

- SITE LEGEND:**
- AC AIR CONDITIONING UNIT
  - CL CLOTHES LINE
  - GD GRATED DRAIN
  - HWS GAS HOT WATER SYSTEM
  - LB LETTER BOX
  - LP LIGHT POLE
  - LS LANDSCAPE
  - NBN NBN PIT
  - MSB MAIN SWITCH BOARD
  - OMP OUTER MOST PROJECTION
  - \*SL EXT. SPOT LEVEL
  - SM SEWER MANHOLE
  - TBM TEMPORARY BENCH MARK
  - PGM PREFERRED GAS METER LOCATION
  - PB POWER BOX
  - POS PRIVATE OPEN SPACE
  - PP POWER POLE
  - RWT RAINWATER TANK 5000L (1150x2600x1860H)
  - WM WATER METER

**NOTES:**  
ALL ITEMS AND LEVELS SHOWN ARE INDICATIVE ONLY AND SHOULD BE CONFIRMED ON SITE.

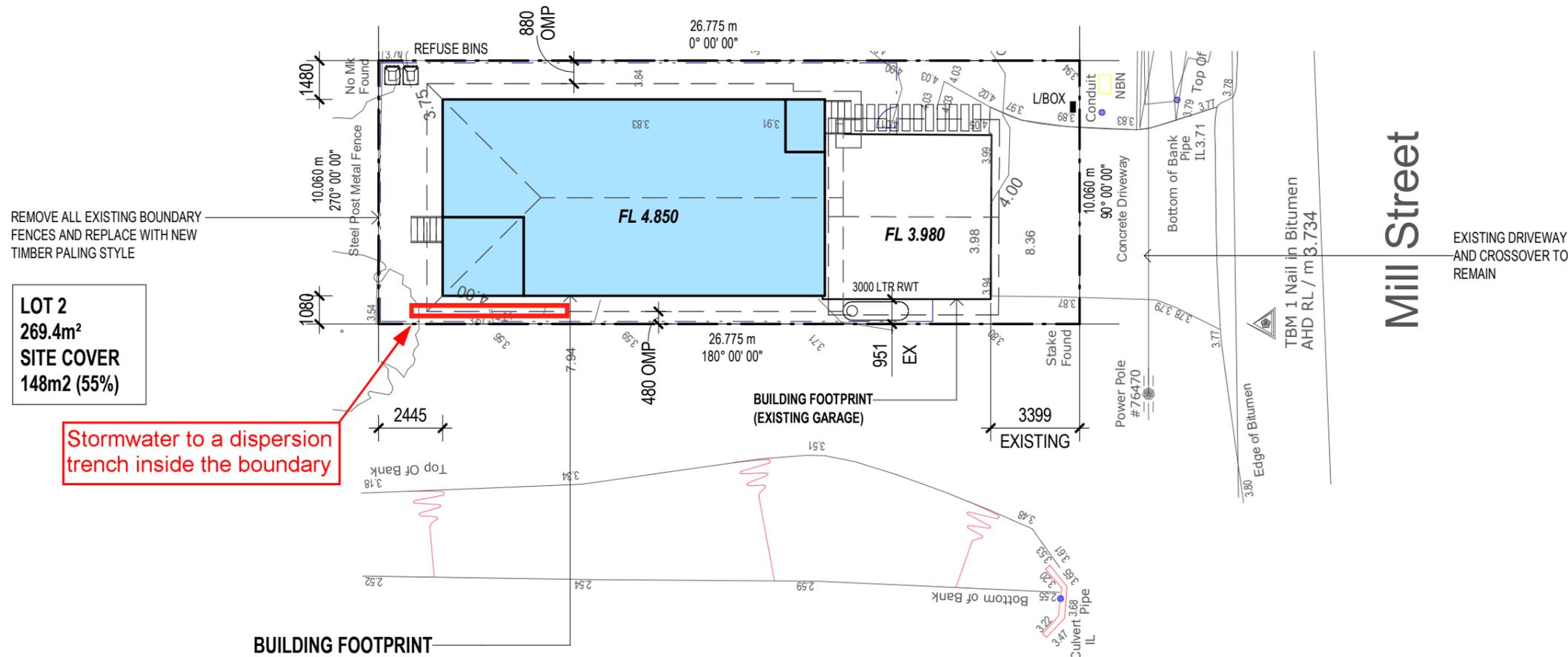
STORMWATER TAKEN TO STREET OR NEAREST PIT AS PER LOCAL AUTHORITIES REQUIREMENTS.

ALL WORKS TO BE IN ACCORDANCE WITH CURRENT AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTIONS CODES AND LOCAL AUTHORITY REGULATIONS.

INSTALLATION OF PRODUCTS SHOULD BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

**NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.**

FLOOD AFFECTED LOT



Stormwater to a dispersion trench inside the boundary

**BUILDING FOOTPRINT (NEW WORKS)**  
REFER DEMOLITION PLAN FOR DEMO WORKS PRIOR TO CONSTRUCTION

**SITE PLAN**  
1 : 200

**BYRON SHIRE COUNCIL**  
Development Application  
APPROVED PLAN  
DA No. 10.2022.233.2  
Date: 1 December 2022

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



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REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

