

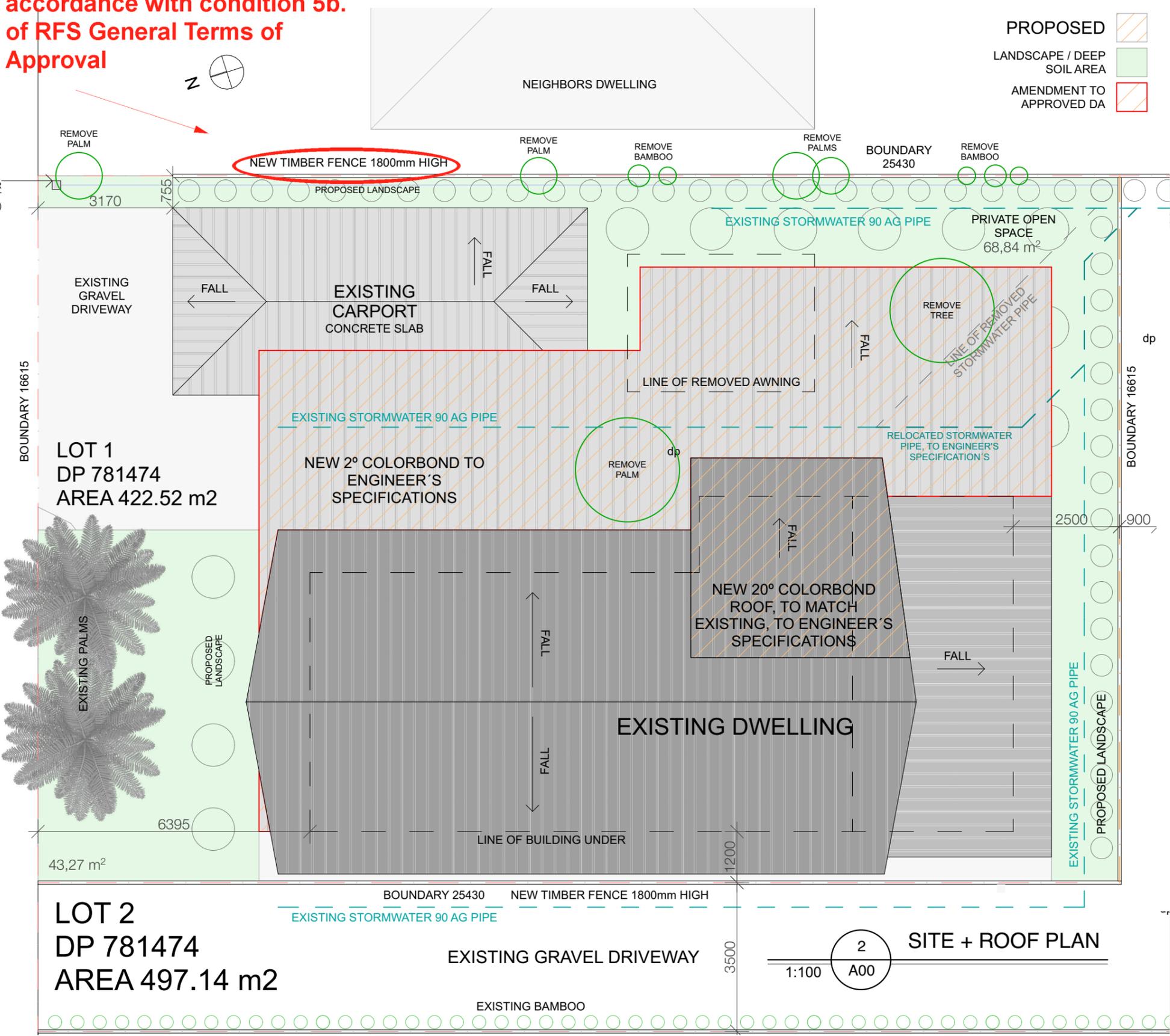
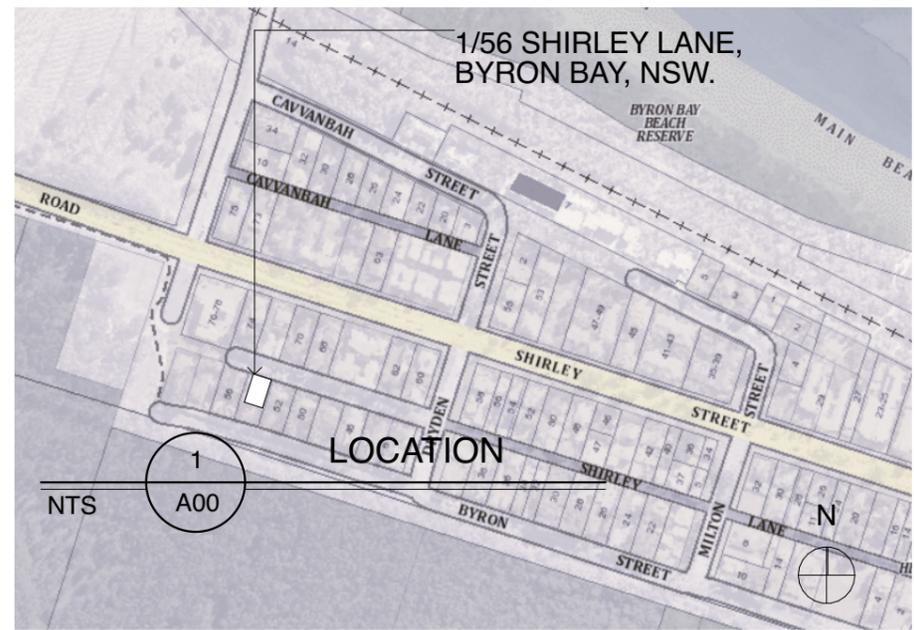
CONTENTS	
A00 COVER, LOCATION, SITE + ROOF PLAN	
A01 GROUND FLOOR	
A02 FIRST FLOOR	
A03 NORTH + SOUTH ELEVATION	
A04 EAST + WEST ELEVATION	
A05 SECTIONS	
A06 SHADOW DIAGRAM + WINDOW SCHEDULE	
A07 SEDIMENT AND EROSION CONTROL + SITE WASTE MANAGEMENT	
OCTOBER 2022	
CLIENT DETAILS	
SHAJI KARIMADATH	
PROJECT DETAILS	
ALTERATIONS AND ADDITIONS	
STANDARD NOTES:	
All building works to be carried out in accordance with the Building Code of Australia (BCA), Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions and relevant information on site before commencing work. Ensure all building construction within building envelope. Figured dimensions take precedence - do not scale. Drawing to be read in conjunction with basix certificate, fire report and engineering drawings.	
NOTES:	
.All works to comply with Building Code of Australia, be in accordance with relevant Australian Standards and local council regulation / approvals.	
- AS1 684 and AS 1720 Timber Framing Code, tie-down and bracing.	
- AS 3700 Masonry in Buildings	
- AS 2870 Resid. Slabs and Footings	
- AS 3660 Termite Protection	
- AS 3500 Stormwater Discharge	
- AS 3740 Waterproofing of Wet Areas	
- AS 2047 Windows in Building	
- AS 1657 Stairways	
- AS 1926 Swimming Pool Safety	
- Photoelectric smoke detectors in accordance with BCA.	
- Swimming Pool Fencing to comply with Swimming Pools Act 1992.	
.All Dimensions to be verified by Builder / Client prior to setout, ordering or fabrication of new materials.	
.Check for underground obstacles prior to construction.	
.All construction drawings, to be read in conjunction with Engineer's specifications and drawings.	
.Do not scale from drawings.	

AREAS	
SITE	422.52 m ²
LANDSCAPE / DEEP SOIL AREA (27.31%)	115.42 m ²
EXISTING DWELLING	154.5 m ²
PROPOSED BEDROOM	12.65 m ²
PROPOSED HALLWAY	9.00 m ²
TOTAL INTERNAL	176.15m ²

BASIX CERTIFICATE N° A480213	
Project address	
Project name	56 Shirley Lane, Byron Bay
Street address	56 Shirley Lane Byron Bay 2481
Local Government Area	Byron Shire Council
Plan type and number	Deposited Plan 781474
Lot number	1
Section number	

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2022.505.3
Date: 26/09/24

Fencing to be constructed in accordance with condition 5b. of RFS General Terms of Approval



