

- SITE LEGEND:
- AC AIR CONDITIONING UNIT
 - CL CLOTHES LINE
 - GD GRATED DRAIN
 - HWS GAS HOT WATER SYSTEM
 - LB LETTER BOX
 - LP LIGHT POLE
 - LS LANDSCAPE
 - NBN NBN PIT
 - MSB MAIN SWITCH BOARD
 - OMP OUTER MOST PROJECTION
 - *SL EXT. SPOT LEVEL
 - SM SEWER MANHOLE
 - TBM TEMPORARY BENCH MARK
 - PGM PREFERRED GAS METER LOCATION
 - PB POWER BOX
 - POS PRIVATE OPEN SPACE
 - PP POWER POLE
 - RWT RAINWATER TANK 5000L (1150x2600x1860H)
 - WM WATER METER

NOTES:
ALL ITEMS AND LEVELS SHOWN ARE INDICATIVE ONLY
AND SHOULD BE CONFIRMED ON SITE.

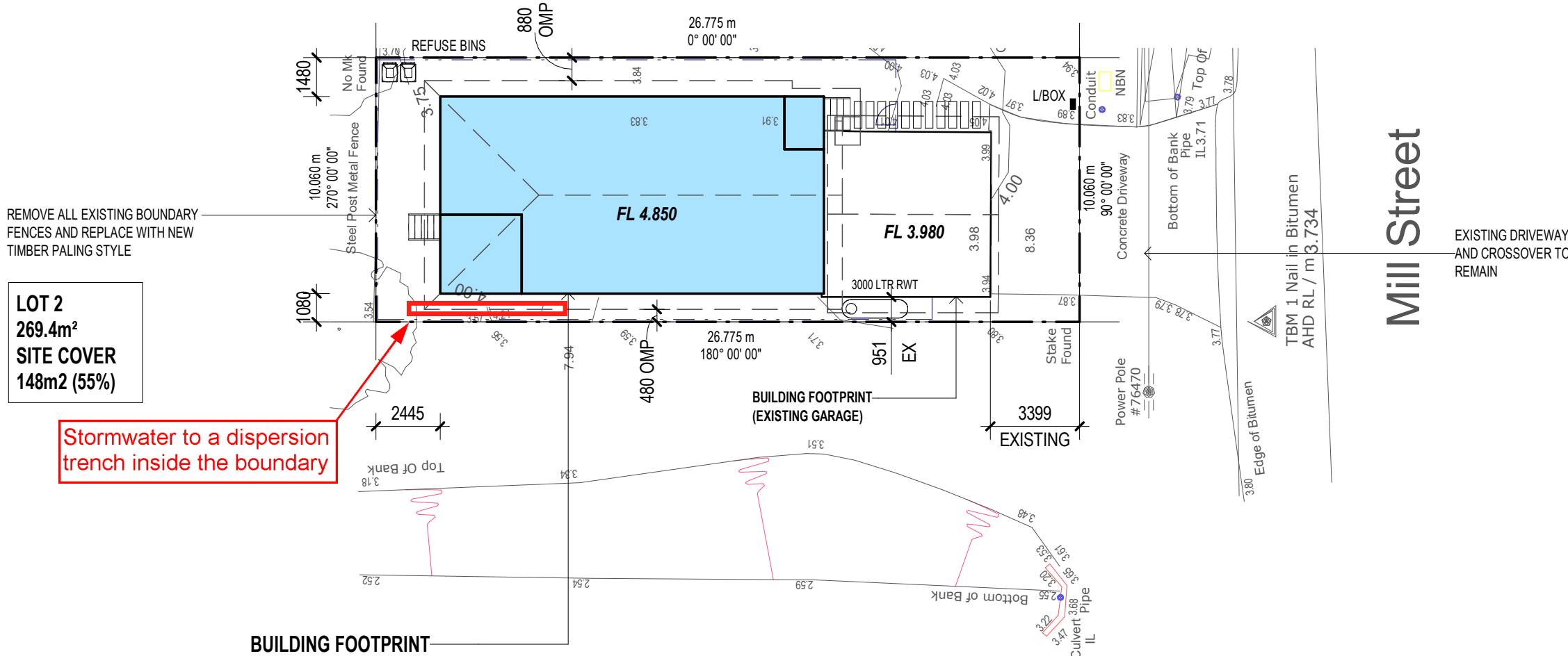
STORMWATER TAKEN TO STREET OR NEAREST PIT AS
PER LOCAL AUTHORITIES REQUIREMENTS.

ALL WORKS TO BE IN ACCORDANCE WITH CURRENT
AUSTRALIAN STANDARDS, NATIONAL CONSTRUCTIONS
CODES AND LOCAL AUTHORITY REGULATIONS.

INSTALLATION OF PRODUCTS SHOULD BE IN
ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

NOTE: THIS PROPERTY IS **NOT**
LOCATED IN A BUSHFIRE PRONE AREA.

FLOOD AFFECTED LOT



**BUILDING FOOTPRINT
(NEW WORKS)**
REFER DEMOLITION PLAN FOR DEMO
WORKS PRIOR TO CONSTRUCTION

**SITE PLAN
1 : 200**

**BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022**



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DETAILS OF ALL FIXTURES, FITTINGS AND INCLUSIONS.
DRAWINGS TO BE READ IN CONJUNCTION WITH BUILDING,
DEVELOPMENT AND COVENANT APPROVAL.

