

PERSPECTIVE SOUTH-WEST



PERSPECTIVE NORTH-EAST



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PERSPECTIVE SOUTH-EAST



0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au

ABSQA
 Australian Building Sustainability Association
 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]

CHANGES SCHEDULE DA TO CC		
ITEM	DESCRIPTION	REASON
1	LOWER CAVANBAH STREET FENCE TO BE 1.2m HIGH MAXIMUM	DA CONDITION
2	REMOVE UNDERGROUND WATER TANK HOUSE 2 DRIVEWAY	ENGINEER
3	RAISE FLOOR LEVEL OF BOTH BUILDINGS 20mm TO ACHIEVE 3.12 AHD	DA CONDITION
4	MODIFY DRIVEWAY TO HOUSE 2 TO BE FLOOD COMPLIANT	DA CONDITION
5	HOUSE 2 RAISE BEDROOM 3 FLOOR LEVEL 220mm FOR NEW DRIVEWAY LEVEL	ENGINEER
6	HOUSE 2 NEW SUPPORT POST MIDWAY FOR CAR PORT	ENGINEER
7	HOUSE 1 REMOVE POOL	DA CONDITION
8	SHOW DOWN PIPE LOCATION AS PER ENGINEERS SPECIFICATION	ENGINEER
9	FURTHER PLAN NOTATION	DA CONDITION

PLANS SCHEDULE			
ID	DESCRIPTION	SCALE @ A2	DATE
CC-CSP	COVER SCHEDULES PAGE	NTS	12/04/24
CC-P1	SITE PLAN	1:100	12/04/24
CC-P2	SITE ELEVATIONS PLAN	1:100	12/04/24
CC-P3	LEVEL 0 SUB-FLOOR PLAN	1:100	12/04/24
CC-P4	LEVEL 0 FLOOR PLAN	1:100	12/04/24
CC-P5	LEVEL 1 SUB-FLOOR PLAN	1:100	12/04/24
CC-P6	LEVEL 1 FLOOR PLAN	1:100	12/04/24
CC-P7	ROOF PLAN	1:100	12/04/24
CC-P8	NORTH-WEST ELEVATION / SECTIONS A1 & A2	1:100	12/04/24
CC-P9	SOUTH-EAST ELEVATION / SECTIONS A3 & A4	1:100	12/04/24
CC-P10	DWELLING 1 ELEVATIONS AND (B) SECTIONS	1:100	12/04/24
CC-P11	DWELLING 2 ELEVATIONS AND (B) SECTIONS	1:100	12/04/24
CC-P12	DWELLING 1 GLAZING SCHEDULE	1:100 @ A3	12/04/24
CC-P13	DWELLING 2 GLAZING SCHEDULE	1:100 @ A3	12/04/24
CC-P14	9am SHADOW DIAGRAMS	1:150	12/04/24
CC-P15	12pm SHADOW DIAGRAMS	1:150	12/04/24
CC-P16	3pm SHADOW DIAGRAMS	1:150	12/04/24
CC-P17	PROPOSED STRATA SUBDIVISION	1:100	12/04/24
CC-P18	GENERAL NOTES	NTS	12/04/24
CC-P19	SLAB PENETRATIONS LEVEL 1	1:100	12/04/24
CC-P20	SLAB PENETRATIONS LEVEL 2	1:100	12/04/24

