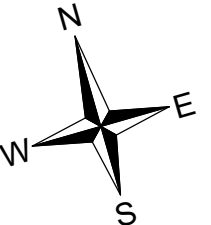
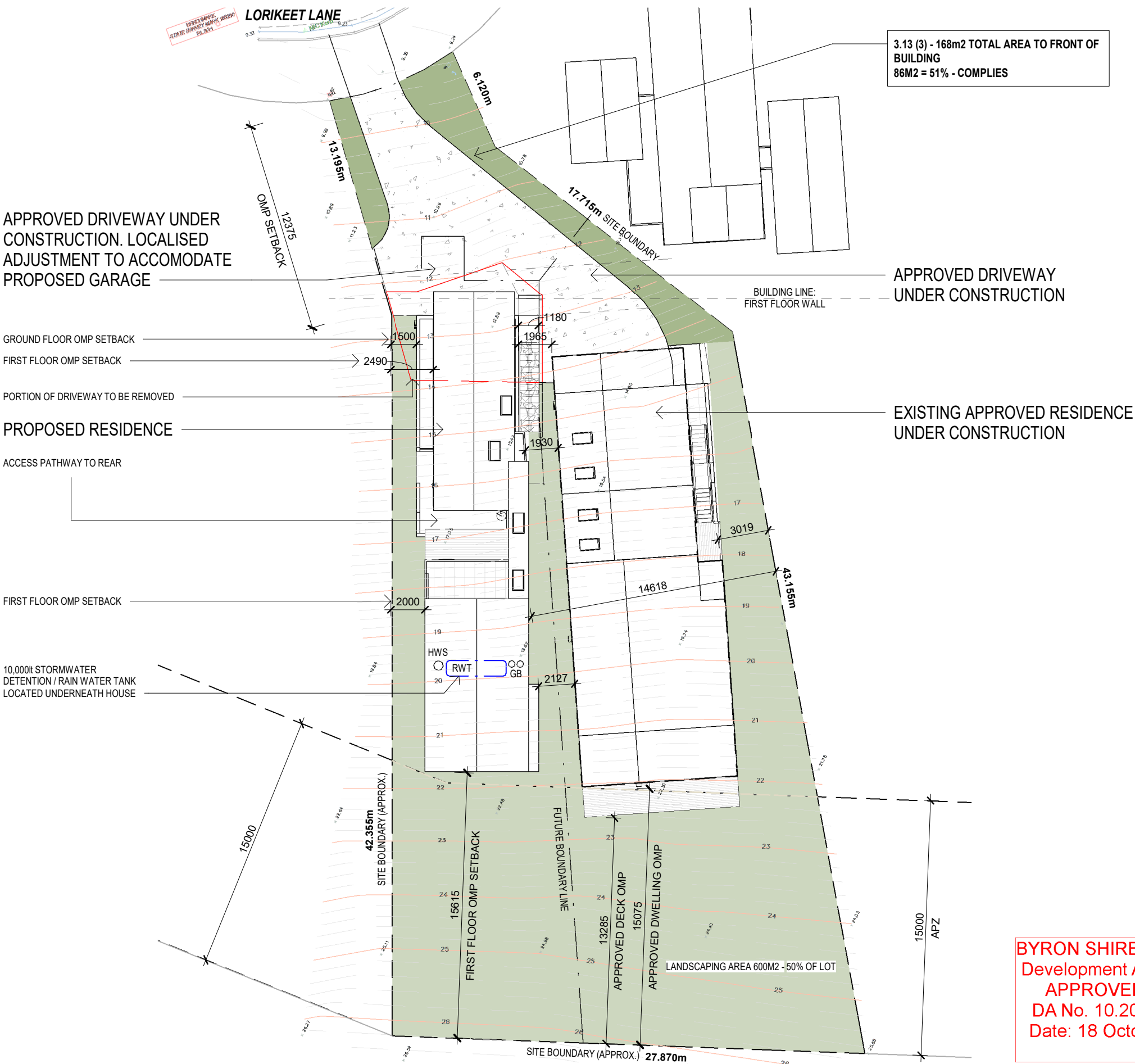


AREA SCHEDULE	
Name	Area
GARAGE	46.4 m <sup>2</sup>
	46.4 m <sup>2</sup>
FRONT FIRST FLOOR	60.2 m <sup>2</sup>
FRONT PORCH	1.9 m <sup>2</sup>
	62.2 m <sup>2</sup>
REAR GROUND FLOOR	35.4 m <sup>2</sup>
LINK	6.8 m <sup>2</sup>
MASTER SUITE DECK	9.1 m <sup>2</sup>
	51.3 m <sup>2</sup>
REAR FIRST FLOOR	58.7 m <sup>2</sup>
REAR FF FRONT DECK	13.6 m <sup>2</sup>
	72.3 m <sup>2</sup>
Grand total	232.2 m <sup>2</sup>