PROPOSED	
LANDSCAPE / DEEP SOIL AREA	
AMENDMENT TO APPROVED DA	

ArchDraft
Building Design | Drafting Services

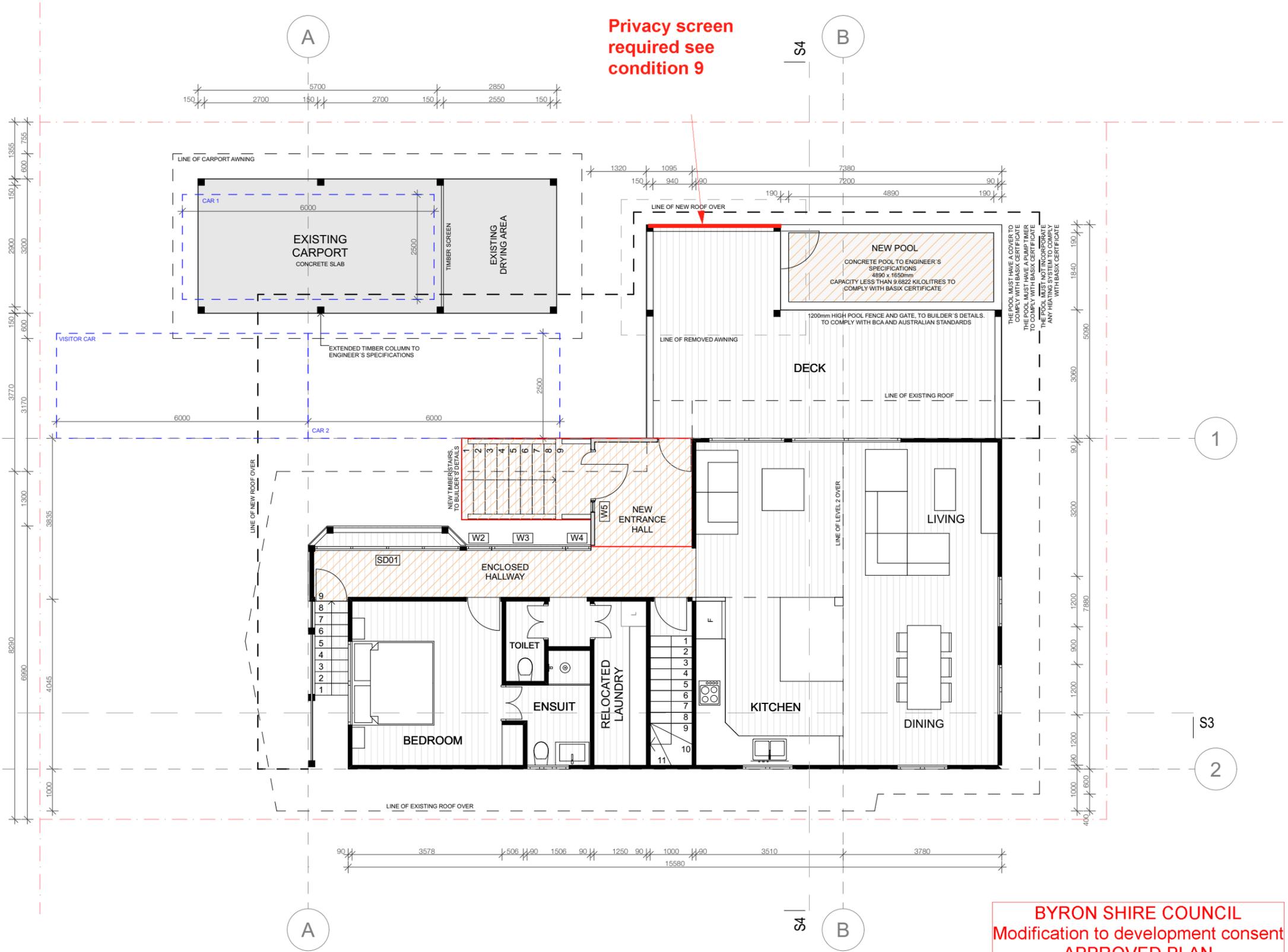
JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 25/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821
JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER
DRAWING	CONTENT / LOCATION / SITE+ ROOF PLAN			1: 100	A3
					CC
					A00

- PROPOSED
- RENOVATION / ALTERATION
- AMENDMENT TO APPROVED DA

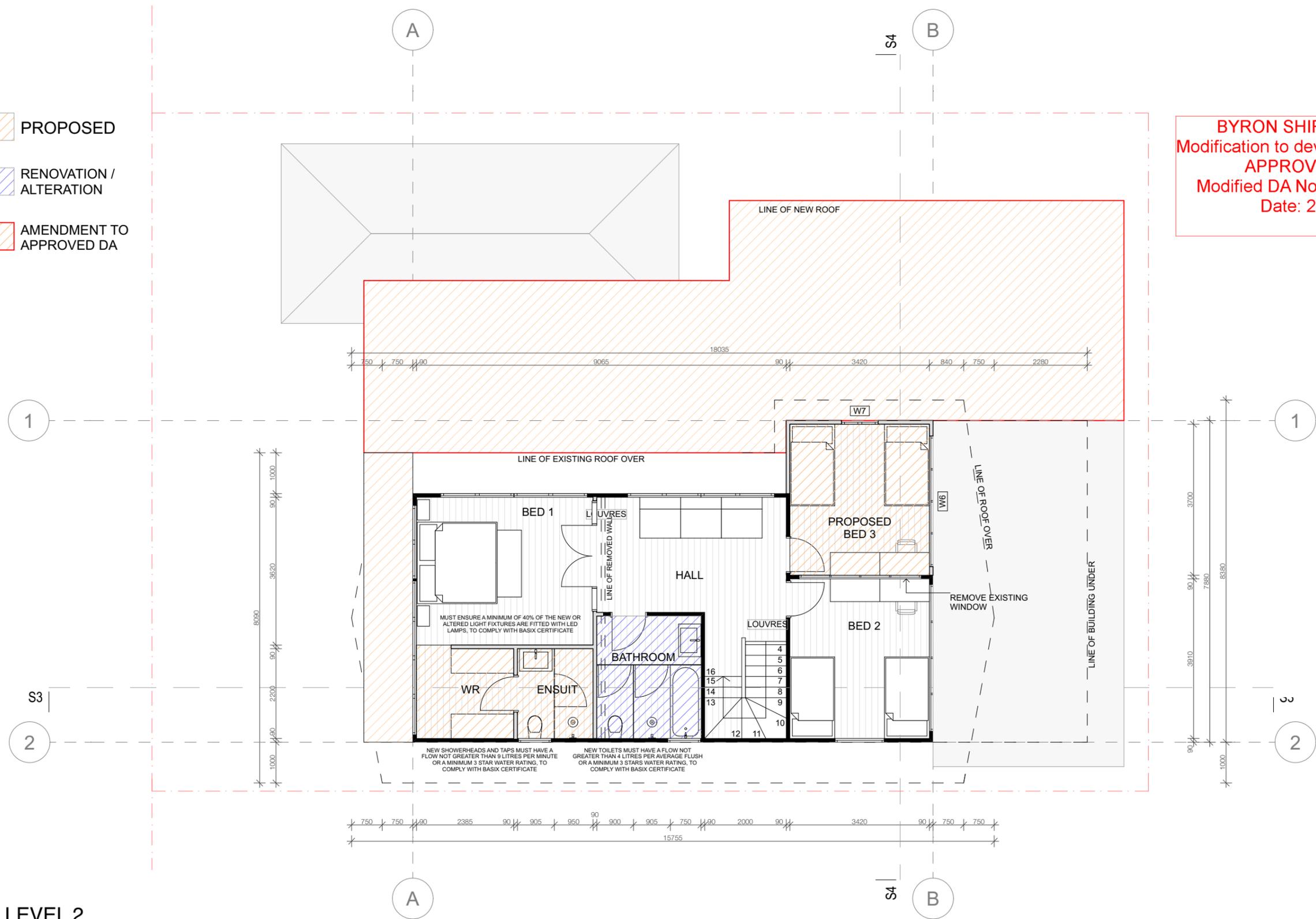


1:100 1 LEVEL 1 A01

<p>ArchDraft Building Design Drafting Services</p> <p>JOSE DELMAS / Director / ph 0468990159</p>	<p>All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.</p>	<p>ISSUE/REVISIONS</p> <table style="width: 100%; font-size: 8px;"> <tr> <td>DD 30/07/2022</td> <td>DA 28/10/2022</td> </tr> <tr> <td>DD 05/08/2022</td> <td>DA 02/11/2022</td> </tr> <tr> <td>DA 26/08/2022</td> <td>DA 27/04/2023</td> </tr> <tr> <td>DA 14/09/2022</td> <td>DA 05/06/2023</td> </tr> <tr> <td>DA 29/09/2022</td> <td>DA 10/08/2023</td> </tr> <tr> <td>DA 11/10/2022</td> <td>CC 25/03/2024</td> </tr> </table>	DD 30/07/2022	DA 28/10/2022	DD 05/08/2022	DA 02/11/2022	DA 26/08/2022	DA 27/04/2023	DA 14/09/2022	DA 05/06/2023	DA 29/09/2022	DA 10/08/2023	DA 11/10/2022	CC 25/03/2024	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
			DD 30/07/2022	DA 28/10/2022																		
			DD 05/08/2022	DA 02/11/2022																		
DA 26/08/2022	DA 27/04/2023																					
DA 14/09/2022	DA 05/06/2023																					
DA 29/09/2022	DA 10/08/2023																					
DA 11/10/2022	CC 25/03/2024																					
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	A01														
DRAWING	LEVEL 1			1:100	A3	CC																