AREAS SCHEDULE					
DESCRIPTION	AREA	GFA (Y/N)	DESCRIPTION	AREA	GFA (Y/N)
SITE AREA	803.20	N	SITE AREA	803.20	N
DWELLING 1 NORTH			DWELLING 2 SOUTH		
STRATA LOT SIZE	403.88	N	STRATA LOT SIZE	399.32	N
LEVEL 0 FOOTPRINT	130.33	N	LEVEL 0 FOOTPRINT	144.58	N
LEVEL 0 GARAGE	39.33	N	LEVEL 0 GARAGE	47.78	N
LEVEL 0 INTERNAL	125.87	Y	LEVEL 0 INTERNAL	138.78	Y
LEVEL 0 ENTRY DECK	4.06	N	LEVEL 0 ENTRY DECK	3.71	N
LEVEL 0 NORTH DECK	22.73	N	LEVEL 0 BED 4 DECK	12.10	N
LEVEL 0 BED 4 DECK	6.17	N	LEVEL 0 LOUNGE DECK	7.65	N
LEVEL 0 POOL DECK	10.85	N	LEVEL 0 DINING DECK	21.38	N
POOL SURFACE AREA (Av. D 1.5)	8.52	N	LEVEL 0 FAMILY DECK	0.00	N
POOL PUMP HOUSE + SUB-FLR	14.32	N	POOL SURFACE AREA (Av. D 1.5)	8.52	N
WATER TANK	4.08	N	POOL PUMP HOUSE	3.20	N
LEVEL 0 ROOF	73.14	N	LEVEL 0 ROOF	84.86	N
LEVEL 1 FOOTPRINT	102.61	N	LEVEL 1 FOOTPRINT	141.66	N
LEVEL 1 INTERNAL	89.83	Y	LEVEL 1 INTERNAL	125.11	Y
LEVEL 1 BED 1 DECK	16.59	N	LEVEL 1 BED 1 DECK	8.10	N
LEVEL 1 BED 2 DECK	6.30	N	LEVEL 1 BED 2 DECK	0.00	N
LEVEL 1 BED 3 DECK	6.30	N	LEVEL 1 BED 3 DECK	4.92	N
LEVEL 1 ROOF	122.73	N	LEVEL 1 COMMON DECK	0.00	N
TOTAL FOOTPRINT	232.94	N	LEVEL 1 ROOF	147.53	N
TOTAL GFA	215.70	Y	TOTAL FOOTPRINT	286.24	N
GFA TO LOT	0.27 : 1.00		TOTAL GFA	263.89	Y
GFA TO STRATA LOT	0.53 : 1.00		GFA TO LOT	0.33 : 1.00	
TOTAL GARAGE & DECK	130.73	N	GFA TO STRATA LOT	0.66 : 1.00	
TOTAL ROOF	195.87	N	TOTAL GARAGE & DECK	108.84	N
DRIVEWAY	31.69	N	TOTAL ROOF	232.39	N
DRIVEWAY X-ING	30.11	N	DRIVEWAY	19.98	N
TOTAL AREAS DWELLING 1 + DWELLING 2			DRIVEWAY X-ING	3.20	N
DESCRIPTION	AREA	GFA (Y/N)	COSTING DWELLING 1 + DWELLING 2 (Includes GST)		
BUILDING SITE COVER	546.01	N	DWELLING @ \$3,000 (p/m2)	519.18	\$1,557,540.00
POOL SITE COVER	17.04	N	GARAGE & DECK @ \$1,500 (p/m2)	239.57	\$359,355.00
LAWN	246.77	N	DRIVEWAY @ \$200 (p/m2)	84.98	\$16,996.00
GARDEN	10.42	N	POOLS @ \$3,000 (p/m2)	17.04	\$51,120.00
DEEP SOIL AREA	257.19	N	LANDSCAPING @ \$300 (p/m2)	257.19	\$77,157.00
DEEP SOIL AREA % OF SITE	32.02%	N	TOTAL COST ESTIMATE	\$2,062,168.00	
TOTAL FOOTPRINT	519.18	N	WATER TANKS DWELLING 1 + DWELLING 2		
TOTAL GFA	479.59	Y	DESCRIPTION	VOLUME	
GFA TO LOT	0.60 : 1.00		DWELLING 1 WATER TANK UNDERGROUND	3000	
GARAGE & DECK	239.57	N	DWELLING 1 WATER TANK ABOVE GROUND	6000	
TOTAL ROOF	428.26	N	DWELLING 2 WATER TANK ABOVE GROUND	6000	
DRIVEWAY	51.67	N	TOTAL WATER TANK STORAGE	15000	
DRIVEWAY X-ING	33.31	N			