**ALERT:** THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

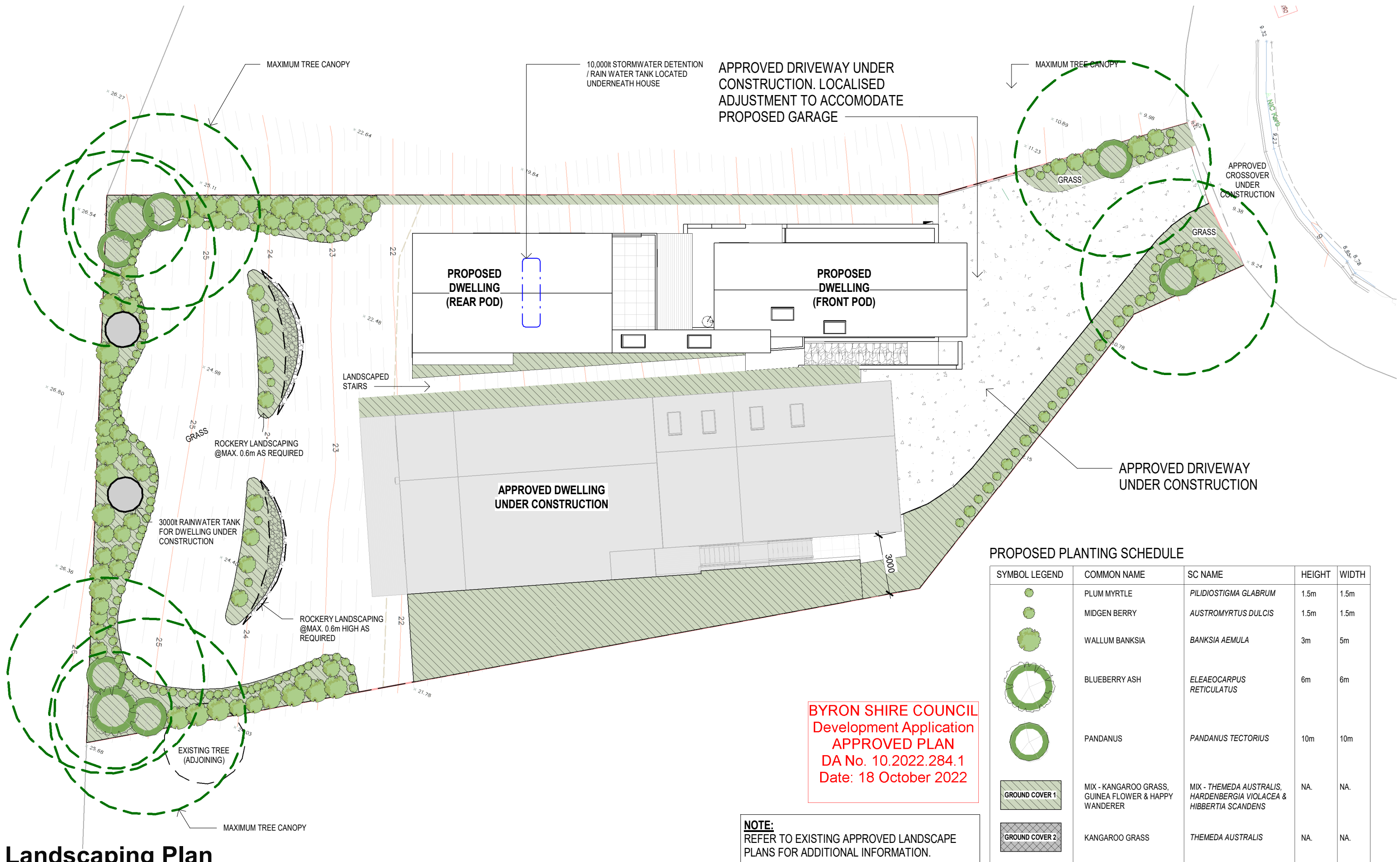
## Site Plan

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>WORKING DRAWING</b>		SCALE: 1 : 250 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 200	LAND AREA: 1193m <sup>2</sup>					



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## Landscaping Plan

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>WORKING DRAWING</b>		SCALE: 1 : 175 @ A3		A	27.05.22	WORKING DRAWING	AGC	JMW
CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 210	LAND AREA: 1193m <sup>2</sup>	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW

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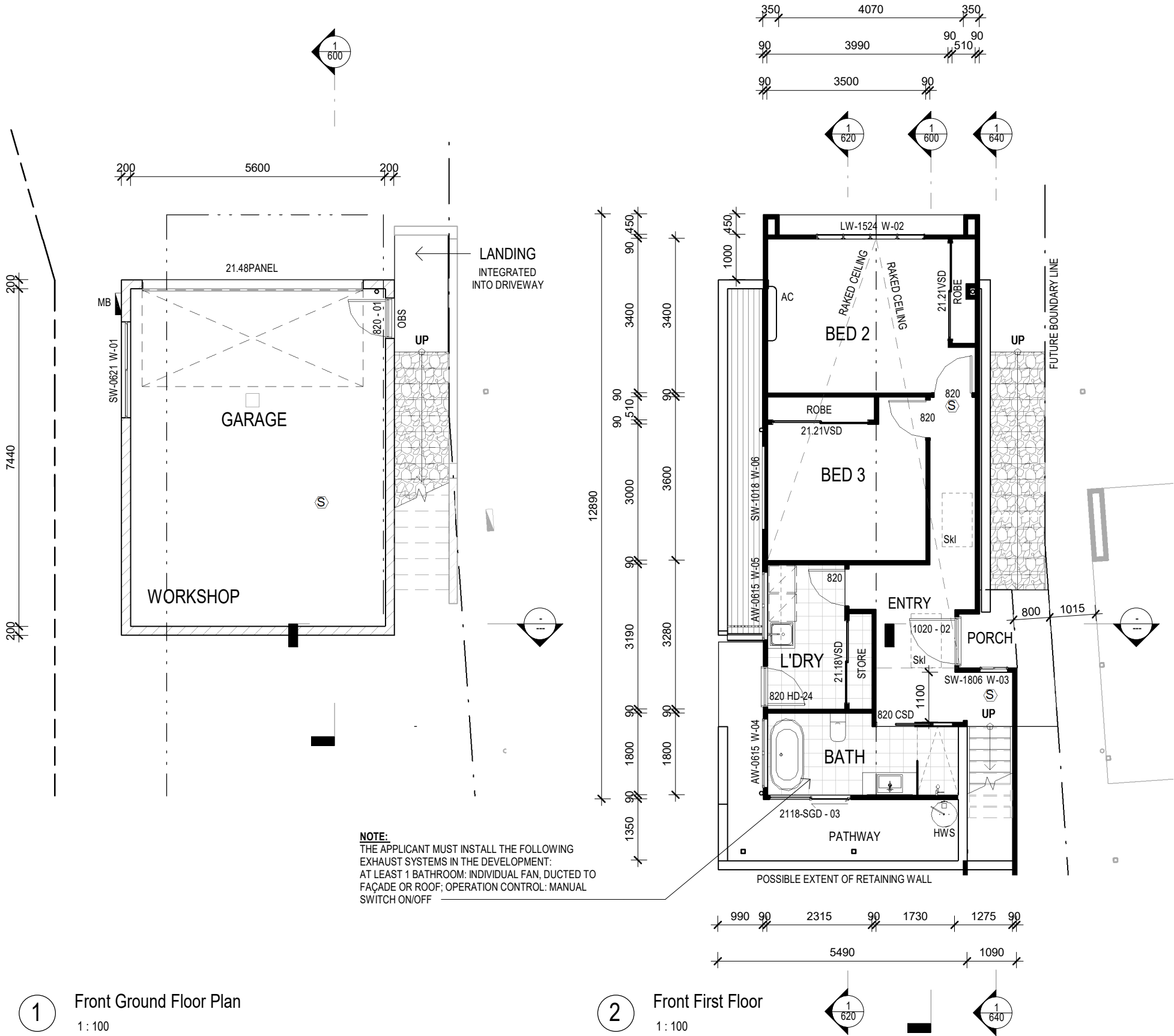
AREA SCHEDULE	
Name	Area
GARAGE	46.4 m <sup>2</sup>
	46.4 m <sup>2</sup>
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REAR FIRST FLOOR	58.7 m <sup>2</sup>
REAR FF FRONT DECK	13.6 m <sup>2</sup>
	72.3 m <sup>2</sup>
Grand total	232.2 m <sup>2</sup>

**ALERT:** THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL-29" RATING AND BUSHFIRE REQUIREMENTS.

**BYRON SHIRE COUNCIL**  
Development Application  
**APPROVED PLAN**  
DA No. 10.2022.284.1  
Date: 18 October 2022

## Front Pod Plans

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>27.05.22</td><td>WORKING DRAWING</td><td>AGC</td><td>JMW</td></tr><tr><td>B</td><td>10.06.22</td><td>WORKING DRAWING - BASIX COMMITMENTS</td><td>AGC</td><td>JMW</td></tr><tr><td>C</td><td>16.06.22</td><td>BASIX WINDOW AMENDMENTS</td><td>AGC</td><td>JMW</td></tr><tr><td>D</td><td>21.06.22</td><td>PRE PLANNING RFI</td><td>AGC</td><td>JMW</td></tr><tr><td>E</td><td>27.09.22</td><td>DRIVEWAY ACCESS AND GRADIENT DETAILS</td><td>LP</td><td>JMW</td></tr></table>	REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	27.05.22	WORKING DRAWING	AGC	JMW	B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW	C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW	D	21.06.22	PRE PLANNING RFI	AGC	JMW	E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
REV	DATE	DESCRIPTION	DRAWN	CHECKED																														
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STAGED PLAN: <b>WORKING DRAWING</b>		SCALE: 1 : 100 @ A3																																
CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 300	LAND AREA: 1193m <sup>2</sup>																															

