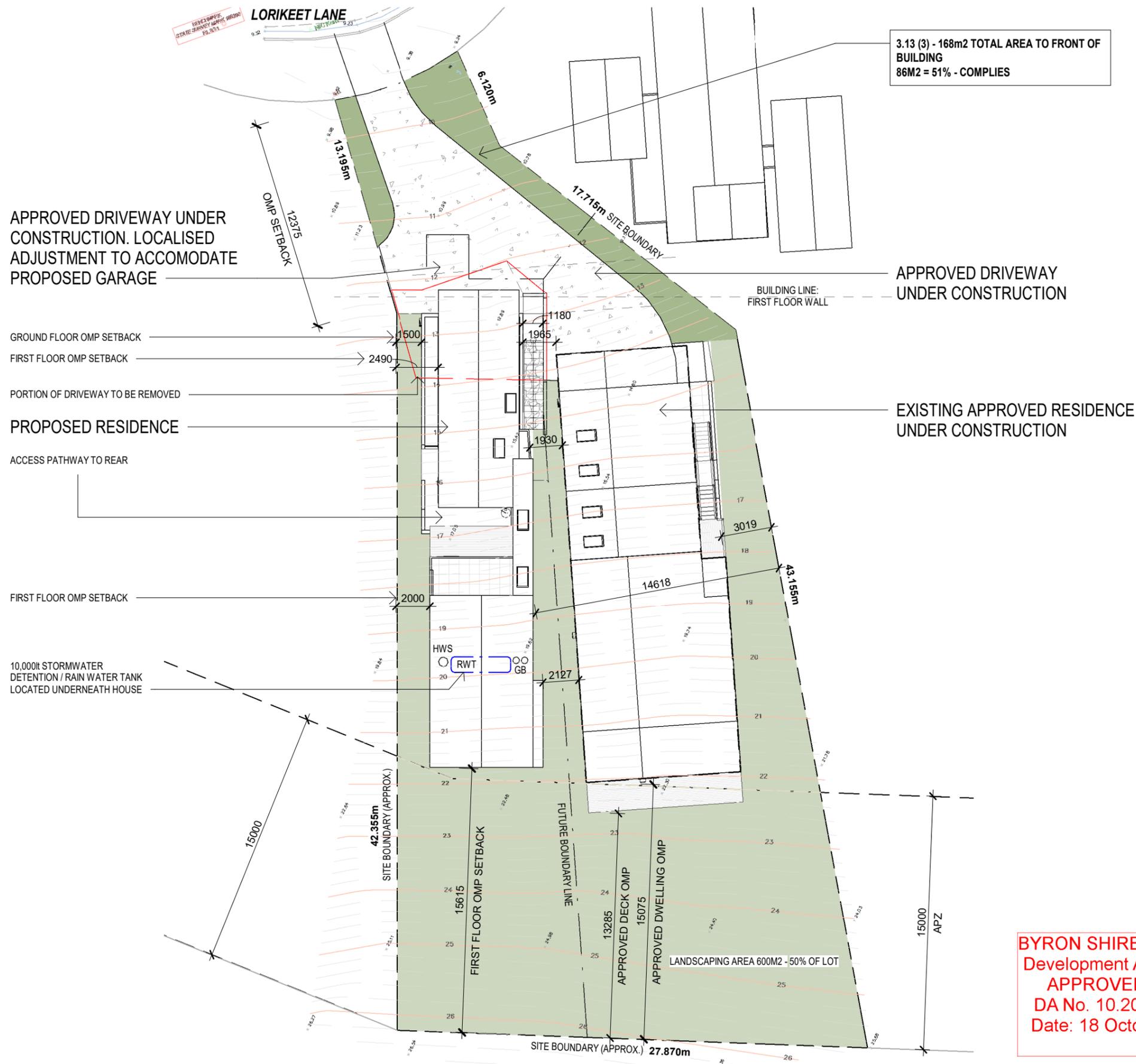


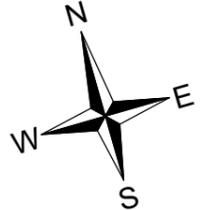
AREA SCHEDULE	
Name	Area
GARAGE	46.4 m ²
FRONT FIRST FLOOR	60.2 m ²
FRONT PORCH	1.9 m ²
REAR GROUND FLOOR	35.4 m ²
LINK	6.8 m ²
MASTER SUITE DECK	9.1 m ²
REAR FIRST FLOOR	58.7 m ²
REAR FF FRONT DECK	13.6 m ²
Grand total	232.2 m ²

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING



3.13 (3) - 168m² TOTAL AREA TO FRONT OF BUILDING
86M² = 51% - COMPLIES

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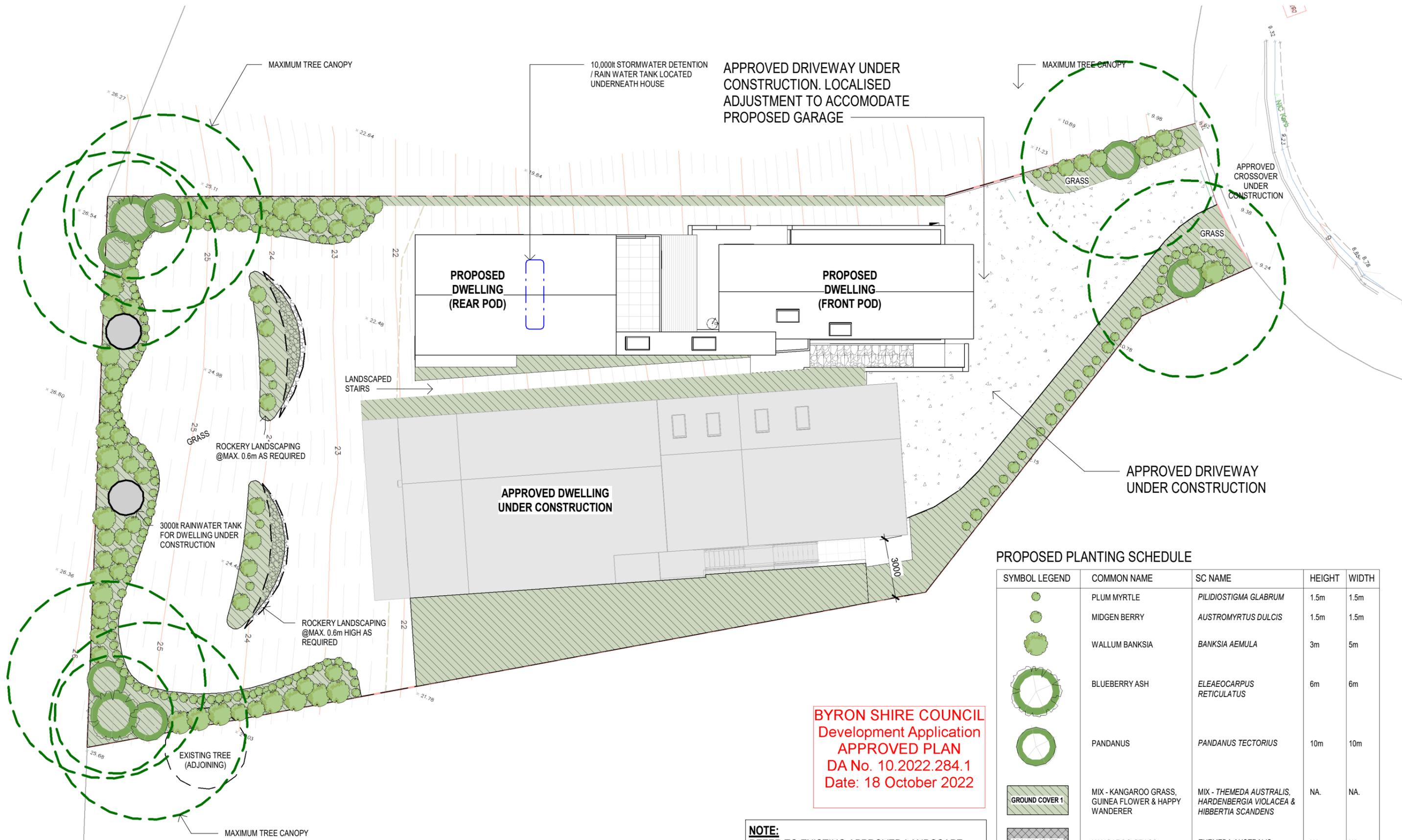