**DEVELOPMENT APPROVAL**

**REAL PROPERTY DESCRIPTION**

LOT: 2 PLAN: TBA  
PARISH: TBA  
COUNTY: TBA  
LOCAL AUTHORITY: BYRON

**ORIENTATION**



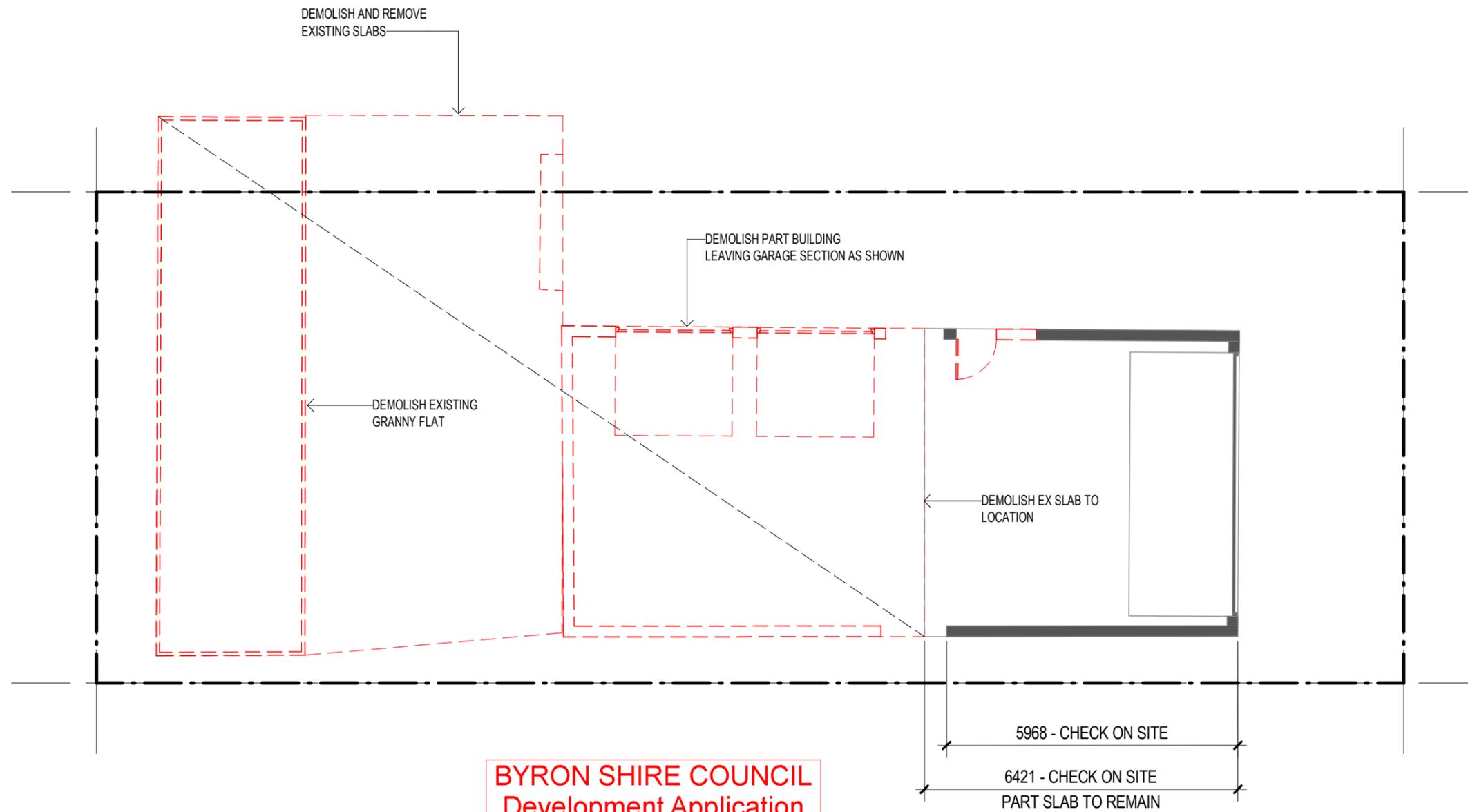
**AREA CALCULATIONS**

**NOTE:**  
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PROJECT COMMENCED:	PROJECT NO:	MUL2
09.08.21	DRAWING NO:	DA-102
DRAWN BY:	SCALE:	As indicated @A3
CHECKED BY:	ISSUE:	DA6

CLIENT MANGLESON  
PROJECT ADDRESS  
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:  
Site Plan  
HOUSE DESIGN:  
CUSTOM



**DEMOLITION PLAN**  
1 : 100

**BYRON SHIRE COUNCIL**  
**Development Application**  
**APPROVED PLAN**  
**DA No. 10.2022.233.2**  
**Date: 1 December 2022**

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REV	DATE	DESCRIPTION	DRAWN BY
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.2022	BASIC NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	NORTH 
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

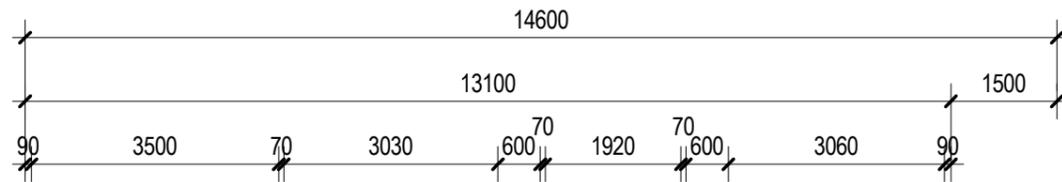
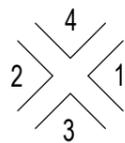
AREA CALCULATIONS	

