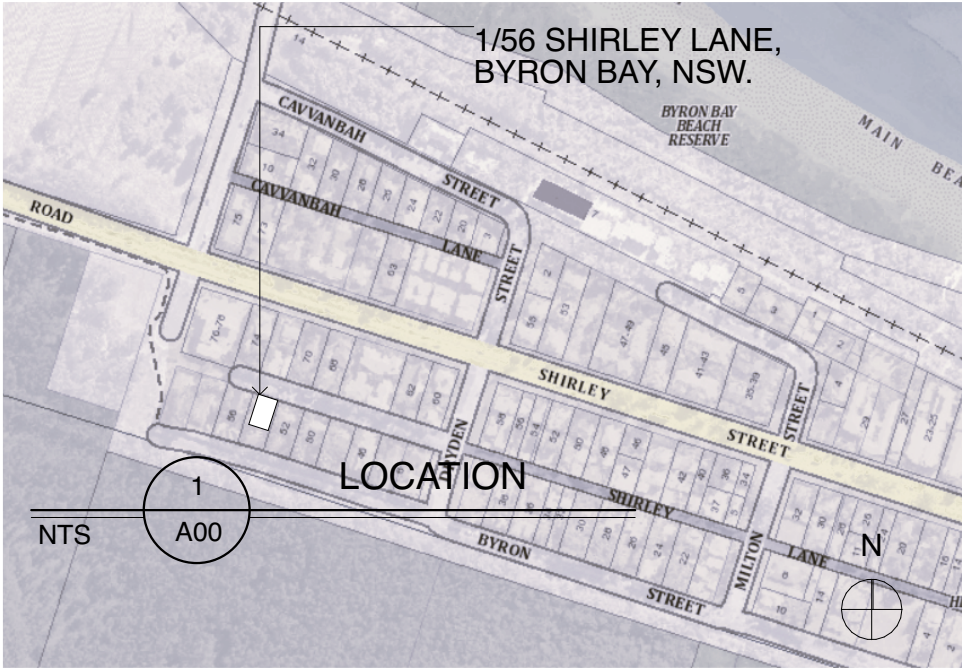


CONTENTS
A00 COVER, LOCATION, SITE + ROOF PLAN A01 GROUND FLOOR A02 FIRST FLOOR A03 NORTH + SOUTH ELEVATION A04 EAST + WEST ELEVATION A05 SECTIONS A06 SHADOW DIAGRAM + WINDOW SCHEDULE A07 SEDIMENT AND EROSION CONTROL + SITE WASTE MANAGMENT
OCTOBER 2022
CLIENT DETAILS SHAJI KARIMADATH PROJECT DETAILS ALTERATIONS AND ADDITIONS
STANDARD NOTES:
All building works to be carried out in accordance with the Building Code of Australia (BCA), Australian Standards and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions and relevant information on site before commencing work. Ensure all building construction within building envelope. Figured dimensions take precedence - do not scale. Drawing to be read in conjunction with basix certificate, fire report and engineering drawings.
NOTES:
.All works to comply with Building Code of Australia, be in accordance with relevant Australian Standards and local council regulation / approvals. - AS1 684 and AS 1720 Timber Framing Code, tie-down and bracing. - AS 3700 Masonry in Buildings - AS 2870 Resid. Slabs and Footings - AS 3660 Termite Protection - AS 3500 Stormwater Discharge - AS 3740 Waterproofing of Wet Areas - AS 2047 Windows in Building - AS 1657 Stairways - AS 1926 Swimming Pool Safety - Photoelectric smoke detectors in accordance with BCA. - Swimming Pool Fencing to comply with Swimming Pools Act 1992. .All Dimensions to be verified by Builder / Client prior to setout, ordering or fabrication of new materials. .Check for underground obstacles prior to construction. .All construction drawings, to be read in conjunction with Engineer's specifications and drawings. .Do not scale from drawings.

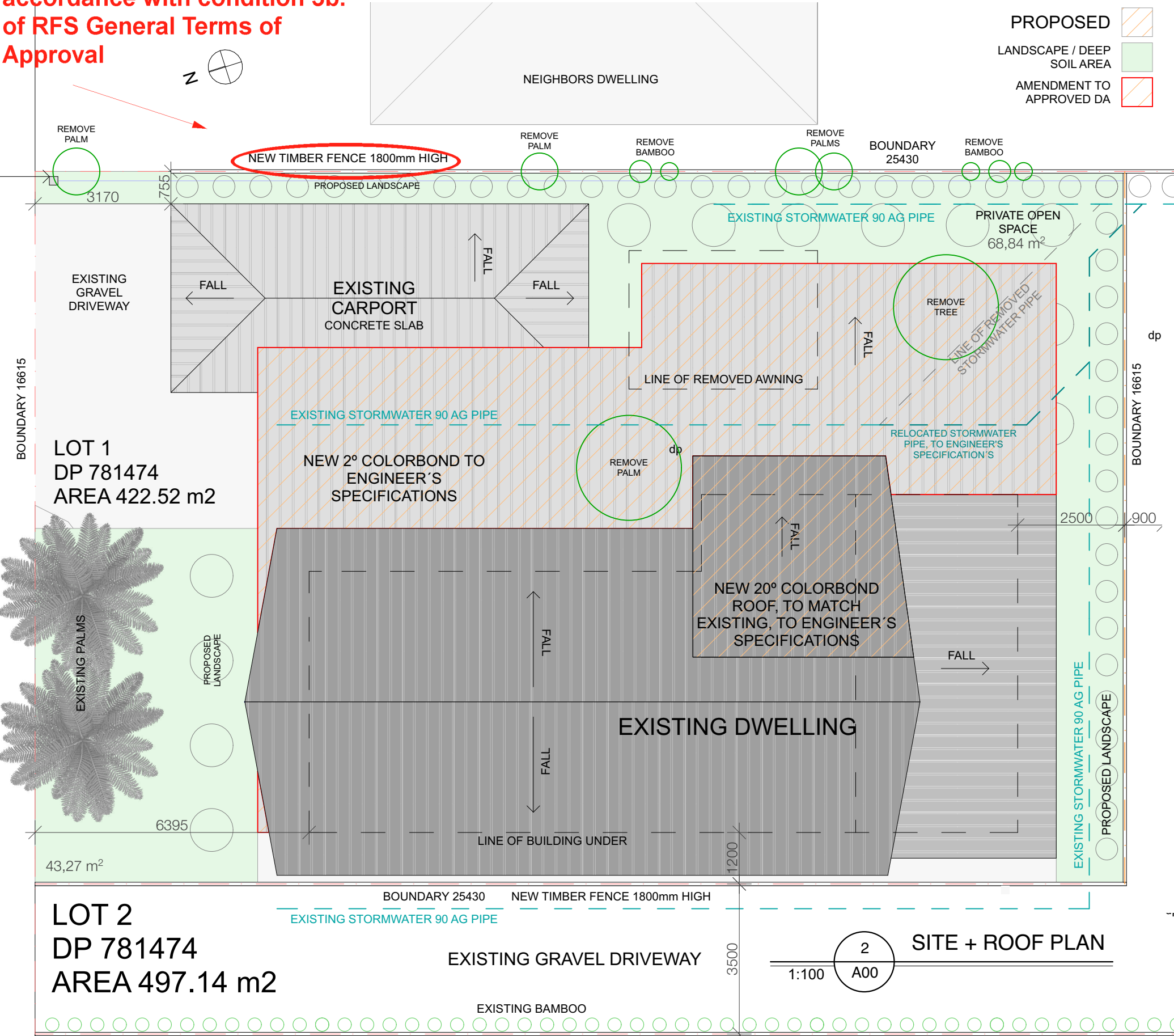
AREAS	
SITE	422.52 m ²
LANDSCAPE / DEEP SOIL AREA (27.31%)	115.42 m ²
EXISTING DWELLING	154.5 m ²
PROPOSED BEDROOM	12.65 m ²
PROPOSED HALLWAY	9.00 m ²
TOTAL INTERNAL	176.15m ²