Site Plan

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P.: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 250 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 200	LAND AREA: 1193m ²	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW



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APPROVED DRIVEWAY UNDER CONSTRUCTION. LOCALISED ADJUSTMENT TO ACCOMODATE PROPOSED GARAGE

APPROVED DRIVEWAY UNDER CONSTRUCTION

PROPOSED PLANTING SCHEDULE

SYMBOL LEGEND	COMMON NAME	SC NAME	HEIGHT	WIDTH
	PLUM MYRTLE	<i>PILIDIOSTIGMA GLABRUM</i>	1.5m	1.5m
	MIDGEN BERRY	<i>AUSTROMYRTUS DULCIS</i>	1.5m	1.5m
	WALLUM BANKSIA	<i>BANKSIA AEMULA</i>	3m	5m
	BLUEBERRY ASH	<i>ELEAEOCARPUS RETICULATUS</i>	6m	6m
	PANDANUS	<i>PANDANUS TECTORIUS</i>	10m	10m
	MIX - KANGAROO GRASS, GUINEA FLOWER & HAPPY WANDERER	MIX - <i>THEMEDA AUSTRALIS</i> , <i>HARDENBERGIA VIOLACEA</i> & <i>HIBBERTIA SCANDENS</i>	NA.	NA.
	KANGAROO GRASS	<i>THEMEDA AUSTRALIS</i>	NA.	NA.

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NOTE:
 REFER TO EXISTING APPROVED LANDSCAPE PLANS FOR ADDITIONAL INFORMATION.

Landscaping Plan

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 175 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 210	LAND AREA: 1193m ²	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW



AREA SCHEDULE

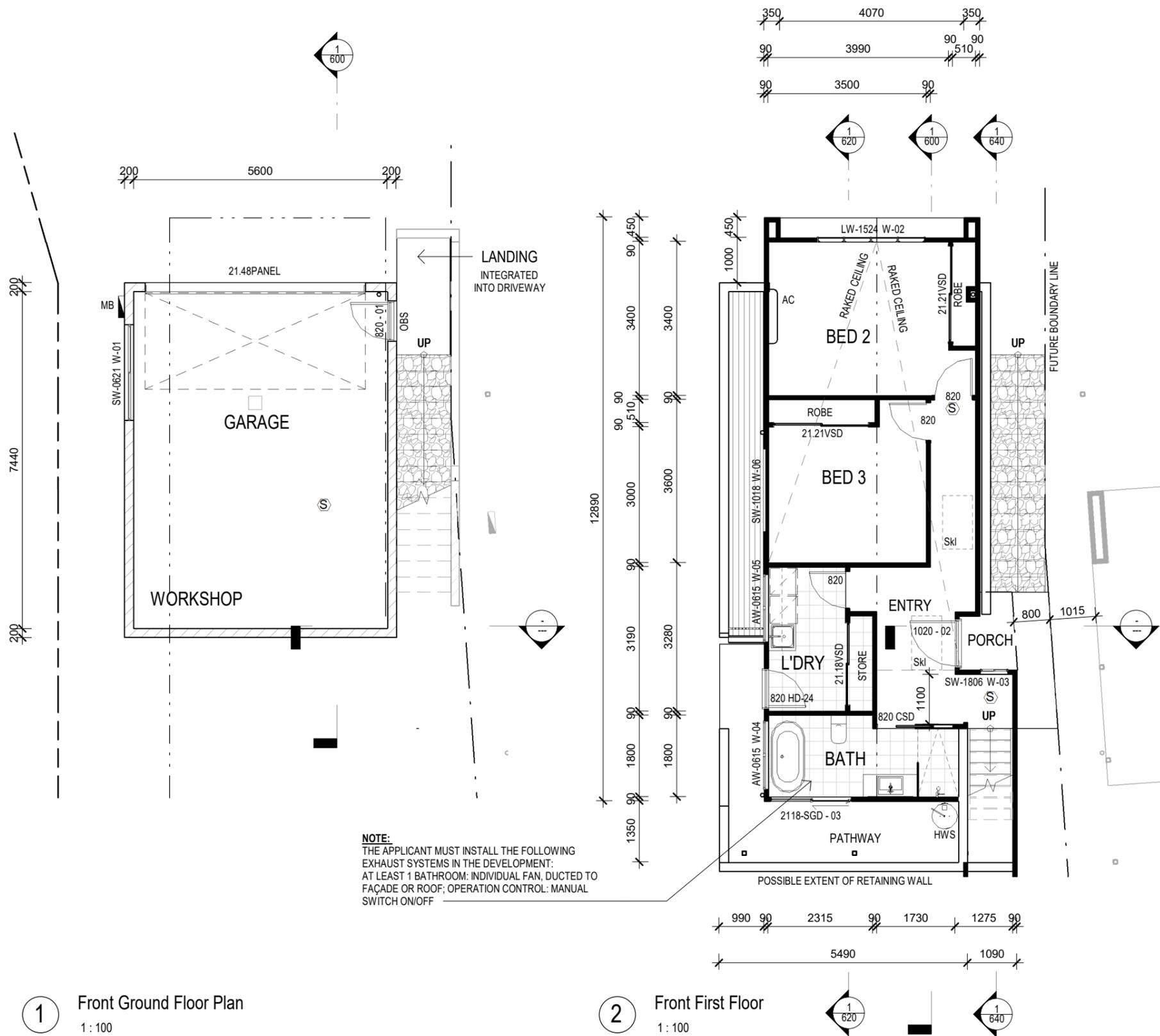
Name	Area
GARAGE	46.4 m ²
FRONT FIRST FLOOR	60.2 m ²
FRONT PORCH	1.9 m ²
REAR GROUND FLOOR	35.4 m ²
LINK	6.8 m ²
MASTER SUITE DECK	9.1 m ²
REAR FIRST FLOOR	58.7 m ²
REAR FF FRONT DECK	13.6 m ²
Grand total	232.2 m ²

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL-29" RATING AND BUSHFIRE REQUIREMENTS.