REV	DATE	DESCRIPTION	DRAWN BY
DA1	10.08.21	PRELIMINARY ISSUE	PD
DA2	04.11.21	PRELIMINARY ISSUE	PD
DA3	21.12.21	DEVELOPMENT APPROVAL	DO
DA4	18.02.22	BASIX NOTATIONS ADDED	DO
DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

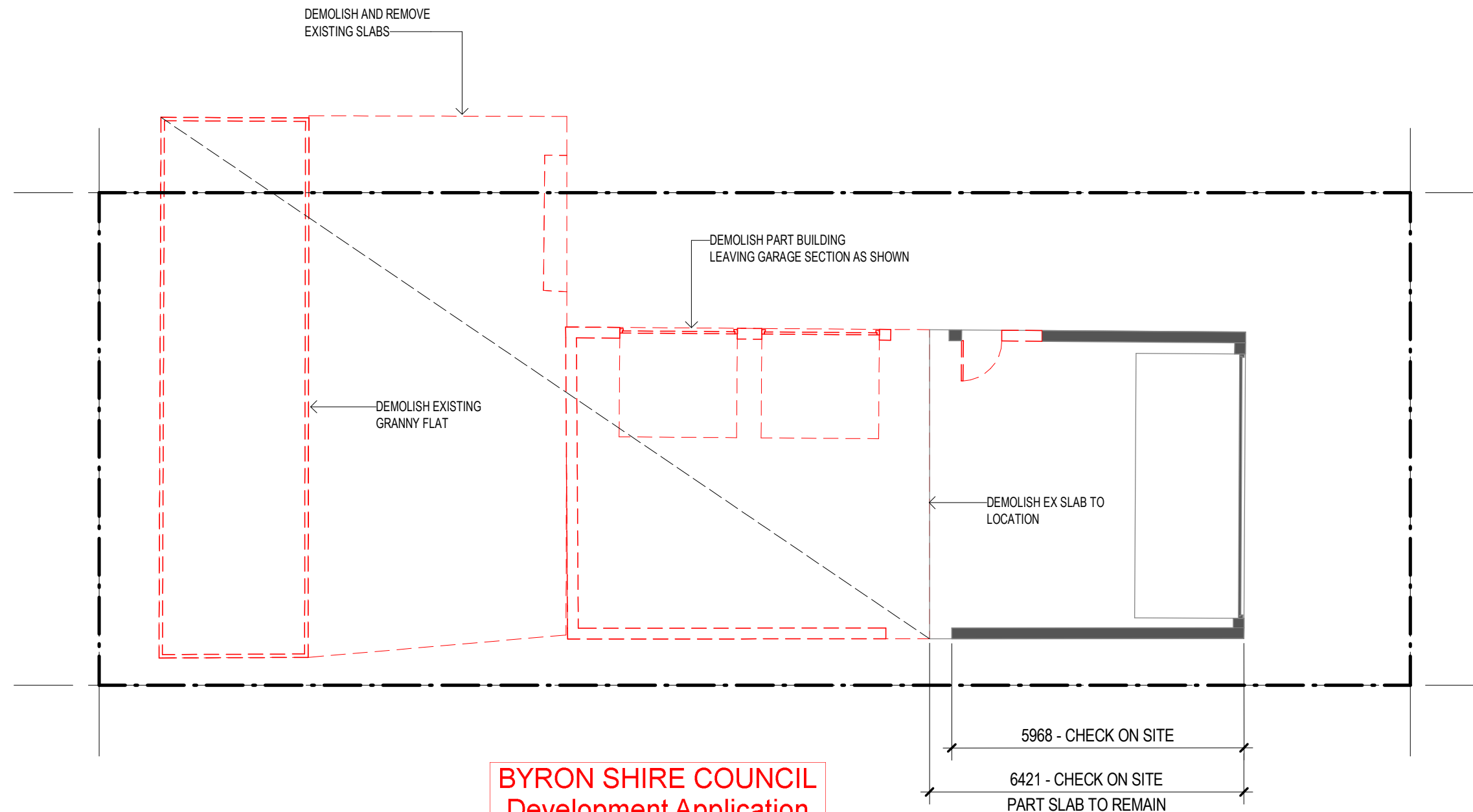
REAL PROPERTY DESCRIPTION	ORIENTATION
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

AREA CALCULATIONS

NOTE:
DRAWINGS ARE CONCEPTUAL. ALL SITE BEARINGS,
DIMENSIONS & CONTOURS ARE APPROXIMATE
ONLY AND ARE SUBJECT TO FINAL SURVEY PLAN.
FLOOR PLANS AND ELEVATIONS ARE INDICATIVE
ONLY AND ARE SUBJECT TO COVENANT AND
BUILDING APPROVAL

PROJECT COMMENCED: 09.08.21		PROJECT NO:	MUL2
		DRAWING NO:	DA-102
DRAWN BY:	PD	SCALE:	As indicated @A3
CHECKED BY:	TKL	ISSUE:	DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Site Plan
HOUSE DESIGN: CUSTOM



DEMOLITION PLAN
1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022

Initial here: _____ Initial here: _____



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REV	DATE	DESCRIPTION	DRAWN BY
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DA4	18.02.2022	BASIC NOTATIONS ADDED	DO
DA5	28.03.2022	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

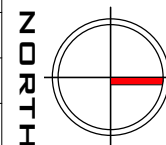
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