BASIX CERTIFICATE N° A480213	
Project address	
Project name	56 Shirley Lane, Byron Bay
Street address	56 Shirley Lane Byron Bay 2481
Local Government Area	Byron Shire Council
Plan type and number	Deposited Plan 781474
Lot number	1
Section number	

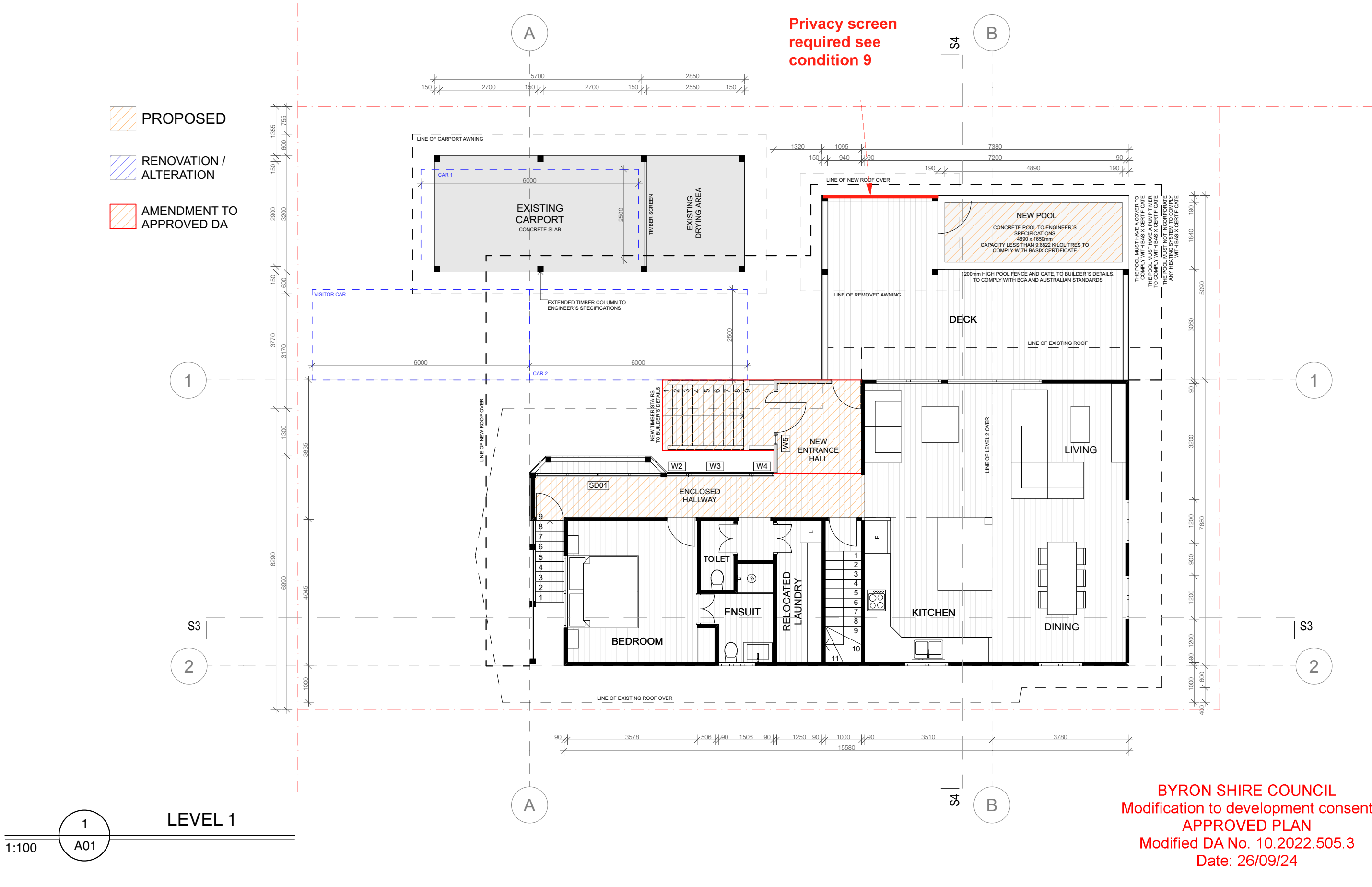
BYRON SHIRE COUNCIL
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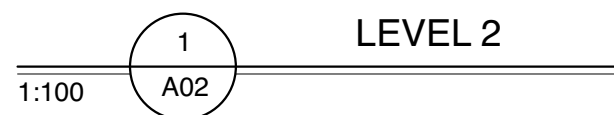
Fencing to be constructed in accordance with condition 5b. of RFS General Terms of Approval



 <p>ArchDraft Building Design Drafting Services</p> <p>JOSE DELMAS / Director / ph 0468990159</p>	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.	ISSUE/REVISIONS DD 30/07/2022 DD 05/08/2022 DA 26/08/2022 DA 14/09/2022 DA 29/09/2022 DA 11/10/2022 DA 28/10/2022 DA 02/11/2022 DA 27/04/2023 DA 05/06/2023 DA 10/08/2023 CC 25/03/2024	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay	CAD: DF	JOB NO: 0821	
			JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER	ISSUE
			DRAWING	CONTENT / LOCATION / SITE+ ROOF PLAN				1: 100	A3
							CC		A00



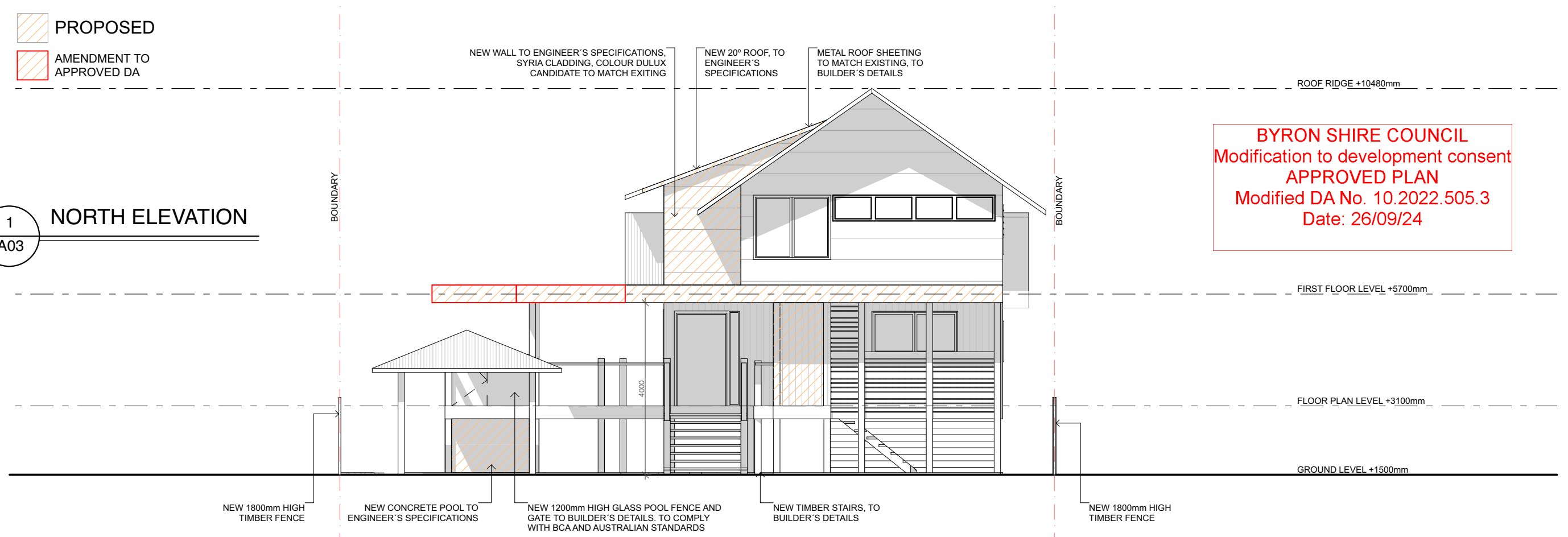
<div>ArchDraft</div> <div>Building Design Drafting Services</div> <div>JOSE DELMAS / Director / ph 0468990159</div>	All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority. Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication. Figured dimensions take precedence - do not scale.	ISSUE/REVISIONS <div>DD 30/07/2022 DD 05/08/2022 DA 26/08/2022 DA 14/09/2022 DA 29/09/2022 DA 11/10/2022</div> <div>DA 28/10/2022 DA 02/11/2022 DA 27/04/2023 DA 05/06/2023 DA 10/08/2023 CC 25/03/2024</div>	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF		JOB NO: 0821	
			JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	A01
			DRAWING	LEVEL 1					1:100	A3	
										CC	



