AIR CONDITIONERS	LIVING & ALFRESCO AND BEDS 1-3 LIVING (7.5 kW) = STARS COOLING 2.5 /HEATING 3.0 BED 1 (2.5 kW) = STARS COOLING 4.0 /HEATING 4.0
<b>SOLAR</b>	3.3kW PHOTOVOLTAIC SOLAR PANELS
<b>HOT WATER SYSTEM</b>	26 LITRE GAS INSTANTANEOUS - 6 STAR PROVIDE 2x LPG GAS BOTTLES TO SERVICE
<b>KITCHEN APPLIANCES</b>	GAS COOK TOP, ELECTRIC OVEN, DISHWASHER DUCTED EXHAUST FAN TO OUTSIDE
<b>VENTILATION</b> BATHROOMS KITCHEN	NATURAL &/OR EXHAUST DUCTED TO EXTERNAL AS PER PLANS RECIRCULATING RANGE HOOD WELL VENTILATED FRIDGE SPACE
LAUNDRY	NATURAL &/OR EXHAUST DUCTED TO EXTERNAL AS PER PLANS
CLOTHES DRYING LINE	YES

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



**NOTE:**  
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DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

**DEVELOPMENT APPROVAL**

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2      PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

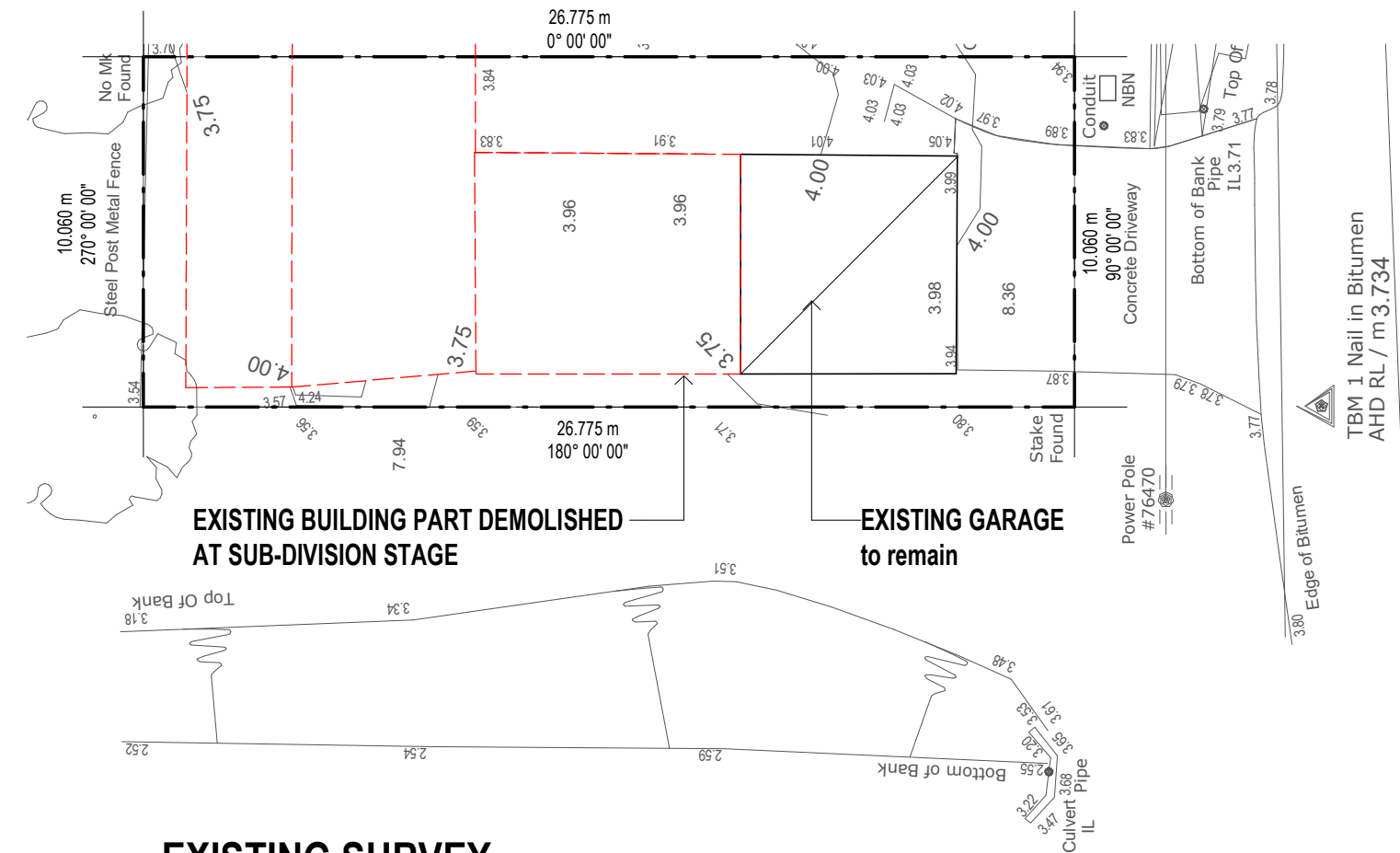
**AREA CALCULATIONS**

NOTE:  
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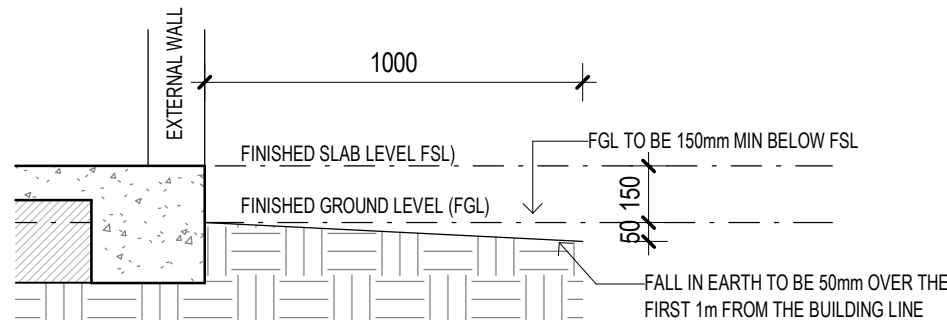
PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-100
DRAWN BY: PD	SCALE:	1 : 100 @A3
CHECKED BY: TKL	ISSUE:	DA6

CLIENT MANGLESON  
PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:  
Cover Sheet  
HOUSE DESIGN:  
CUSTOM



EXISTING SURVEY  
1 : 200



**NOTE:** SITE DRAINAGE TO BE INSTALLED TO DIVERT SURFACE WATER AND SUBSOIL WATER AWAY FROM BUILDING, FOOTINGS, BASEMENTS AND RETAINING WALLS. DRAINAGE REQUIREMENTS TO BE IN ACCORDANCE WITH NCC 3.1.2 AND AS 3500.

Surface Water Drainage Detail  
1 : 20

Mill Street

SITE LEGEND:	
AC	AIR CONDITIONING UNIT
CL	CLOTHES LINE
GD	GRATED DRAIN
HWS	GAS HOT WATER SYSTEM
LB	LETTER BOX
LP	LIGHT POLE
LS	LANDSCAPE
NBN	NBN PIT
MSB	MAIN SWITCH BOARD
OMP	OUTER MOST PROJECTION
*SL	EXT. SPOT LEVEL
SM	SEWER MANHOLE
TBM	TEMPORARY BENCH MARK
PGM	PREFERRED GAS METER LOCATION
PB	POWER BOX
POS	PRIVATE OPEN SPACE
PP	POWER POLE
RWT	RAINWATER TANK 5000L (1150x2600x1860H)
WM	WATER METER

**NOTES:**  
ALL ITEMS AND LEVELS SHOWN ARE INDICATIVE ONLY AND SHOULD BE CONFIRMED ON SITE.

STORMWATER TAKEN TO STREET OR NEAREST PIT AS PER LOCAL AUTHORITIES REQUIREMENTS.