ORIENTATION



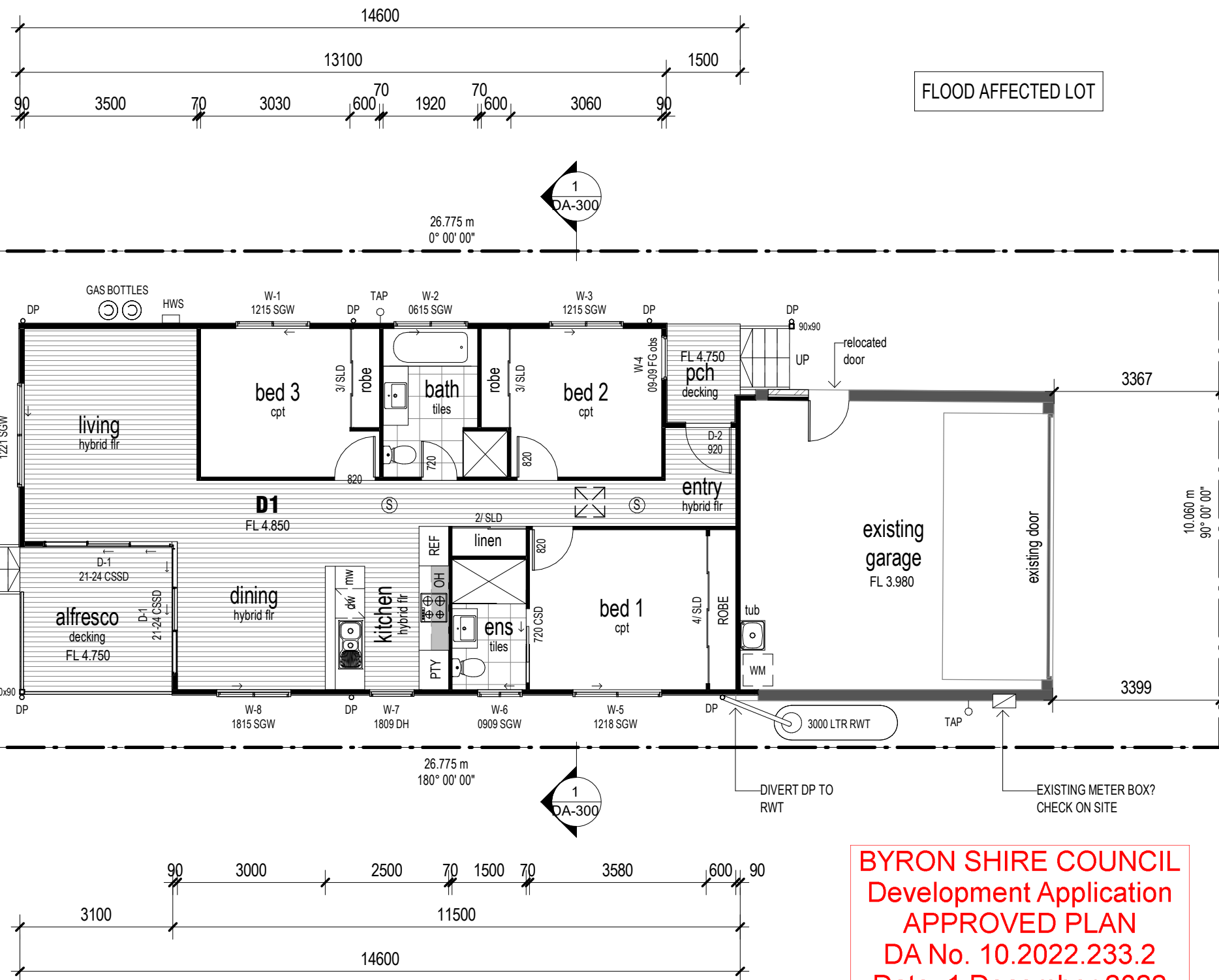
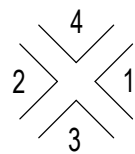
AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-103
DRAWN BY: DO	SCALE:	1 : 100 @A3
CHECKED BY: TKL	ISSUE:	DA6

CLIENT MANGLESON
PROJECT ADDRESS LOT 2 MILL STREET, MULLUMBIMBY
DRAWING TITLE: Demolition Plan
HOUSE DESIGN: CUSTOM

ELEVATIONS



LEGEND

AC	AIR CONDITIONING
BRM	BROOM CUPBOARD
CBD	CUPBOARD
DHR	DOUBLE HANGING RAIL
DP	DOWNPIPE
DW	DISHWASHER
DR	DRYER
FW	FLOOR WASTE
HR	SINGLE HANGING RAIL
HWS	GAS HOT WATER SYSTEM
MH	MAN HOLE
MSB	MAIN SWITCH BOARD
MT	MIXER TAP
MW	MICROWAVE
OH	OVER HEAD CUPBOARDS
O/H	OVER HANG
OV	OVEN
PGM	PREFERRED GAS METER LOCATION
PL	PLUMBING DUCT
PTY	PANTRY
RA	HAND RAIL
REF	REFRIGERATOR
RHC	RANGEHOOD CANOPY
RWT	RAINWATER TANK 5000L (1150x2600x1860H)
S	SMOKE ALARM
SB	SUB BOARD
SH	SHELF
SP	SPREADER PIPE
TH	TOILET ROLL HOLDER
TR	TOWEL RAIL/RING
WM	WASHING MACHINE
WB	WALL BASIN
UBO	UNDER BENCH OVEN

Ⓢ SMOKE ALARM. TO BE INTERCONNECTED AND PHOTOELECTRIC.

SMOKE ALARM. TO BE INTERCONNECTED AND PHOTOELECTRIC.

NOTE: SECURE MESH TO UPPER LEVEL OPENABLE WINDOWS.

WHERE THRESHOLDS OF DOORWAYS ARE MORE THAN 230mm ABOVE ADJOINING SURFACE STEPS MUST BE INCORPORATED IN ACCORDANCE WITH NCC SECTION 3.9.1.2.

LIFT OFF HINGES TO DOORS TO SANITARY COMPARTMENTS IN ACCORDANCE WITH NCC 2.4.3.

ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7

NOTE: THIS PROPERTY IS NOT LOCATED IN A BUSHFIRE PRONE AREA.

GROUND FLOOR PLAN

1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022

Initial here: _____ Initial here: _____



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DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

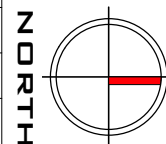
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

ORIENTATION



AREA CALCULATIONS

GROUND	97.05 m²
EX GARAGE	39.90 m²
ALFRESCO	9.30 m²
PORCH	3.02 m²
TOTAL:	149.27 m²

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PROJECT COMMENCED:	PROJECT NO:	MUL2
09.08.21	DRAWING NO:	DA-104
DRAWN BY:	SCALE:	1 : 100 @A3
PD	ISSUE:	DA6
CHECKED BY:		
TKL		