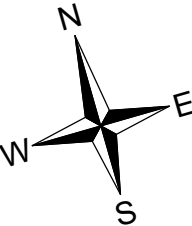


Window Schedule Summary				
No.	Type	Height	Width	Description
01	SW-0621	600	2110	Sliding Window - XO
02	LW-1524	1500	2400	Louvre Window - X
03	SW-1806	1800	610	Sliding Window - XO
04	AW-0615	600	1510	Awning Window XX
05	AW-0615	600	1510	Awning Window XX
06	SW-1018	1000	1810	Sliding Window - XO
07	LW-1209	1200	900	Louvre Window - X
08	SW-0618	600	1810	Sliding Window - XO
09	LW-1209	1200	900	Louvre Window - X
10	SW-0612	600	1210	Sliding Window - XO
11	LW-0624	600	2400	Louvre Window - X
12	LW-0624	600	2400	Louvre Window - X
13	LW-1209	1200	900	Louvre Window - X
14	FW-1517	1565	1750	Fixed Glass Angled Window
15	FW-1517	1565	1750	Fixed Glass Angled Window
16	LW-2109	2051	910	Louvre Window - X

**RESIDENTIAL ZONES AND OVERLAYS**  
ZONES: CHARACTER RESIDENTIAL

**OVERLAYS:**  
RCC KOALA HABITAT

- NOTES :**
- LIFT OFF HINGES TO WC DOOR/S TO COMPLY WITH THE NCC SECTION 3.8.3 UNDER ROOF INSULATION - ANTICON BLANKET.
  - INSULATION TO EXTERNAL WALLS & SARKING.
  - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
  - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE.
  - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER.
  - FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
  - THIS DRAWING IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DRAWINGS.
  - FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
  - ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
  - TERMITE MANAGEMENT SYSTEM TO BE PROVIDED TO PENETRATIONS AND PERIMETER IN ACCORDANCE WITH THE NCC VOL.2 PART 3.1.4.
  - WATERPROOFING IN WET AREAS TO BE IN ACCORDANCE WITH THE NCC VOL.2 & AS 3740.



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**ALERT:** THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "**BAL-29**" RATING AND BUSHFIRE REQUIREMENTS.

**NOTE:**  
THE APPLICANT MUST INSTALL THE FOLLOWING EXHAUST SYSTEMS IN THE DEVELOPMENT:  
AT LEAST 1 BATHROOM: INDIVIDUAL FAN, DUCTED TO FAÇADE OR ROOF. OPERATION CONTROL: MANUAL SWITCH ON/OFF