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Front Pod Plans

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P. DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 300	LAND AREA: 1193m ²	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW



Window Schedule Summary

No.	Type	Height	Width	Description
01	SW-0621	600	2110	Sliding Window - XO
02	LW-1524	1500	2400	Louvre Window - X
03	SW-1806	1800	610	Sliding Window - XO
04	AW-0615	600	1510	Awning Window XX
05	AW-0615	600	1510	Awning Window XX
06	SW-1018	1000	1810	Sliding Window - XO
07	LW-1209	1200	900	Louvre Window - X
08	SW-0618	600	1810	Sliding Window - XO
09	LW-1209	1200	900	Louvre Window - X
10	SW-0612	600	1210	Sliding Window - XO
11	LW-0624	600	2400	Louvre Window - X
12	LW-0624	600	2400	Louvre Window - X
13	LW-1209	1200	900	Louvre Window - X
14	FW-1517	1565	1750	Fixed Glass Angled Window
15	FW-1517	1565	1750	Fixed Glass Angled Window
16	LW-2109	2051	910	Louvre Window - X

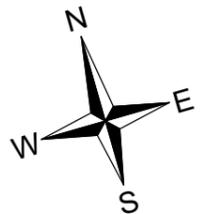
RESIDENTIAL ZONES AND OVERLAYS

ZONES: CHARACTER RESIDENTIAL

OVERLAYS:
RCC KOALA HABITAT

NOTES:

- LIFT OFF HINGES TO WC DOOR/S TO COMPLY WITH THE NCC SECTION 3.8.3 UNDER ROOF INSULATION - ANTICON BLANKET.
- INSULATION TO EXTERNAL WALLS & SARKING.
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWING IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DRAWINGS.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
- TERMITE MANAGEMENT SYSTEM TO BE PROVIDED TO PENETRATIONS AND PERIMETER IN ACCORDANCE WITH THE NCC VOL.2 PART 3.1.4.
- WATERPROOFING IN WET AREAS TO BE IN ACCORDANCE WITH THE NCC VOL.2 & AS 3740.



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AREA SCHEDULE	
Name	Area
GARAGE	46.4 m ²
	46.4 m ²
FRONT FIRST FLOOR	60.2 m ²
FRONT PORCH	1.9 m ²
	62.2 m ²
REAR GROUND FLOOR	35.4 m ²
LINK	6.8 m ²
MASTER SUITE DECK	9.1 m ²
	51.3 m ²
REAR FIRST FLOOR	58.7 m ²
REAR FF FRONT DECK	13.6 m ²
	72.3 m ²
Grand total	232.2 m ²

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL-29" RATING AND BUSHFIRE REQUIREMENTS.

NOTE:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF

RESIDENTIAL ZONES AND OVERLAYS
ZONES: CHARACTER RESIDENTIAL

OVERLAYS:
RCC KOALA HABITAT

NOTES:

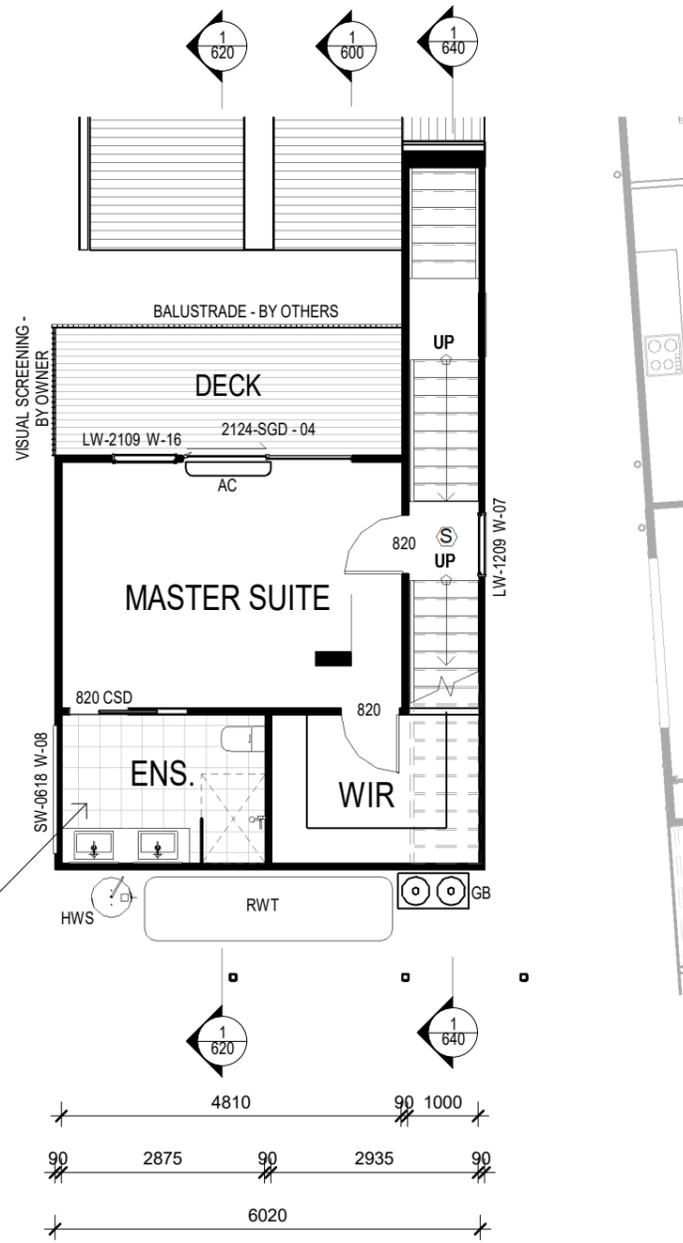
- LIFT OFF HINGES TO WC DOOR/S TO COMPLY WITH THE NCC SECTION 3.8.3 UNDER ROOF INSULATION - ANTICON BLANKET.
- INSULATION TO EXTERNAL WALLS & SARKING.
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.
- FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
- THIS DRAWING IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DRAWINGS.
- FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
- ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
- TERMITE MANAGEMENT SYSTEM TO BE PROVIDED TO PENETRATIONS AND PERIMETER IN ACCORDANCE WITH THE NCC VOL.2 PART 3.1.4.
- WATERPROOFING IN WET AREAS TO BE IN ACCORDANCE WITH THE NCC VOL.2 & AS 3740.