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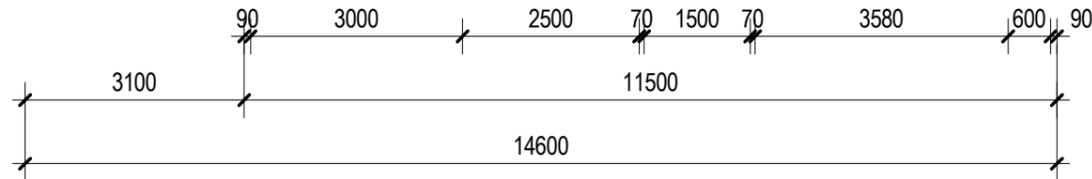
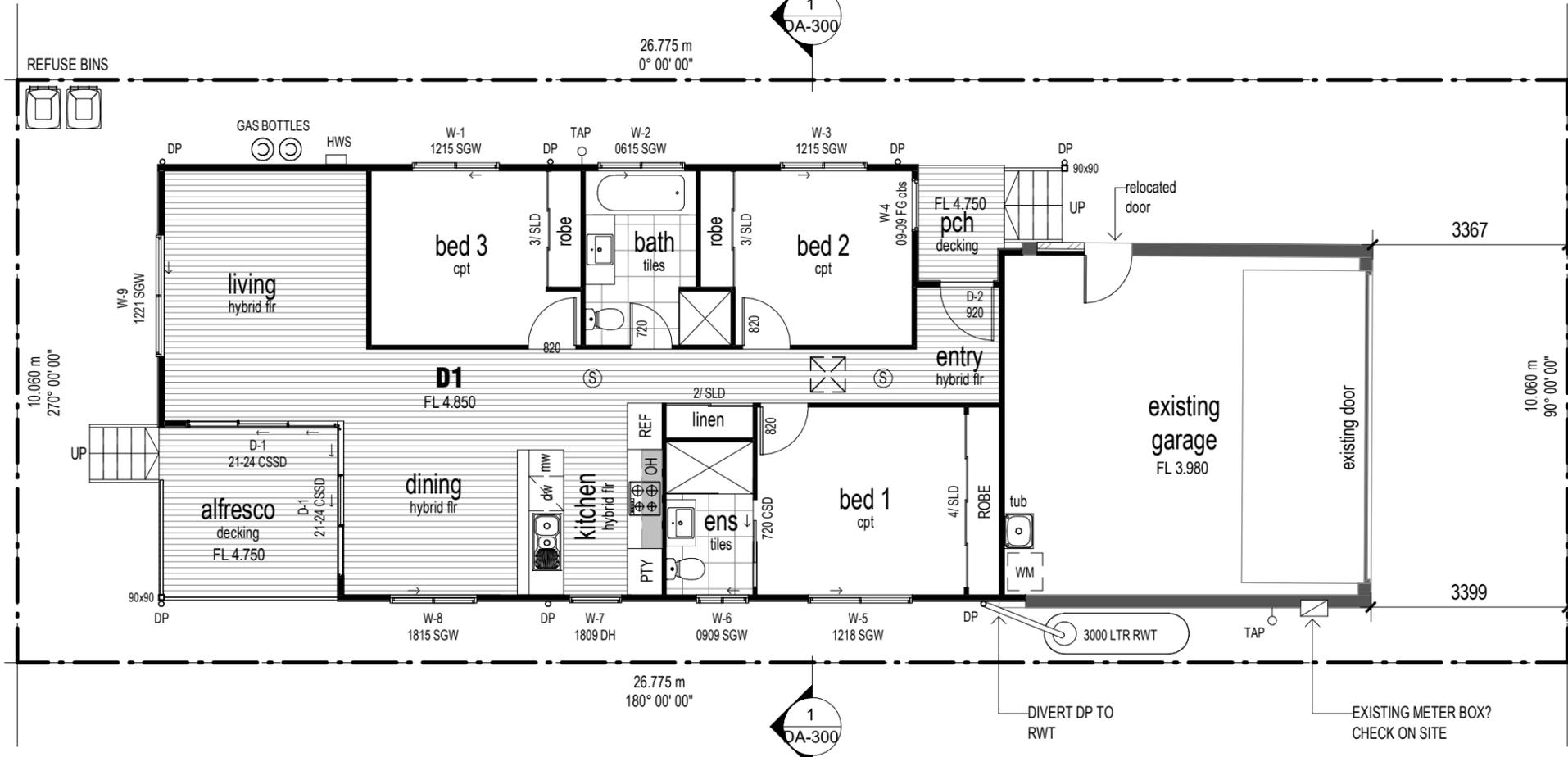
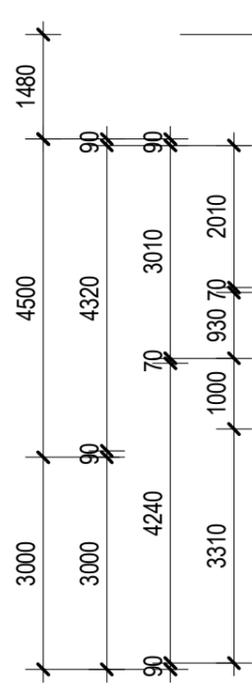
PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-103
DRAWN BY: DO	SCALE: 1 : 100 @A3	
CHECKED BY: TKL	ISSUE: DA6	

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Demolition Plan
HOUSE DESIGN: CUSTOM

ELEVATIONS



FLOOD AFFECTED LOT



- LEGEND**
- AC AIR CONDITIONING
  - BRM BROOM CUPBOARD
  - CBD CUPBOARD
  - DHR DOUBLE HANGING RAIL
  - DP DOWNPIPE
  - DW DISHWASHER
  - DR DRYER
  - FW FLOOR WASTE
  - HR SINGLE HANGING RAIL
  - HWS GAS HOT WATER SYSTEM
  - MH MAN HOLE
  - MSB MAIN SWITCH BOARD
  - MT MIXER TAP
  - MW MICROWAVE
  - OH OVER HEAD CUPBOARDS
  - O/H OVER HANG
  - OV OVEN
  - PGM PREFERRED GAS METER LOCATION
  - PL PLUMBING DUCT
  - PTY PANTRY
  - RA HAND RAIL
  - REF REFRIGERATOR
  - RHC RANGEHOOD CANOPY
  - RWT RAINWATER TANK 5000L (1150x2600x1860H)
  - S SMOKE ALARM
  - SB SUB BOARD
  - SH SHELF
  - SP SPREADER PIPE
  - TH TOILET ROLL HOLDER
  - TR TOWEL RAIL/RING
  - WM WASHING MACHINE
  - WB WALL BASIN
  - UBO UNDER BENCH OVEN
- Ⓢ SMOKE ALARM TO BE INTERCONNECTED AND PHOTOELECTRIC.

NOTE: SECURE MESH TO UPPER LEVEL OPENABLE WINDOWS.

WHERE THRESHOLDS OF DOORWAYS ARE MORE THAN 230mm ABOVE ADJOINING SURFACE STEPS MUST BE INCORPORATED IN ACCORDANCE WITH NCC SECTION 3.9.1.2.

LIFT OFF HINGES TO DOORS TO SANITARY COMPARTMENTS IN ACCORDANCE WITH NCC 2.4.3.

ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7

**BYRON SHIRE COUNCIL**  
**Development Application**  
**APPROVED PLAN**  
**DA No. 10.2022.233.2**  
**Date: 1 December 2022**

**NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.**

**GROUND FLOOR PLAN**  
 1 : 100

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



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DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

**DEVELOPMENT APPROVAL**

REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

**AREA CALCULATIONS**

GROUND	97.05 m <sup>2</sup>
EX GARAGE	39.90 m <sup>2</sup>
ALFRESCO	9.30 m <sup>2</sup>
PORCH	3.02 m <sup>2</sup>
<b>TOTAL:</b>	<b>149.27 m<sup>2</sup></b>

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PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-104
CHECKED BY: TKL	SCALE: 1 : 100 @A3
	ISSUE: DA6