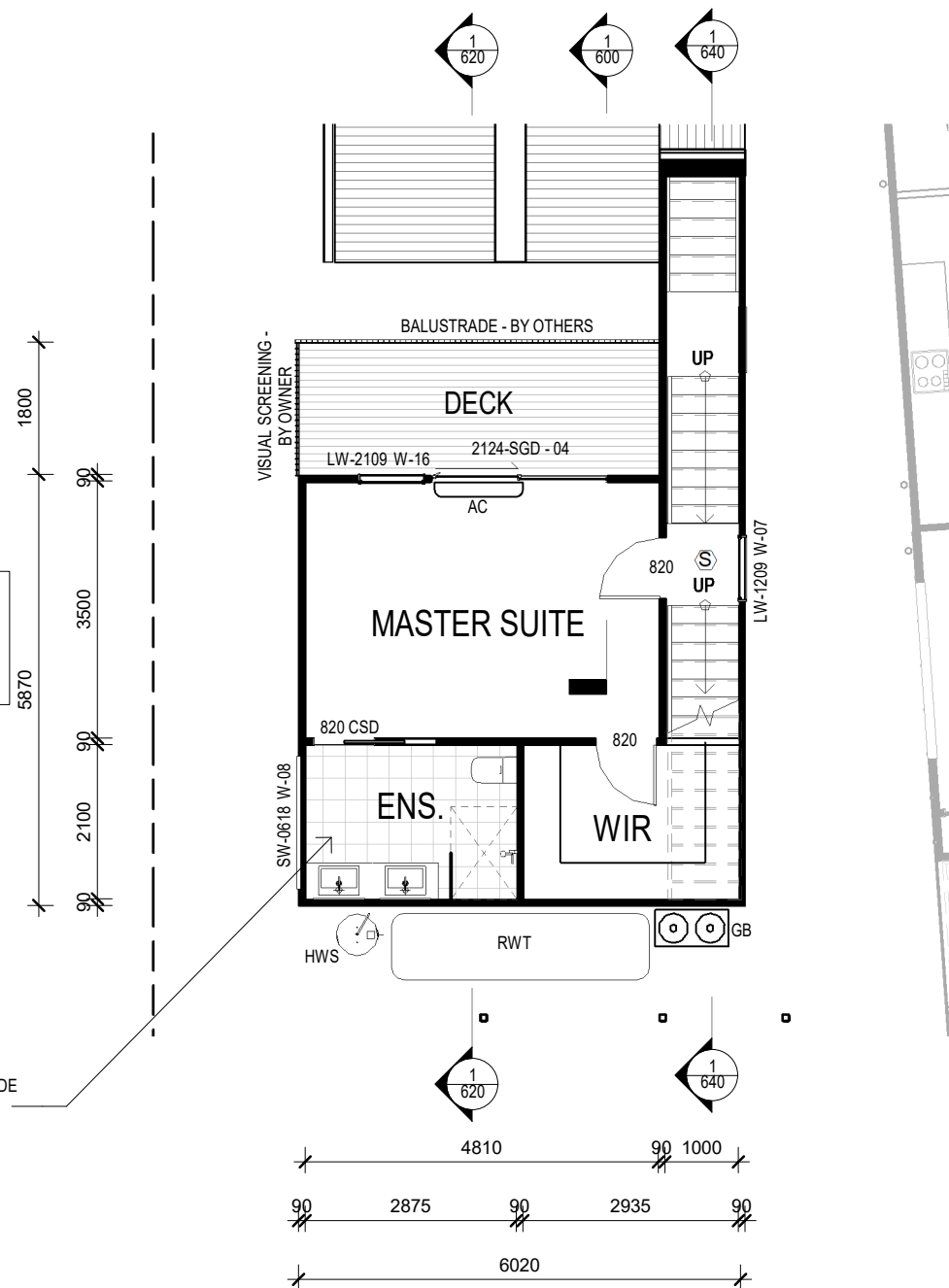
## **RESIDENTIAL ZONES AND OVERLAYS**

### **ZONES: CHARACTER RESIDENTIAL**

OVERLAYS:  
RCC KOALA HABITAT

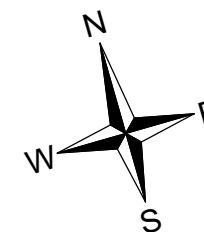
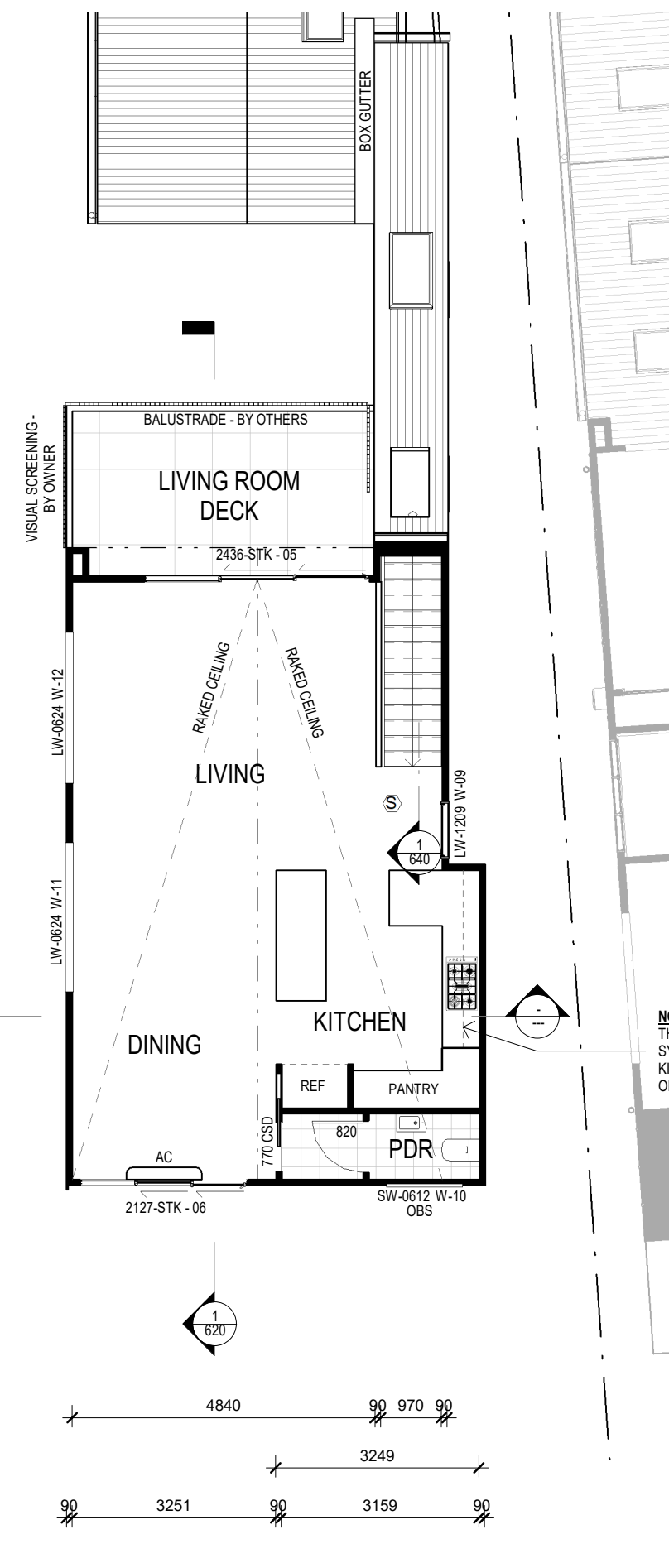
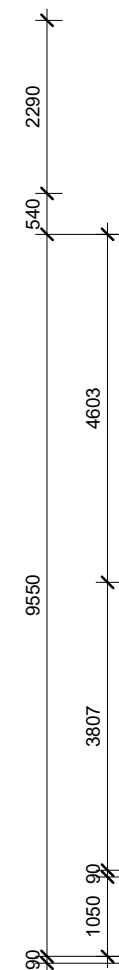
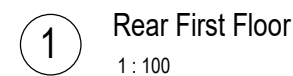
**NOTES :**

1. LIFT OFF HINGES TO WC DOOR/S TO COMPLY WITH THE NCC SECTION 3.8.3 UNDER ROOF INSULATION - ANTICON BLANKET.
2. INSULATION TO EXTERNAL WALLS & SARKING.
3. ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED.
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6. FLOOR WASTES SHOWN DIAGRAMMATICALLY ONLY.
7. THIS DRAWING IS TO BE READ IN-CONJUNCTION WITH ENGINEER'S DRAWINGS.
8. FINAL HEIGHTS & FRAME THICKNESS TO BE CONFIRMED BY MANUFACTURER PRIOR TO ORDERING.
9. ALL APPLIANCES, PLUMBING FIXTURES & SPECIALTY EQUIPMENT SHOWN DIAGRAMMATICALLY ONLY. FINAL ARRANGEMENTS TO OWNERS REQUIREMENTS.
10. TERMITE MANAGEMENT SYSTEM TO BE PROVIDED TO PENETRATIONS AND PERIMETER IN ACCORDANCE WITH THE NCC VOL.2 PART 3.1.4.
11. WATERPROOFING IN WET AREAS TO BE IN ACCORDANCE WITH THE NCC VOL.2 & AS 3740.



2 Rear Ground Floor  
1 : 100

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Development Application  
**APPROVED PLAN**  
DA No. 10.2022.284.1  
Date: 18 October 2022



## Rear Pod Plans

DESIGN:	JOB ADDRESS:	S.P:	ISSUE:	REV	DATE	DESCRIPTION	DRAWN	CHECKED
PROPOSED RESIDENCE	LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	DP1265934	E	A	27.05.22	WORKING DRAWING	AGC	JMW
				B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
				E	27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW
STAGED PLAN:		SCALE:						
WORKING DRAWING		1 : 100 @ A3						
CLIENT:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No:	LAND AREA:					
MARISSA BETTIOL & WAYNE CLARKE		350	1193m²					

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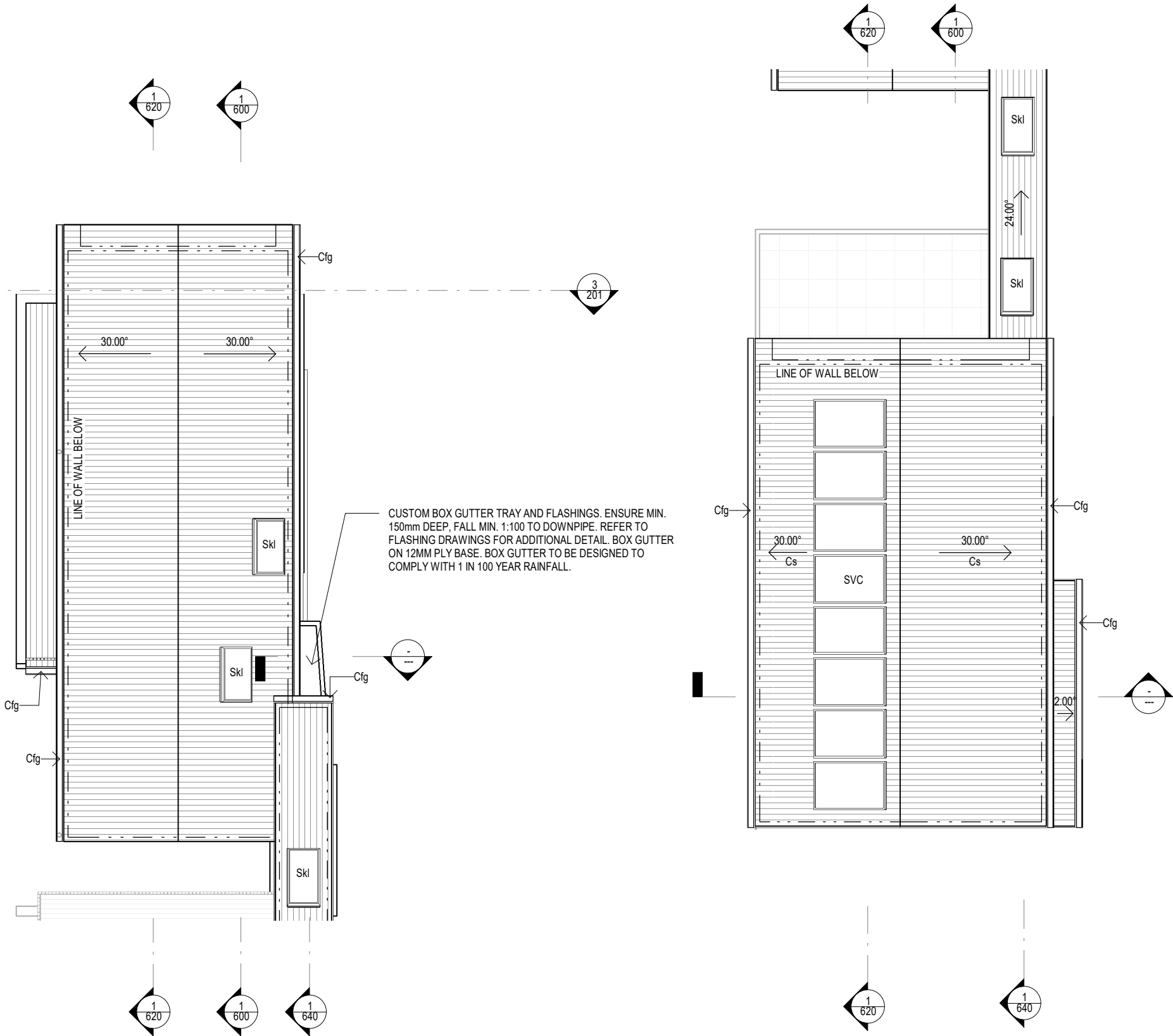
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QBCC: 1511 1256