Rear Pod Plans

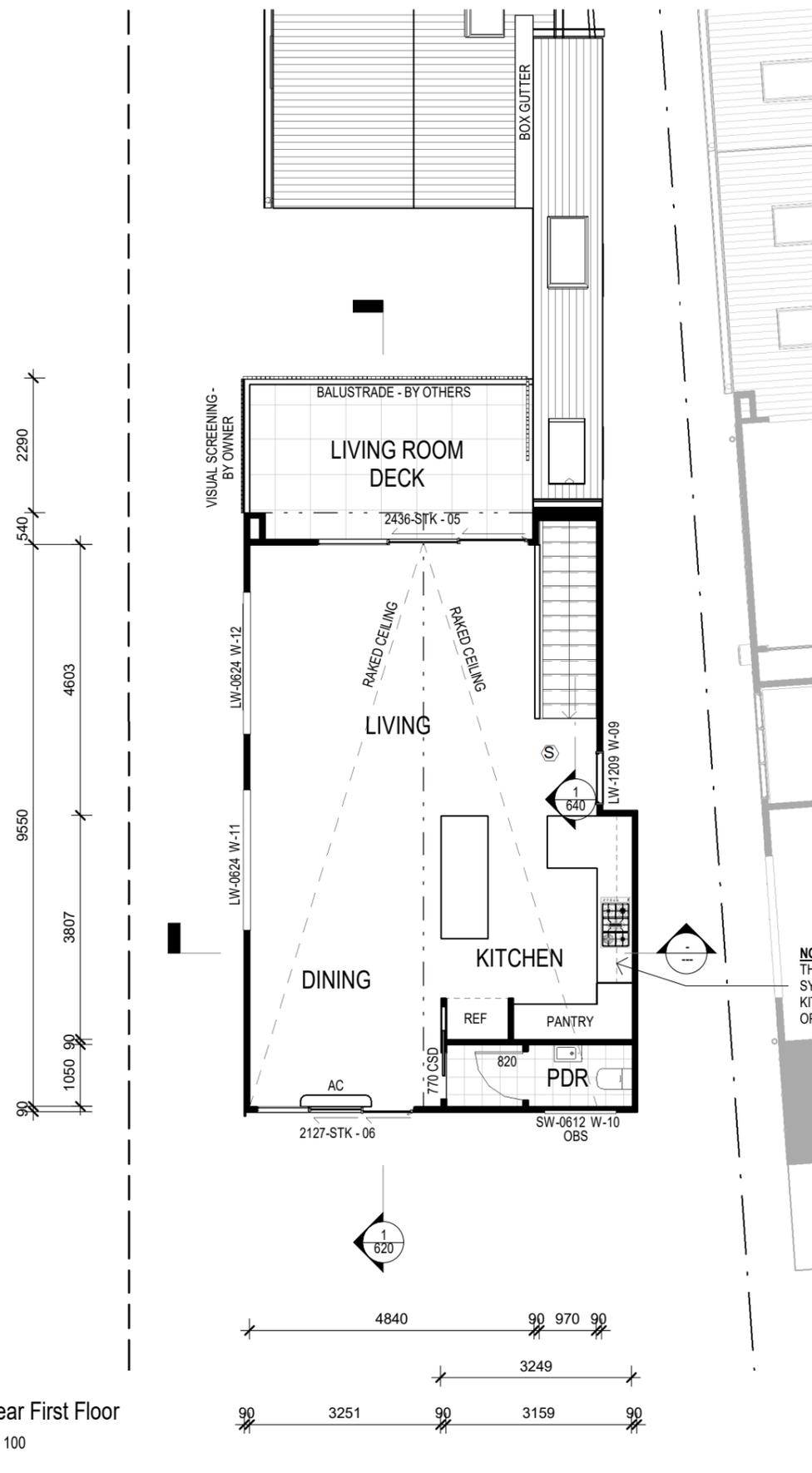
DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P.: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 350	LAND AREA: 1193m ²	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.284.1
Date: 18 October 2022

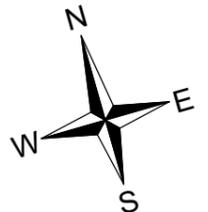
2 Rear Ground Floor
1 : 100



1 Rear First Floor
1 : 100



NOTE:
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:
KITCHEN - INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF; OPERATION CONTROL: MANUAL SWITCH ON/OFF



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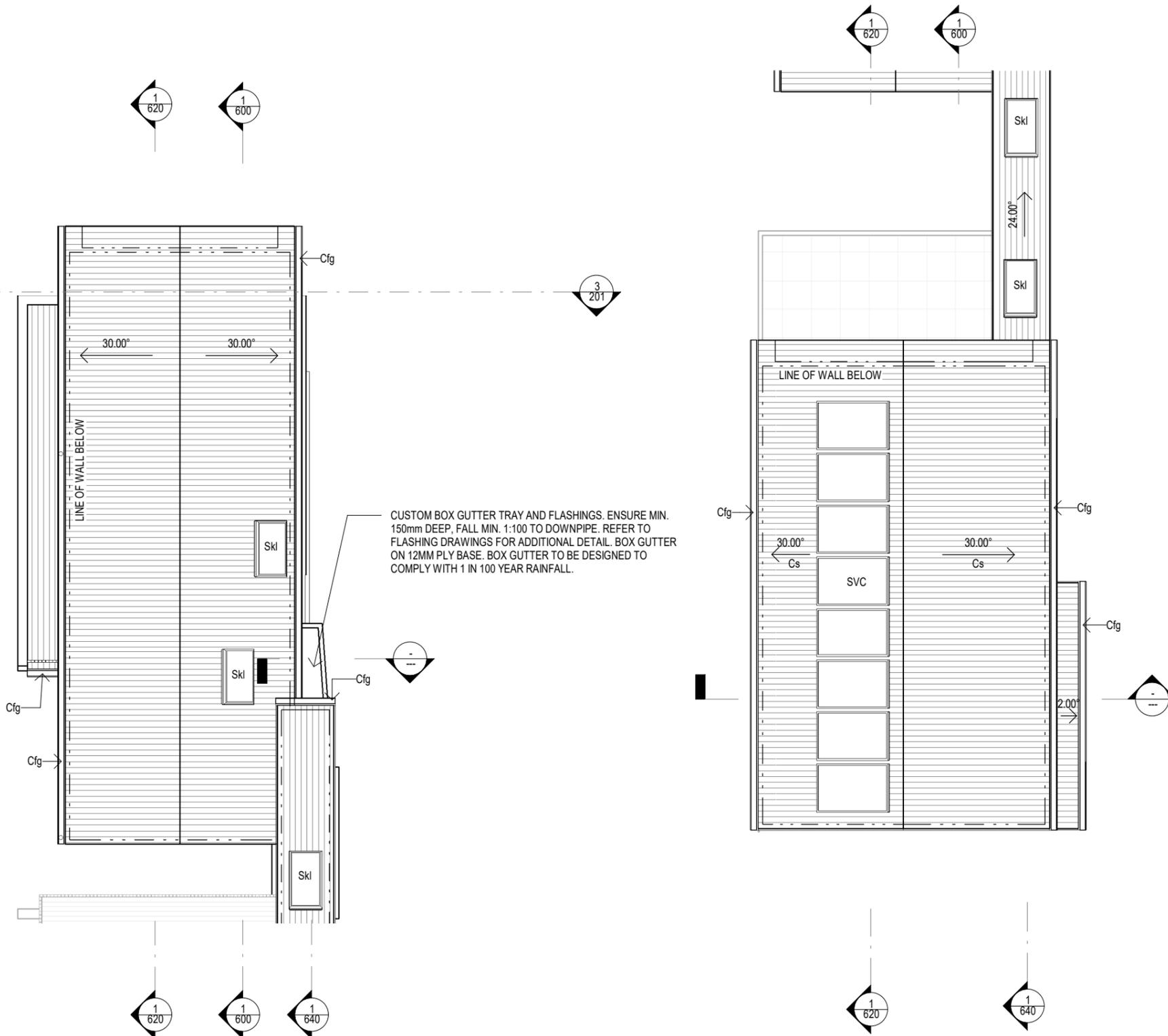
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QBCC: 1511 1256

NOTES:

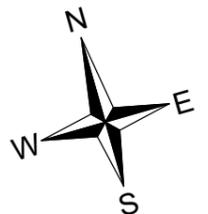
1. DOWNPIPES ARE TO SERVICE 12m MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL. 2. TABLE 3.5.2.2)
2. GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273
3. ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL. 2. P3.5.1(F)) & HAVE A MAXIMUM 5 FLAMMABILITY INDEX (NCC VOL. 2. P3.7.1.9(A))
4. ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES
5. DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE, BE INSTALLED NO LESS THAN 100mm FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN 50mm FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)
6. CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY
7. CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3
8. OVERFLOW MEASUREMENTS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)
9. ROOF PLAN PROVIDED IS A **GUIDE ONLY**.