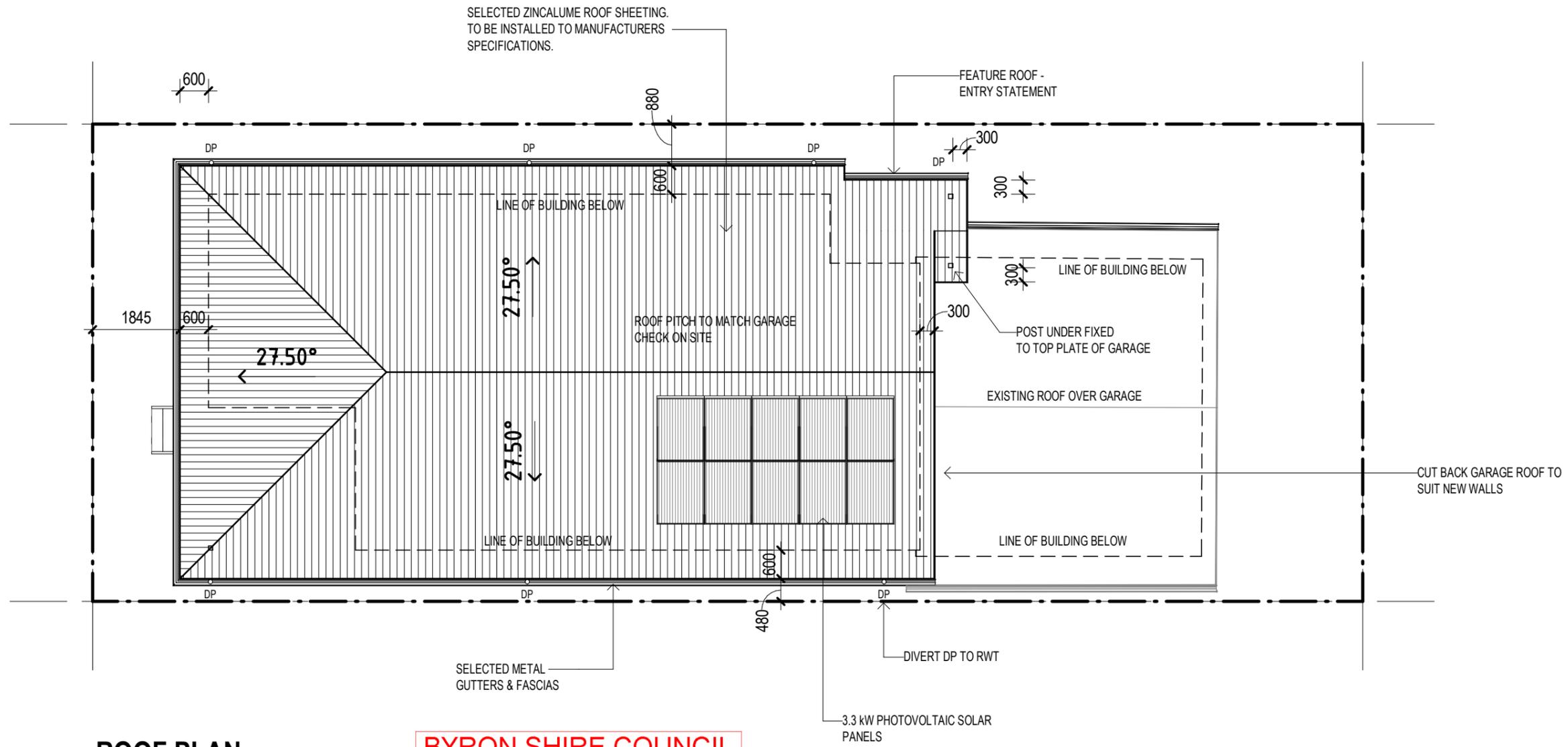
CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Ground Floor Plan
HOUSE DESIGN: CUSTOM

**ROOF LEGEND**

- FL FLASHING
- DP DOWNPIPE
- DP/S DOWNPIPE SPREADER
- EG EAVES GUTTER
- RS ROOF SHEETING
- VG VALLEY GUTTER

NOTE:  
 ALL GUTTERS AND DOWNPIPES INSTALLED IN ACCORDANCE WITH NCC VOLUME TWO 3.2.5 AND AS3500. VALLEY GUTTERS ON ROOF WITH PITCH LESS THAN 12.5° MUST BE DESIGNED AS A BOX GUTTER. DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER & BE LOCATED TO VALLEY GUTTERS AS CLOSE OF POSSIBLE. BOX GUTTER TO HAVE SUMP OR RAINHEAD AND OVERFLOW IN ACCORDANCE WITH AS 3500. 3.7.5.

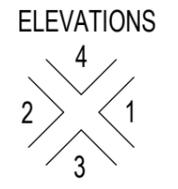
ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7



**ROOF PLAN**  
1 : 100

**BYRON SHIRE COUNCIL**  
 Development Application  
**APPROVED PLAN**  
 DA No. 10.2022.233.2  
 Date: 1 December 2022

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DA6	04.04.22	CEILING RAISED	DO