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24

-  PROPOSED
-  RENOVATION / ALTERATION
-  AMENDMENT TO APPROVED DA



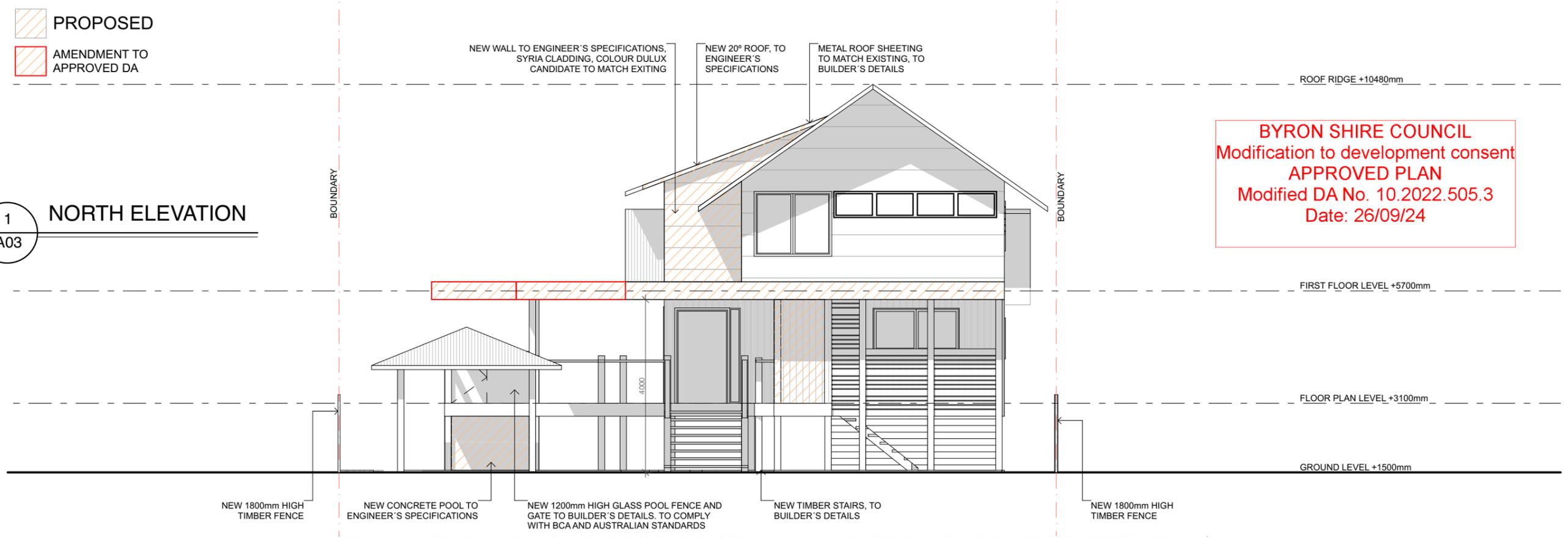
1:100 1 LEVEL 2 A02

 Building Design Drafting Services JOSE DELMAS / Director / ph 0468990159	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.	ISSUE/REVISIONS DD 30/07/2022 DA 28/10/2022 DD 05/08/2022 DA 02/11/2022 DA 26/08/2022 DA 27/04/2023 DA 14/09/2022 DA 05/06/2023 DA 29/09/2022 DA 10/08/2023 DA 11/10/2022 CC 25/03/2024	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821		
			JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER	ISSUE	A02
			DRAWING	LEVEL 2			1:100	A3	CC	

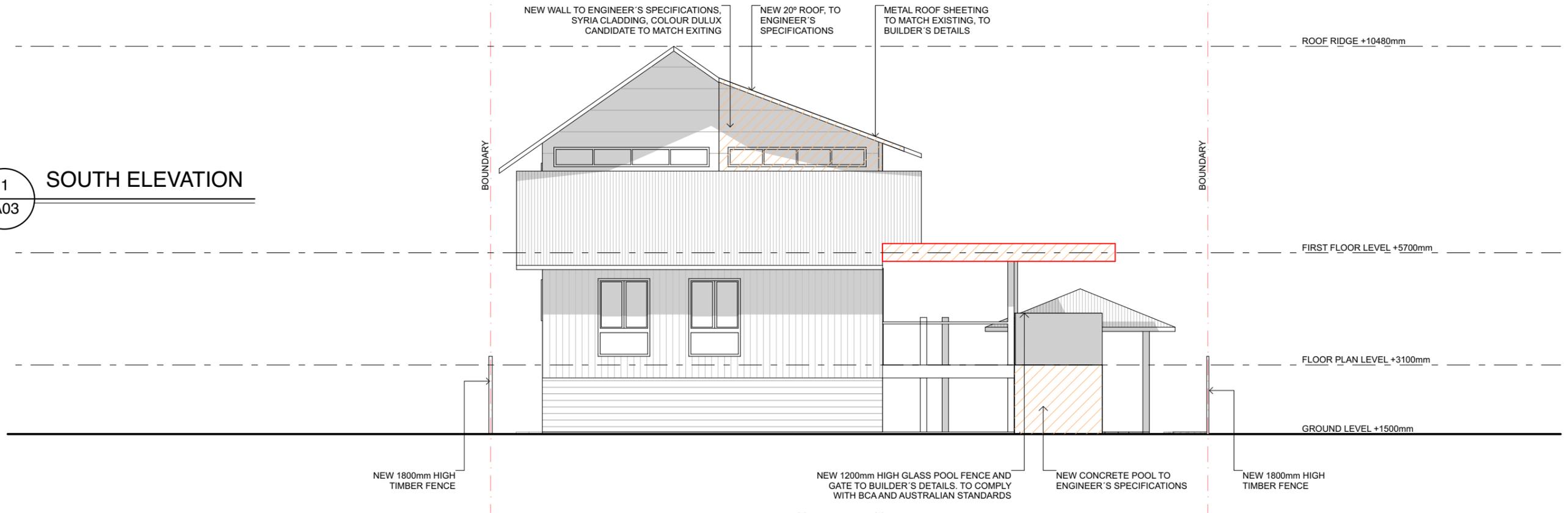
 PROPOSED
 AMENDMENT TO APPROVED DA

1:100
 1 A03
NORTH ELEVATION

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24



1:100
 1 A03
SOUTH ELEVATION



 Building Design Drafting Services JOSE DELMAS / Director / ph 0468990159	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.	ISSUE/REVISIONS DD 30/07/2022 DA 28/10/2022 DD 05/08/2022 DA 02/11/2022 DA 26/08/2022 DA 27/04/2023 DA 14/09/2022 DA 05/06/2023 DA 29/09/2022 DA 10/08/2023 DA 11/10/2022 CC 25/03/2024	CLIENT Shaji Karimadath	ADDRESS 2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821	
		JOB NAME Additions / Alterations	LOT + DP LOT 2 DP 781474	SCALE 1:100	PAPER A3	ISSUE CC	A03
		DRAWING NORTH ELEVATION + SOUTH ELEVATION			1:100	A3	

 PROPOSED

 AMENDMENT TO APPROVED DA

METAL ROOF SHEETING TO MATCH EXISTING, TO BUILDER'S DETAILS
 NEW 20° ROOF, TO ENGINEER'S SPECIFICATIONS
 NEW WALL TO ENGINEER'S SPECIFICATIONS, SYRIA CLADDING, COLOUR DULUX CANDIDATE TO MATCH EXISTING
 NEW 2° COLORBOND ROOF, TO ENGINEER'S SPECIFICATIONS