LEGEND	
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
Skl	Skylight - To Manufacturer's Specification - By Owner
SVC	SOLAR VOLTIAIC CELLS - By Others

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APPROVED PLAN
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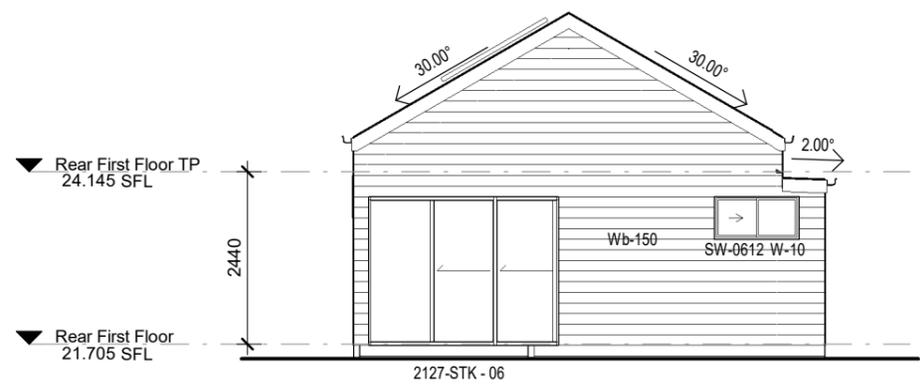
Roof Plan



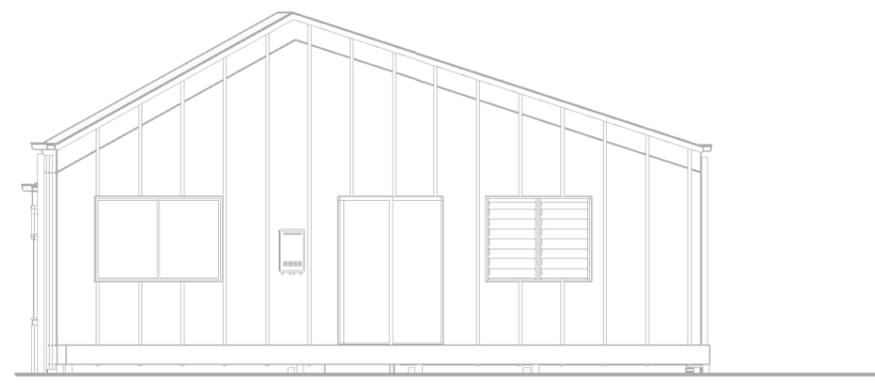
DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P.: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED	
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW	
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW	
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW	
				D	21.06.22	PRE PLANNING RFI	AGC	JMW	
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW	
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 400	LAND AREA: 1193m ²						



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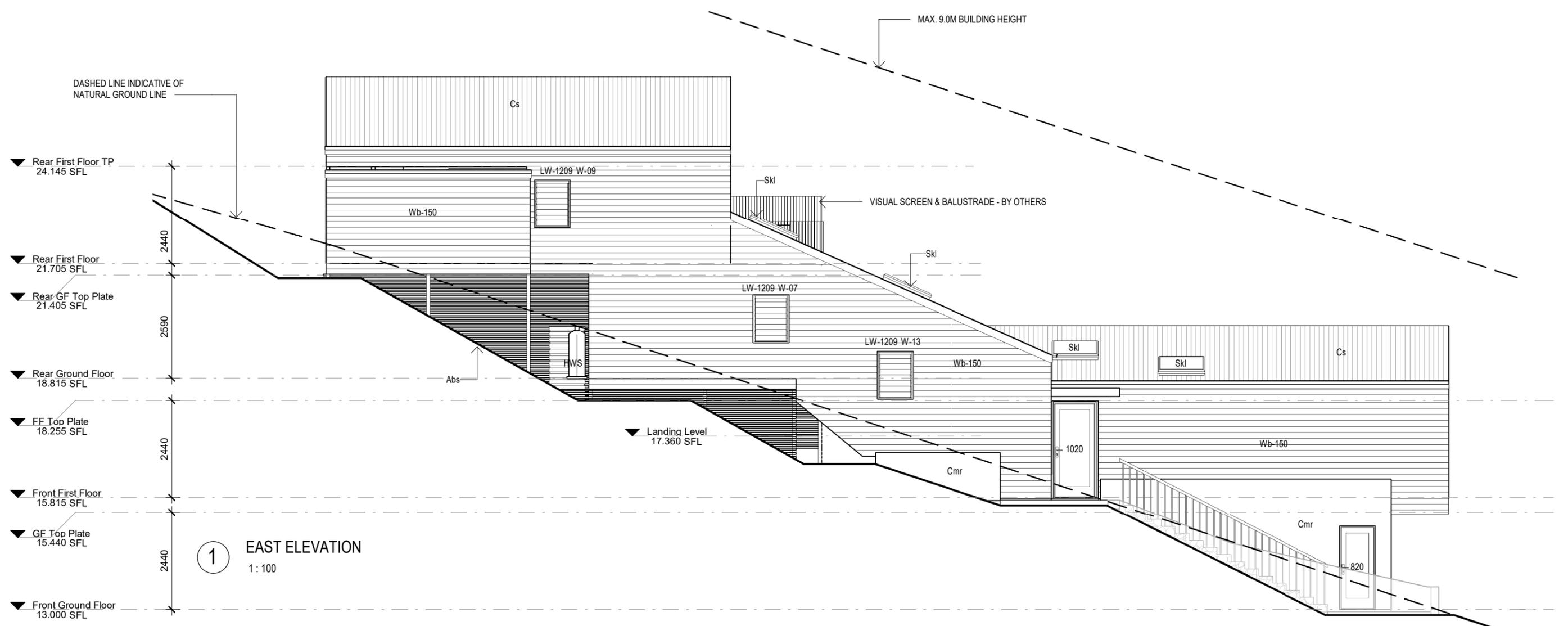


2 SOUTH ELEVATION
1 : 100



LEGEND	
Abs	Aluminium Batten Screen - By Others
Cmr	Concrete Masonry - Render Finish
Cs	Colorbond Steel Roofing
HWS	HOT WATER SYSTEM
Skl	Skylight - To Manufacturer's Specification - By Owner
Wb-150	Scyon Linea Weatherboards 150mm Cladding