**DEVELOPMENT APPROVAL**

**REAL PROPERTY DESCRIPTION**  
 LOT: 2 PLAN: TBA  
 PARISH: TBA  
 COUNTY: TBA  
 LOCAL AUTHORITY: BYRON

**ORIENTATION**

**AREA CALCULATIONS**


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PROJECT COMMENCED: 09.08.21  
 DRAWN BY: PD  
 CHECKED BY: TKL

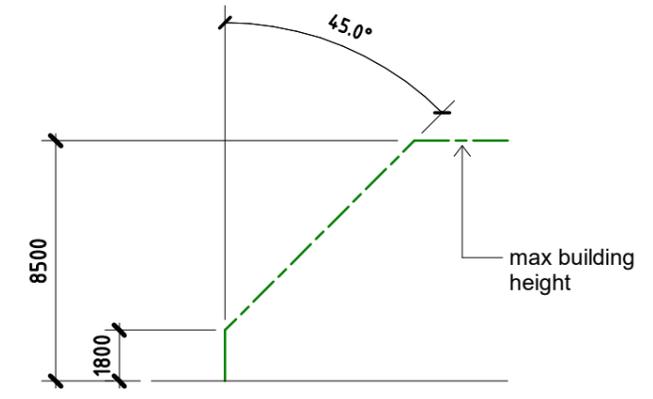
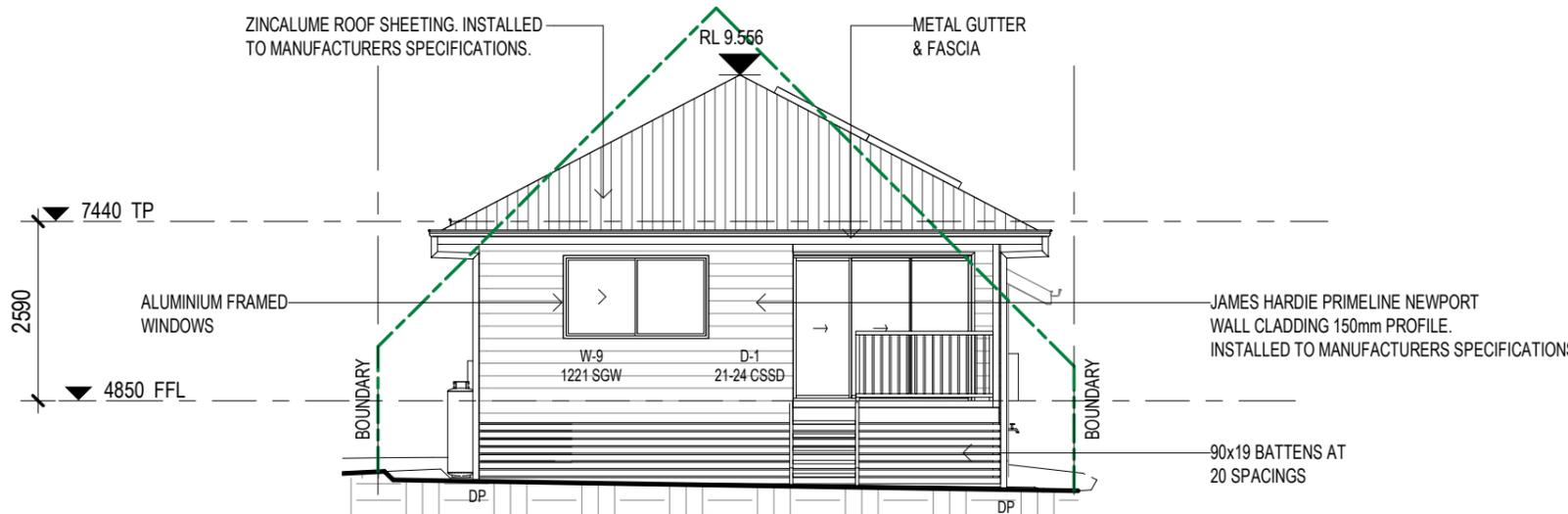
PROJECT NO: MUL2  
 DRAWING NO: DA-105  
 SCALE: 1 : 100 @A3  
 ISSUE: DA6

CLIENT MANGLESON

**PROJECT ADDRESS**  
 LOT 2 MILL STREET, MULLUMBIMBY

**DRAWING TITLE:**  
 Roof Plan

**HOUSE DESIGN:**  
 CUSTOM

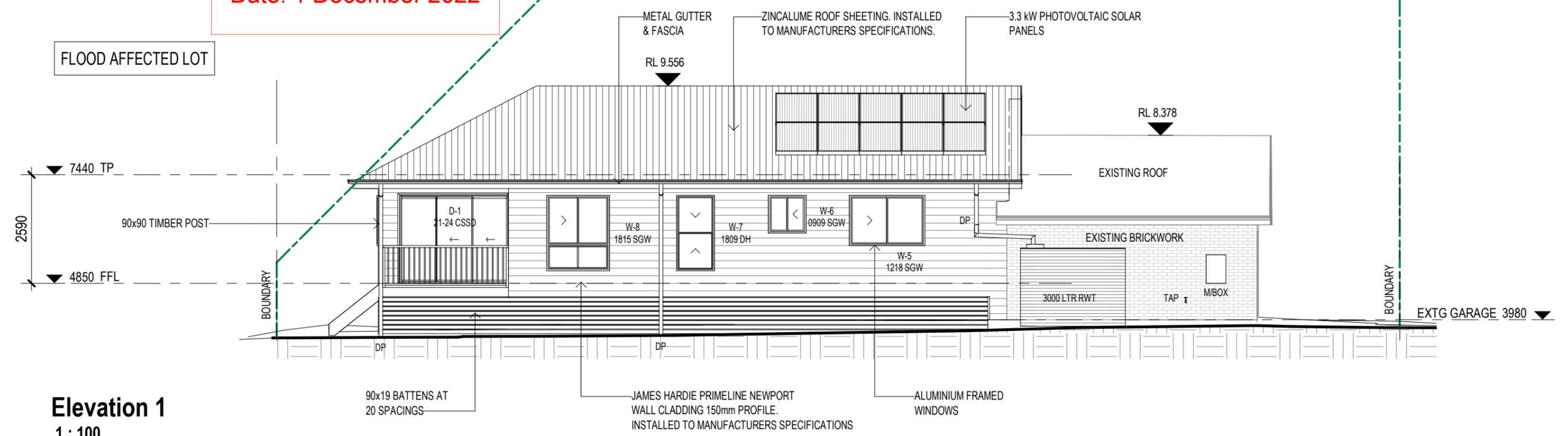


**Building Envelope**  
1 : 250

**Elevation 3**  
1 : 100

**BYRON SHIRE COUNCIL**  
Development Application  
**APPROVED PLAN**  
DA No. 10.2022.233.2  
Date: 1 December 2022

FLOOD AFFECTED LOT



**Elevation 1**  
1 : 100

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DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