ROOF RIDGE +10480mm

BOUNDARY

BOUNDARY

FIRST FLOOR LEVEL +5700mm

FLOOR PLAN LEVEL +3100mm

GROUND LEVEL +1500mm

1 EAST ELEVATION
 1:100 A04

NEW 1200mm HIGH GLASS POOL FENCE AND GATE TO BUILDER'S DETAILS, TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS

NEW CONCRETE POOL TO ENGINEER'S SPECIFICATIONS

NEW TIMBER STAIRS, TO BUILDER'S DETAILS

NEW WINDOWS TO MATCH EXISTING FRAME, TO BUILDER'S DETAILS

Privacy screen required see condition 9

ROOF RIDGE +10480mm

BOUNDARY

BOUNDARY

FIRST FLOOR LEVEL +5700mm

FLOOR PLAN LEVEL +3100mm

GROUND LEVEL +1500mm

2 WEST ELEVATION
 1:100 A04

NEW 2° COLORBOND ROOF, TO ENGINEER'S SPECIFICATIONS

NEW WINDOW, FRAME TO MATCH EXISTING, TO BUILDER'S DETAILS

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24

ArchDraft
 Building Design | Drafting Services

JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS

DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 25/03/2024

CLIENT

Shaji Karimadath

ADDRESS

2/56 Shirley Lane, Byron Bay

CAD: DF

JOB NO: 0821

JOB NAME

Additions / Alterations

LOT + DP

LOT 2 DP 781474

SCALE

PAPER

ISSUE

DRAWING

EAST + WEST ELEVATION

1:100

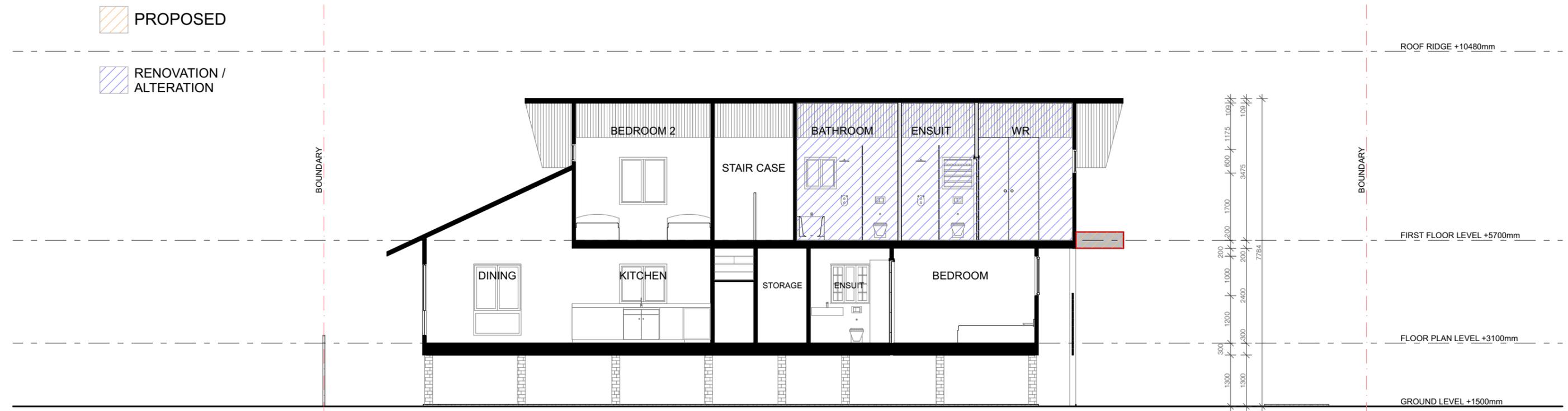
A3

CC

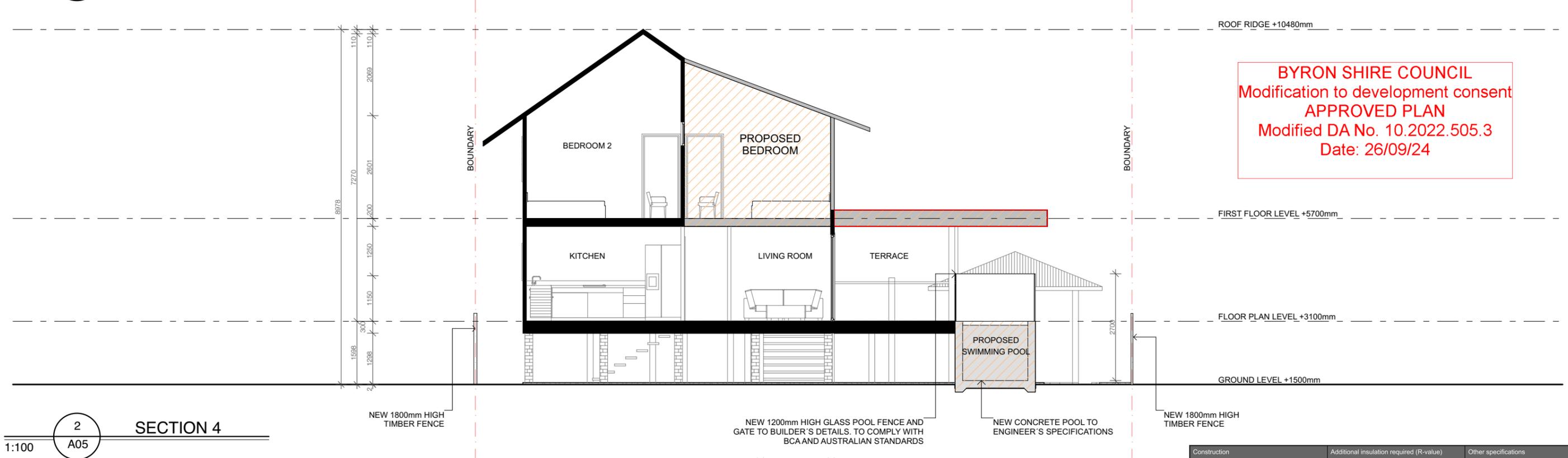
A04

 PROPOSED

 RENOVATION / ALTERATION



1:100 **SECTION 3**



BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2022.505.3
Date: 26/09/24

1:100 **SECTION 4**

Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R0.76 (down), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

ArchDraft
Building Design | Drafting Services
JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS

DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 25/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821
JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER
DRAWING	SECTIONS			1:100,	A3
				CC	A05

CONTENTS
A00 COVER, LOCATION, SITE + ROOF PLAN
A01 LEVEL 0
A02 LEVEL 1
A03 LEVEL 2
A04 NORTH ELEVATION
A05 SOUTH ELEVATION
A06 EAST ELEVATION
A07 WEST ELEVATION
A08 SECTION 2
A09 SHADOW DIAGRAM
A10 WINDOW SCHEDULE
A11 SEDIMENT AND EROSION PLAN + SITE WASTE MANAGEMENT
OCTOBER 2022
CLIENT DETAILS SHAJI KARIMADATH
PROJECT DETAILS ALTERATIONS AND ADDITIONS

NOTES:

All works to comply with Building Code of Australia, be in accordance with relevant Australian Standards and local council regulation / approvals.

- AS1 684 and AS 1720 Timber Framing Code, tie-down and bracing.
- AS 3700 Masonry in Buildings
- AS 2870 Resid. Slabs and Footings
- AS 3660 Termite Protection
- AS 3500 Stormwater Discharge
- AS 3740 Waterproofing of Wet Areas
- AS 2047 Windows in Building
- AS 1657 Stairways
- AS 1926 Swimming Pool Safety
- Photoelectric smoke detectors in accordance with BCA.
- Swimming Pool Fencing to comply with Swimming Pools Act 1992.

.All Dimensions to be verified by Builder / Client prior to setout, ordering or fabrication of new materials.

.Check for underground obstacles prior to construction.

.Do not scale from drawings.

STANDARD NOTES:

All building works to be carried out in accordance with the Building Code of Australia (BCA), Australian Standards and to the satisfaction of the principle certifying authority.

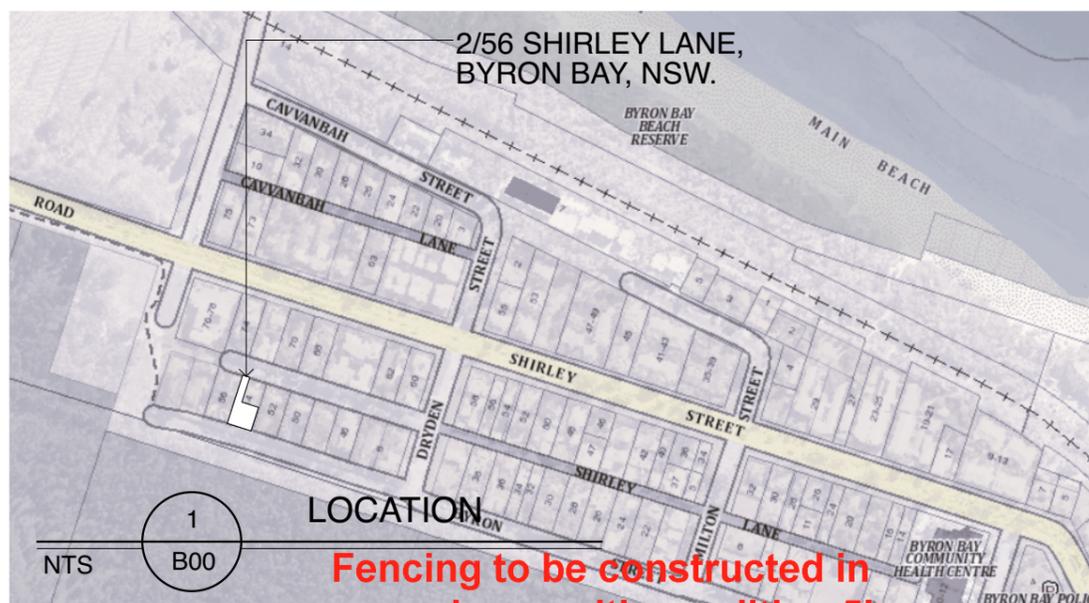
Builders/Contractors are to verify all dimensions and relevant information on site before commencing work.

This are not construction drawings, read in conjunction with Engineer's specifications and Builder/Contractors details.

Ensure all building construction within building envelope.

Figured dimensions take precedence - do not scale.

Drawing to be read in conjunction with basix certificate, fire report.