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1 EAST ELEVATION
1 : 100

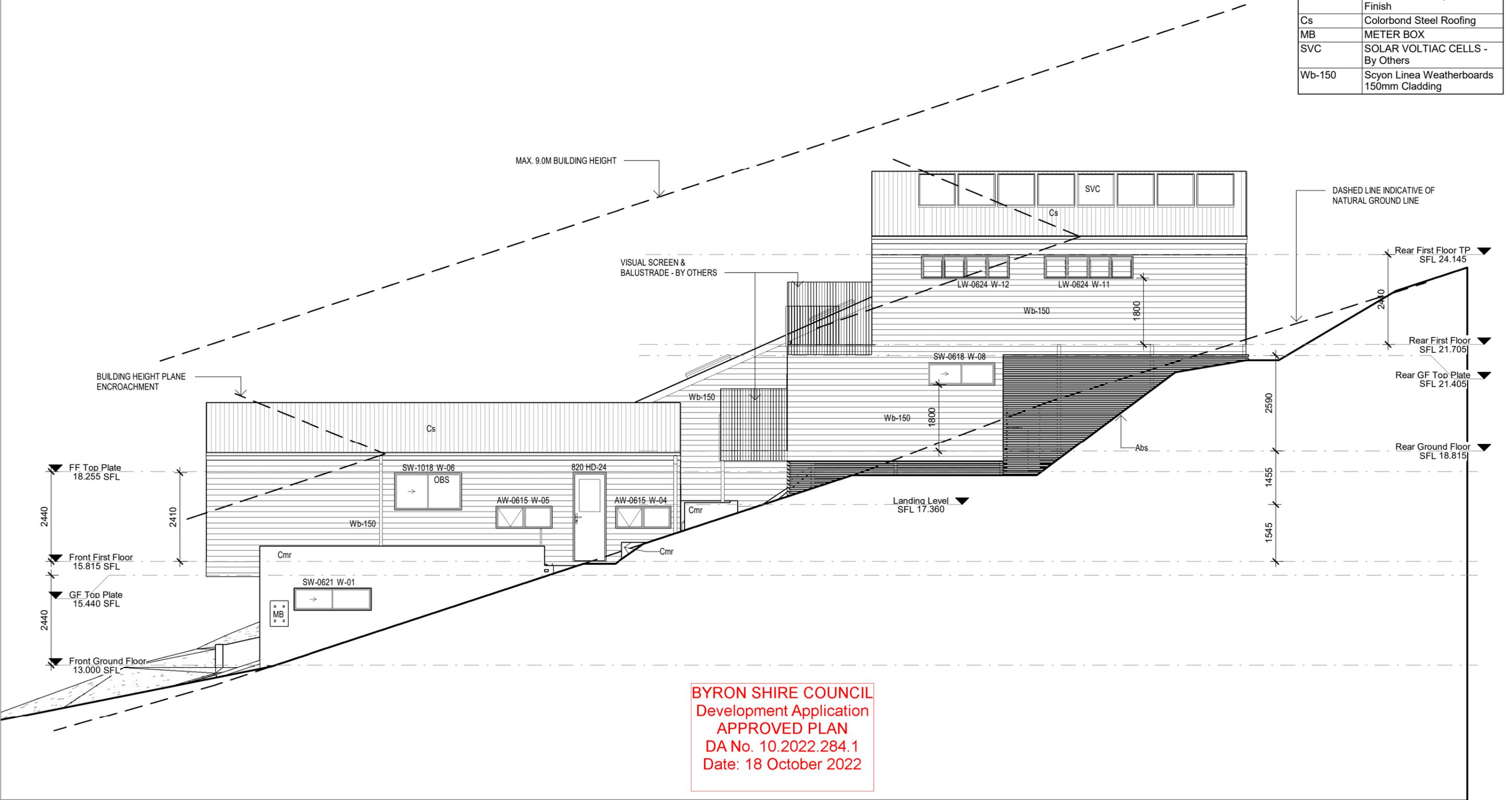
Elevations - East

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P. DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 500	LAND AREA: 1193m ²					



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LEGEND	
Abs	Aluminium Batten Screen - By Others
Cmr	Concrete Masonry - Render Finish
Cs	Colorbond Steel Roofing
MB	METER BOX
SVC	SOLAR VOLTIAC CELLS - By Others
Wb-150	Scyon Linea Weatherboards 150mm Cladding



Elevations - West

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P.: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 550	LAND AREA: 1193m ²					

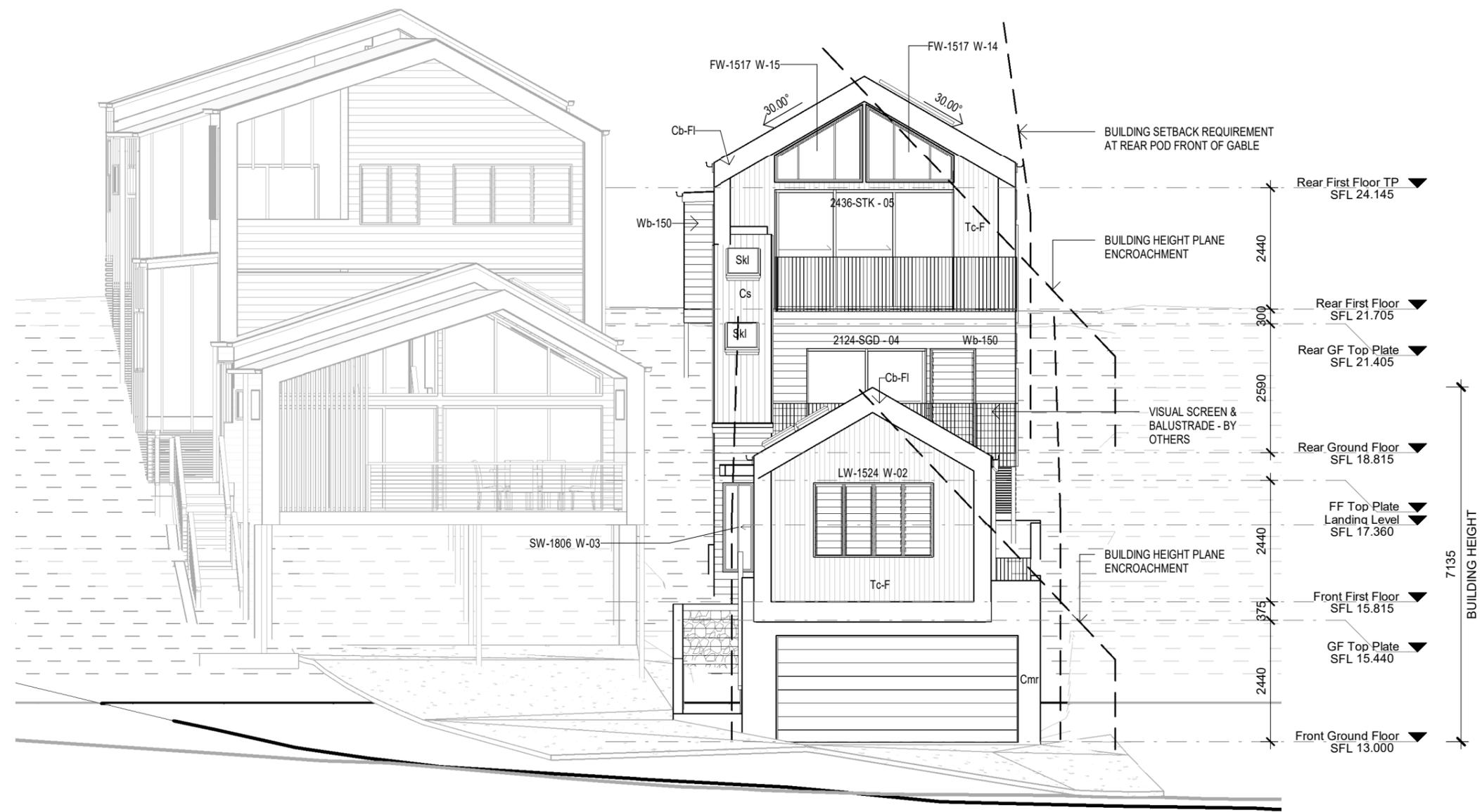
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Phone: +61 73806 5100