NOTES:

1. DOWNPIPES ARE TO SERVICE **12m** MAXIMUM GUTTER LENGTH & BE LOCATED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS AND BE SELECTED IN ACCORDANCE WITH THE APPROPRIATE EAVES GUTTER SELECTION AS SHOWN IN (NCC VOL 2. TABLE 3.5.2.2)
2. GUTTERS, DOWNPIPES & FLASHINGS FABRICATED WITH METAL ARE TO MEET AS/NZ2179 REQUIREMENTS WHILE UPVC COMPONENTS ARE TO COMPLY WITH AS1273
3. ALL SARKING MATERIAL TO BE INSTALLED ACCORDING TO MANUFACTURER'S INSTALLATION INSTRUCTIONS & AS/NZS4200 INSTALLATION OF PLIABLE MEMBRANE AND UNDERLAY (NCC VOL 2. P3.5.1(F)) & HAVE A MAXIMUM **5** FLAMMABILITY INEDX (NCC VOL 2. P3.7.1.9(A))
4. ANY FLEXIBLE DUCTING THAT HAS A SOURCE FROM A FLAME HAZARD MUST MEET AS4254 HAZARD PROPERTIES
5. DOWNPIPES ARE TO BE PROTECTED FROM POTENTIAL MECHANICAL DAMAGE, BE INSTALLED NO LESS THAN **100mm** FROM ELECTRICAL CABLES & GAS PIPES & NO LESS THAN **50mm** FROM OTHER SERVICES (AS/NZS3500.3.2 S4.11)
6. CONNECT STORMWATER DRAINAGE TO LEGAL POINT OF DISCHARGE TO THE SATISFACTION OF THE RESPONSIBLE LOCAL AUTHORITY
7. CALCULATED ROOF CATCHMENTS & ROOFING TO BE INSTALLED AS PER AS/NZS3500.3
8. OVERFLOW MEASURERS IN ACCORDANCE WITH (NCC2016 VOL. 2 TABLE 3.5.2.4)
9. ROOF PLAN PROVIDED IS A **GUIDE ONLY**.



LEGEND	
Cfg	Colorbond Fascia & Gutter
Cs	Colorbond Steel Roofing
Skl	Skylight - To Manufacturer's Specification - By Owner
SVC	SOLAR VOLTIAc CELLS - By Others

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Development Application  
APPROVED PLAN  
DA No. 10.2022.284.1  
Date: 18 October 2022

## Roof Plan

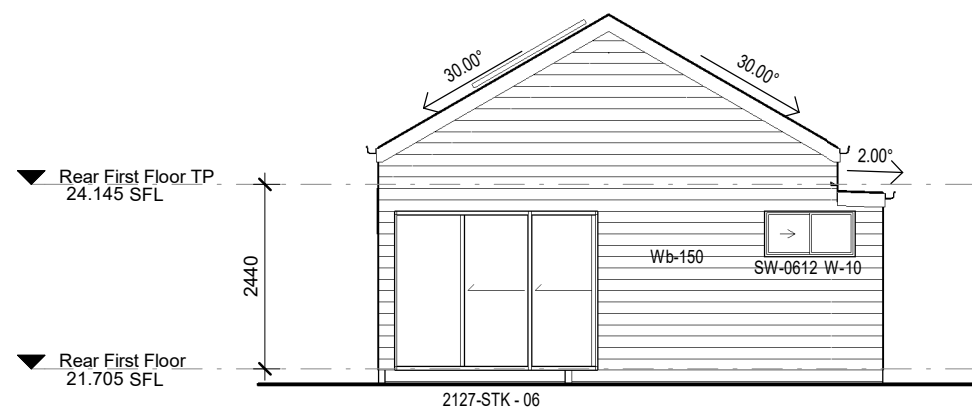
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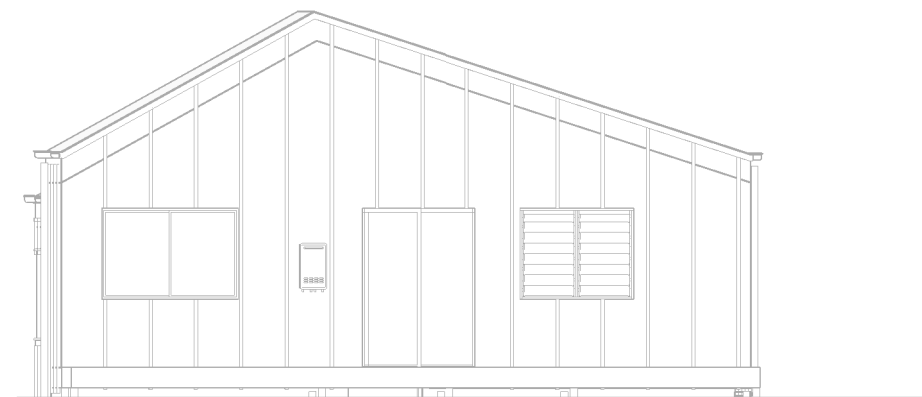
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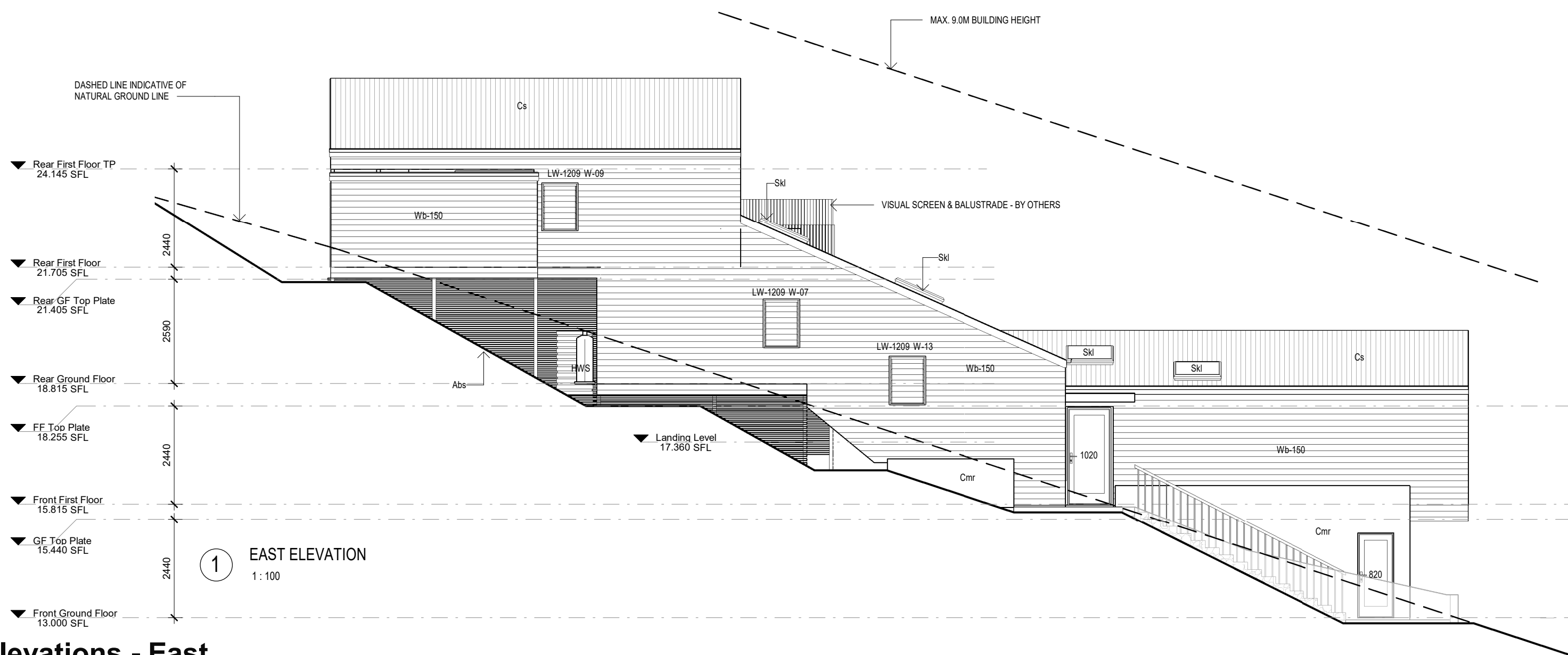