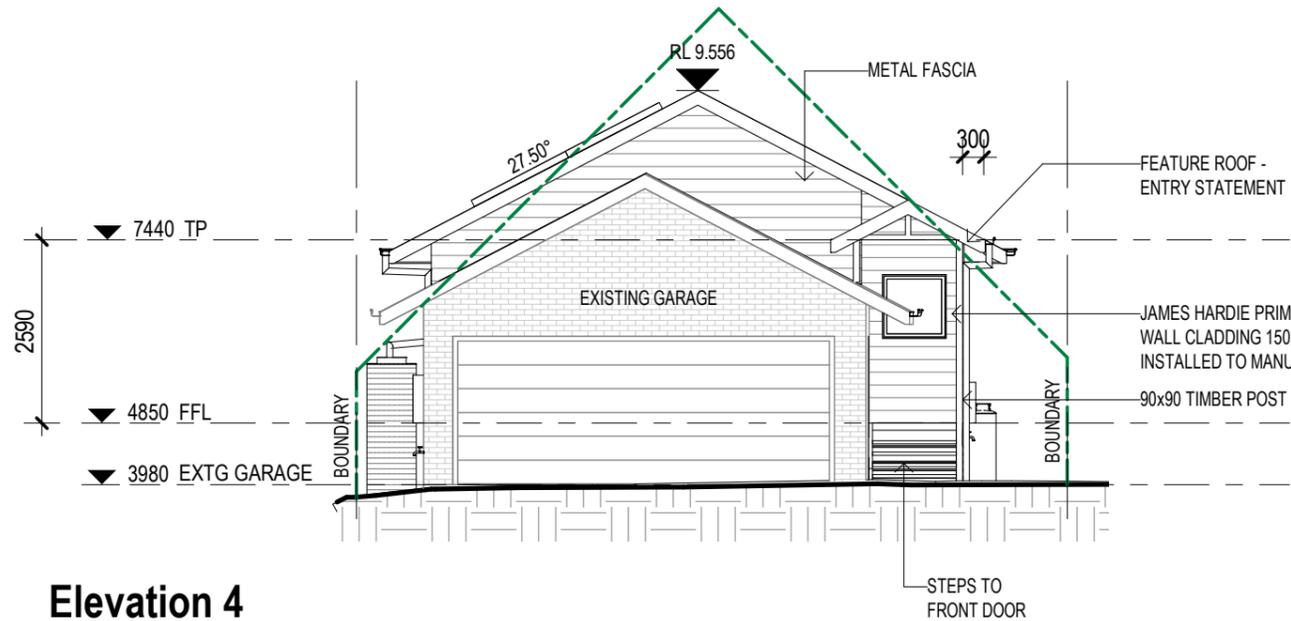
DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS	

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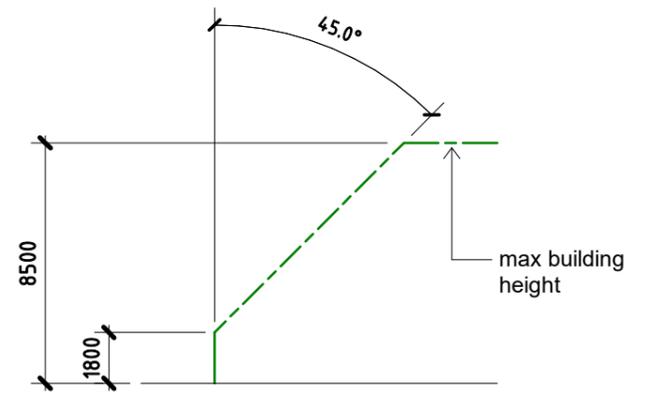
PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
	DRAWING NO: DA-200
DRAWN BY: PD	SCALE: As indicated @A3
CHECKED BY: TKL	ISSUE: DA6

CLIENT MANGLESON  
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY  
DRAWING TITLE: Elevations  
HOUSE DESIGN: CUSTOM

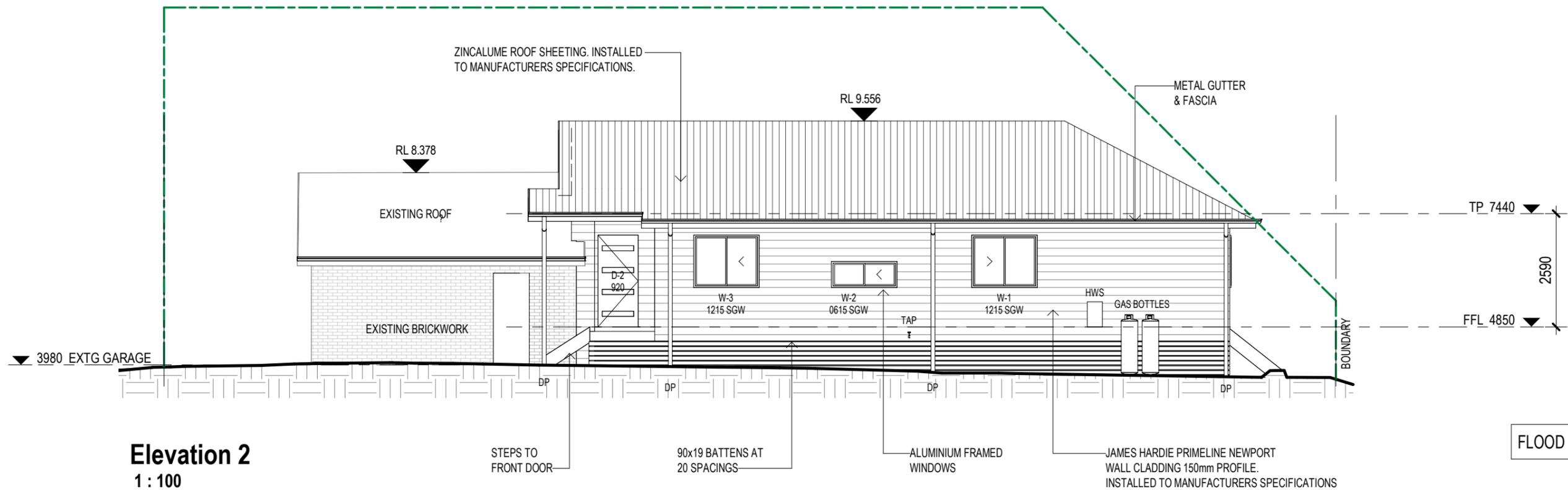


**Elevation 4**  
1 : 100

**BYRON SHIRE COUNCIL**  
Development Application  
**APPROVED PLAN**  
DA No. 10.2022.233.2  
Date: 1 December 2022



**building envelope**  
1 : 250



**Elevation 2**  
1 : 100

FLOOD AFFECTED LOT

Initial here: \_\_\_\_\_ Initial here: \_\_\_\_\_



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DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