ALL WORKS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTIONS CODES AND LOCAL AUTHORITY REGULATIONS.

INSTALLATION OF PRODUCTS SHOULD BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.



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DA6	04.04.22	CEILING RAISED	DO

## DEVELOPMENT APPROVAL

### REAL PROPERTY DESCRIPTION

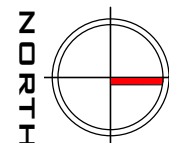
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

### ORIENTATION



### AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	PROJECT NO:	MUL2
	DRAWING NO:	DA-101
DRAWN BY:	PD	SCALE: As indicated @A3
CHECKED BY:	TKL	ISSUE: DA6

CLIENT MANGLESON  
PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:  
Existing Survey  
HOUSE DESIGN:  
CUSTOM

- SITE LEGEND:
- AC AIR CONDITIONING UNIT
  - CL CLOTHES LINE
  - GD GRATED DRAIN
  - HWS GAS HOT WATER SYSTEM
  - LB LETTER BOX
  - LP LIGHT POLE
  - LS LANDSCAPE
  - NBN NBN PIT
  - MSB MAIN SWITCH BOARD
  - OMP OUTER MOST PROJECTION
  - \*SL EXT. SPOT LEVEL
  - SM SEWER MANHOLE
  - TBM TEMPORARY BENCH MARK
  - PGM PREFERRED GAS METER LOCATION
  - PB POWER BOX
  - POS PRIVATE OPEN SPACE
  - PP POWER POLE
  - RWT RAINWATER TANK 5000L (1150x2600x1860H)
  - WM WATER METER

NOTES:  
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ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

**NOTE:** THIS PROPERTY IS **NOT**  
LOCATED IN A BUSHFIRE PRONE AREA.

FLOOD AFFECTED LOT

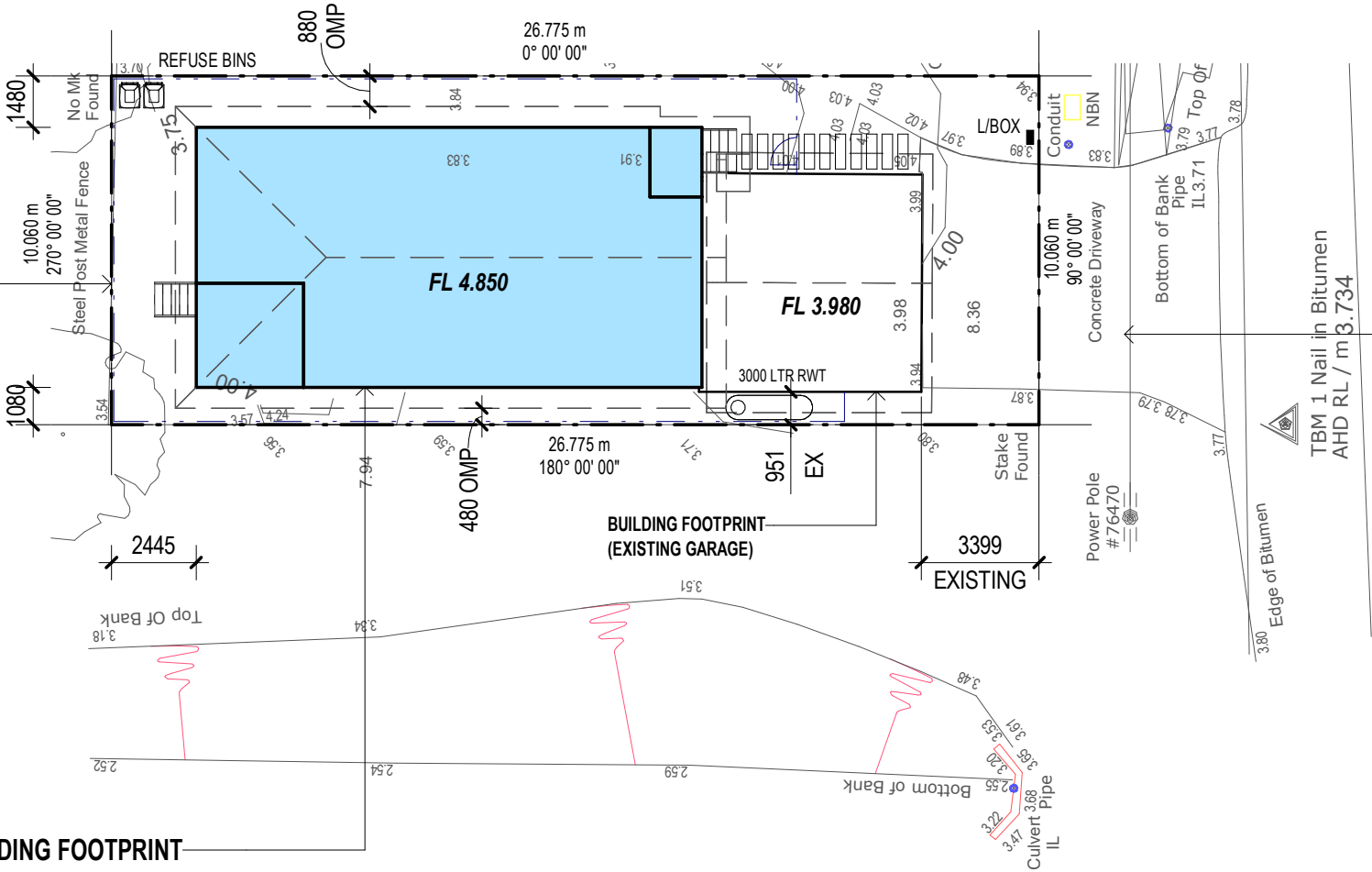
REMOVE ALL EXISTING BOUNDARY  
FENCES AND REPLACE WITH NEW  
TIMBER PALING STYLE

LOT 2  
269.4m<sup>2</sup>  
SITE COVER  
148m2 (55%)

**BUILDING FOOTPRINT  
(NEW WORKS)**

REFER DEMOLITION PLAN FOR DEMO  
WORKS PRIOR TO CONSTRUCTION

**SITE PLAN**  
1 : 200



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DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

## DEVELOPMENT APPROVAL

### REAL PROPERTY DESCRIPTION

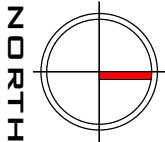
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