2 SOUTH ELEVATION  
1 : 100



LEGEND	
Abs	Aluminium Batten Screen - By Others
Cmr	Concrete Masonry - Render Finish
Cs	Colorbond Steel Roofing
HWS	HOT WATER SYSTEM
Skl	Skylight - To Manufacturer's Specification - By Owner
Wb-150	Scyon Linea Weatherboards 150mm Cladding

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1 EAST ELEVATION  
1 : 100

## Elevations - East

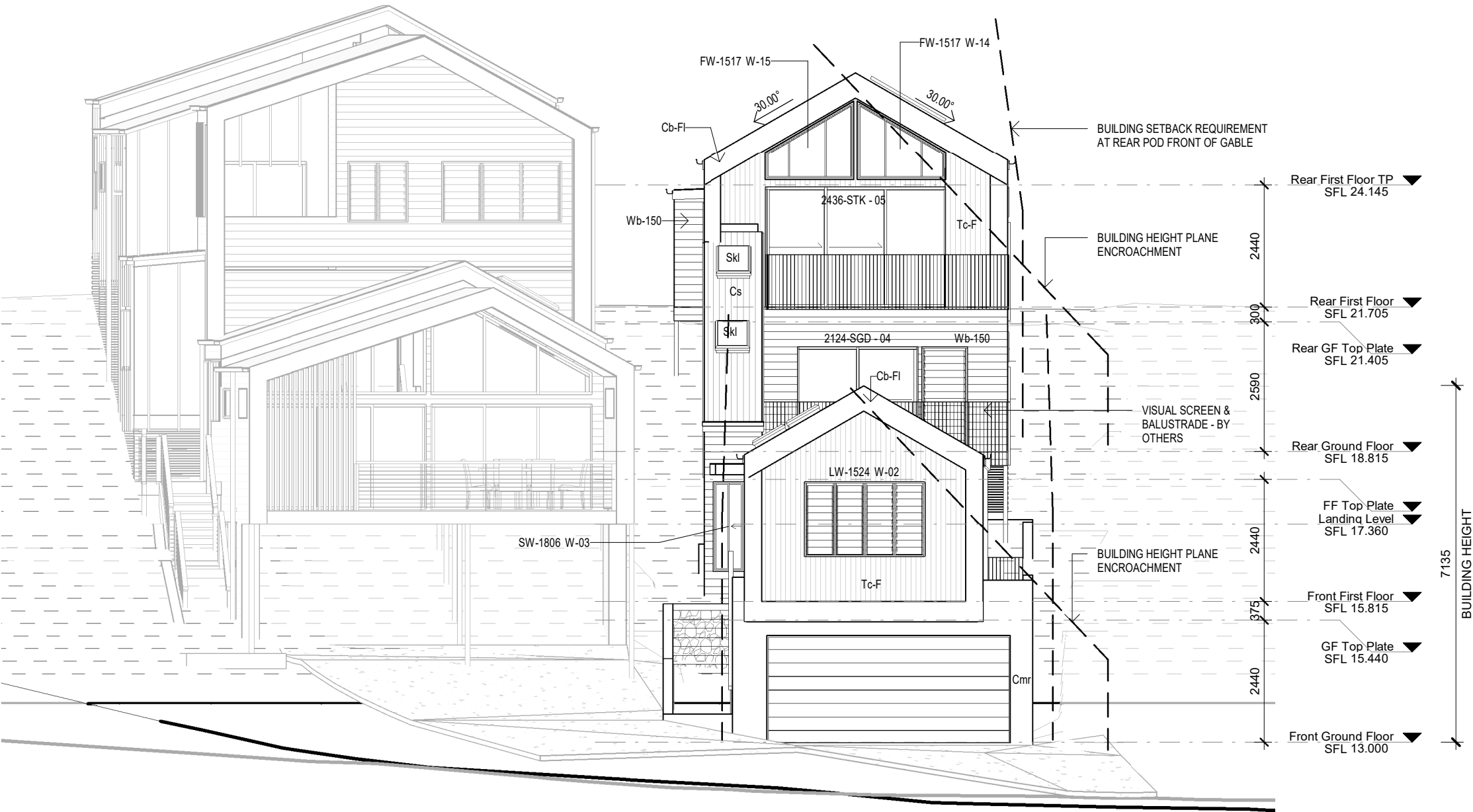
DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
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CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 500	LAND AREA: 1193m <sup>2</sup>					

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LEGEND	
Cb-Fi	Colorbond Flashing
Cmr	Concrete Masonry - Render Finish
Cs	Colorbond Steel Roofing
Skl	Skylight - To Manufacturer's Specification - By Owner
Tc-F	Feature Timber Cladding
Wb-150	Scyon Linea Weatherboards 150mm Cladding



BYRON SHIRE COUNCIL  
Development Application  
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Elevations - North