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LEGEND	
Cb-Fi	Colorbond Flashing
Cmr	Concrete Masonry - Render Finish
Cs	Colorbond Steel Roofing
Skl	Skylight - To Manufacturer's Specification - By Owner
Tc-F	Feature Timber Cladding
Wb-150	Scyon Linea Weatherboards 150mm Cladding



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Elevations - North

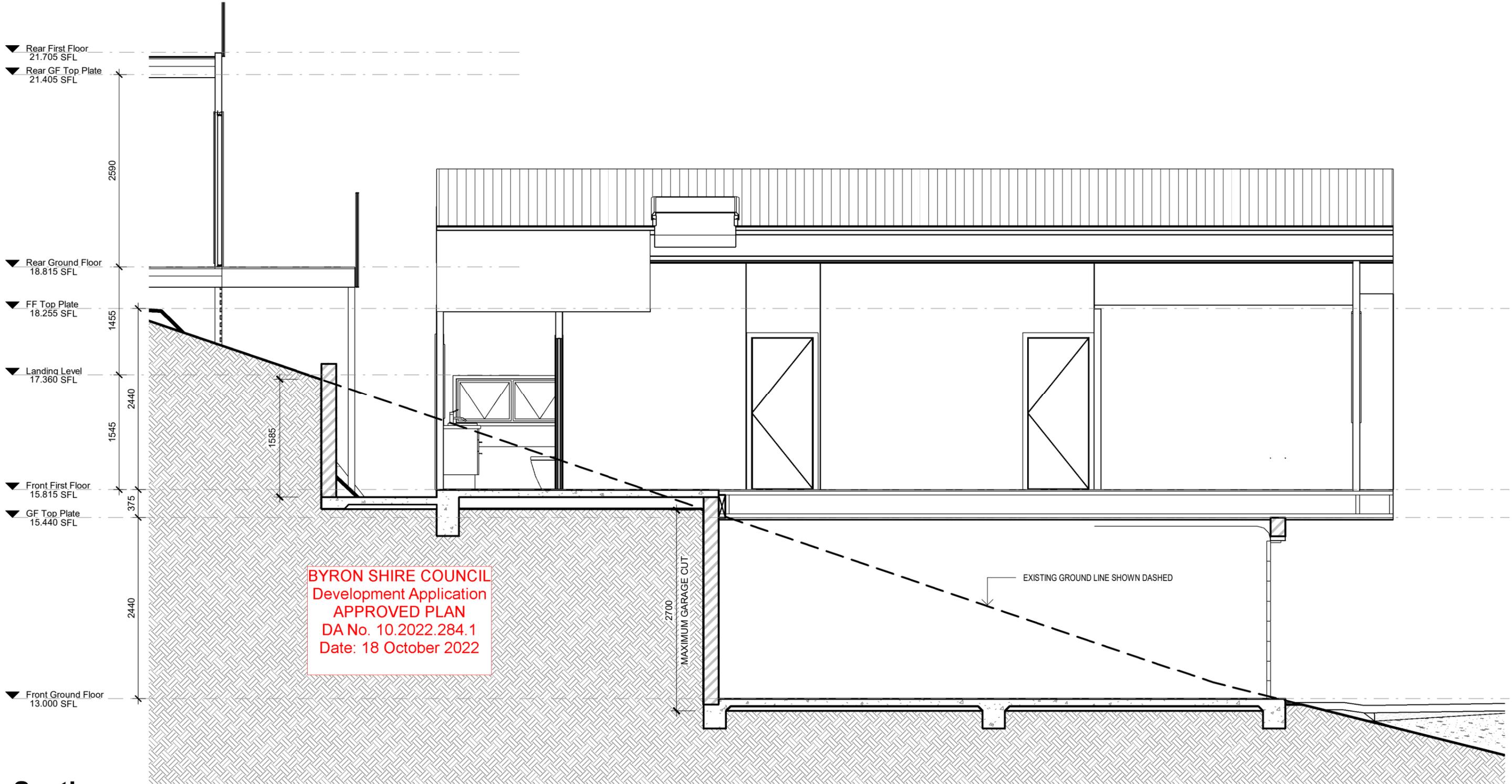
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STAGED PLAN: WORKING DRAWING		SCALE: 1 : 100 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 560	LAND AREA: 1193m ²					



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 QBCC: 1511 1256

LEGEND

- NOTES:**
1. SELECTED ROOF FIXED IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
 2. ROOF BATTENS FIXED IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
 3. ROOF TRUSSES TO STRUCTURAL FABRICATION DRAWINGS.
 4. BRACING OF TRUSSES & SUB-FLOOR TO BE IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
 5. SLAB & FOOTINGS AS PER ENGINEERS DETAILS.
 6. FLOORING MEMBERS AS PER STRUCTURAL FABRICATION DRAWINGS.
 7. TERMITE TREATMENT TO BE INSTALLED AS PER MANUFACTURERS SPEC. & IN ACCORDANCE WITH AS 3660.1 BY LICENSED CONTRACTOR.