PROJECT INFORMATION CLIENT NAME: Domax Development Australia P/L JOB TYPE: TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - CSP
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designevolutions
 TOWN PLANNING & BUILDING DESIGN
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 tlon@designevolutions.com.au

GENERAL NOTES:
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CAVANBAH STREET

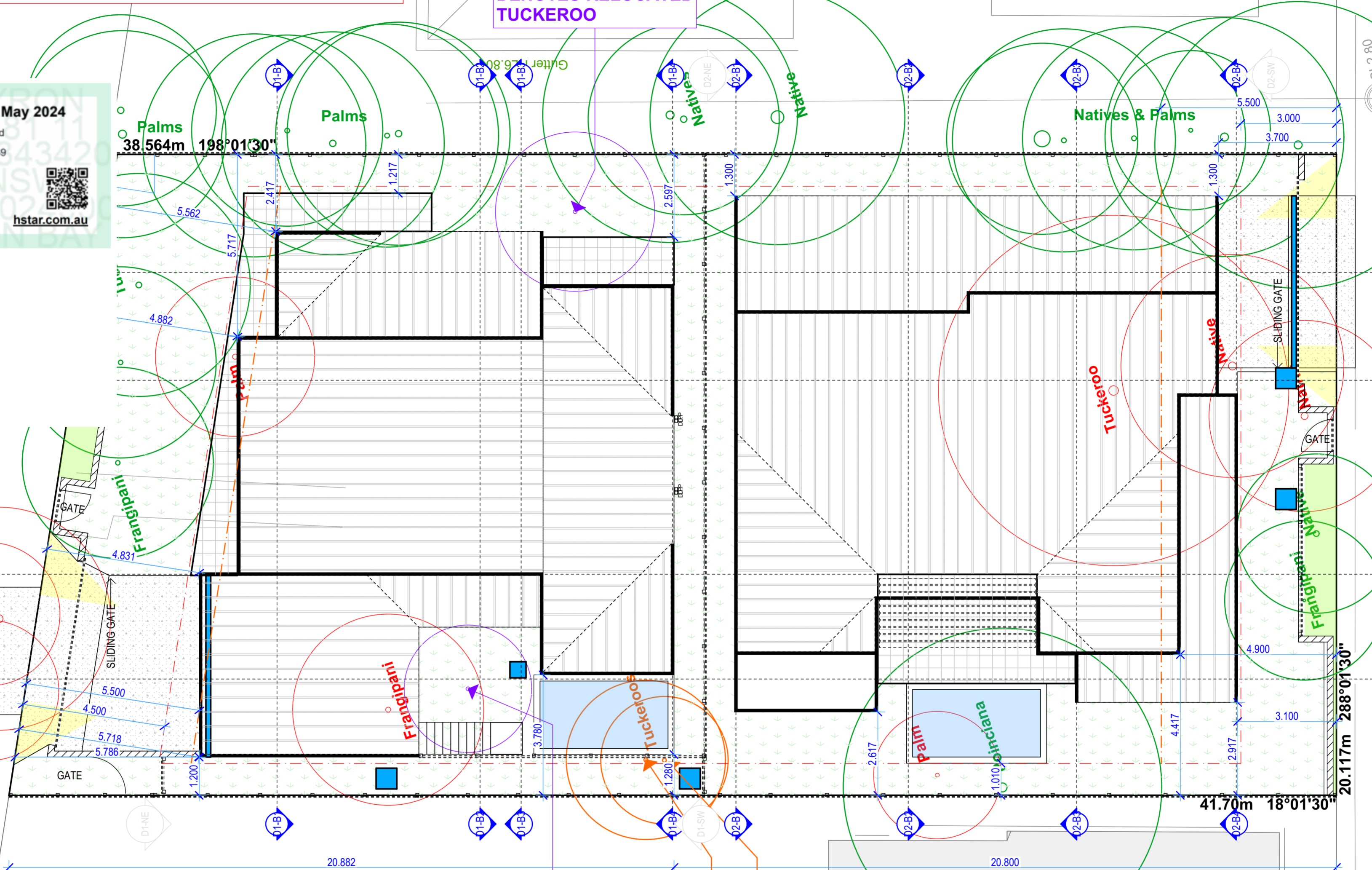
CAVANBAH LANE

TREES TO BE REMOVED (SHOWN RED)
6 = ON SITE
3 = ROAD RESERVE NORTH
9 = TOTAL TO BE REMOVED

DENOTES RELOCATED
TUCKEROO

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DENOTES RELOCATED
TUCKEROO

DENOTES
2 X TUCKEROO
TO BE
RELOCATED

GRATED DRAIN