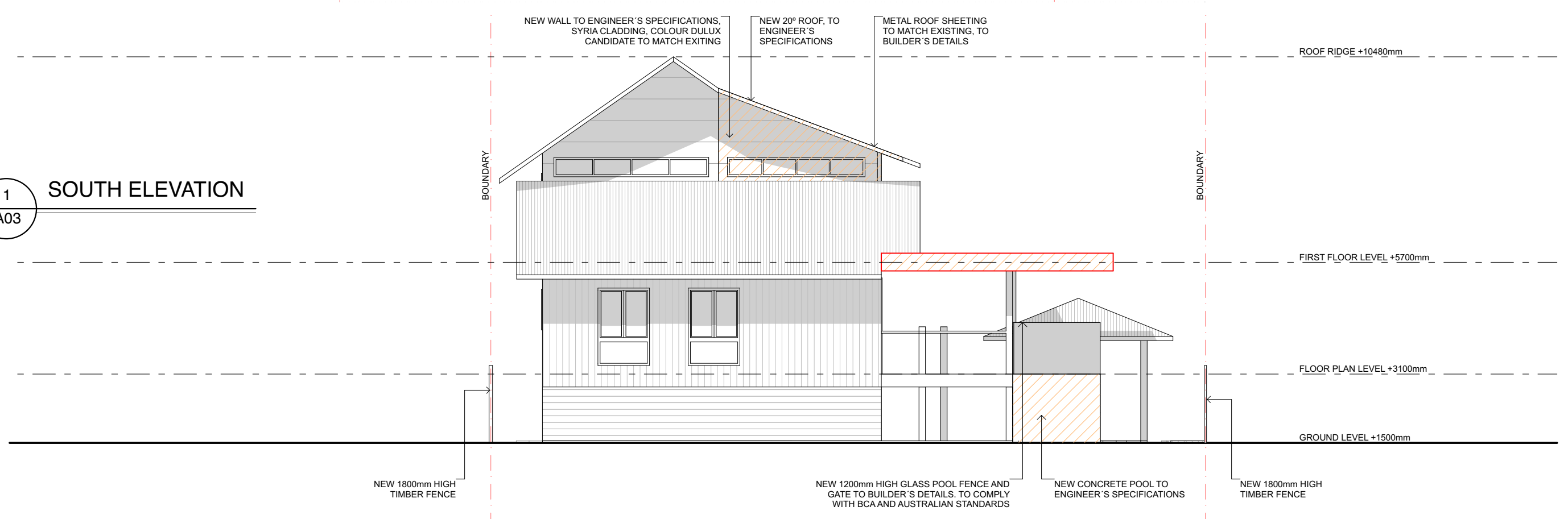
PROPOSED
AMENDMENT TO
APPROVED DA

1 NORTH ELEVATION
A03
1:100

BYRON SHIRE COUNCIL
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1 SOUTH ELEVATION
A03
1:100



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DA 05/06/2023
DA 10/08/2023
CC 25/03/2024

CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF		JOB NO: 0821	
JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	A03
DRAWING	NORTH ELEVATION + SOUTH ELEVATION				1:100	A3	CC	

PROPOSED

RENOVATION / ALTERATION

BOUNDARY

BOUNDARY

ROOF RIDGE +10480mm

FIRST FLOOR LEVEL +5700mm

FLOOR PLAN LEVEL +3100mm

GROUND LEVEL +1500mm

SECTION 3

1

A05

1:100

ROOF RIDGE +10480mm

FIRST FLOOR LEVEL +5700mm

FLOOR PLAN LEVEL +3100mm

GROUND LEVEL +1500mm

SECTION 4

2

A05

1:100

NEW 1800mm HIGH
TIMBER FENCE

NEW 1200mm HIGH GLASS POOL FENCE AND
GATE TO BUILDER'S DETAILS. TO COMPLY WITH
BCA AND AUSTRALIAN STANDARDS

NEW CONCRETE POOL TO
ENGINEER'S SPECIFICATIONS

NEW 1800mm HIGH
TIMBER FENCE

BYRON SHIRE COUNCIL
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Construction	Additional insulation required (R-value)	Other specifications
floor above existing dwelling or building.	nil	
external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)	
raked ceiling, pitched/skillion roof: framed	ceiling: R0.76 (down), roof: foil backed blanket (75 mm)	dark (solar absorbance > 0.70)

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CLIENT

Shaji Karimadath

ADDRESS

2/56 Shirley Lane, Byron Bay

CAD: DF

JOB NO: 0821

JOB NAME

Additions / Alterations

LOT + DP

LOT 2 DP 781474

SCALE

PAPER

ISSUE

A05

DRAWING

SECTIONS

1:100,

A3

CC

CONTENTS

A00 COVER, LOCATION, SITE + ROOF PLAN
A01 LEVEL 0
A02 LEVEL 1
A03 LEVEL 2
A04 NORTH ELEVATION
A05 SOUTH ELEVATION
A06 EAST ELEVATION
A07 WEST ELEVATION
A08 SECTION 2
A09 SHADOW DIAGRAM
A10 WINDOW SCHEDULE
A11 SEDIMENT AND EROSION PLAN + SITE
WASTE MANAGEMENT

OCTOBER 2022

CLIENT DETAILS
SHAJI KARIMADATH

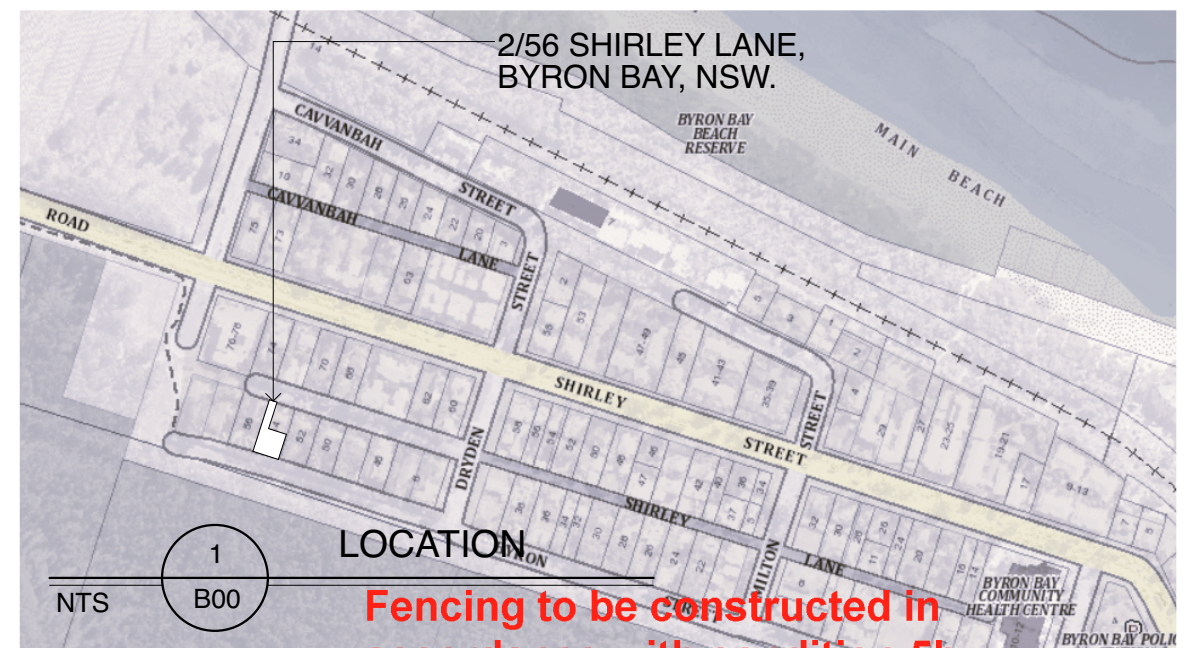
PROJECT DETAILS
ALTERATIONS AND ADDITIONS

NOTES:

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- AS1 684 and AS 1720 Timber Framing Code, tie-down and bracing.
- AS 3700 Masonry in Buildings
- AS 2870 Resid. Slabs and Footings
- AS 3660 Termite Protection
- AS 3500 Stormwater Discharge
- AS 3740 Waterproofing of Wet Areas
- AS 2047 Windows in Building
- AS 1657 Stairways
- AS 1926 Swimming Pool Safety
- Photoelectric smoke detectors in accordance with BCA.
- Swimming Pool Fencing to comply with Swimming Pools Act 1992.
- .All Dimensions to be verified by Builder / Client prior to setout, ordering or fabrication of new materials.
- .Check for underground obstacles prior to construction.
- .Do not scale from drawings.




STANDARD NOTES:

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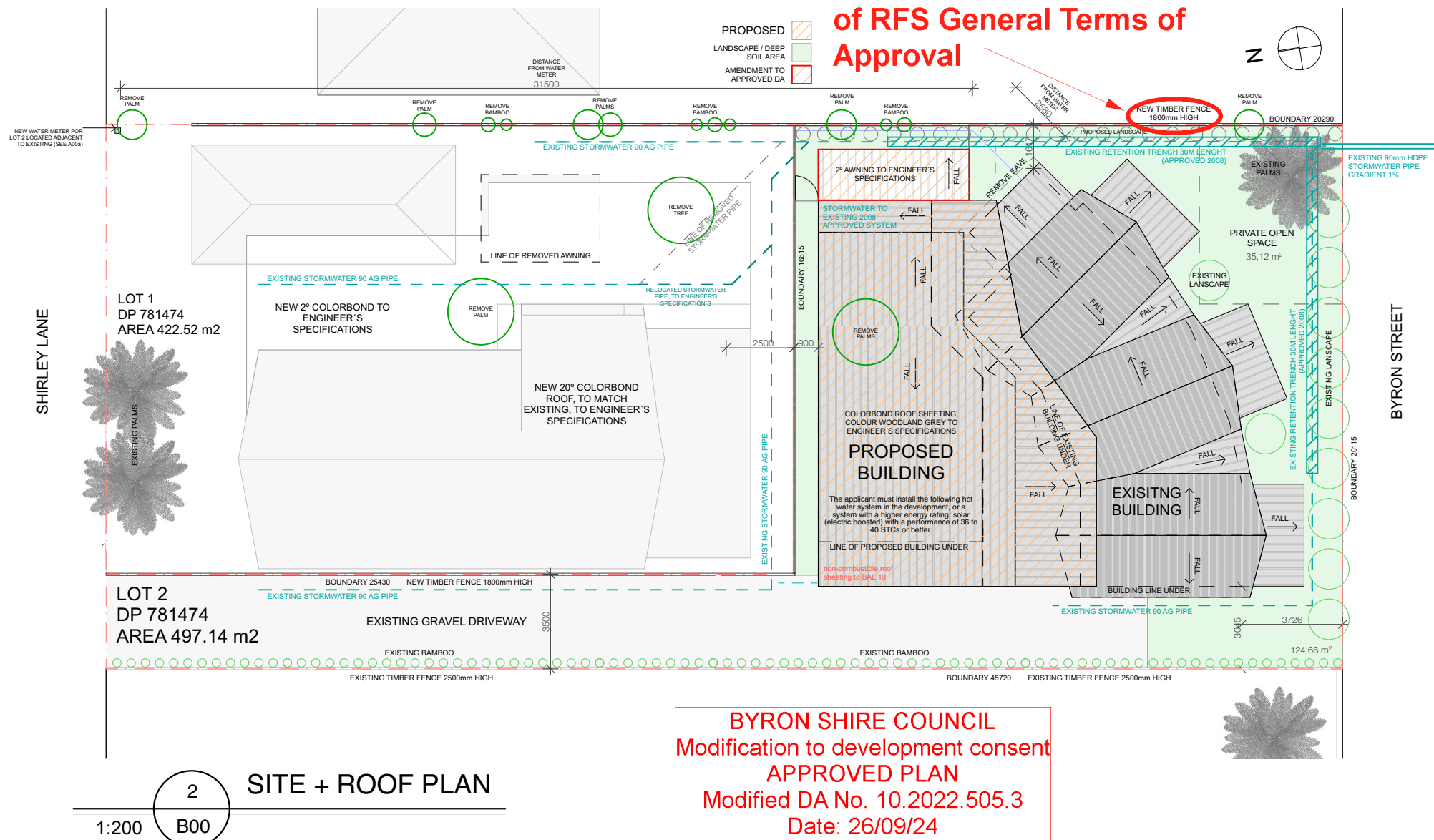



BASIX REQUIREMENTS

As per Certificate n° 1354797S

Project summary		
Project name	56 Shirley Lane, Byron Bay	
Street address	56 Shirley Lane Byron Bay 2481	
Local Government Area	Byron Shire Council	
Plan type and plan number	deposited 781474	
Lot no.	1	
Section no.	-	
Project type	separate dwelling house	
No. of bedrooms	5	
Project score		
Water	 40	Target 40
Thermal Comfort	 Pass	Target Pass
Energy	 53	Target 50

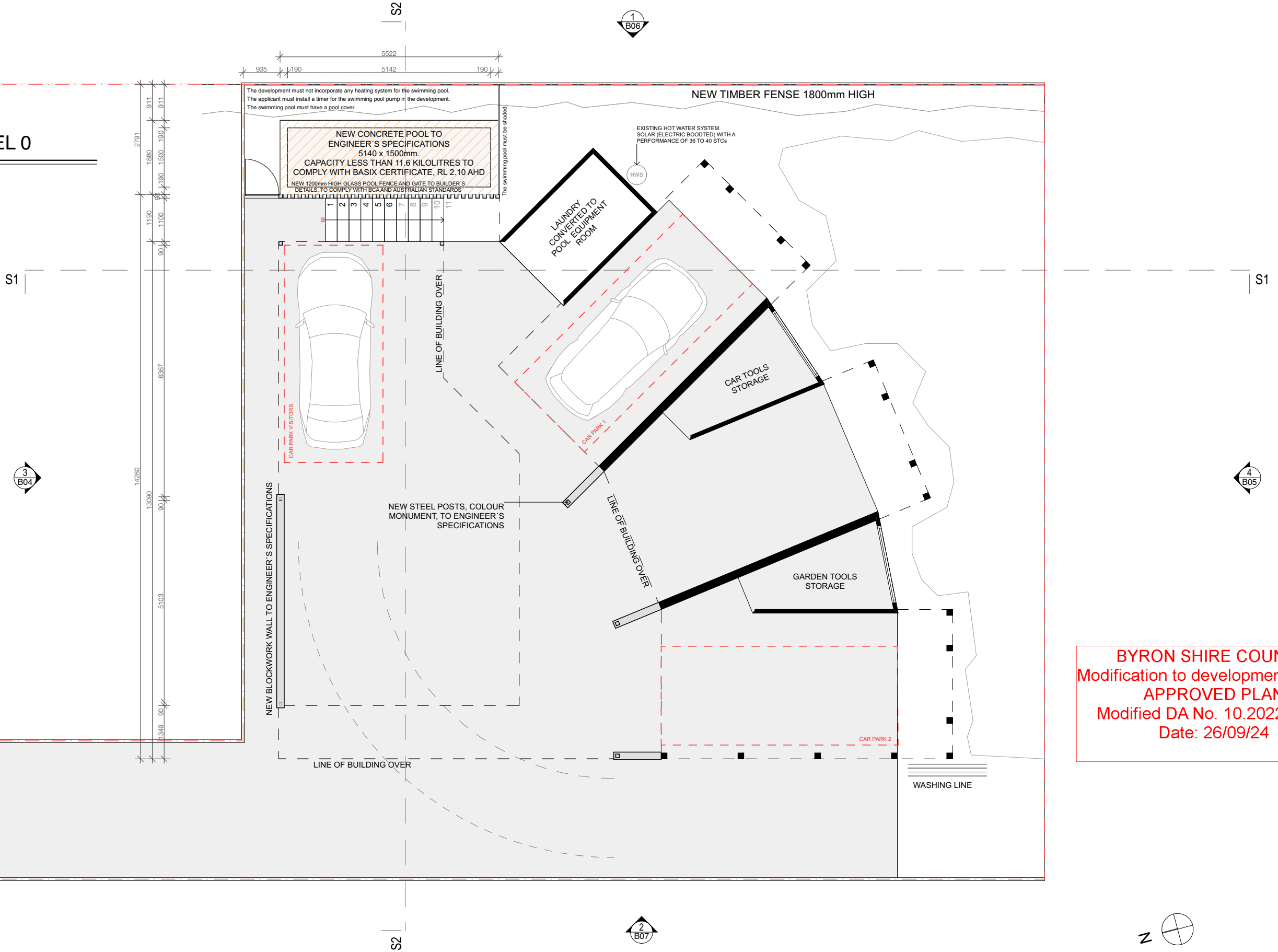
AREAS	
SITE	497.14 m ²
LANDSCAPE / DEEP SOIL AREA (25.07%)	124.66 m ²
EXISTING DWELLING	85.0 m ²
PROPOSED ADDITION	119.0 m ²
TOTAL INTERNAL	204.0 m ²