CLIENT MANGLESON

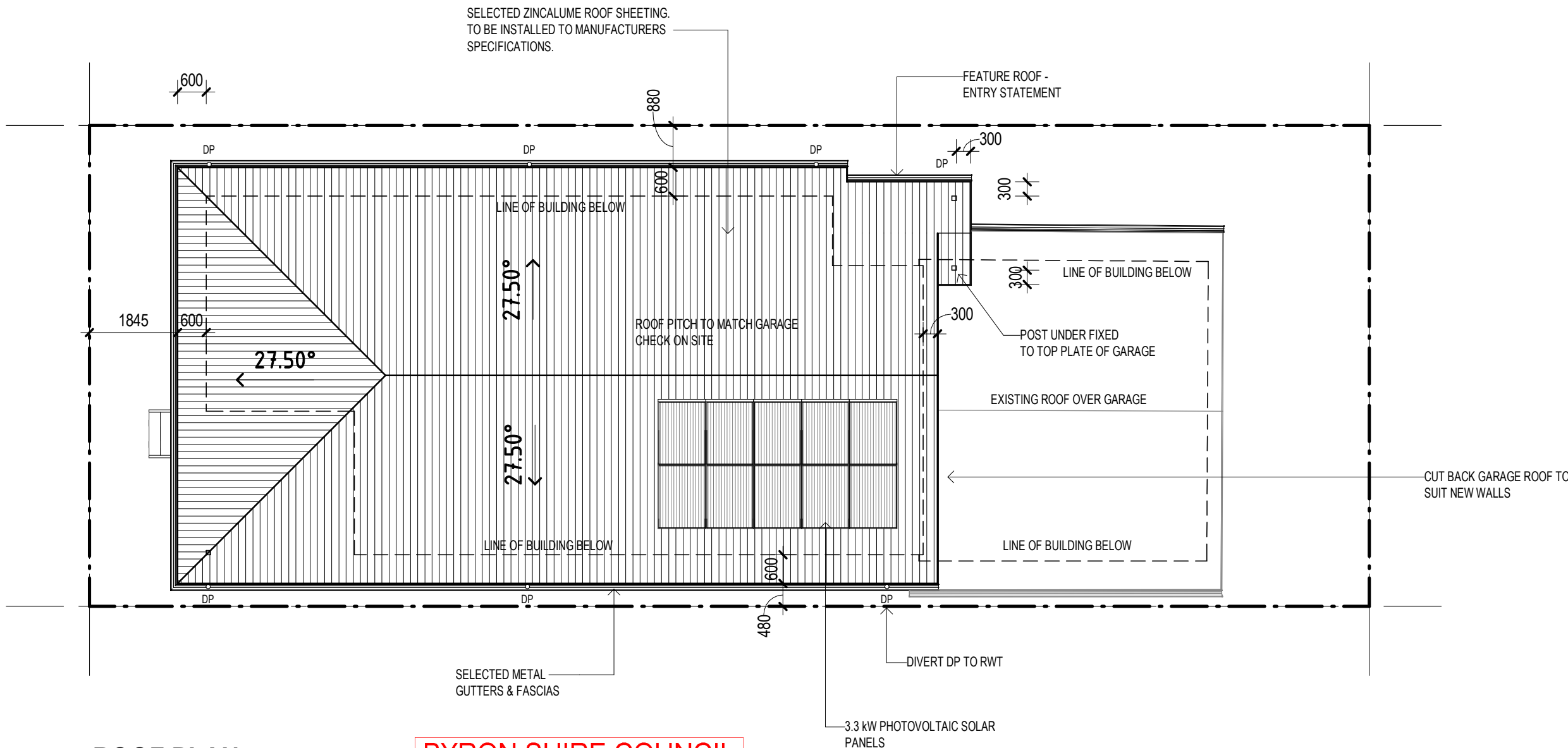
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBYDRAWING TITLE:
Ground Floor PlanHOUSE DESIGN:
CUSTOM

ROOF LEGEND

FL	FLASHING
DP	DOWNPIPE
DP/S	DOWNPIPE SPREADER
EG	EAVES GUTTER
RS	ROOF SHEETING
VG	VALLEY GUTTER

NOTE:
ALL GUTTERS AND DOWNPIPES INSTALLED IN ACCORDANCE WITH NCC VOLUME TWO 3.2.5 AND AS3500. VALLEY GUTTERS ON ROOF WITH PITCH LESS THAN 12.5° MUST BE DESIGNED AS A BOX GUTTER. DOWNPIPES MUST NOT SERVE MORE THAN 12m OF GUTTER & BE LOCATED TO VALLEY GUTTERS AS CLOSE OF POSSIBLE. BOX GUTTER TO HAVE SUMP OR RAINHEAD AND OVERFLOW IN ACCORDANCE WITH AS 3500. 3.7.5.

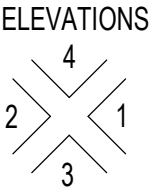
ALL EXHAUST SYSTEMS TO BE DUCTED EXTERNALLY TO OUTDOOR AIR IN ACCORDANCE WITH N.C.C. - Volume 2 - 3.8.7



ROOF PLAN
1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022

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DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

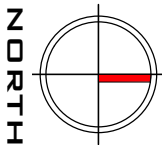
LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

ORIENTATION



AREA CALCULATIONS

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PROJECT COMMENCED: 09.08.21	PROJECT NO: DRAWING NO:	MUL2 DA-105
DRAWN BY: PD	SCALE: 1 : 100 @A3	
CHECKED BY: TKL	ISSUE: DA6	

CLIENT MANGLESON

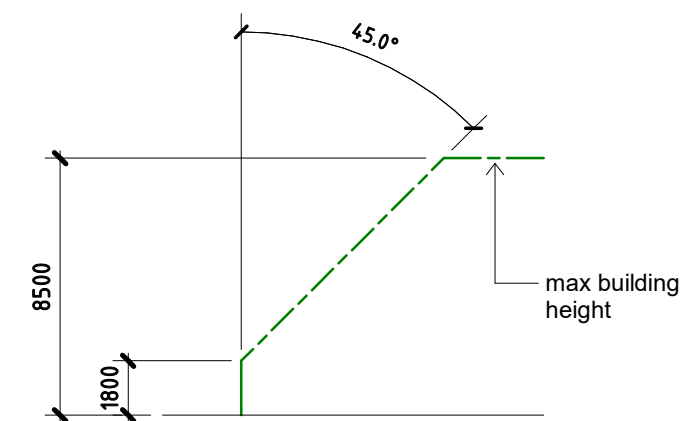
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:

Roof Plan

HOUSE DESIGN:

CUSTOM



Building Envelope

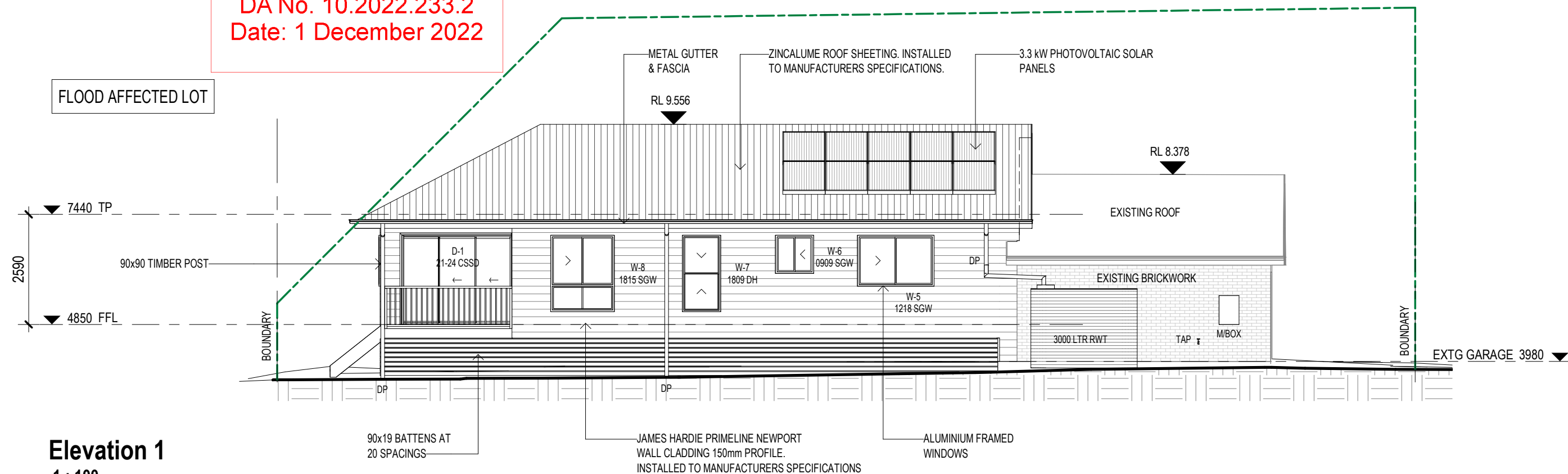
1 : 250

Elevation 3

1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022

FLOOD AFFECTED LOT



Elevation 1
1 : 100

Initial here: Initial here:



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DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

AREA CALCULATIONS

<u>REAL PROPERTY DESCRIPTION</u>	<u>ORIENTATION</u>
LOT: 2 PLAN: TBA	
PARISH: TBA	
COUNTY: TBA	
LOCAL AUTHORITY: BYRON	

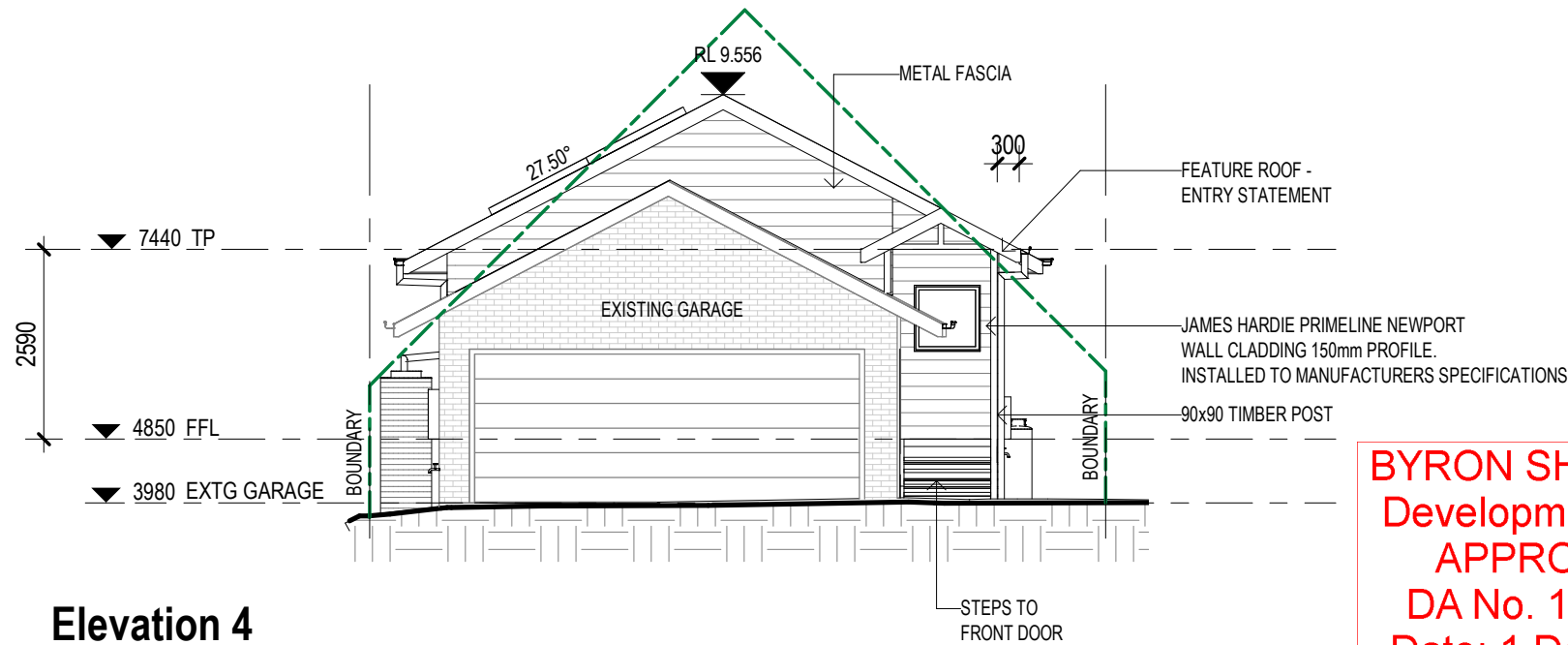
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PROJECT COMMENCED: 09.08.21		PROJECT NO:	MUL2
		DRAWING NO:	DA-200
DRAWN BY:	PD	SCALE:	As indicated @A3
CHECKED BY:	TKL	ISSUE:	DA6