GRATED DRAIN PIT

BUSH FIRE:
ALL WORKS TO ACCORD TO BAL 12.5
WHOLE OF SITE IS DEEMED TO BE APZ
AND WHOLE OF SITE OPERATES AS IPA

REFER TO STORMWATER PLAN D03 DISPERSAL
TRENCH FOR LEGAL POINT OF DISCHARGE

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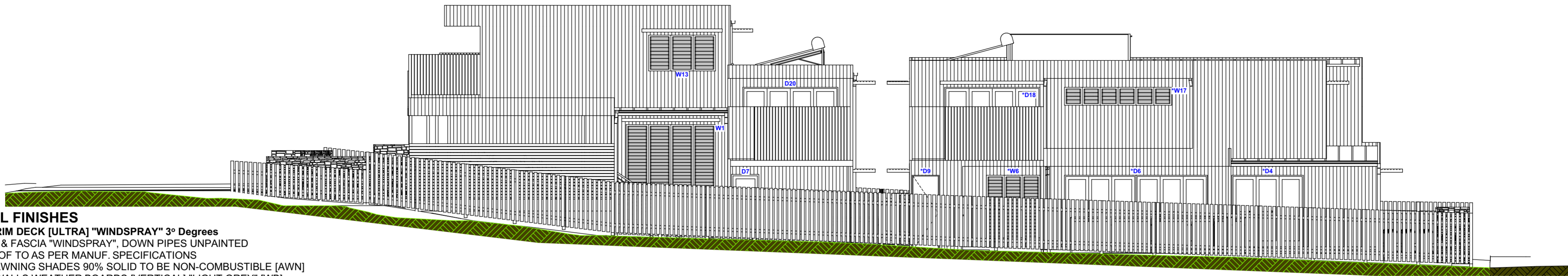
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 TWO NEW DWELLINGS TO CREATE DETACHED DUAL
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PROPERTY DESCRIPTION
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 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE: 1:100 @ A2
 DATE: 12/04/2024
 PLAN No. Sec4.55 - P1

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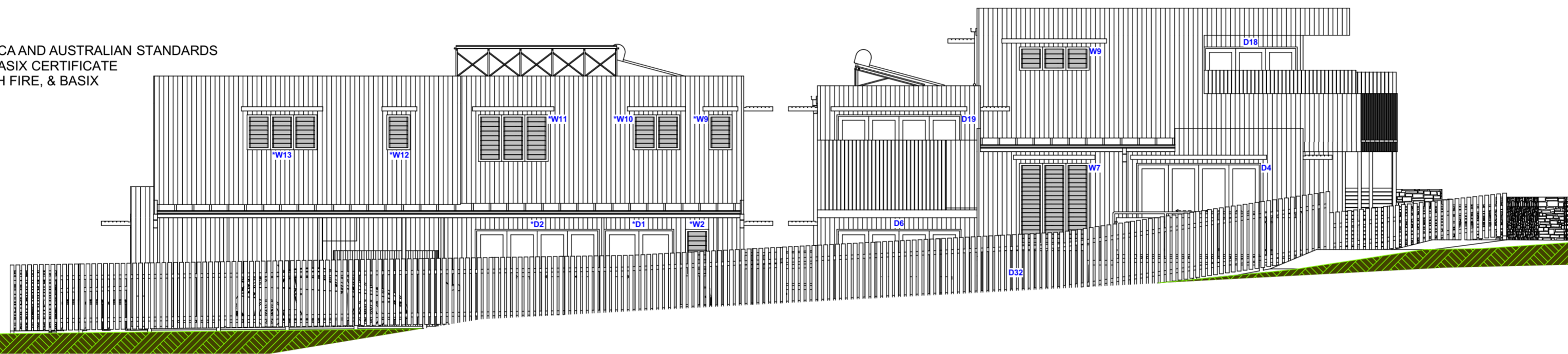