<div><div>ArchDraft</div><div>Building Design Drafting Services</div></div> <div>JOSE DELMAS / Director / ph 0468990159</div>	<div>All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.</div> <div>Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</div> <div>Figured dimensions take precedence - do not scale.</div>	ISSUE/REVISIONS		CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF		JOB NO: 0821	
		DD 30/07/2022 DD 05/08/2022 DA 26/08/2022 DA 14/09/2022 DA 29/09/2022 DA 11/10/2022	DA 28/10/2022 DA 02/11/2022 DA 27/04/2023 DA 05/06/2023 DA 10/08/2023 CC 28/03/2024	JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	B00
		DRAWING				CONTENT / LOCATION / SITE + ROOF PLAN				1:200	A3	

PROPOSED

1
B01
LEVEL 0
1:100



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DA 14/09/2022	DA 05/06/2023
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DA 11/10/2022	CC 28/03/2024

CLIENT

Shaji Karimadath

ADDRESS

2/56 Shirley Lane, Byron Bay

CAD: DF

JOB NO: 0821

JOB NAME

Additions / Alterations

LOT + DP

LOT 2 DP 781474

SCALE

PAPER

ISSUE

B01

DRAWING

LEVEL 0

1:100

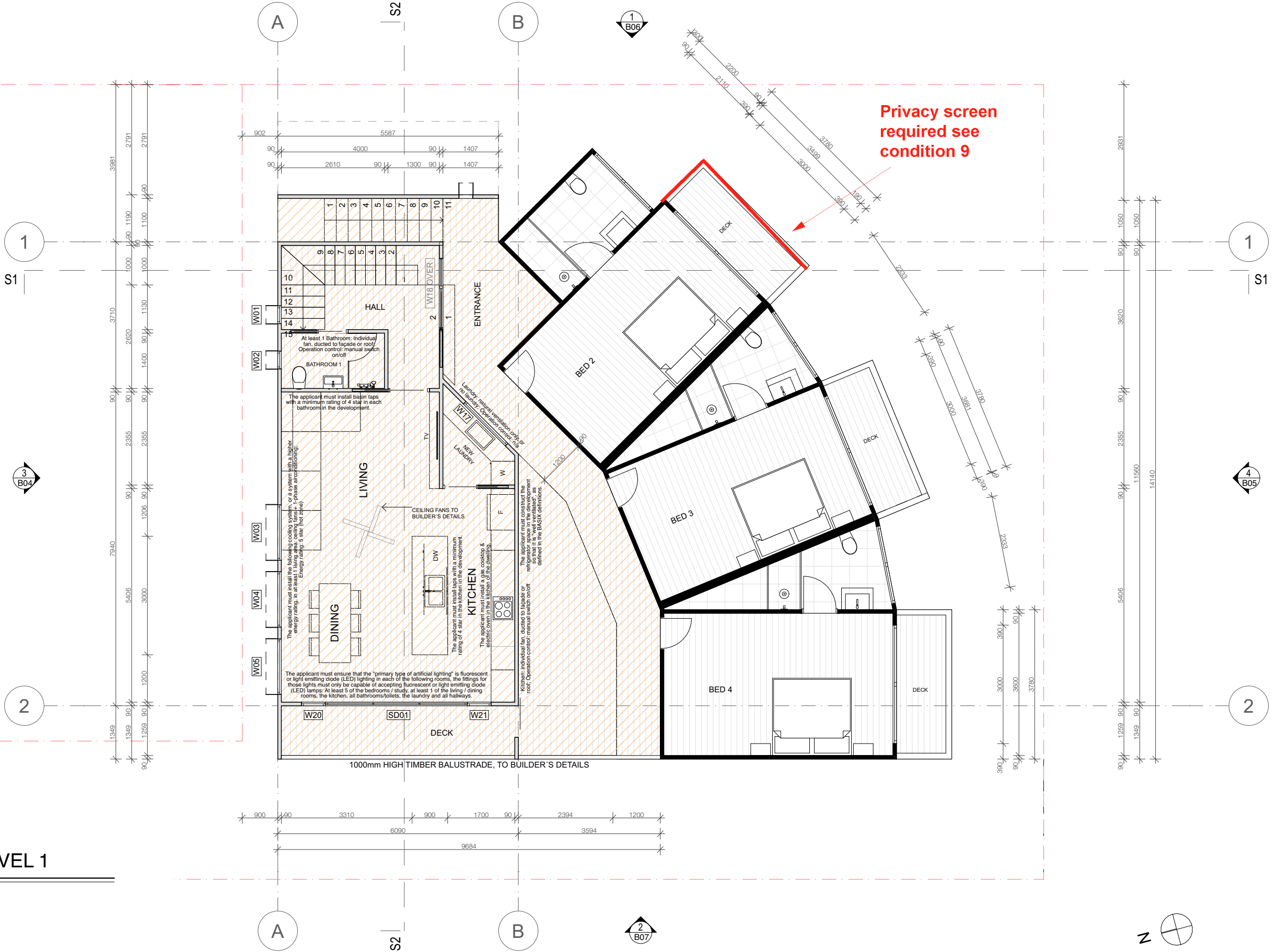
A3

CC

PROPOSED

BYRON SHIRE COUNCIL
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1
B02
LEVEL 1
1:100



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DA 14/09/2022	DA 05/06/2023
DA 29/09/2022	DA 10/08/2023
DA 11/10/2022	CC 28/03/2024