CLIENT MANGLESON
PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

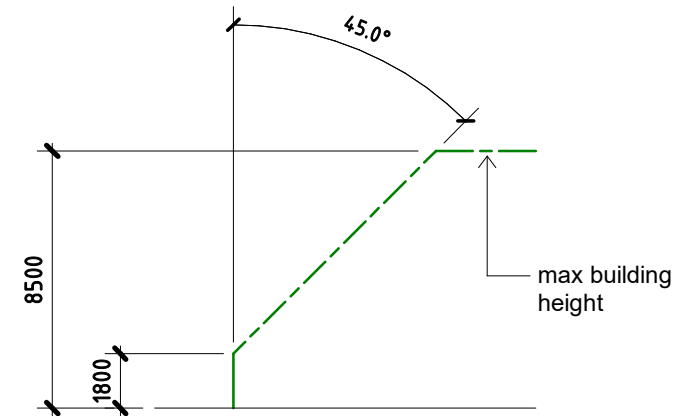
DRAWING TITLE:
Elevations

HOUSE DESIGN:
CUSTOM

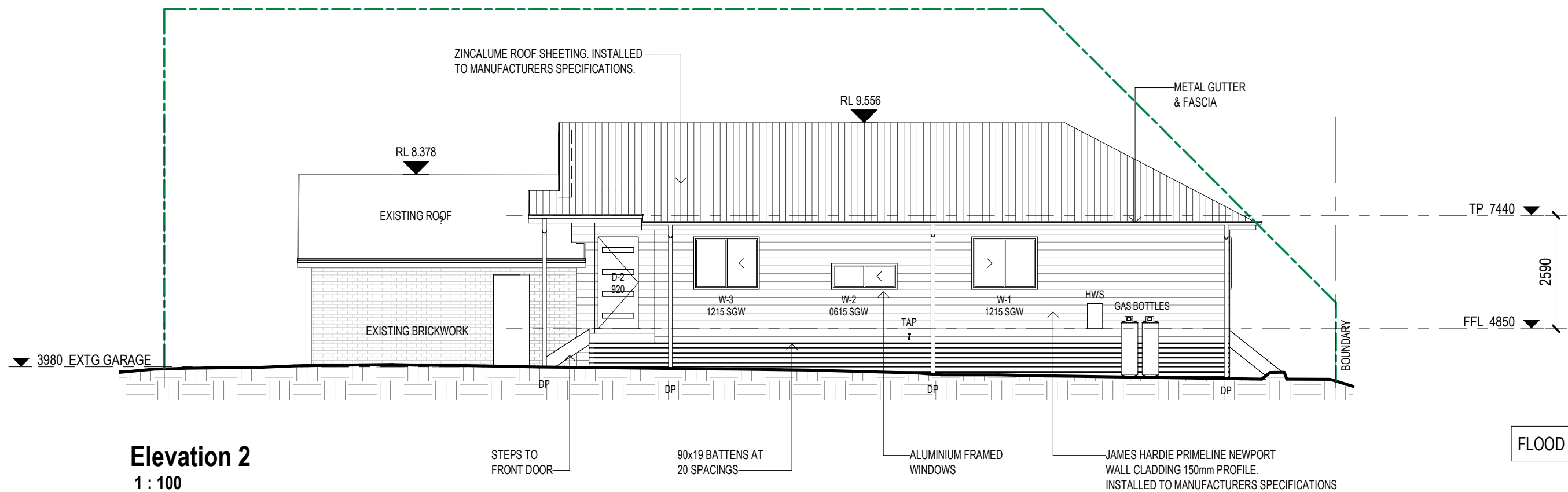


Elevation 4
1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022



building envelope
1 : 250



Elevation 2
1 : 100

MURPHY
Homes
EST.1975

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DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

AREA CALCULATIONS

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DRAWN BY: PD	DRAWING NO: DA-201
CHECKED BY: TKL	SCALE: As indicated @A3
	ISSUE: DA6

CLIENT MANGLESON

PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
Elevations

HOUSE DESIGN:
CUSTOM

CONSTRUCTION NOTES

THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE CURRENT NATIONAL CONSTRUCTION CODES, BUILDING ACT AMENDMENT & AUSTRALIAN STANDARDS

- FOOTINGS:

CONCRETE SLAB:

SLAB HEIGHT:

TERMITE TREATMENT:

EXTERNAL WALLS:

EXTERNAL WALLS:

INTERNAL LININGS:

CEILING LININGS:

SOFFIT LININGS:

CEILING HEIGHT:

JOINERY HEIGHT:

WINDOW FLASHINGS:

WET AREAS:

ROOFING:

ROOF BRACING:

FASCIA:

GUTTERING:

DOWNPIPES:

SMOKE ALARMS:

NOGGINGS:
- TO ENGINEERS DESIGN AND DETAIL

TO ENGINEERS DESIGN AND DETAIL

TO ENGINEERS DESIGN AND DETAIL

IN ACCORDANCE WITH NCC VOL. 2 3.1.4 TERMITE RISK MANAGEMENT. AND A.S. 3660.1-2014

MASONRY CONSTRUCTION TO COMPLY WITH A.S. 3700-2018 'MASONRY CODE'. TIMBER CONSTRUCTION TO COMPLY WITH NCC 70mm OR 90mm TIMBER STUDS AS REQUIRED, WALL TIES IN ACCORDANCE WITH BCA PART 3.3.3 AND AS 1684