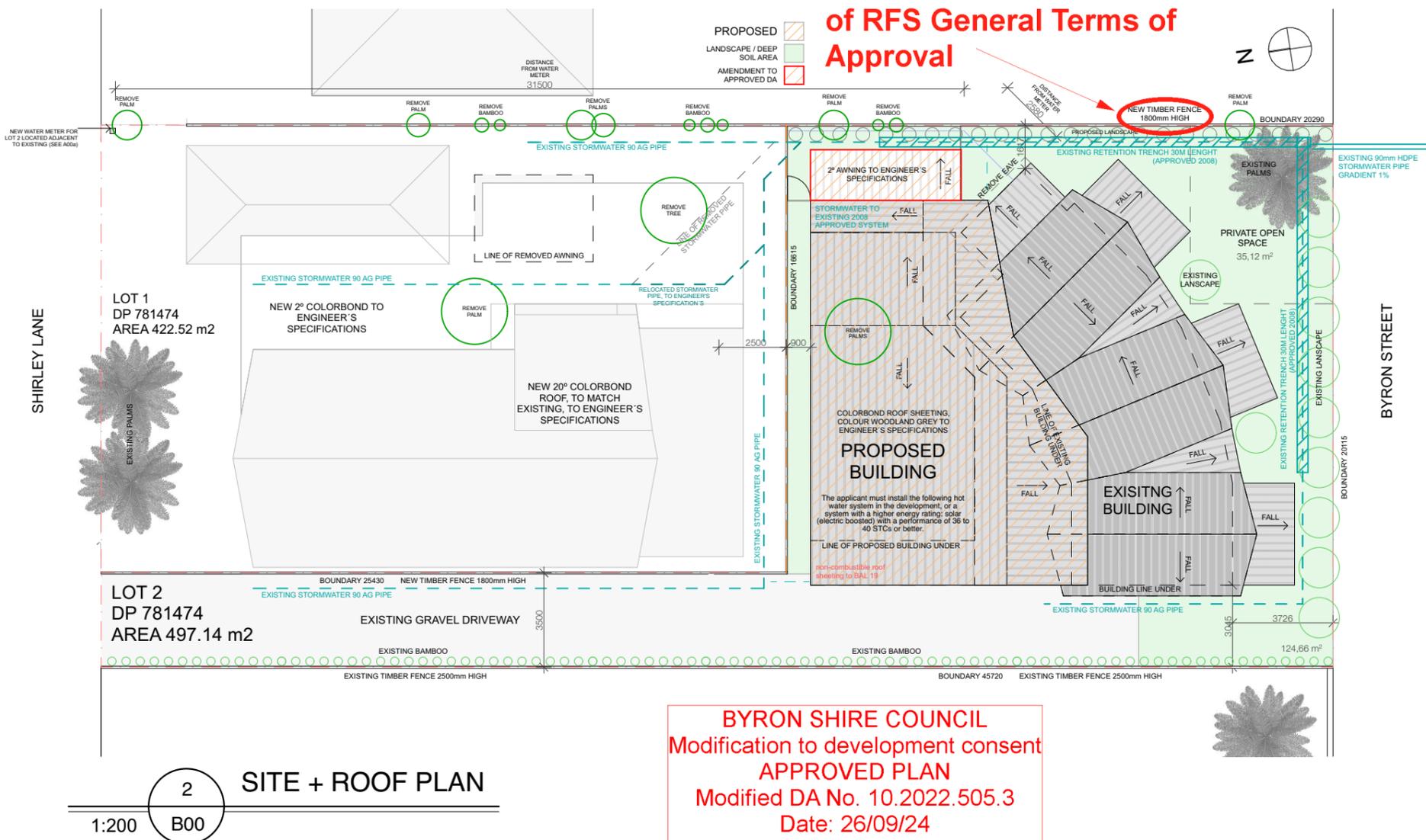
Fencing to be constructed in accordance with condition 5b. of RFS General Terms of Approval

BASIX REQUIREMENTS
As per Certificate n° 1354797S

Project summary		
Project name	56 Shirley Lane, Byron Bay	
Street address	56 Shirley Lane Byron Bay 2481	
Local Government Area	Byron Shire Council	
Plan type and plan number	deposited 781474	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	✓ 40	Target 40
Thermal Comfort	✓ Pass	Target Pass
Energy	✓ 53	Target 50

AREAS

SITE	497.14 m ²
LANDSCAPE / DEEP SOIL AREA (25.07%)	124.66 m ²
EXISTING DWELLING	85.0 m ²
PROPOSED ADDITION	119.0 m ²
TOTAL INTERNAL	204.0m ²



BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2022.505.3
Date: 26/09/24

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.

Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.

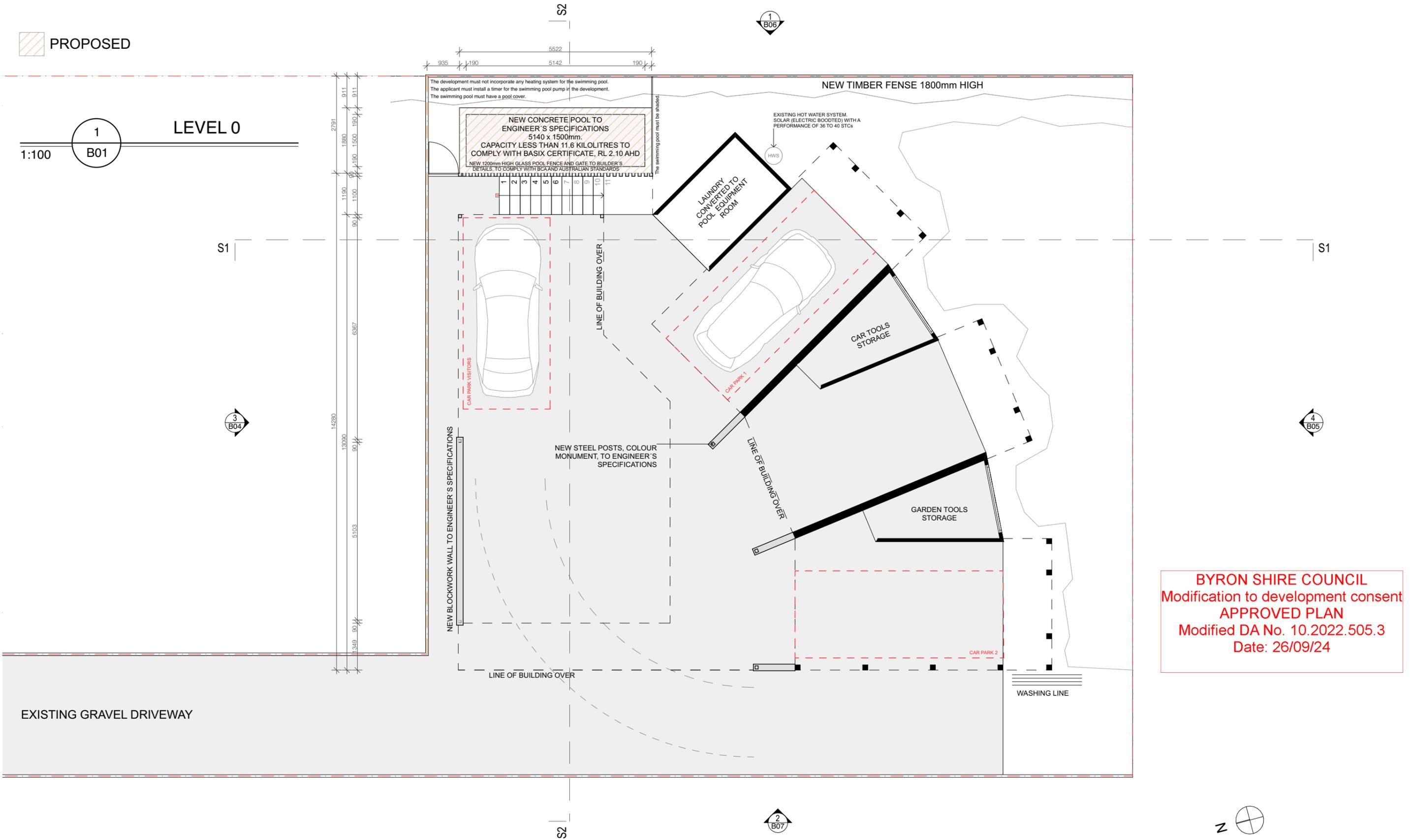
Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS

DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821
JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER
DRAWING	CONTENT / LOCATION / SITE + ROOF PLAN			1:200	A3
					CC
					B00