CLIENT

Shaji Karimadath

ADDRESS

2/56 Shirley Lane, Byron Bay

CAD: DF

JOB NO: 0821

JOB NAME

Additions / Alterations

LOT + DP

LOT 2 DP 781474

SCALE

PAPER

ISSUE

DRAWING

LEVEL 1

1:100

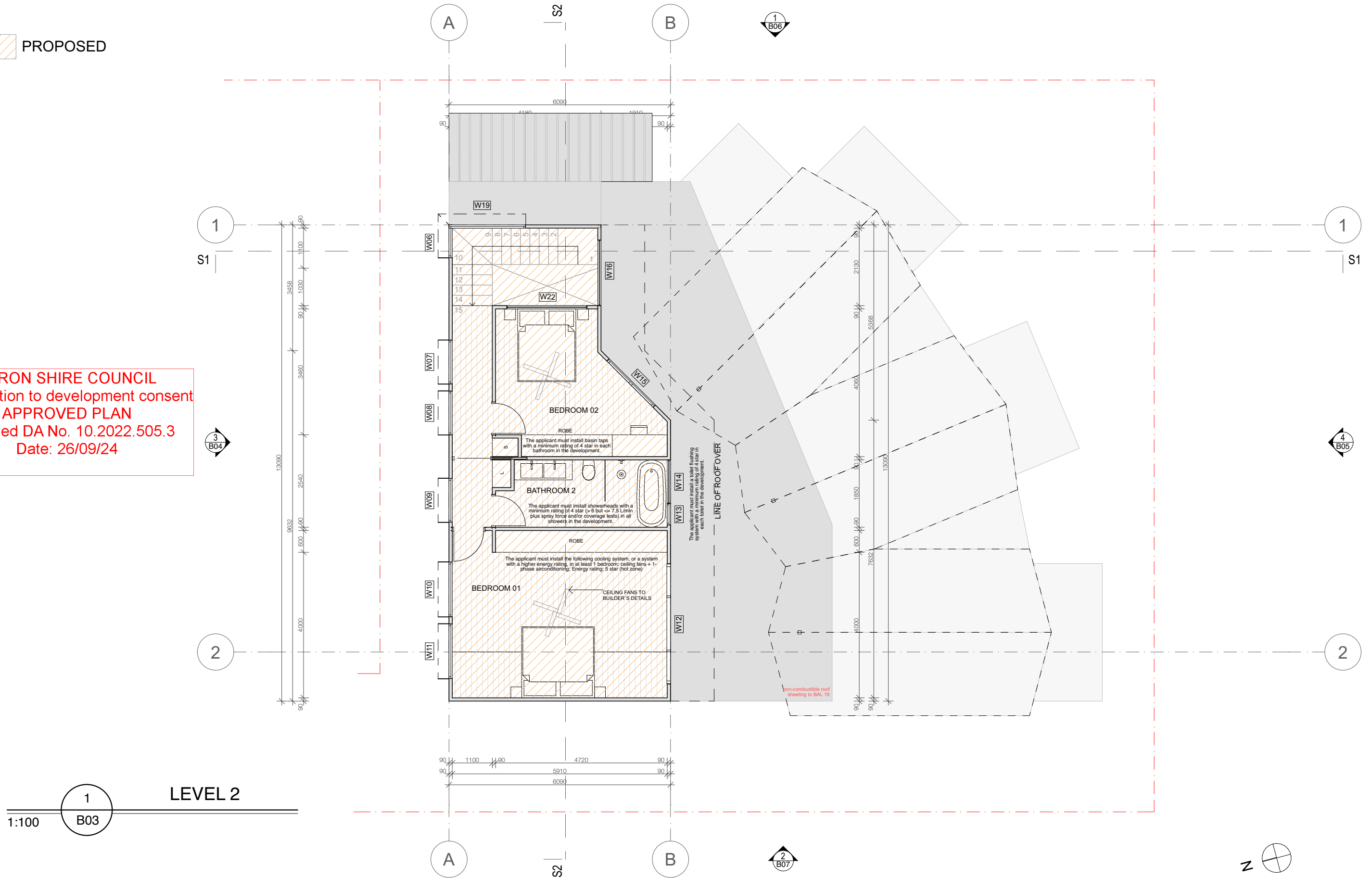
A3

CC

B02



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CLIENT

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JOB NO: 0821

JOB NAME

Additions / Alterations

LOT + DP

LOT 2 DP 781474

SCALE

PAPER	ISSUE
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DRAWING

LEVEL 2

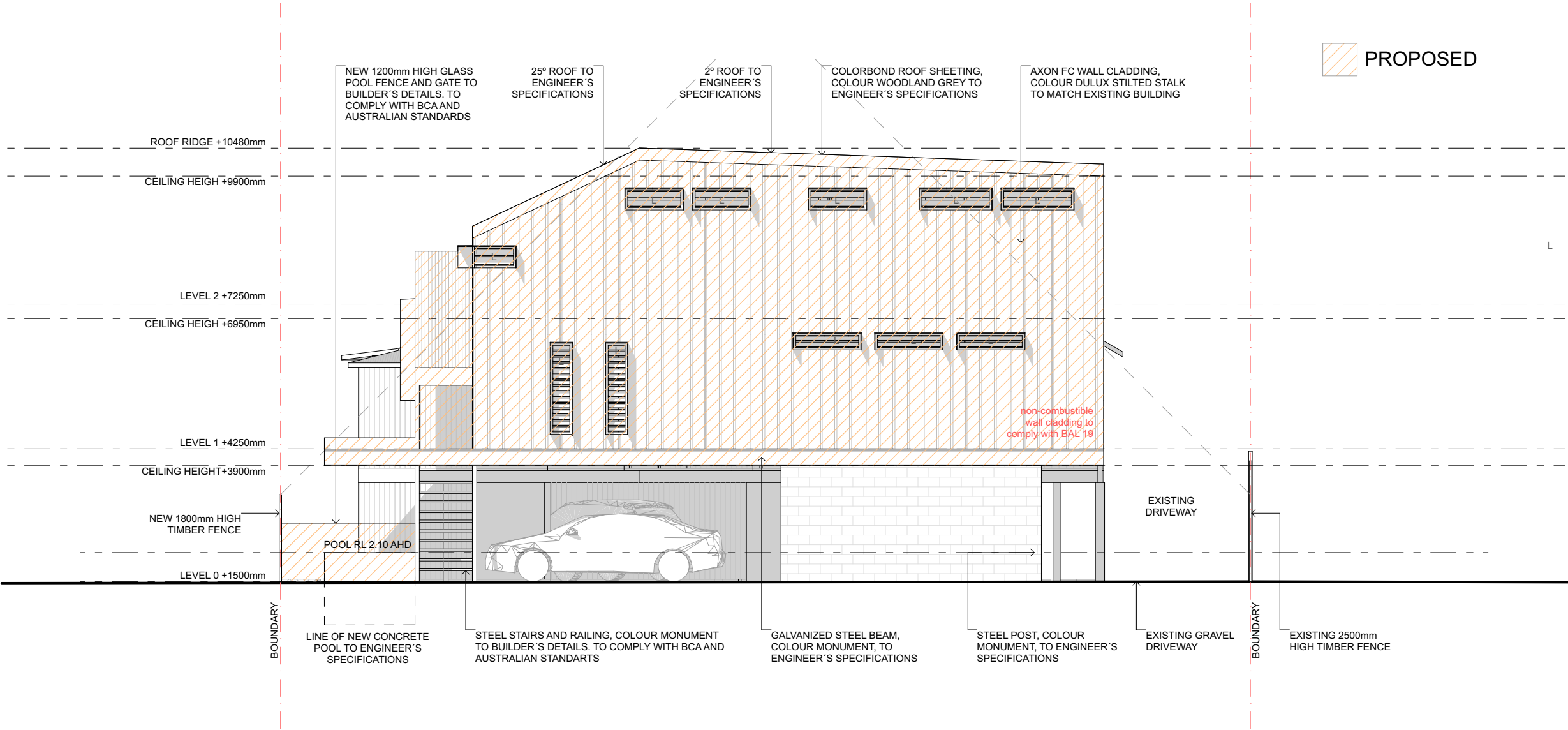
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A3