10mm PLASTERBOARD, 6mm VILLABOARD TO WET AREAS

10mm PLASTERBOARD

4.5mm HARDIFLEX

2400mm

2100mm

TO ALL WINDOWS

TO COMPLY WITH BCA VOLUME 2, PART 3.8.1 'WET AREAS' TO MANUFACTURER'S SPECIFICATIONS

SELECTED METAL ROOF SHEETING @ NOMINATED PITCH, FIXED TO MANUFACTURER'S SPECIFICATIONS

SPEED BRACE TO CROSS EACH TRUSS & FASTENED TO TOP PLATE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

METAL FASCIA FIXED TO STANDARD RAFTER BRACKET METAL

90mm ROUND PVC DOWNPIPES

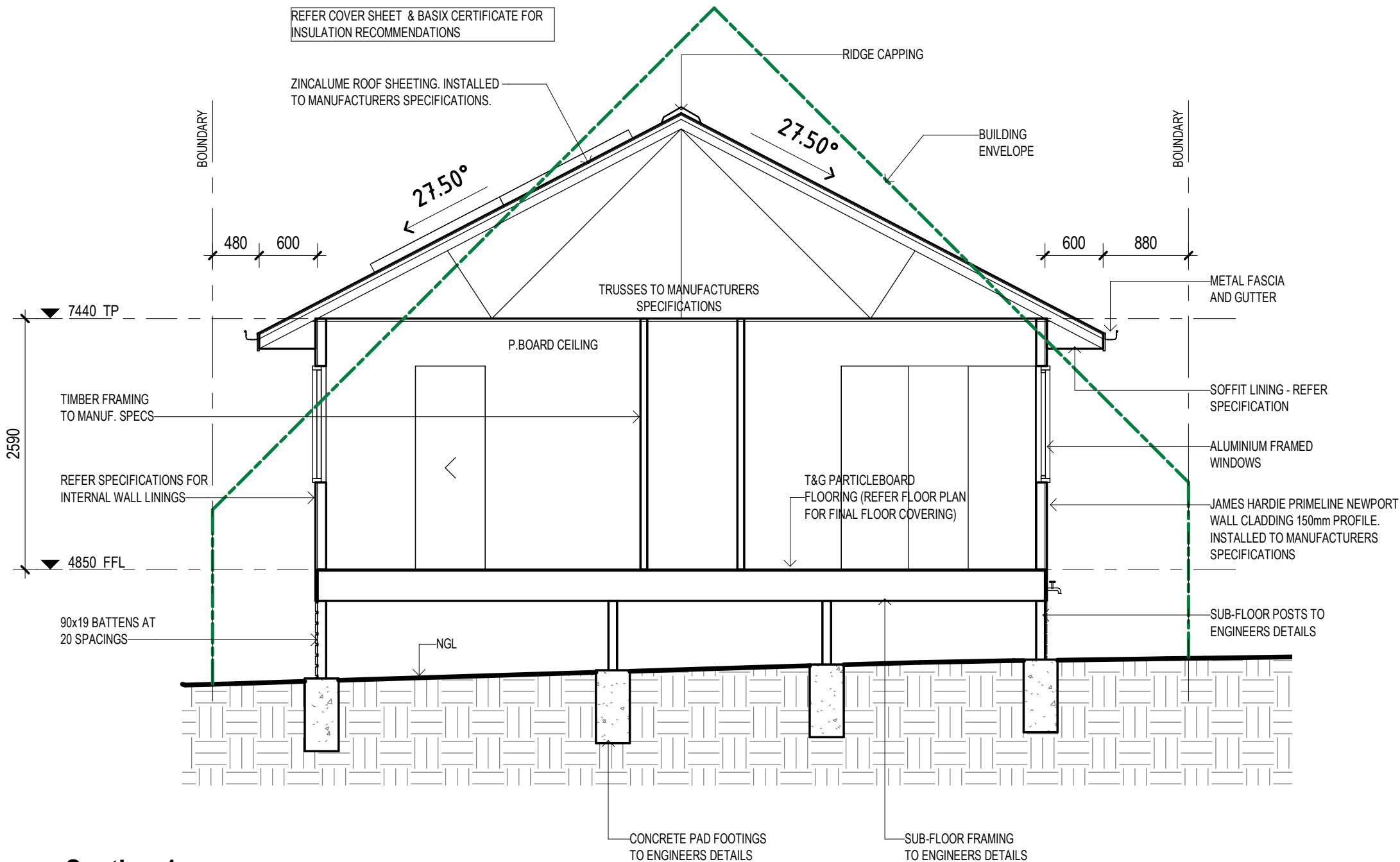
TO BE HARD WIRE INSTALLED IN ACCORDANCE WITH PART 3.7.5 OF THE BCA VOLUME 2. ALL ELECTRICAL WORK TO BE CARRIED OUT IN ACCORDANCE WITH AS 3000-2007. SMOKE ALARMS TO BE INTERCONNECTED & PHOTO ELECTRIC.

TO BE PROVIDED WHERE:

TOWEL RAILS SHOWN @ 1200H.

TOILET ROLL HOLDERS @ 800H.