### ORIENTATION



### AREA CALCULATIONS

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ONLY AND ARE SUBJECT TO COVENANT AND  
BUILDING APPROVAL

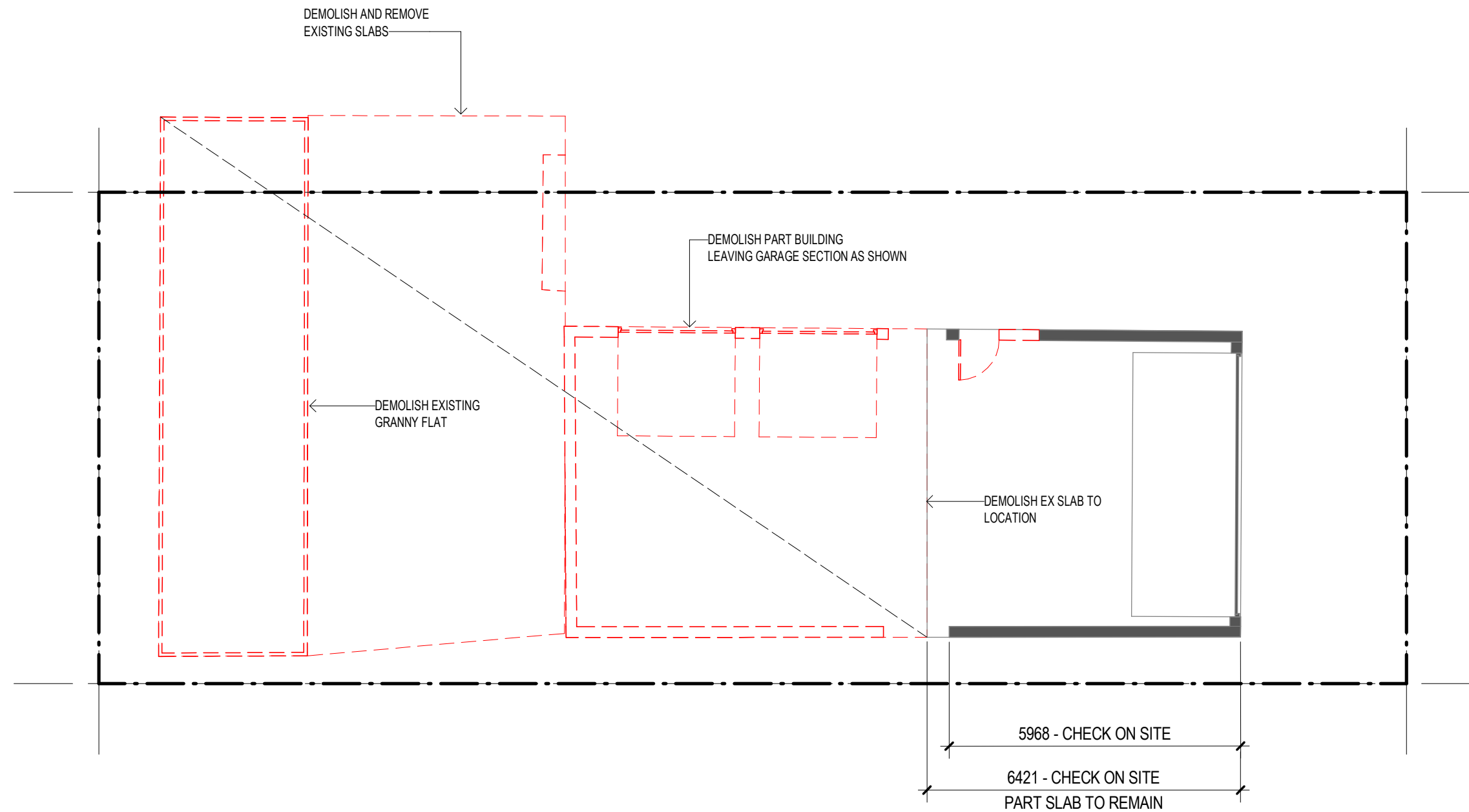
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		DRAWING NO:	DA-1
DRAWN BY:	PD	SCALE:	As indicated @
CHECKED BY:	TKL	ISSUE:	DA

CLIENT MANGLESON

PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:  
Site Plan

HOUSE DESIGN:  
CUSTOM



**DEMOLITION PLAN**  
1 : 100

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



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REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIC NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

**DEVELOPMENT APPROVAL**

REAL PROPERTY DESCRIPTION

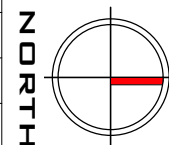
LOT: 2      PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

ORIENTATION



AREA CALCULATIONS

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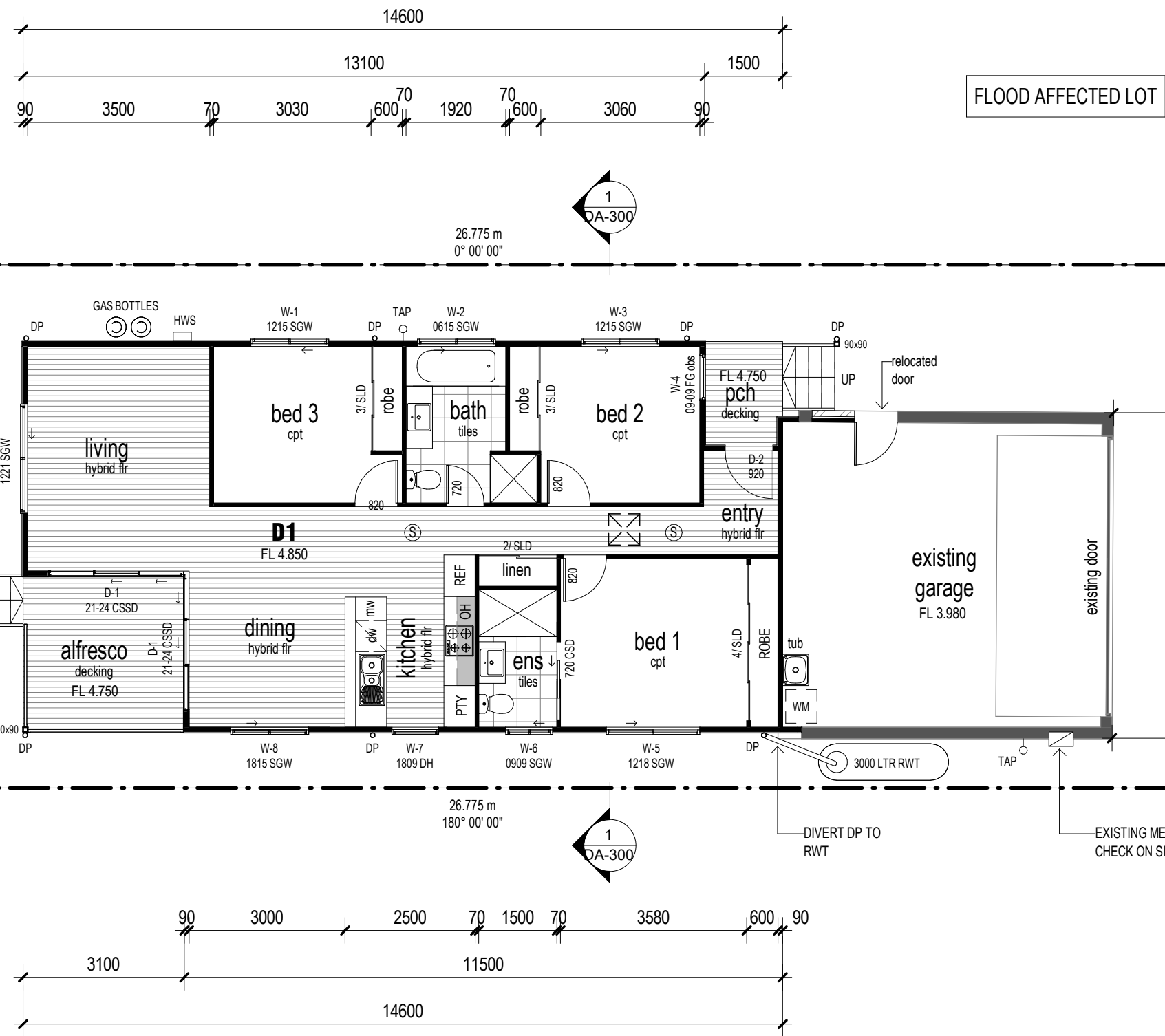
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DRAWN BY: DO	SCALE:	1 : 100 @A3
CHECKED BY: TKL	ISSUE:	DA6