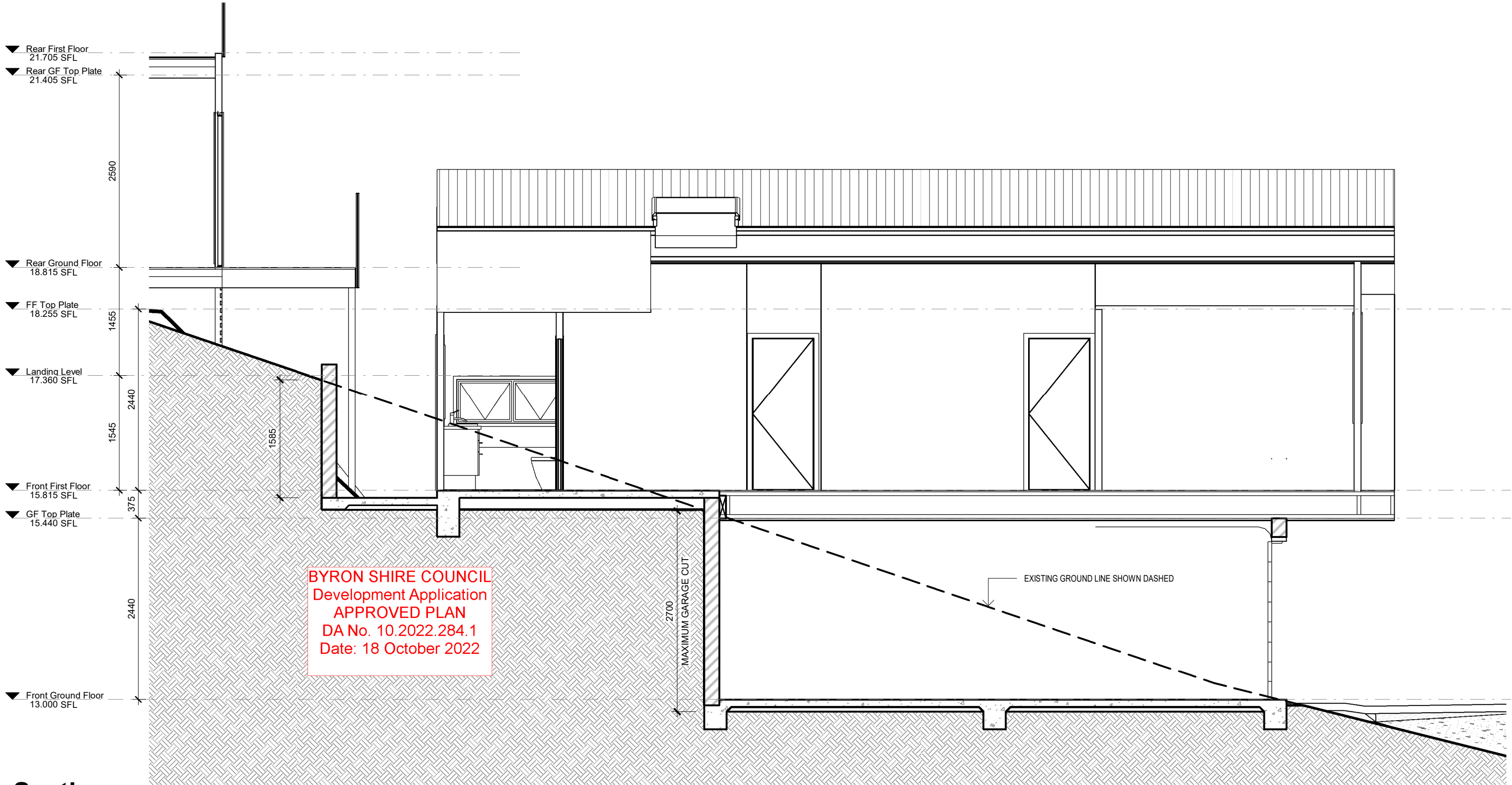
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QBCC: 1511 1256

- NOTES:**
1. SELECTED ROOF FIXED IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
  2. ROOF BATTENS FIXED IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
  3. ROOF TRUSSES TO STRUCTURAL FABRICATION DRAWINGS.
  4. BRACING OF TRUSSES & SUB-FLOOR TO BE IN ACCORDANCE WITH STRUCTURAL FABRICATION DRAWINGS.
  5. SLAB & FOOTINGS AS PER ENGINEERS DETAILS.
  6. FLOORING MEMBERS AS PER STRUCTURAL FABRICATION DRAWINGS.
  7. TERMITE TREATMENT TO BE INSTALLED AS PER MANUFACTURERS SPEC. & IN ACCORDANCE WITH AS 3660.1 BY LICENSED CONTRACTOR.

**LEGEND**



**Sections**

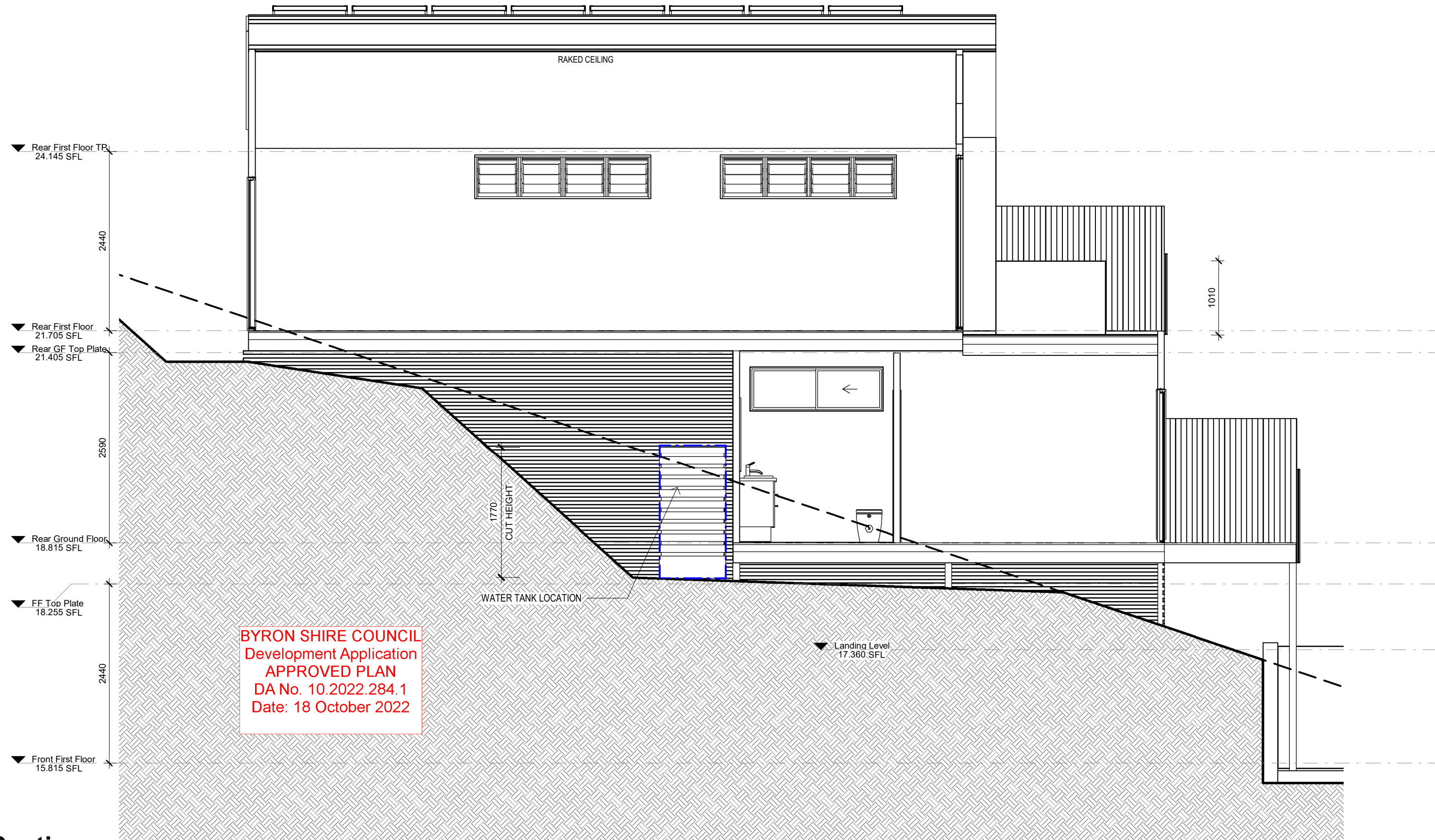
DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	REV A B C D E	DATE 27.05.22 10.06.22 16.06.22 21.06.22 27.09.22	DESCRIPTION WORKING DRAWING WORKING DRAWING - BASIX COMMITMENTS BASIX WINDOW AMENDMENTS PRE PLANNING RFI DRIVEWAY ACCESS AND GRADIENT DETAILS	DRAWN AGC AGC AGC AGC LP	CHECKED JMW JMW JMW JMW JMW
STAGED PLAN: <b>WORKING DRAWING</b>		SCALE: 1 : 50 @ A3						
CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 600	LAND AREA: 1193m <sup>2</sup>					