 PROPOSED



BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2022.505.3
Date: 26/09/24


Building Design | Drafting Services

JOSE DELMAS / Director / ph 0468990159

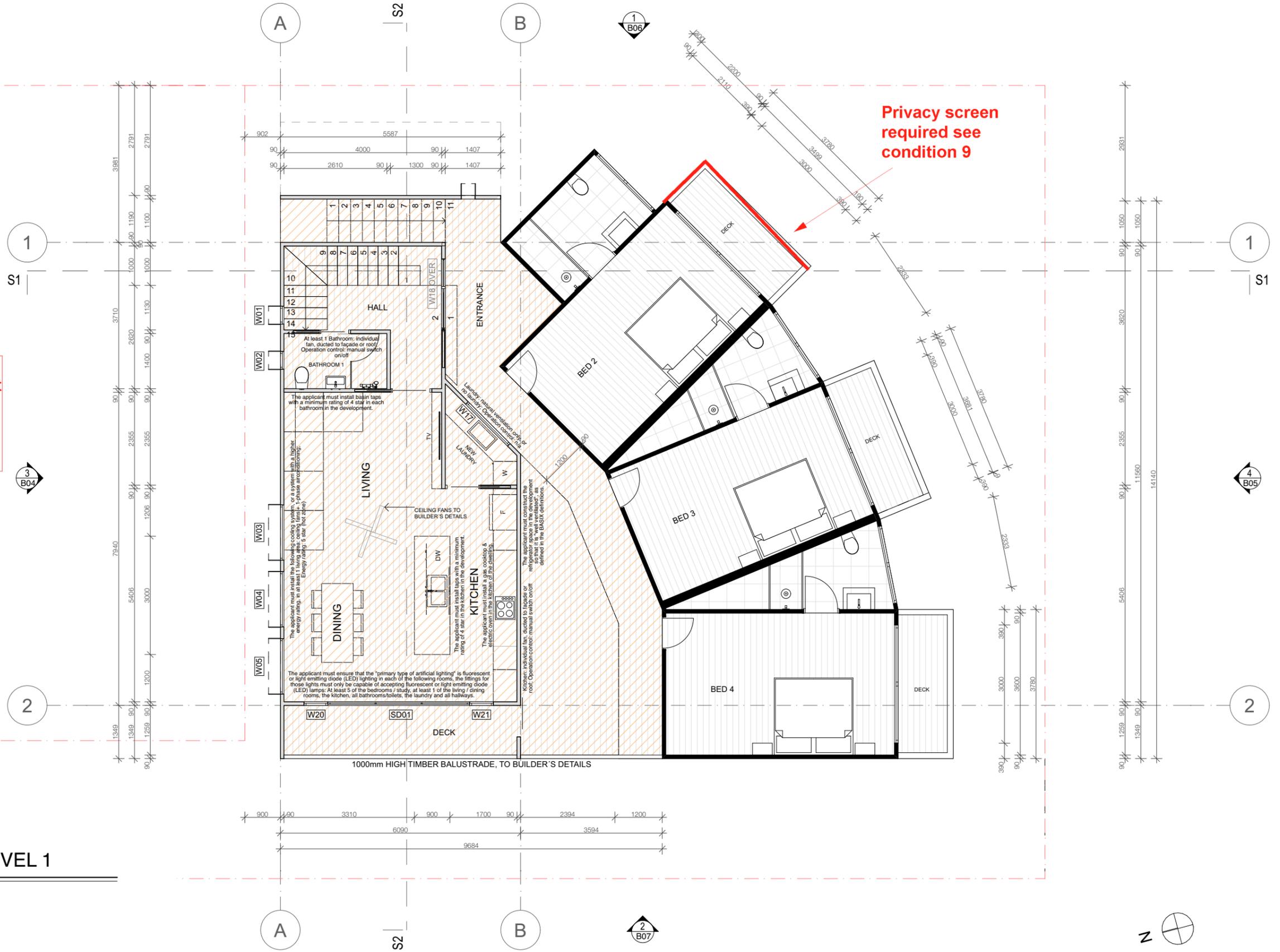
All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE
DRAWING	LEVEL 0				1:100	A3	CC
B01							

 PROPOSED

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24



1
LEVEL 1
 1:100

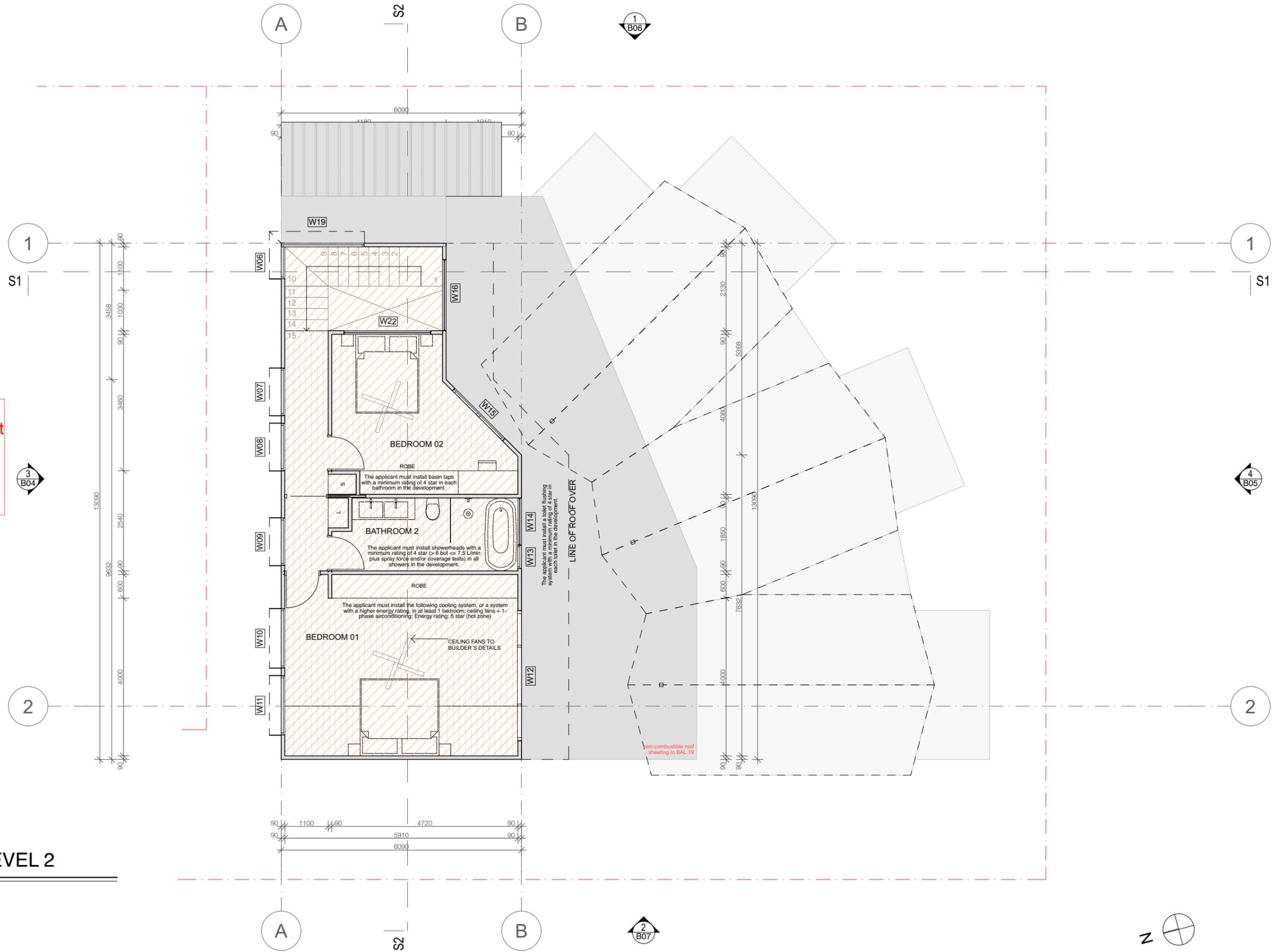
ArchDraft
 Building Design | Drafting Services
 JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE
DRAWING	LEVEL 1			1:100	A3	CC	B02

 PROPOSED



BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24

1
 B03
 LEVEL 2
 1:100



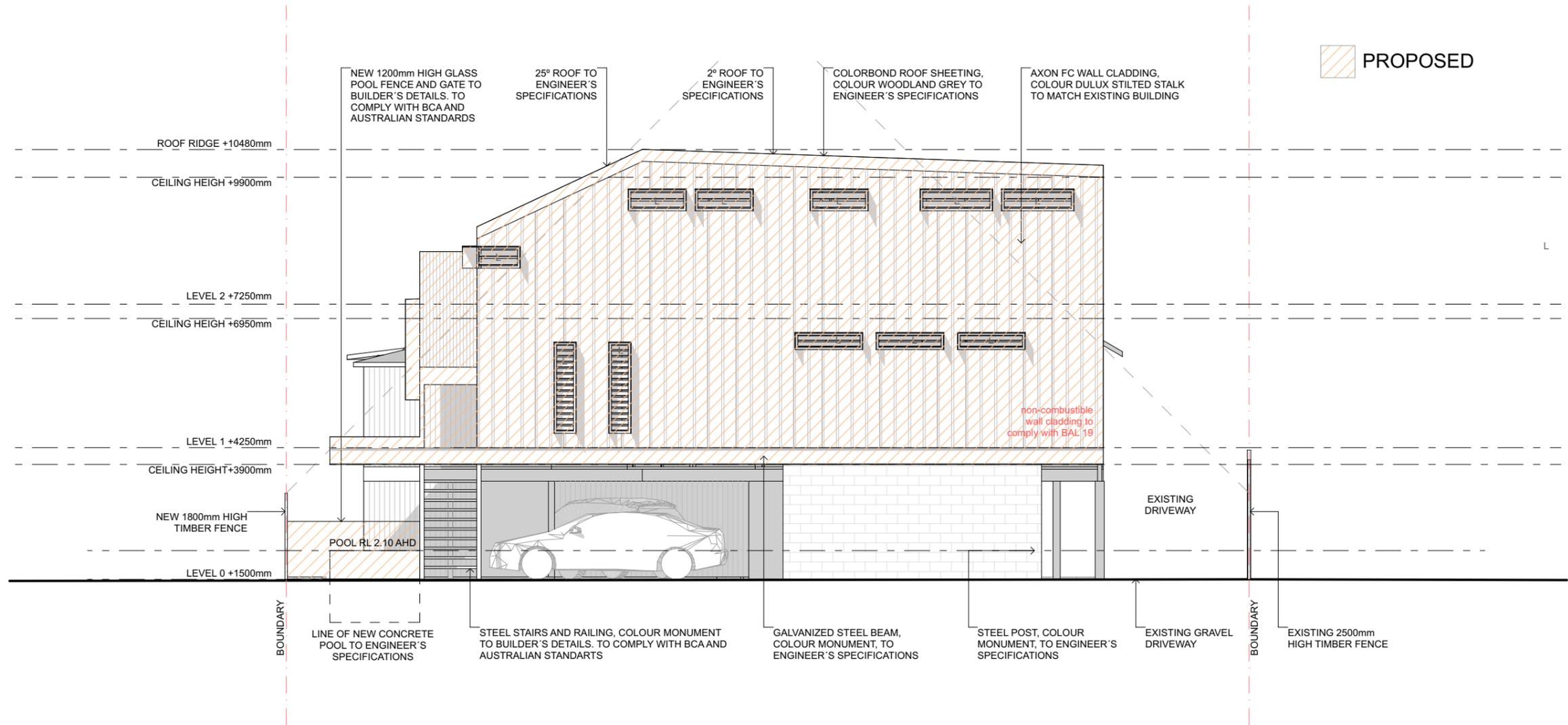
ArchDraft
 Building Design | Drafting Services
 JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE
DRAWING	LEVEL 2				1:100	A3	CC
B03							