CC

B03

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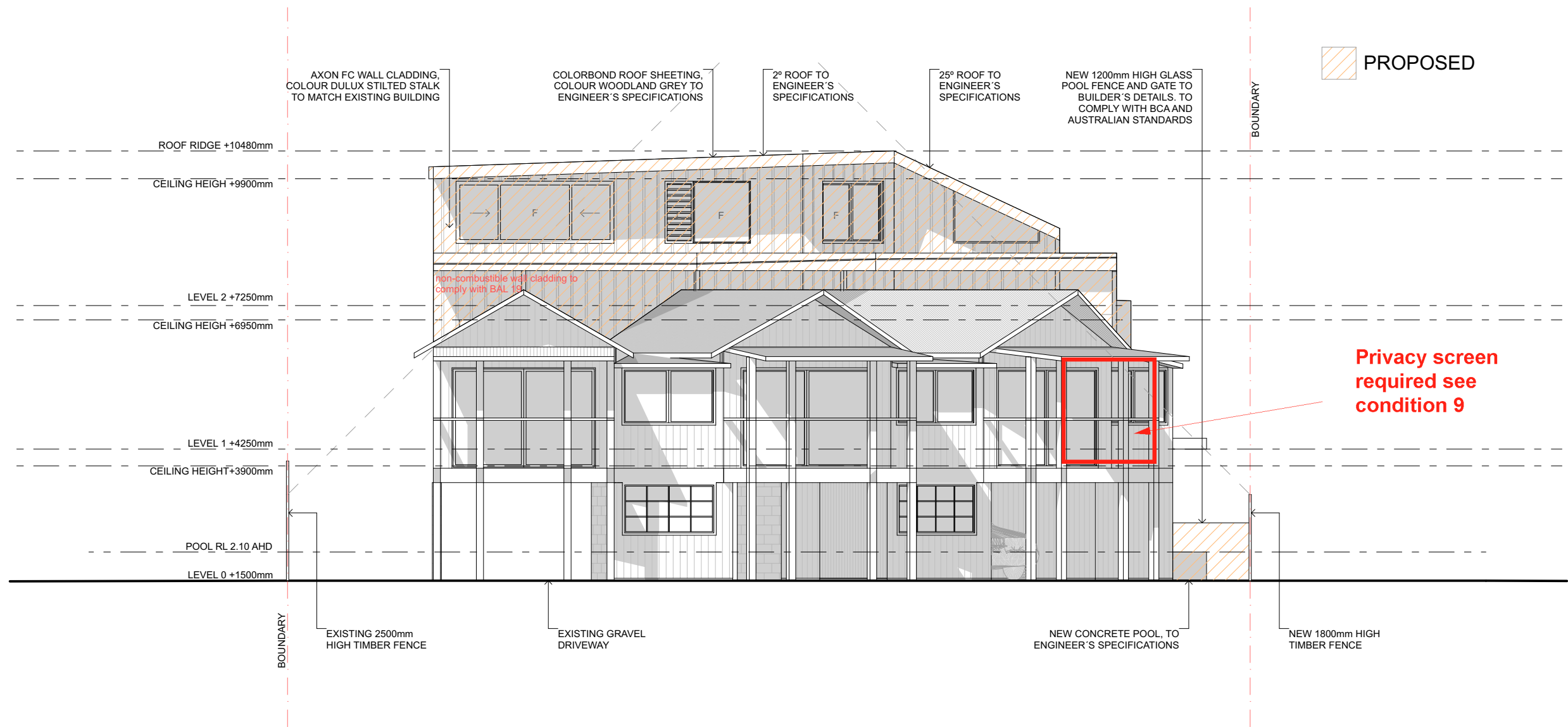


1 NORTH ELEVATION
1:100
B04


<div><div><div></div><div>ArchDraft</div></div><div>Building Design Drafting Services</div><div>JOSE DELMAS / Director / ph 0468990159</div></div>	<div>All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.</div> <div>Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</div> <div>Figured dimensions take precedence - do not scale.</div>	<div>ISSUE/REVISIONS</div> <div><div>DD 30/07/2022</div><div>DD 05/08/2022</div><div>DA 26/08/2022</div><div>DA 14/09/2022</div><div>DA 29/09/2022</div><div>DA 11/10/2022</div><div>DA 28/10/2022</div><div>DA 02/11/2022</div><div>DA 27/04/2023</div><div>DA 05/06/2023</div><div>DA 10/08/2023</div><div>CC 28/03/2024</div></div>	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF		JOB NO: 0821		
			JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	B04	
			DRAWING	NORTH ELEVATION					1:100	A3		CC

B04

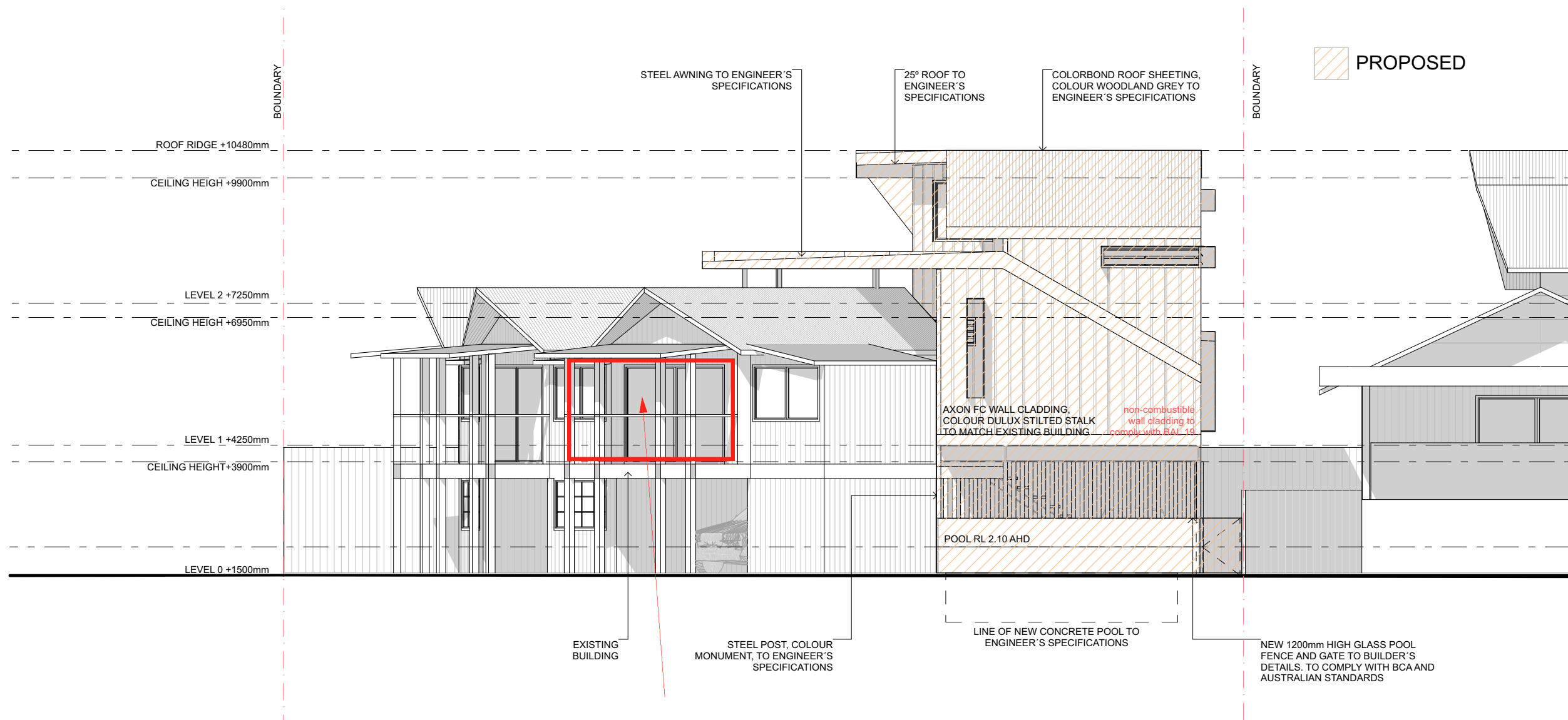
BYRON SHIRE COUNCIL
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1 SOUTH ELEVATION
B05
1:100