CLIENT MANGLESON  
**PROJECT ADDRESS**  
LOT 2 MILL STREET, MULLUMBIMBY

**DRAWING TITLE:**  
Demolition Plan

**HOUSE DESIGN:**  
CUSTOM





- ALL EXHAUST SYSTEMS TO BE DUCTED  
EXTERNALLY TO OUTDOOR AIR IN  
ACCORDANCE WITH N.C.C. – Volume 2 – 3.8.7

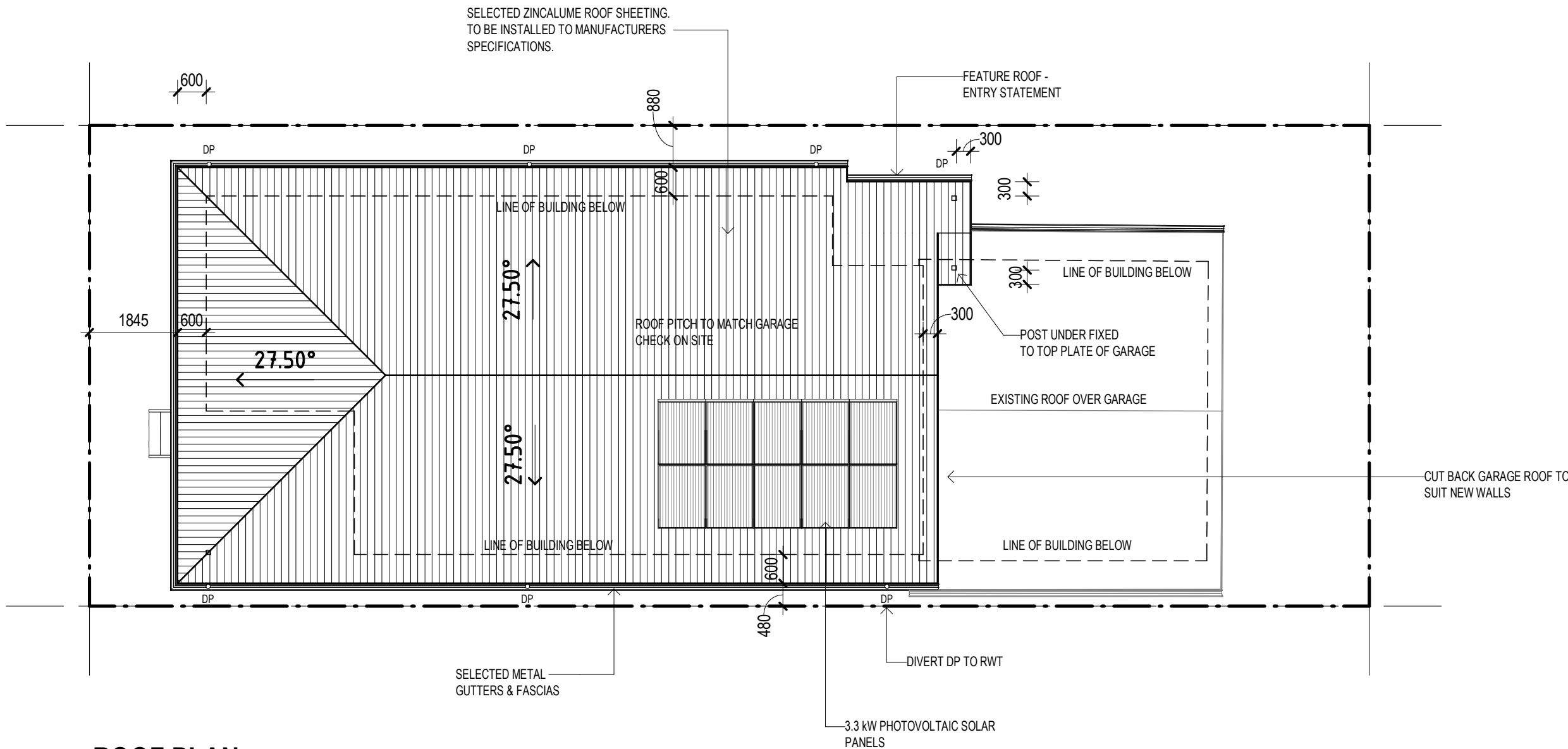
4/04/2022 2:50:25 PM

ROOF LEGEND

FL FLASHING  
DP DOWNPIPE  
DP/S DOWNPIPE SPREADER  
EG EAVES GUTTER  
RS ROOF SHEETING  
VG VALLEY GUTTER

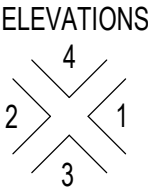
NOTE:  
ALL GUTTERS AND DOWNPIPES INSTALLED IN ACCORDANCE WITH NCC VOLUME TWO 3.2.5 AND AS3500. VALLEY GUTTERS ON ROOF WITH PITCH LESS THAN 12.5° MUST BE DESIGNED AS A BOX GUTTER. DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER & BE LOCATED TO VALLEY GUTTERS AS CLOSE OF POSSIBLE. BOX GUTTER TO HAVE SUMP OR RAINHEAD AND OVERFLOW IN ACCORDANCE WITH AS 3500. 3.7.5.

ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7



ROOF PLAN  
1 : 100

NOTE: THIS PROPERTY IS NOT  
LOCATED IN A BUSHFIRE PRONE AREA.



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DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

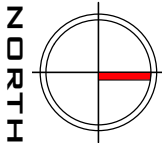
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

ORIENTATION



AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-105
DRAWN BY: CHECKED BY:	PD TKL	SCALE: ISSUE:
		1 : 100 @A3 DA6

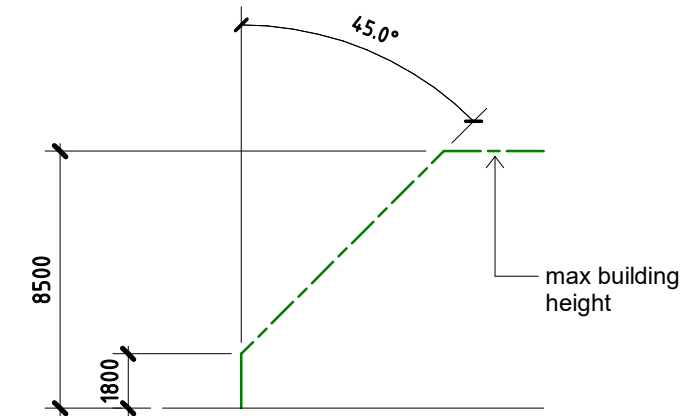
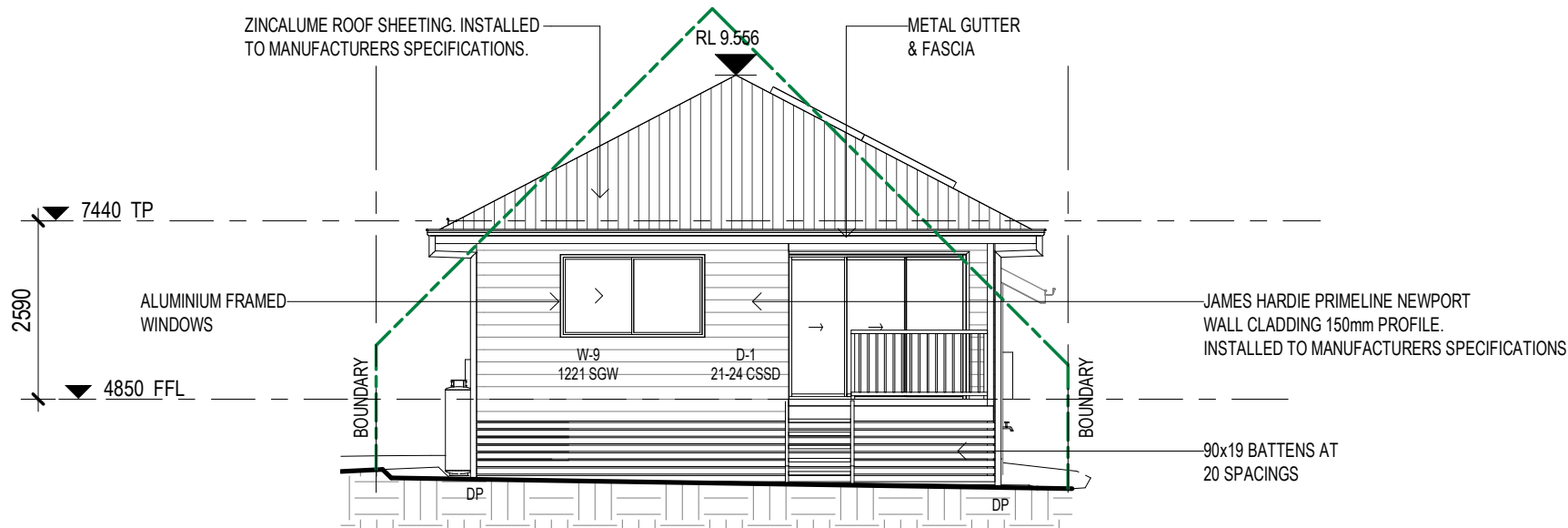
CLIENT MANGLESON

PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:

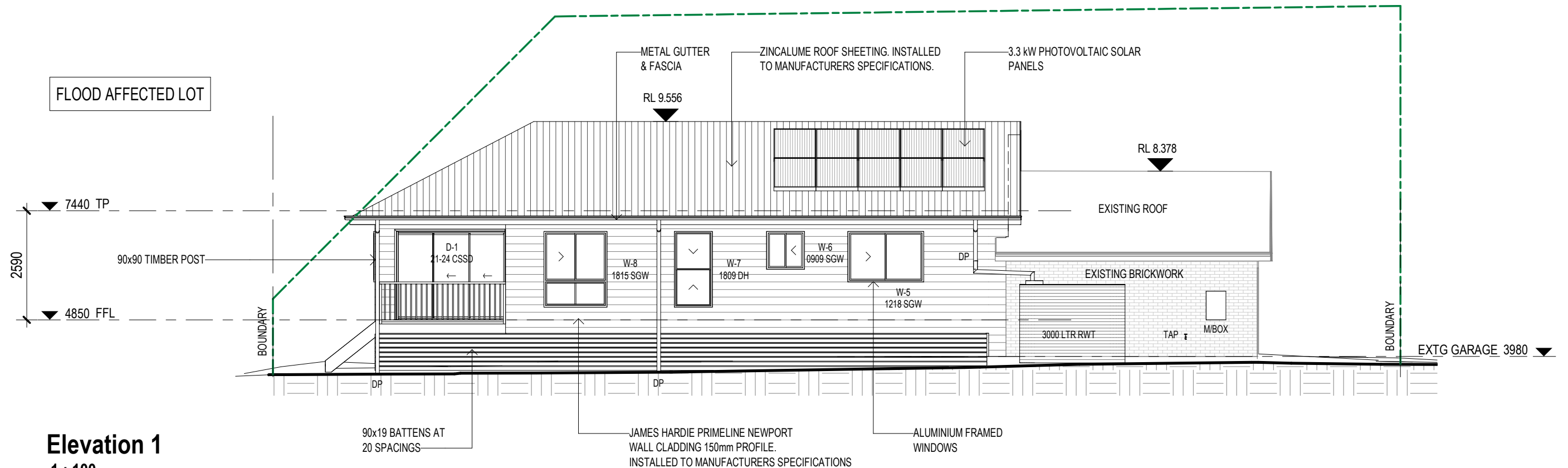
Roof Plan

HOUSE DESIGN:  
CUSTOM



**Building Envelope**  
1 : 250

**Elevation 3**  
1 : 100



**Elevation 1**  
1 : 100

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



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DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

## DEVELOPMENT APPROVAL

### REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

### AREA CALCULATIONS

### ORIENTATION

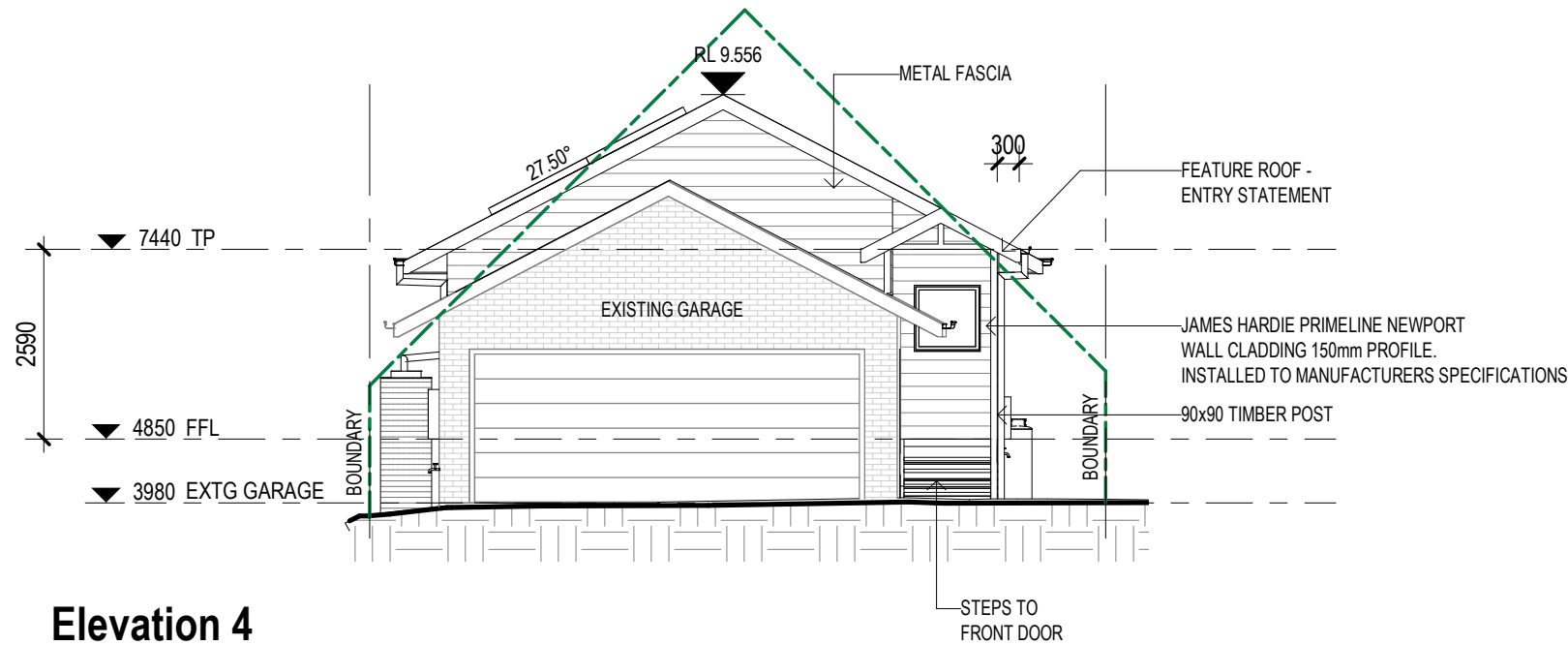
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PROJECT COMMENCED:	PROJECT NO:	MUL2
09.08.21	DRAWING NO:	DA-200
DRAWN BY:	SCALE:	As indicated @A3
CHECKED BY:	ISSUE:	DA6