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24



1 NORTH ELEVATION
 1:100 B04

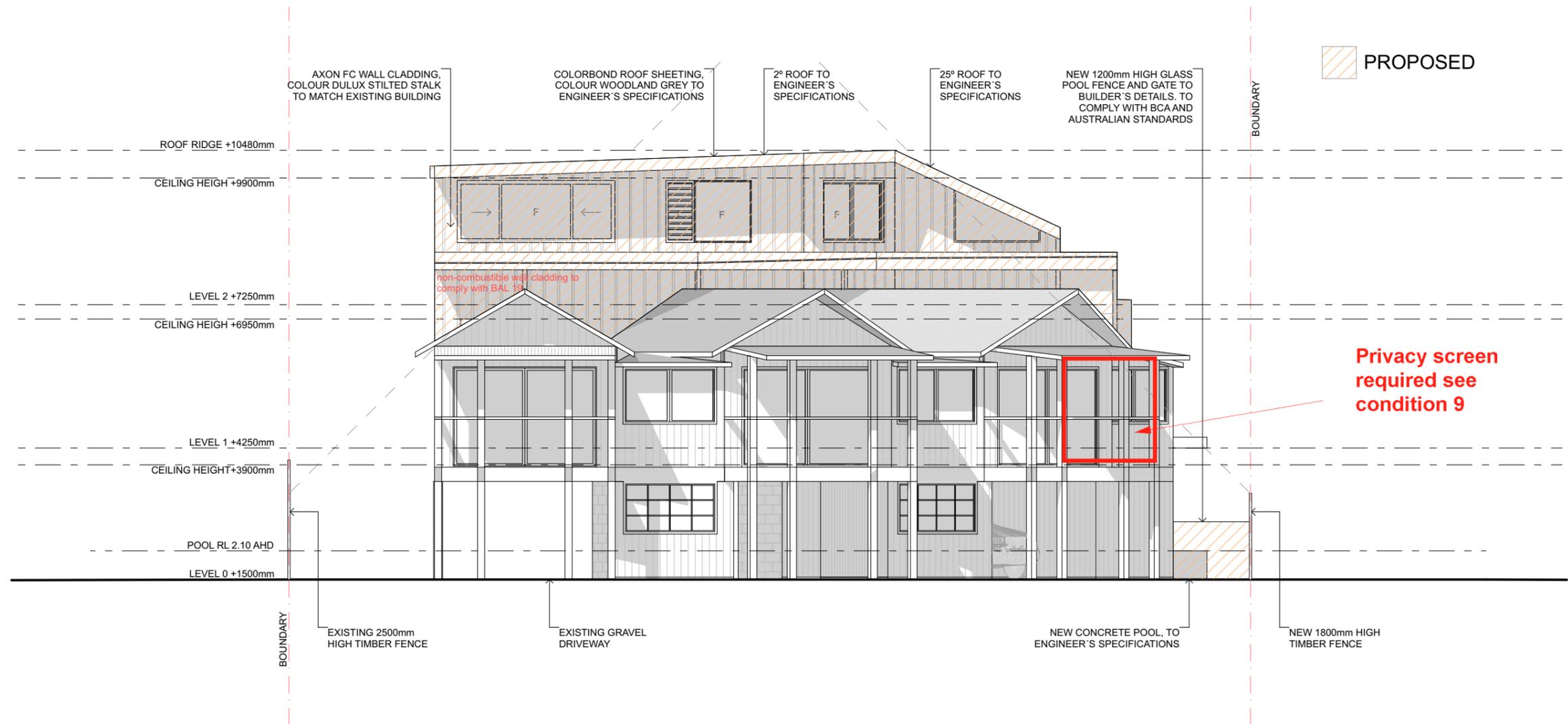
ArchDraft
 Building Design | Drafting Services
 JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER	ISSUE
DRAWING	NORTH ELEVATION			1:100	A3	CC
B04						

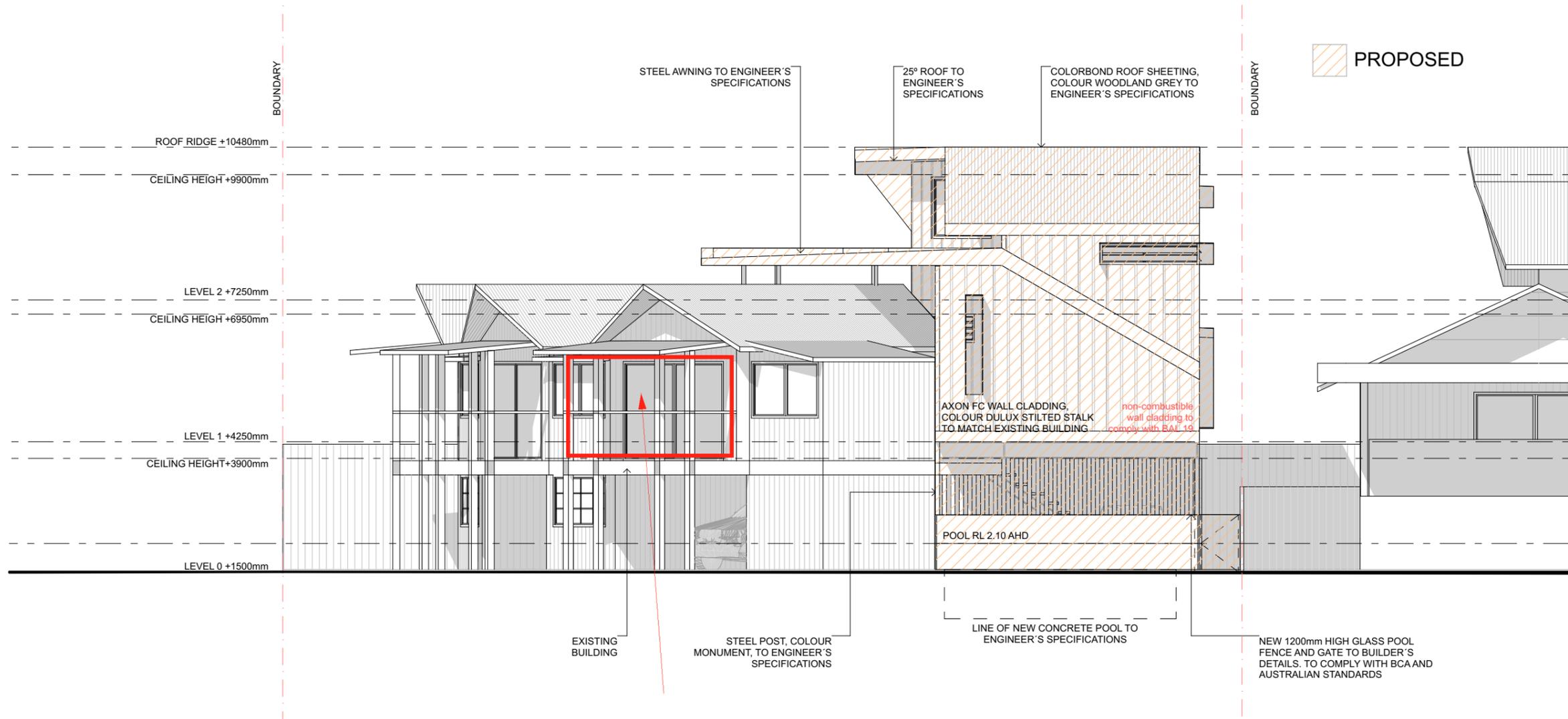
BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24