VANITIES @ 360H & 800H (EXTEND LENGTH OF NOGGIN 100 PAST)



Section 1
1 : 50

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022

FLOOD AFFECTED LOT

Initial here: Initial here:



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DA5	28.03.22	3000 LITRE RWT ADDED	DO
DA6	04.04.22	CEILING RAISED	DO

DEVELOPMENT APPROVAL

REAL PROPERTY DESCRIPTION

LOT: 2 PLAN: TBA

PARISH: TBA

COUNTY: TBA

LOCAL AUTHORITY:
BYRON

AREA CALCULATIONS

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PROJECT COMMENCED:	PROJECT NO:	MUL2
09.08.21	DRAWING NO:	DA-300
DRAWN BY:	SCALE:	As indicated @A3
CHECKED BY:	ISSUE:	DA6

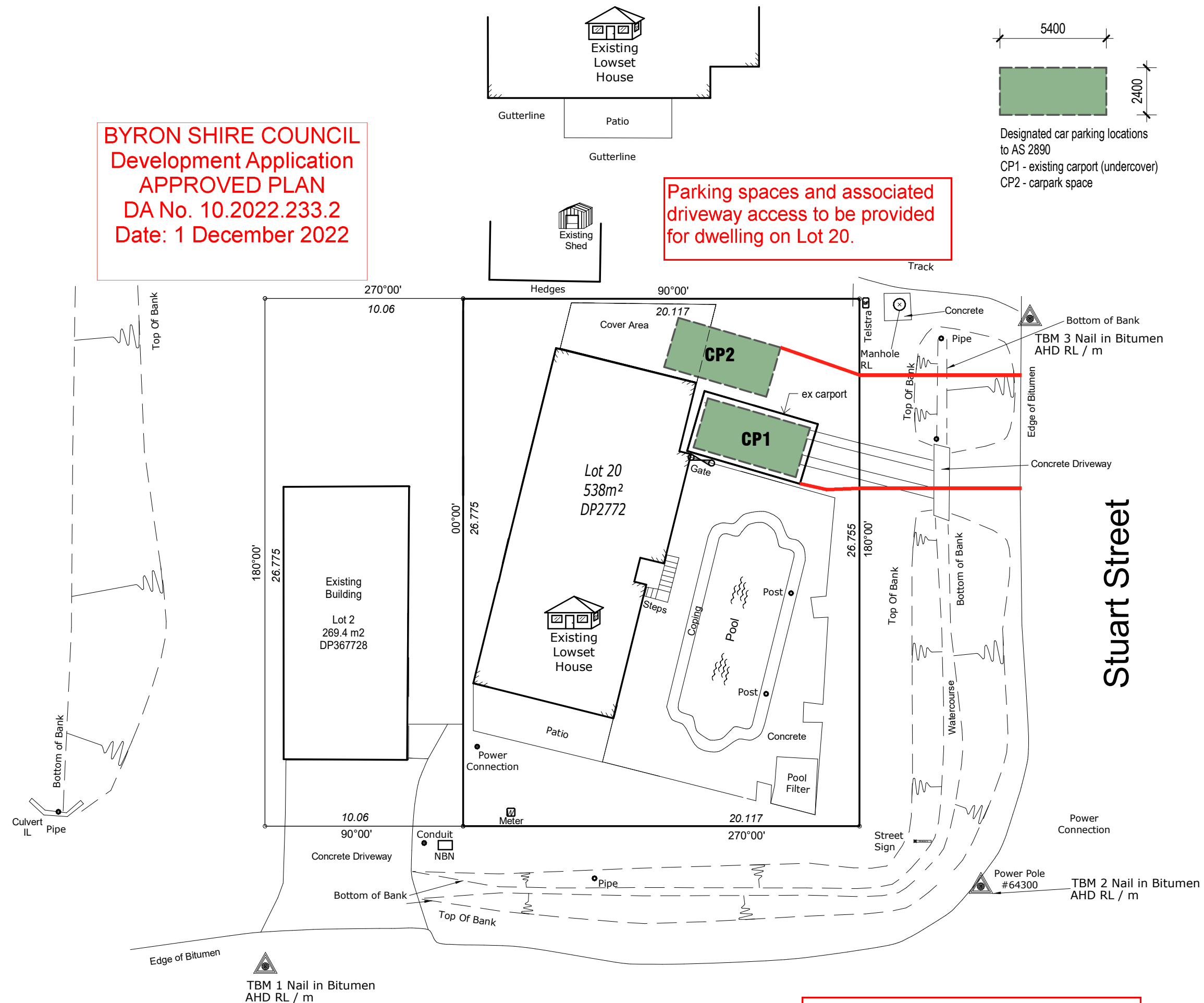
CLIENT MANGLESON

PROJECT ADDRESS
LOT 2 MILL STREET, MULLUMBIMBY

DRAWING TITLE:
Sections

HOUSE DESIGN:
CUSTOM

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.233.2
Date: 1 December 2022



Parking spaces and associated
driveway access to be provided
for dwelling on Lot 20.

Car Parking Plan

Contour & Feature Survey

Unit 5/23 Overlord Place, ACACIA RIDGE, Qld, 4110
Ph (07) 3363 8100 www.axisurveys.com.au

LOT As Shown on As Shown

#2 Stuart Street Cnr Mill Street

Suburb Mullumbimby

Local Auth Byron Shire Council

Area As Shown

Client:

Murphy Builders Qld
Pty Ltd T/as MP Build
Investments

Order No: MUL2/1030

NOTES TO BE READ BEFORE USING THIS PLAN

This Plan has limitations regarding its use for some applications. Please contact this office if there is any doubt about the suitability of this plan for the intended use. These notes form part of this plan and they must remain with the plan or any copies. The limitations of this plan are detailed in the link below, with the main ones being:-

1. This plan has been prepared for our client & should not be used by others without approval.
2. The boundaries shown have been sourced from the subject survey plan or as noted, and have not been checked.
3. Distances from features to the shown boundaries should not be used or relied upon.
4. If positional accuracy is critical a boundary identification survey may be required.
5. The certificate of title has not been searched and should be checked for any encumbrances.
6. The contours may not represent the local authority's definition of "Ground Level"
7. A flood search has not been carried out. Check with local council for min. and max. construction heights.
8. Non visible services (if shown), have been plotted from the relevant authority's records or from other sources and may not be accurate. Services should be exposed before design or construction commences.
9. The north point has been taken from the survey plan and may not be suitable for all uses.

Refer to this link for more information www.axisurveys.com.au/alertsanddisclaimers/

Issue	Date	Amendment	By
A	02/08/2021	Original Issue	GEO2
B			
C			
D			
E			
F			

Site No: 2104713

Order No: X447871

Level Datum: AHD

Surveyed: MH

Date: 30/07/2021

Scale: **1:200**

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