Sections

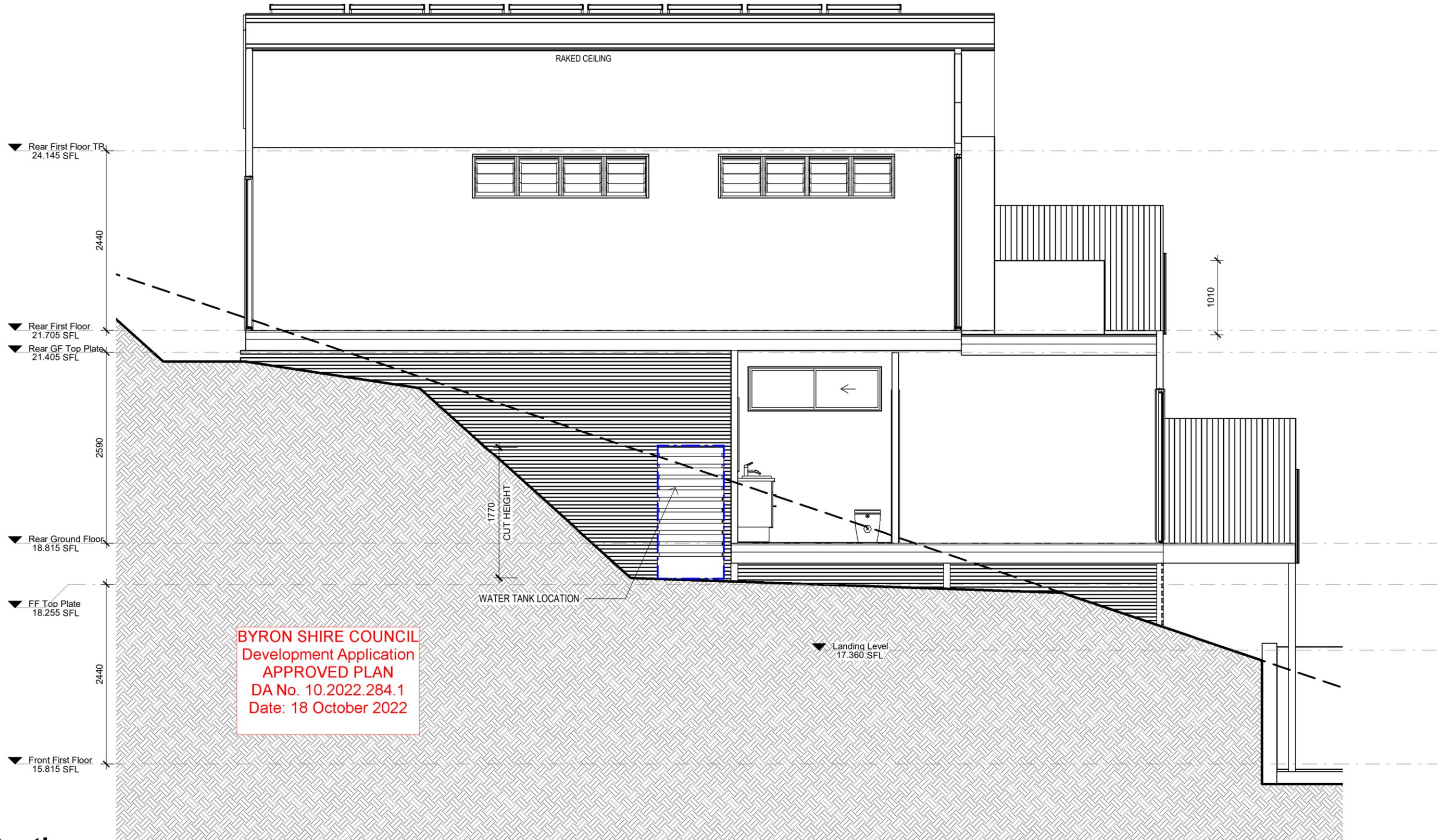
DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 50 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 600	LAND AREA: 1193m ²					



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BYRON SHIRE COUNCIL
 Development Application
 APPROVED PLAN
 DA No. 10.2022.284.1
 Date: 18 October 2022

Sections

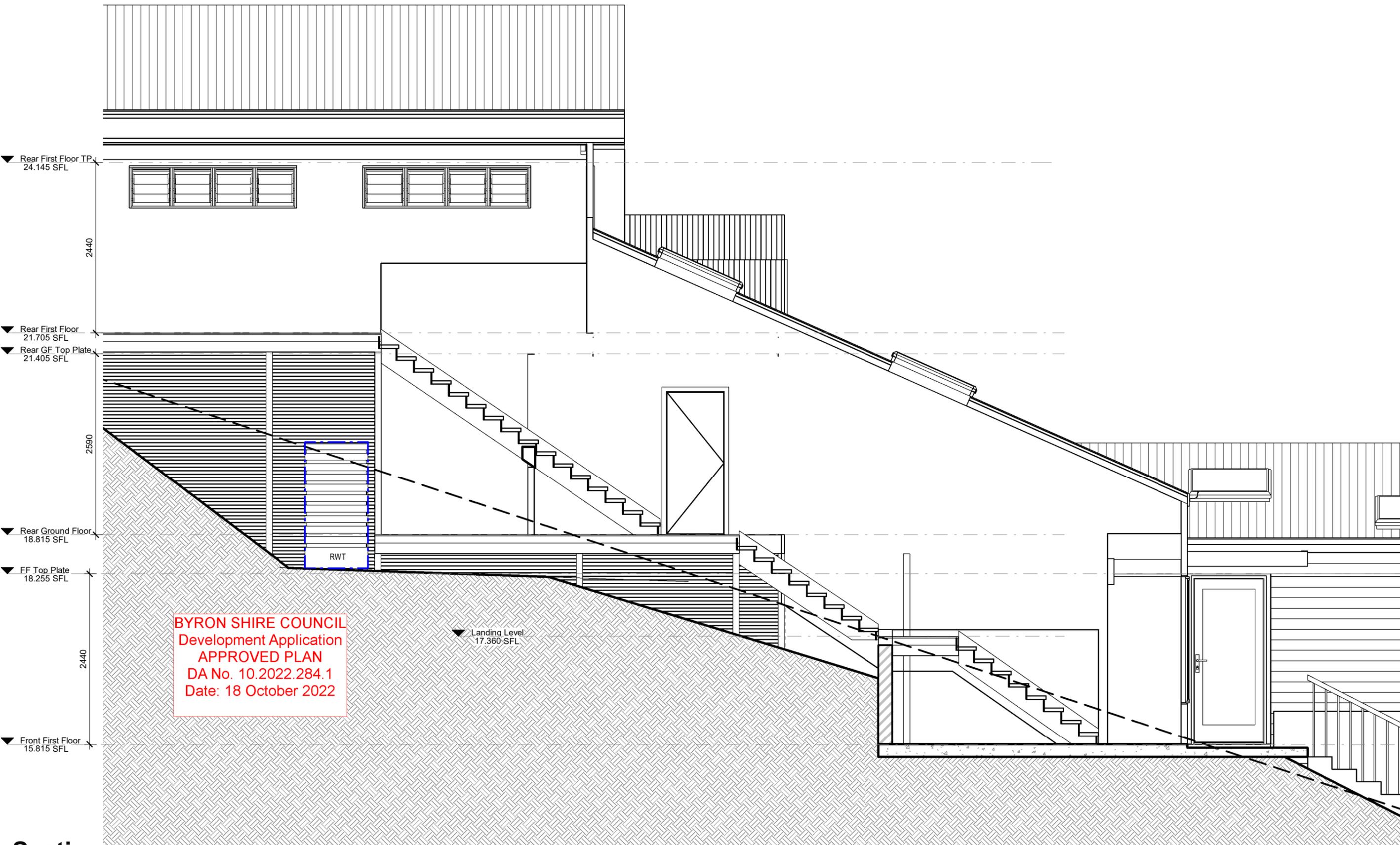
DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: WORKING DRAWING		SCALE: 1 : 50 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 620	LAND AREA: 1193m ²					

imagine
 by design

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Sections

DESIGN: PROPOSED RESIDENCE	JOB ADDRESS: LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	S.P.: DP1265934	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
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				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: MARISSA BETTIOL & WAYNE CLARKE	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 640	LAND AREA: 1193m ²					



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