1 SOUTH ELEVATION
 1:100 B05

<p>ArchDraft Building Design Drafting Services</p> <p><small>JOSE DELMAS / Director / ph 0468990159</small></p>	<p>All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.</p>	<p>ISSUE/REVISIONS</p> <table style="width:100%; border-collapse: collapse;"> <tr> <td style="font-size: 8px;">DD 30/07/2022</td> <td style="font-size: 8px;">DA 28/10/2022</td> </tr> <tr> <td style="font-size: 8px;">DD 05/08/2022</td> <td style="font-size: 8px;">DA 02/11/2022</td> </tr> <tr> <td style="font-size: 8px;">DA 26/08/2022</td> <td style="font-size: 8px;">DA 27/04/2023</td> </tr> <tr> <td style="font-size: 8px;">DA 14/09/2022</td> <td style="font-size: 8px;">DA 05/06/2023</td> </tr> <tr> <td style="font-size: 8px;">DA 29/09/2022</td> <td style="font-size: 8px;">DA 10/08/2023</td> </tr> <tr> <td style="font-size: 8px;">DA 11/10/2022</td> <td style="font-size: 8px;">CC 28/03/2024</td> </tr> </table>	DD 30/07/2022	DA 28/10/2022	DD 05/08/2022	DA 02/11/2022	DA 26/08/2022	DA 27/04/2023	DA 14/09/2022	DA 05/06/2023	DA 29/09/2022	DA 10/08/2023	DA 11/10/2022	CC 28/03/2024	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
			DD 30/07/2022	DA 28/10/2022																		
			DD 05/08/2022	DA 02/11/2022																		
DA 26/08/2022	DA 27/04/2023																					
DA 14/09/2022	DA 05/06/2023																					
DA 29/09/2022	DA 10/08/2023																					
DA 11/10/2022	CC 28/03/2024																					
JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474		SCALE	PAPER	ISSUE	B05														
DRAWING	SOUTH ELEVATIONS				1:100	A3	CC															

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24

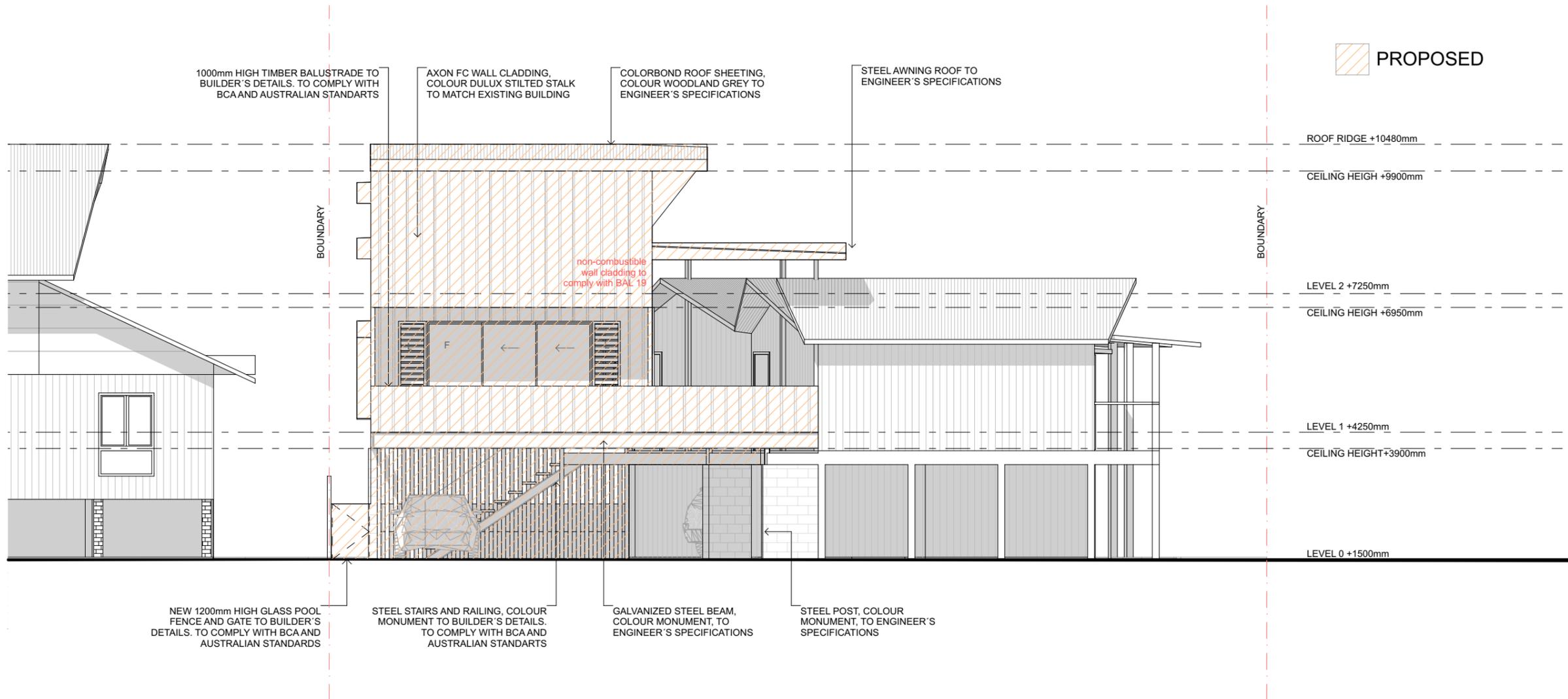


Privacy screen
 required see
 condition 9

1 EAST ELEVATION
 1:100 B06

<p>ArchDraft Building Design Drafting Services</p> <p>JOSE DELMAS / Director / ph 0468990159</p>	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.	ISSUE/REVISIONS		CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
		DD 30/07/2022 DD 05/08/2022 DA 26/08/2022 DA 14/09/2022 DA 29/09/2022 DA 11/10/2022	DA 28/10/2022 DA 02/11/2022 DA 27/04/2023 DA 05/06/2023 DA 10/08/2023 CC 28/03/2024	JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER	ISSUE	B06
		DRAWING		EAST ELEVATION				1:100	A3	CC	

BYRON SHIRE COUNCIL
 Modification to development consent
APPROVED PLAN
 Modified DA No. 10.2022.505.3
 Date: 26/09/24



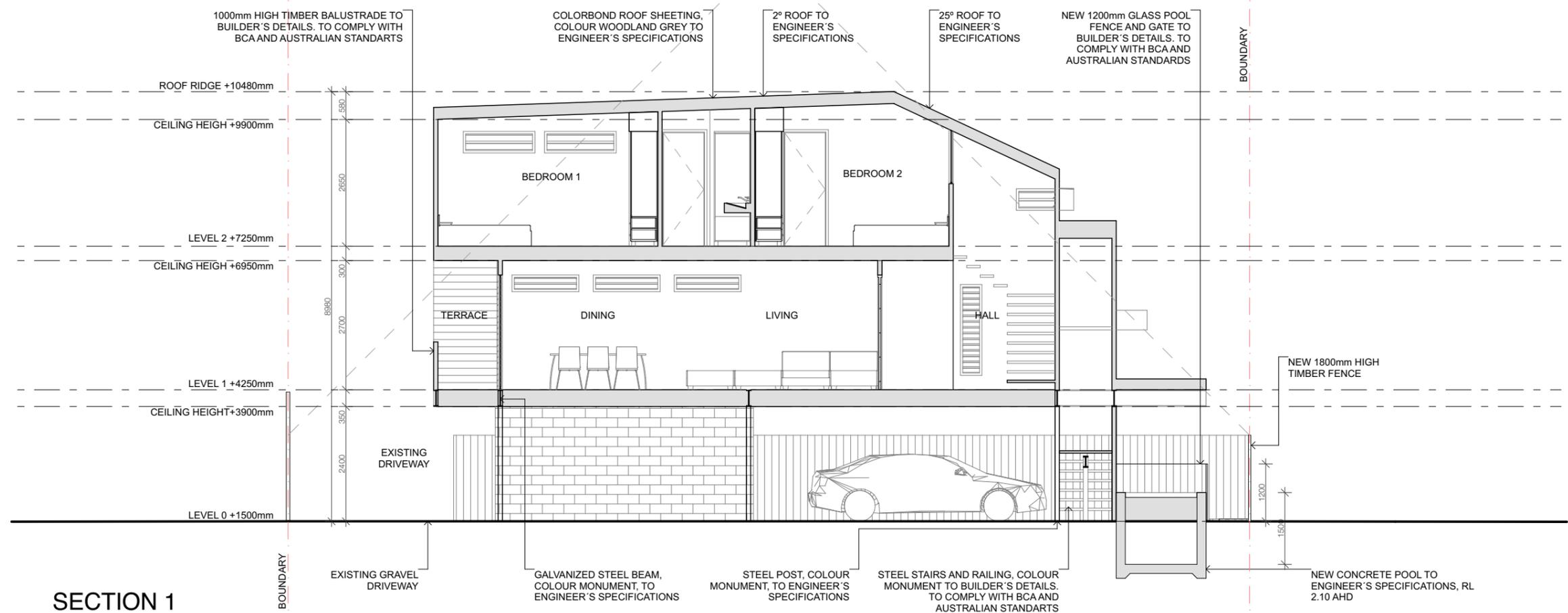
1 WEST ELEVATION
 1:100 B07

ArchDraft
 Building Design | Drafting Services
 JOSE DELMAS / Director / ph 0468990159

All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.

ISSUE/REVISIONS	
DD 30/07/2022	DA 28/10/2022
DD 05/08/2022	DA 02/11/2022
DA 26/08/2022	DA 27/04/2023
DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF	JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE
DRAWING	WEST ELEVATION				1:100	A3	CC
							B07



1 SECTION 1
1:100 B08

Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above open subfloor, 84.6 square metres, framed	nil	
floor - above habitable rooms or mezzanine, 128.35 square metres, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 2.26 (down), roof: foil backed blanket (75 mm)	framed; dark (solar absorptance > 0.70)

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2022.505.3
Date: 26/09/24