<div></div> <div>ArchDraft</div> <div>Building Design Drafting Services</div> <div>JOSE DELMAS / Director / ph 0468990159</div>	<div>All building works to be carried out in accordance with the Building Code of Australia (BCA) and to the satisfaction of the principle certifying authority.</div> <div>Builders/Contractors are to verify all dimensions prior to commencement of site work or off-site fabrication.</div> <div>Figured dimensions take precedence - do not scale.</div>	<div>ISSUE/REVISIONS</div> <div>DD 30/07/2022 DA 28/10/2022</div> <div>DD 05/08/2022 DA 02/11/2022</div> <div>DA 26/08/2022 DA 27/04/2023</div> <div>DA 14/09/2022 DA 05/06/2023</div> <div>DA 29/09/2022 DA 10/08/2023</div> <div>DA 11/10/2022 CC 28/03/2024</div>	CLIENT	Shaji Karimadath	ADDRESS	2/56 Shirley Lane, Byron Bay		CAD: DF		JOB NO: 0821	
			JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	B05
			DRAWING	SOUTH ELEVATIONS				1:100	A3	CC	

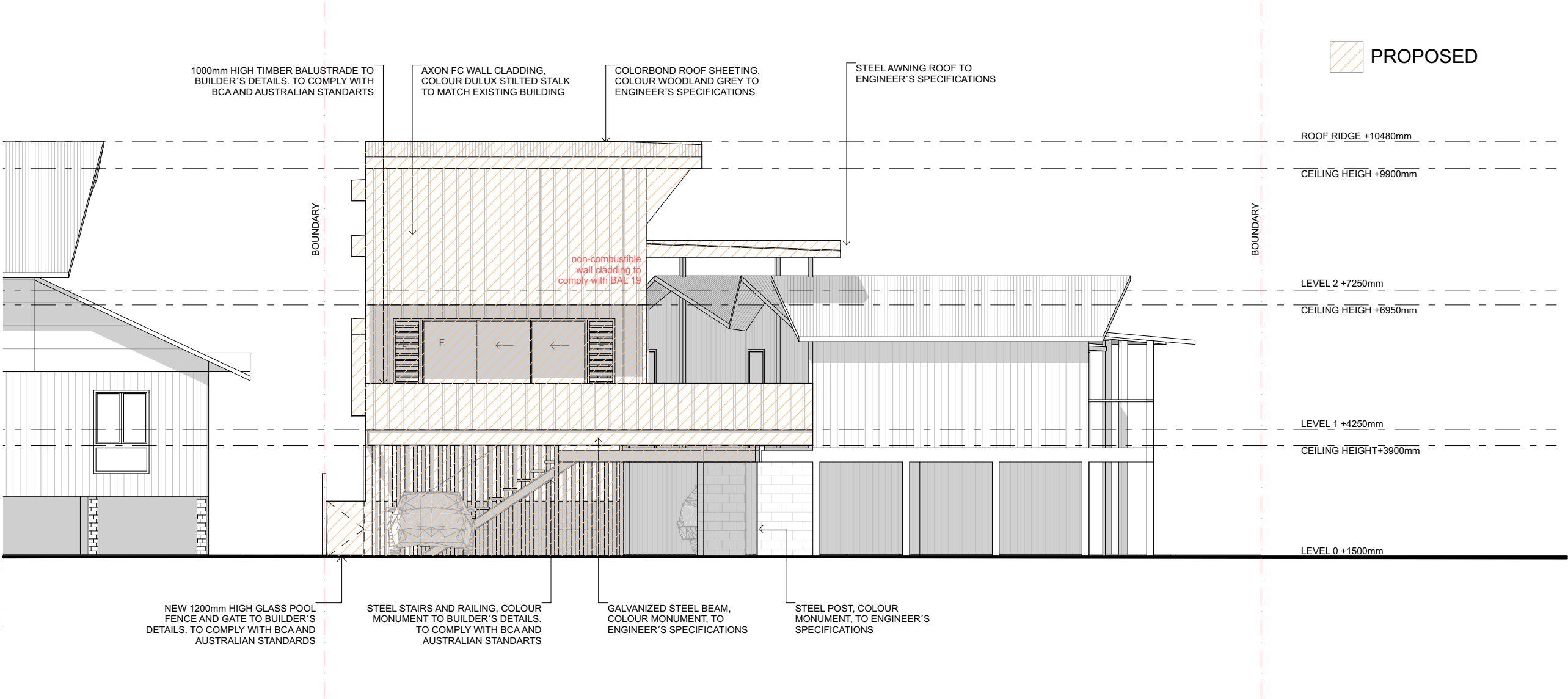
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**Privacy screen
required see
condition 9**

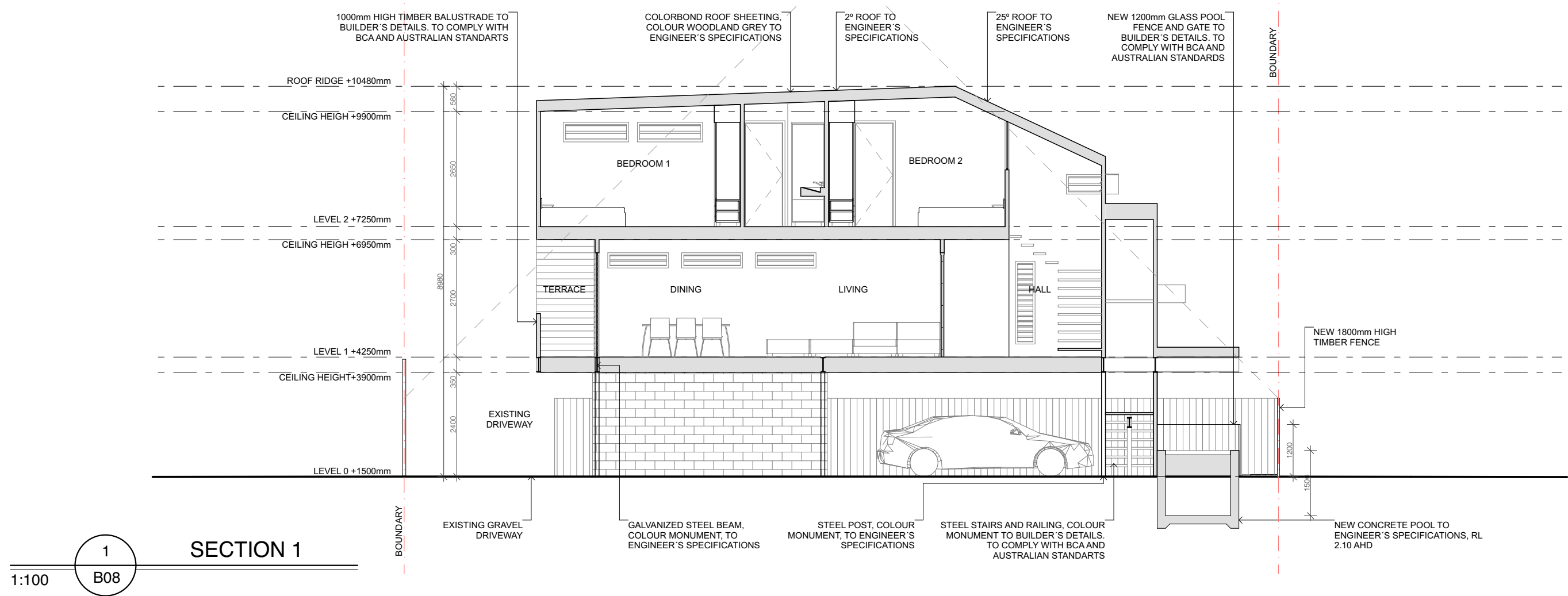
1 EAST ELEVATION
1:100 B06

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1 WEST ELEVATION
1:100 B07

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			JOB NAME	Additions / Alterations	LOT + DP	LOT 2 DP 781474	SCALE	PAPER	ISSUE	B07	
			DRAWING	WEST ELEVATION			1:100	A3	CC		



Construction	Additional insulation required (R-Value)	Other specifications
floor - suspended floor above open subfloor, 84.6 square metres, framed	nil	
floor - above habitable rooms or mezzanine, 128.35 square metres, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 2.26 (down), roof: foil backed blanket (75 mm)	framed; dark (solar absorptance > 0.70)

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			JOB NAME	Additions / Alterations	LOT + DP	LOT 2	DP 781474	SCALE	PAPER	ISSUE	B08
			DRAWING	SECTION 1					1:100	A3	