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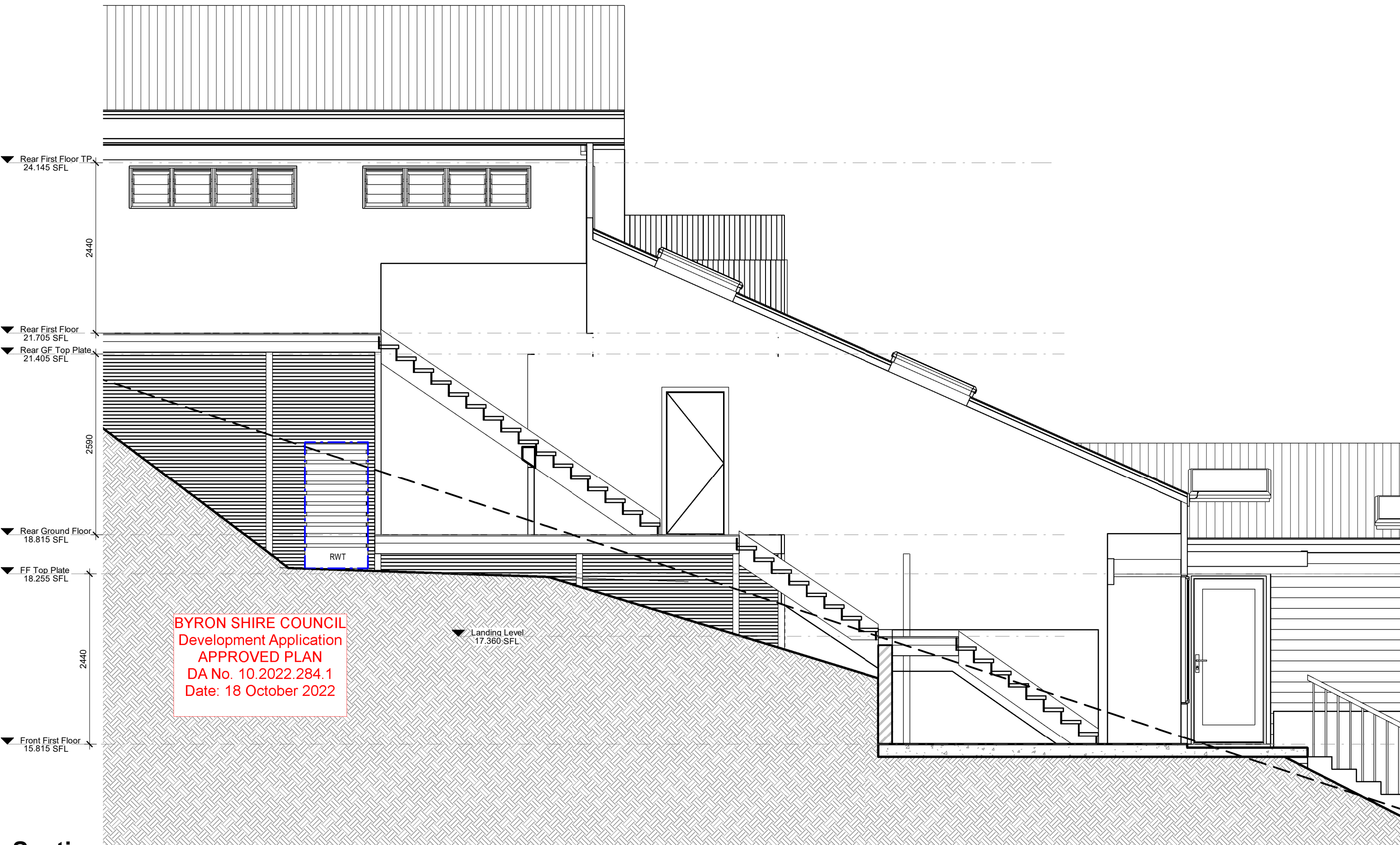
QBCC: 1511 1256



Sections

DESIGN: <b>PROPOSED RESIDENCE</b>	JOB ADDRESS: <b>LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482</b>	S.P: DP1265934	ISSUE: <b>E</b>	REV A B C D E	DATE 27.05.22 10.06.22 16.06.22 21.06.22 27.09.22	DESCRIPTION WORKING DRAWING WORKING DRAWING - BASIX COMMITMENTS BASIX WINDOW AMENDMENTS PRE PLANNING RFI DRIVEWAY ACCESS AND GRADIENT DETAILS	DRAWN AGC AGC AGC LP	CHECKED JMW JMW JMW JMW JMW
STAGED PLAN: <b>WORKING DRAWING</b>		SCALE: 1 : 50 @ A3						
CLIENT: <b>MARISSA BETTIOL &amp; WAYNE CLARKE</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 620	LAND AREA: 1193m <sup>2</sup>					

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Sections

DESIGN:	JOB ADDRESS:	S.P:	ISSUE:	REV	DATE	DESCRIPTION	DRAWN	CHECKED
PROPOSED RESIDENCE	LOT 139 LORIKEET LANE, MULLUMBIMBY, NSW. 2482	DP1265934	E	A	27.05.22	WORKING DRAWING	AGC	JMW
STAGED PLAN: WORKING DRAWING		SCALE:  1 : 50 @ A3		B	10.06.22	WORKING DRAWING - BASIX COMMITMENTS	AGC	JMW
				C	16.06.22	BASIX WINDOW AMENDMENTS	AGC	JMW
				D	21.06.22	PRE PLANNING RFI	AGC	JMW
	E		27.09.22	DRIVEWAY ACCESS AND GRADIENT DETAILS	LP	JMW		
CLIENT:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No:	LAND AREA:					
MARISSA BETTIOL & WAYNE CLARKE		640	1193m²					