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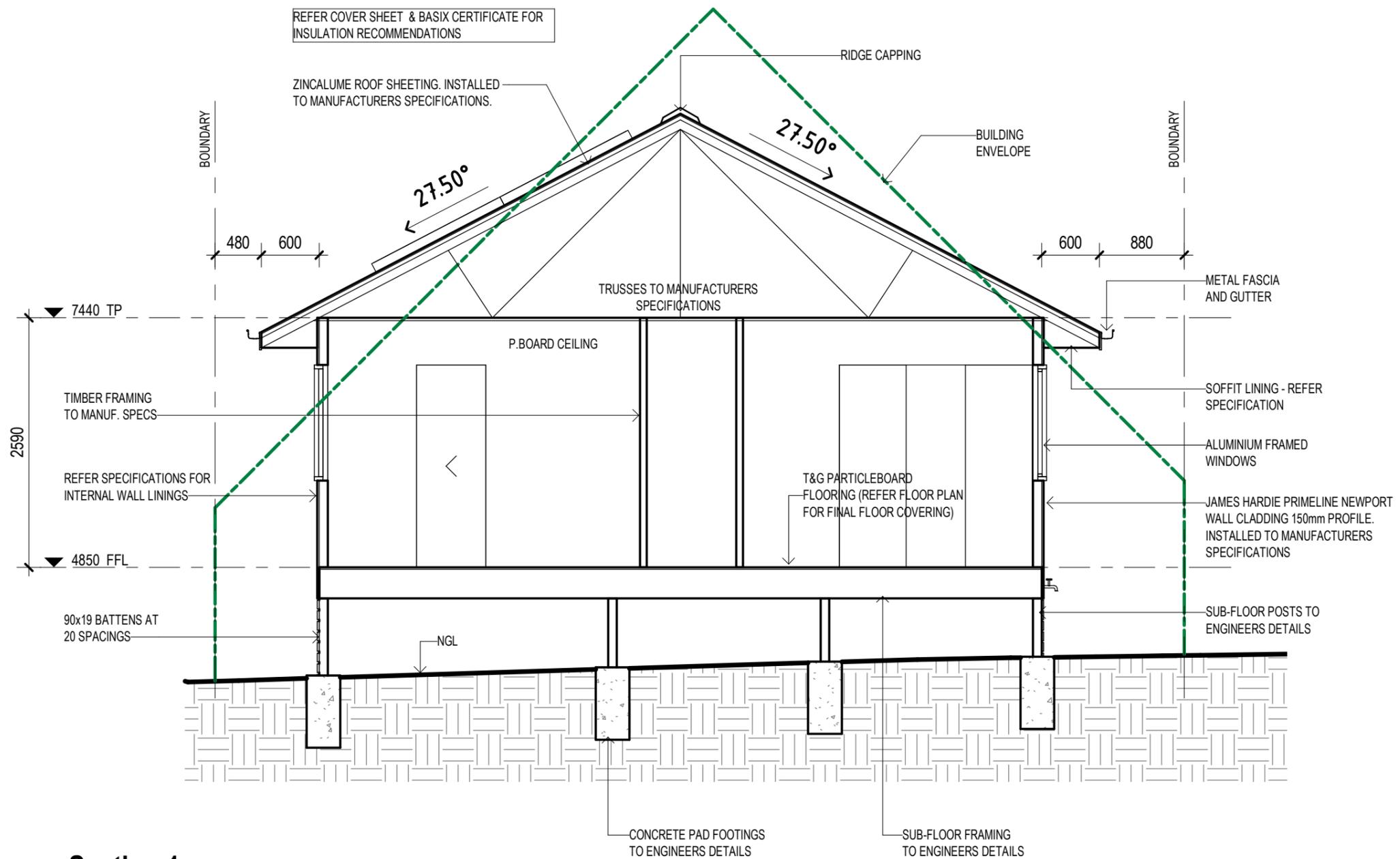
PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-201
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Elevations
HOUSE DESIGN: CUSTOM

**CONSTRUCTION NOTES**

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES, BUILDING ACT AMENDMENT & AUSTRALIAN STANDARDS

- FOOTINGS: TO ENGINEERS DESIGN AND DETAIL
- CONCRETE SLAB: TO ENGINEERS DESIGN AND DETAIL
- SLAB HEIGHT: TO ENGINEERS DESIGN AND DETAIL
- TERMITE TREATMENT: IN ACCORDANCE WITH NCC VOL. 2 3.1.4 TERMITE RISK MANAGEMENT. AND A.S. 3660.1-2014
- EXTERNAL WALLS: MASONRY CONSTRUCTION TO COMPLY WITH A.S. 3700-2018 'MASONRY CODE'. TIMBER CONSTRUCTION TO COMPLY WITH NCC 70mm OR 90mm TIMBER STUDS AS REQUIRED, WALL TIES IN ACCORDANCE WITH BCA PART 3.3.3 AND AS 1684
- INTERNAL LININGS: 10mm PLASTERBOARD, 6mm VILLABOARD TO WET AREAS
- CEILING LININGS: 10mm PLASTERBOARD
- SOFFIT LININGS: 4.5mm HARDIFLEX
- CEILING HEIGHT: 2400mm
- JOINERY HEIGHT: 2100mm
- WINDOW FLASHINGS: TO ALL WINDOWS
- WET AREAS: TO COMPLY WITH BCA VOLUME 2, PART 3.8.1 'WET AREAS' TO MANUFACTURER'S SPECIFICATIONS
- ROOFING: SELECTED METAL ROOF SHEETING @ NOMINATED PITCH, FIXED TO MANUFACTURER'S SPECIFICATIONS
- ROOF BRACING: SPEED BRACE TO CROSS EACH TRUSS & FASTENED TO TOP PLATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.
- FASCIA: METAL FASCIA FIXED TO STANDARD RAFTER BRACKET METAL
- GUTTERING: 90mm ROUND PVC DOWNPIPES
- DOWNPIPES: 90mm ROUND PVC DOWNPIPES
- SMOKE ALARMS: TO BE HARD WIRE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE BCA VOLUME 2. ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 3000-2007. SMOKE ALARMS TO BE INTERCONNECTED & PHOTO ELECTRIC.
- NOGGINGS:** TO BE PROVIDED WHERE:
  - TOWEL RAILS SHOWN @ 1200H.
  - TOILET ROLL HOLDERS @ 800H.
  - VANITIES @ 360H & 800H (EXTEND LENGTH OF NOGGIN 100 PAST)



**Section 1**  
1 : 50

**BYRON SHIRE COUNCIL**  
Development Application  
**APPROVED PLAN**  
DA No. 10.2022.233.2  
Date: 1 December 2022

FLOOD AFFECTED LOT

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DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL	
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS	