NORTH-WEST SITE ELEVATION

EXTERNAL FINISHES

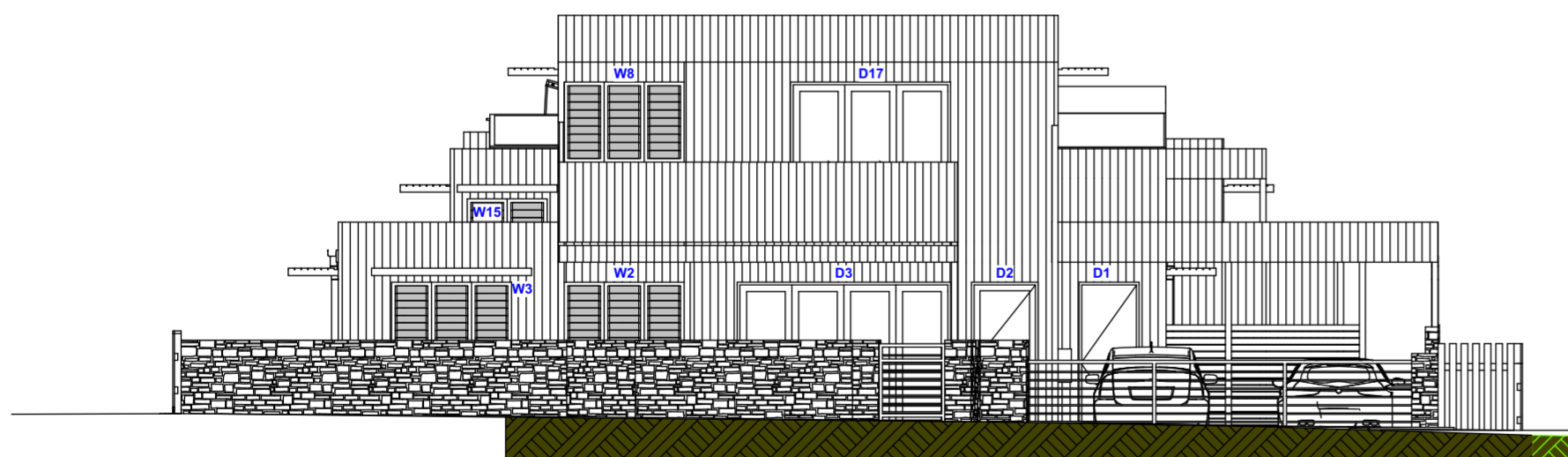
- ROOFING TRIM DECK [ULTRA] "WINDSPRAY" 3° Degrees
- GUTTERING & FASCIA "WINDSPRAY", DOWN PIPES UNPAINTED
- LOUVRE ROOF TO AS PER MANUF. SPECIFICATIONS
- EXTERNAL AWNING SHADES 90% SOLID TO BE NON-COMBUSTIBLE [AWN]
- EXTERNAL WALLS WEATHER BOARDS [VERTICAL] "LIGHT GREY" [WB]
- EXTERNAL BLOCK WORK RENDERED "LIGHT GREY" [RB]
- EXTERNAL BLOCK WALLS FACE SELECT STONE WORK [RS]
- VERTICAL ANGLED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSV]
- HORIZONTAL SLATTED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSH]
- EXTERNAL WINDOW & DOOR FRAMES "WHITE HAVEN"
- EXTERNAL POSTS "WHITE HAVEN"
- EXTERNAL DECKS TILED
- SOLAR HOT WATER
- 3kW SOLAR PER DWELLING
- ALL WORKS TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS
- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- SEE P18 NOTES GENERAL, BUSH FIRE, & BASIX