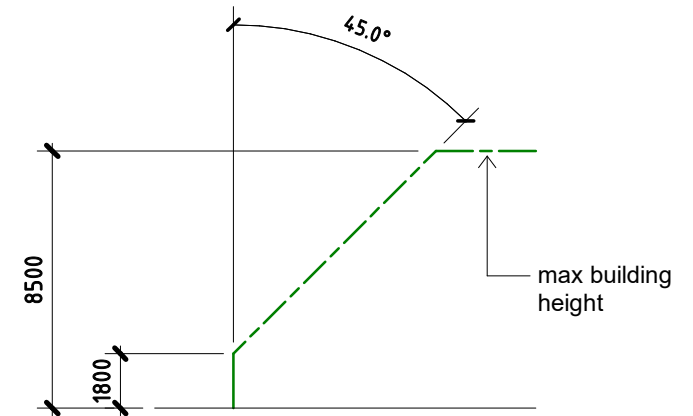
CLIENT MANGLESON  
PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:  
Elevations

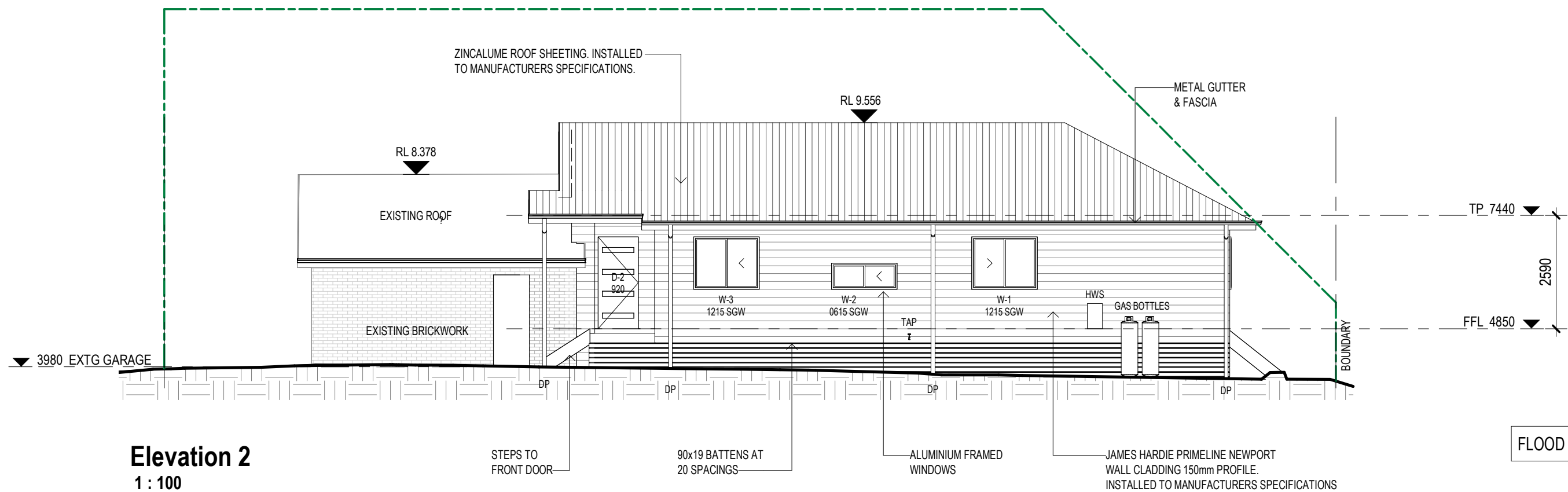
HOUSE DESIGN:  
CUSTOM



Elevation 4  
1 : 100



building envelope  
1 : 250



Elevation 2  
1 : 100

FLOOD AFFECTED LOT



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## DEVELOPMENT APPROVAL

### REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA

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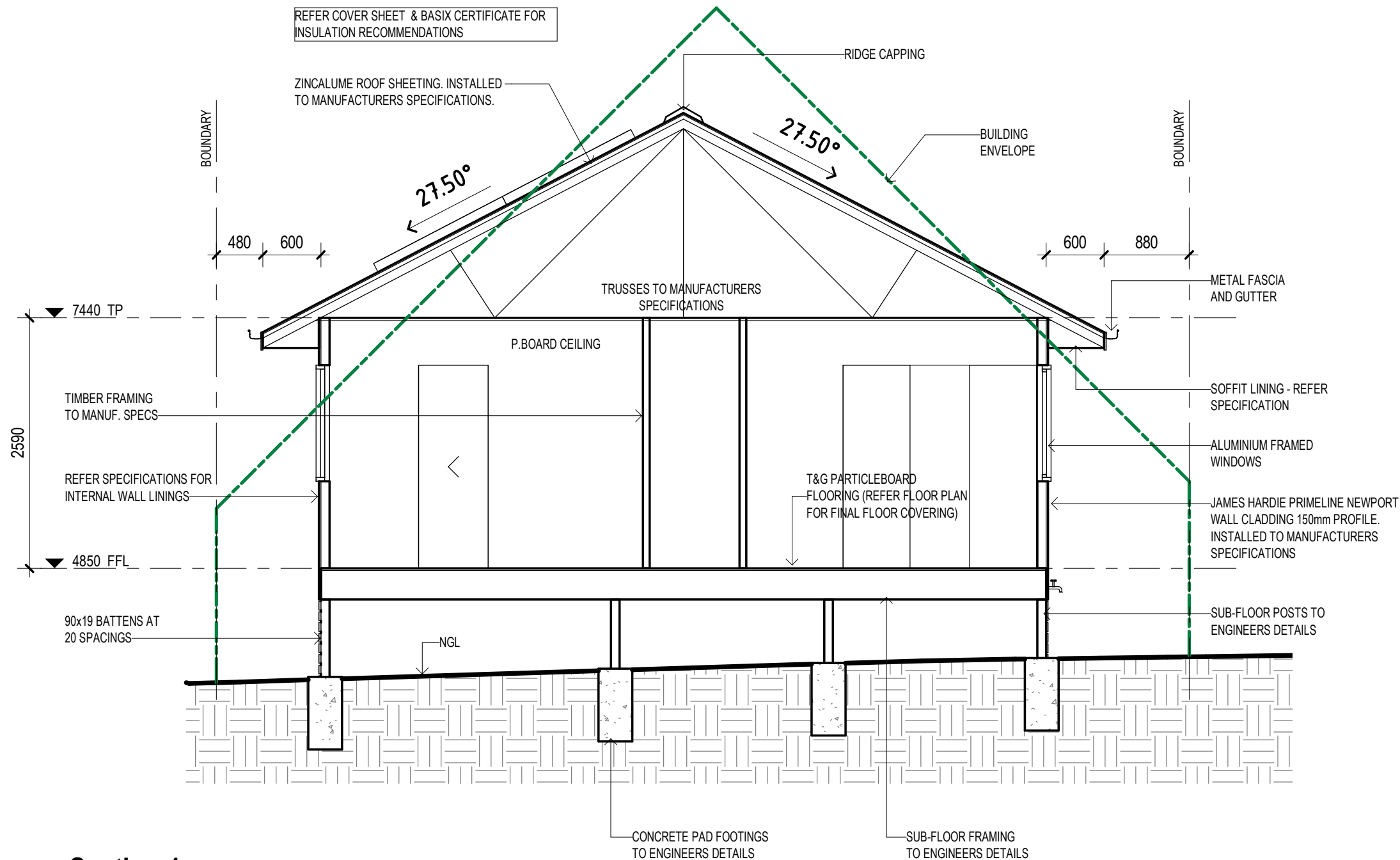
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PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-201
DRAWN BY: PD	SCALE: As indicated	@A3
CHECKED BY: TKL	ISSUE:	DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Elevations
HOUSE DESIGN: CUSTOM