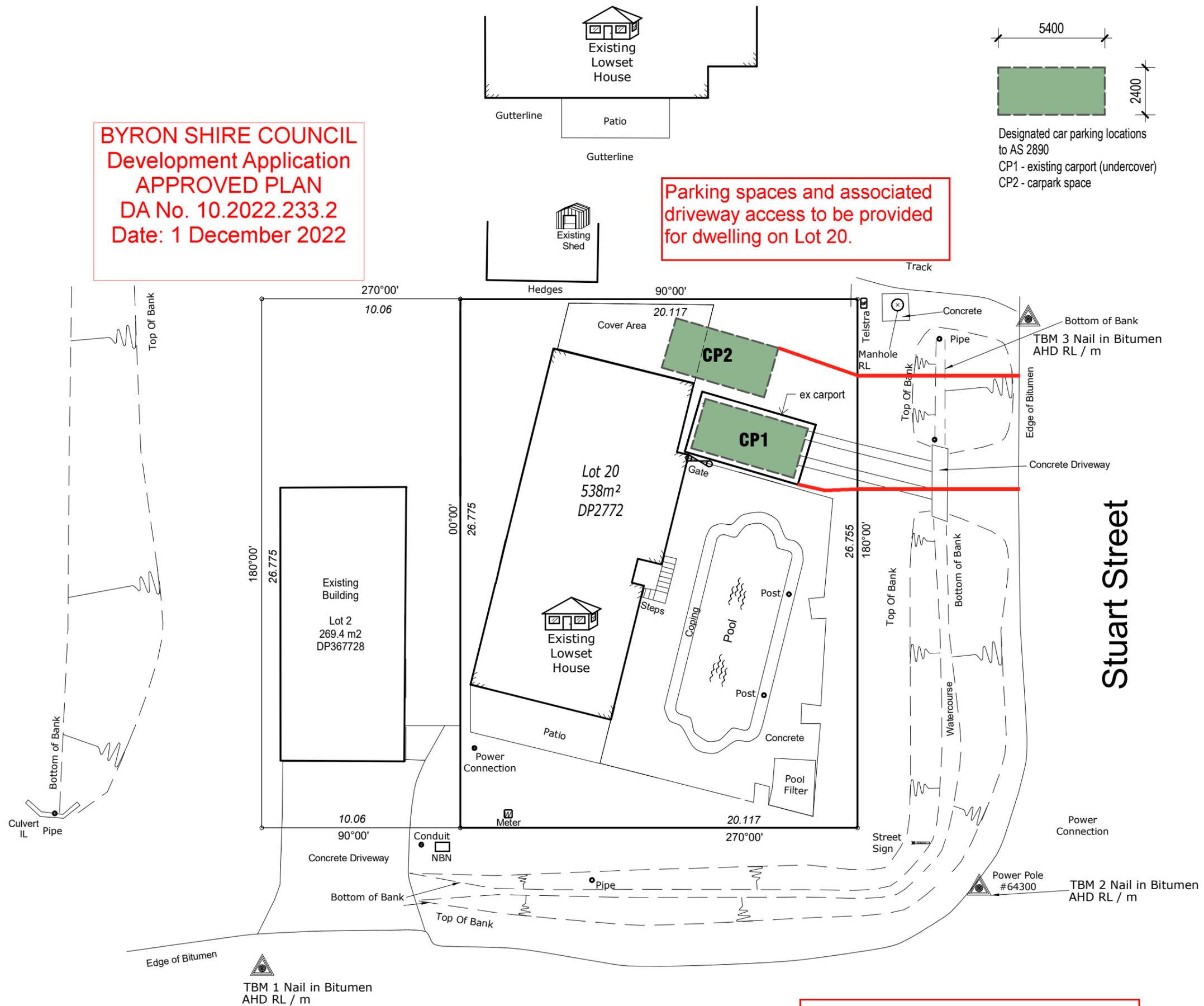
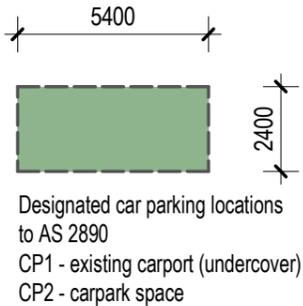
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DRAWINGS ARE CONCEPTUAL. ALL SITE BEARINGS, DIMENSIONS & CONTOURS ARE APPROXIMATE ONLY AND ARE SUBJECT TO FINAL SURVEY PLAN. FLOOR PLANS AND ELEVATIONS ARE INDICATIVE ONLY AND ARE SUBJECT TO COVENANT AND BUILDING APPROVAL

PROJECT COMMENCED: 09.08.21	PROJECT NO: MUL2
DRAWN BY: PD	DRAWING NO: DA-300
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Sections
HOUSE DESIGN: CUSTOM

**BYRON SHIRE COUNCIL**  
**Development Application**  
**APPROVED PLAN**  
**DA No. 10.2022.233.2**  
**Date: 1 December 2022**

**Parking spaces and associated driveway access to be provided for dwelling on Lot 20.**



**Car Parking Plan**

**Contour & Feature Survey**



Unit 5/23 Overlord Place, ACACIA RIDGE, Qld, 4110  
 Ph (07) 3363 8100 www.axisurveys.com.au

**LOT** As Shown on As Shown  
 #2 Stuart Street Cnr Mill Street  
**Suburb** Mullumbimby  
**Local Auth** Byron Shire Council  
**Area** As Shown

Client:

**Murphy Builders Qld Pty Ltd T/as MP Build Investments**

Order No: MUL2/1030

**NOTES TO BE READ BEFORE USING THIS PLAN**

This Plan has limitations regarding its use for some applications. Please contact this office if there is any doubt about the suitability of this plan for the intended use. These notes form part of this plan and they must remain with the plan or any copies. The limitations of this plan are detailed in the link below, with the main ones being:-

1. This plan has been prepared for our client & should not be used by others without approval.
2. The boundaries shown have been sourced from the subject survey plan or as noted, and have not been checked.
3. Distances from features to the shown boundaries should not be used or relied upon.
4. If positional accuracy is critical a boundary identification survey may be required.
5. The certificate of title has not been searched and should be checked for any encumbrances.
6. The contours may not represent the local authority's definition of "Ground Level"
7. A flood search has not been carried out. Check with local council for min. and max. construction heights.
8. Non visible services (if shown), have been plotted from the relevant authority's records or from other sources and may not be accurate. Services should be exposed before design or construction commences.
9. The north point has been taken from the survey plan and may not be suitable for all uses.

Refer to this link for more information [www.axisurveys.com.au/alertsanddisclaimers/](http://www.axisurveys.com.au/alertsanddisclaimers/)

Issue	Date	Amendment	By
A	02/08/2021	Original Issue	GEO2
B			
C			
D			
E			
F			

Site No: 2104713  
 Order No: X447871  
 Level Datum: AHD  
 Surveyed: MH  
 Date: 30/07/2021  
 Scale: **1:200**  
 PAGE **1 OF 1**