Section 1  
1 : 50

CONSTRUCTION NOTES

- THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES, BUILDING ACT AMENDMENT & AUSTRALIAN STANDARDS
- FOOTINGS: TO ENGINEERS DESIGN AND DETAIL  
CONCRETE SLAB: TO ENGINEERS DESIGN AND DETAIL  
SLAB HEIGHT: TO ENGINEERS DESIGN AND DETAIL  
TERMITE TREATMENT: IN ACCORDANCE WITH NCC VOL. 2 3.1.4 TERMITE RISK MANAGEMENT. AND A.S. 3660.1-2014
- EXTERNAL WALLS: MASONRY CONSTRUCTION TO COMPLY WITH A.S. 3700-2018 'MASONRY CODE'. TIMBER CONSTRUCTION TO COMPLY WITH NCC 70mm OR 90mm TIMBER STUDS AS REQUIRED, WALL TIES IN ACCORDANCE WITH BCA PART 3.3.3 AND AS 1684
- EXTERNAL WALLS: 10mm PLASTERBOARD, 6mm VILLABOARD TO WET AREAS
- INTERNAL LININGS: 10mm PLASTERBOARD  
CEILING LININGS: 4.5mm HARDIFLEX  
SOFFIT LININGS: 2400mm  
CEILING HEIGHT: 2100mm  
JOINERY HEIGHT: TO ALL WINDOWS  
WINDOW FLASHINGS: TO COMPLY WITH BCA VOLUME 2, PART 3.8.1 'WET AREAS'  
WET AREAS: TO MANUFACTURER'S SPECIFICATIONS  
ROOFING: SELECTED METAL ROOF SHEETING @ NOMINATED PITCH, FIXED TO MANUFACTURERS SPECIFICATIONS
- ROOF BRACING: SPEED BRACE TO CROSS EACH TRUSS & FASTENED TO TOP PLATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FASCIA: METAL FASCIA FIXED TO STANDARD RAFTER BRACKET  
GUTTERING: METAL  
DOWNPIPES: 90mm ROUND PVC DOWNPIPES  
SMOKE ALARMS: TO BE HARD WIRE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE BCA VOLUME 2. ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 3000-2007. SMOKE ALARMS TO BE INTERCONNECTED & PHOTO ELECTRIC.
- NOGGINGS:** TO BE PROVIDED WHERE:  
TOWEL RAILS SHOWN @ 1200H.  
TOILET ROLL HOLDERS @ 800H.  
VANITIES @ 360H & 800H (EXTEND LENGTH OF NOGGIN 100 PAST)

FLOOD AFFECTED LOT



NOTE:  
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CABINETRY, ELECTRICAL APPLIANCES & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS OF ALL FIXTURES, FITTINGS AND INCLUSIONS.  
DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

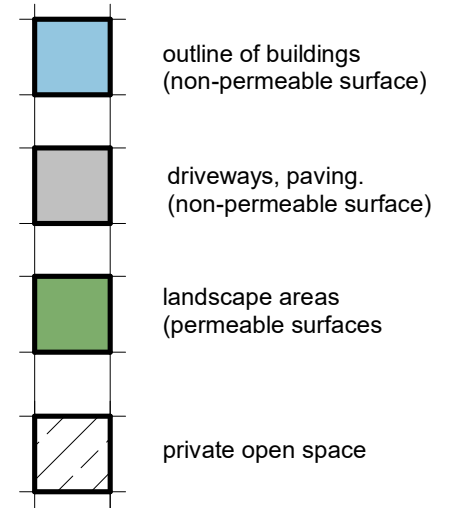
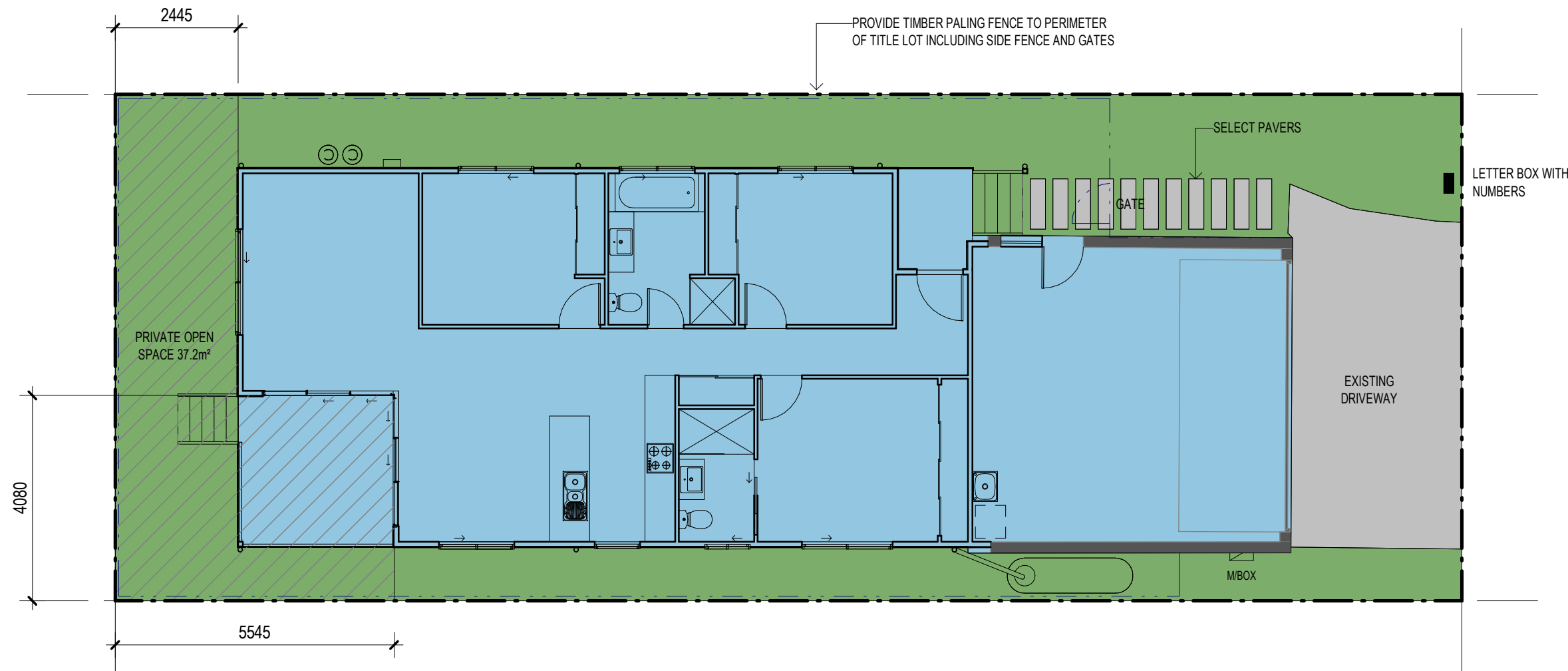
<u>REAL PROPERTY DESCRIPTION</u>		<u>ORIENTATION</u>
LOT: 2	PLAN: TBA	
PARISH: TBA		
COUNTY: TBA		
LOCAL AUTHORITY: BYRON		

AREA CALCULATIONS

NOTE:  
DRAWINGS ARE CONCEPTUAL. ALL SITE BEARINGS, DIMENSIONS & CONTOURS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY PLAN. FLOOR PLANS AND ELEVATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO COVENANT AND BUILDING APPROVAL

PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-300
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Sections
HOUSE DESIGN: CUSTOM



NON-PERMEABLE SURFACES - 269.4m2 x 75% (MAX) = 202 m2

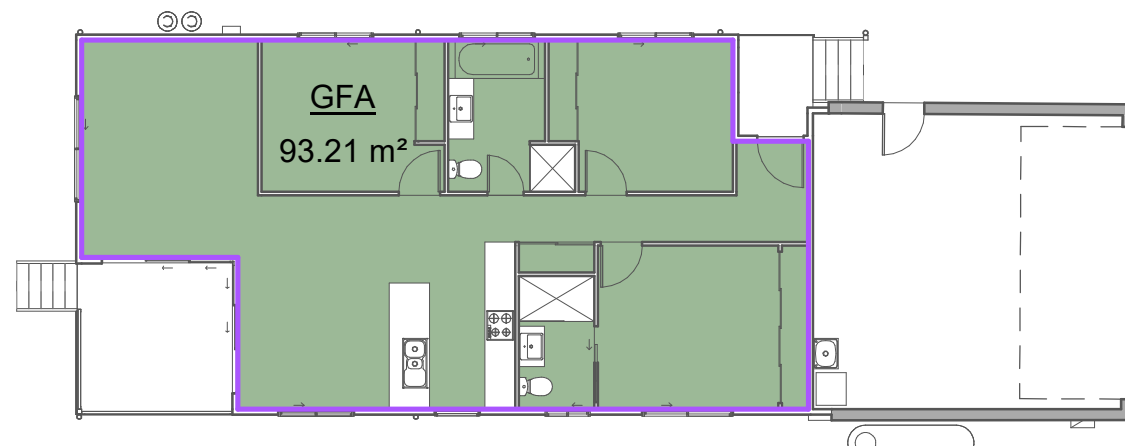
TYPE	AREA	AREA % OF SITE
FOOTPRINT	149.4 m2	55.5 %
DRIVEWAY	22.8 m2	8.4%
PAVERS	3.3m2	1.2%
TOTAL	175.5 m2	65.1 %

PERMEABLE SURFACES - 269.4m2 x 25% (MIN) = 67.4 m2

LANDSCAPE	93.9 m2	34.9 %
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## SITE AREAS

1 : 100



GFA	93.21 m²
TOTAL:	93.21 m²

FLOOR SPACE RATIO = 93.21 m2 / 269.4 m2 = 0.35:1  
max FSR 0.5:1 - therefore complies

## FLOOR SPACE RATIO

1 : 150

Initial here: Initial here:



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DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIC NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

## DEVELOPMENT APPROVAL

### REAL PROPERTY DESCRIPTION

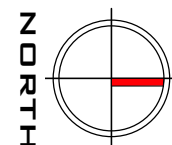
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:  
BYRON

### ORIENTATION

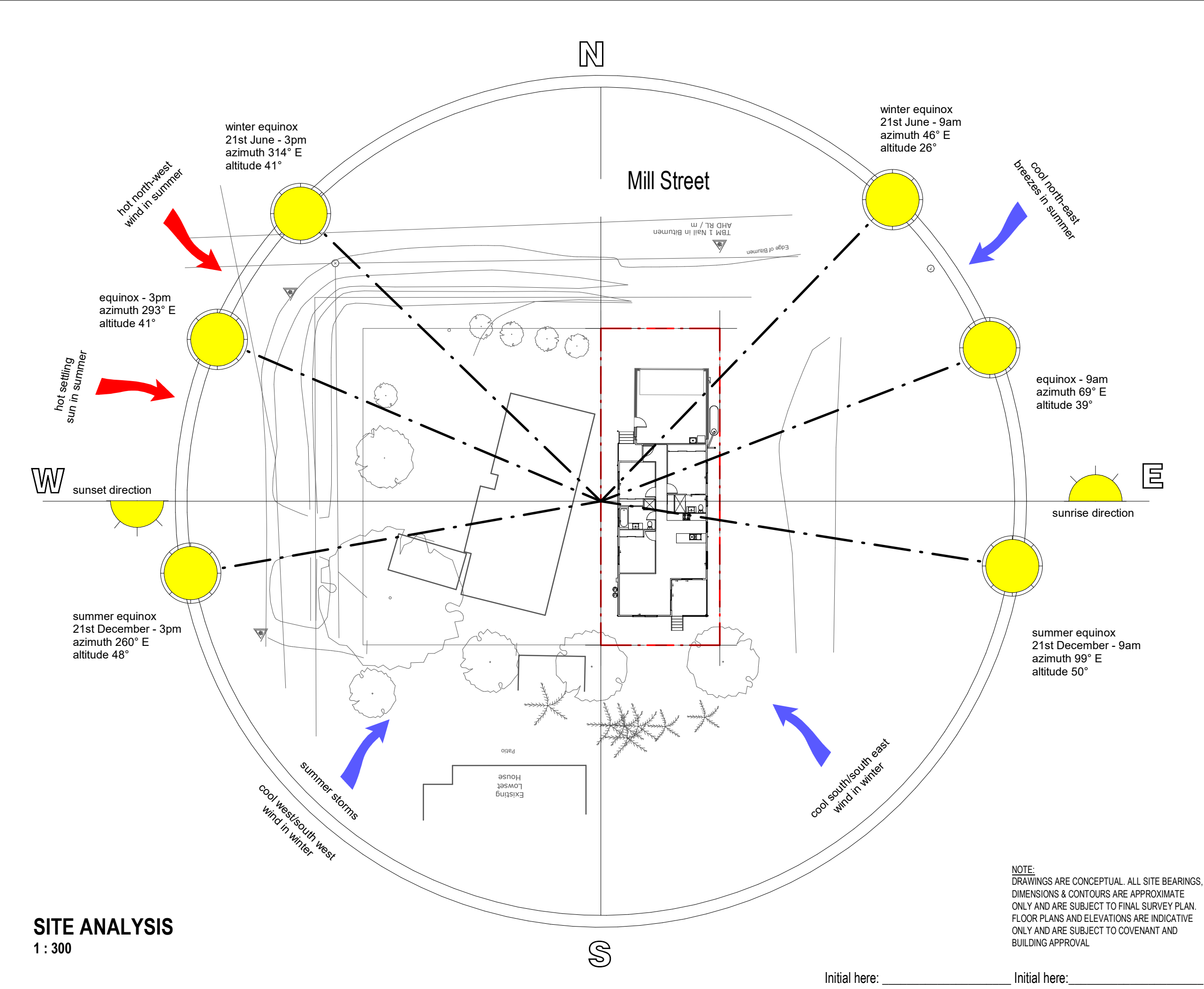


### AREA CALCULATIONS

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PROJECT COMMENCED:	PROJECT NO:	MUL2
09.08.21	DRAWING NO:	DA-401
DRAWN BY:	SCALE:	As indicated @A3
CHECKED BY:	ISSUE:	DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Site Areas
HOUSE DESIGN: CUSTOM



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CABINETRY, ELECTRICAL APPLIANCES & PLUMBING SYMBOLS ARE DIAGRAMMATIC ONLY. REFER TO BUILDERS SPECIFICATIONS FOR DETAILS OF ALL FIXTURES, FITTINGS AND INCLUSIONS.  
DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING, DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIX NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO



MURPHY

Homes

EST.1975

DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2    PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS	

PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
	DRAWING NO: DA-402
DRAWN BY: DO	SCALE: 1 : 300 @A3
CHECKED BY: TKL	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Site Analysis
HOUSE DESIGN: CUSTOM

NOTE:  
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Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_