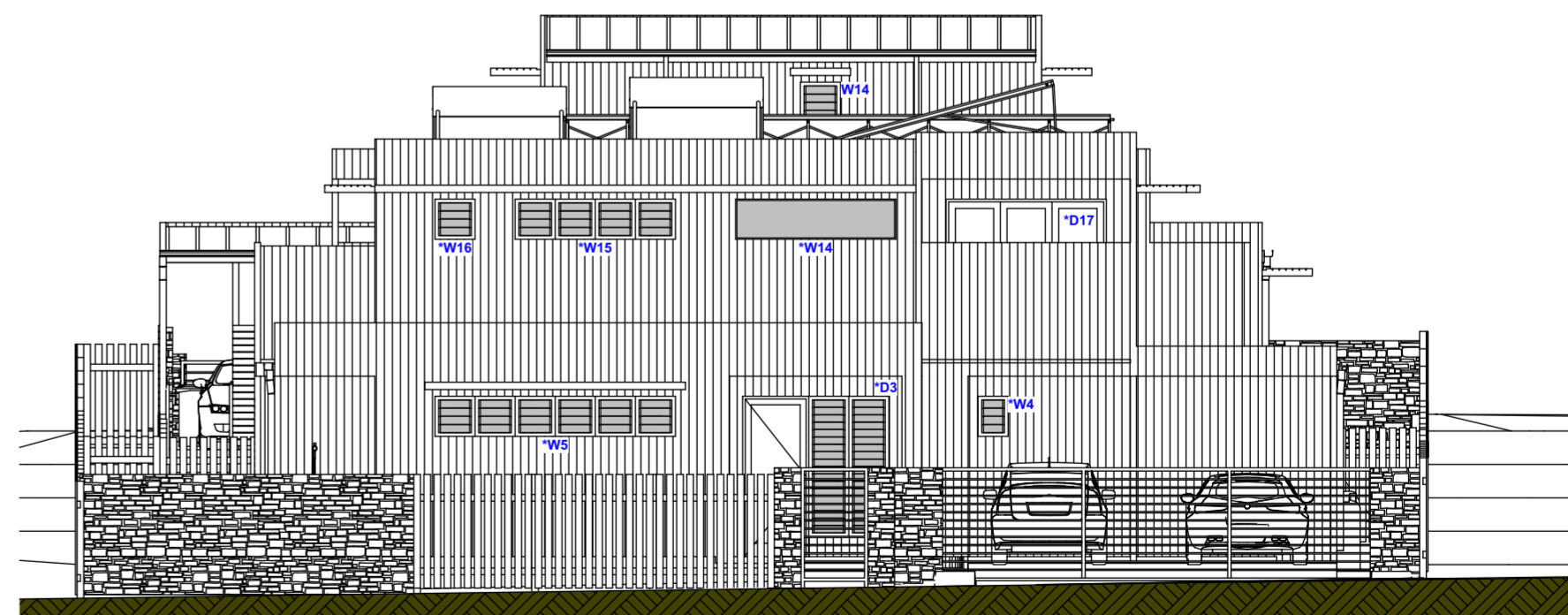
SOUTH-EAST SITE ELEVATION

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NORTH-EAST SITE ELEVATION



SOUTH-WEST SITE ELEVATION

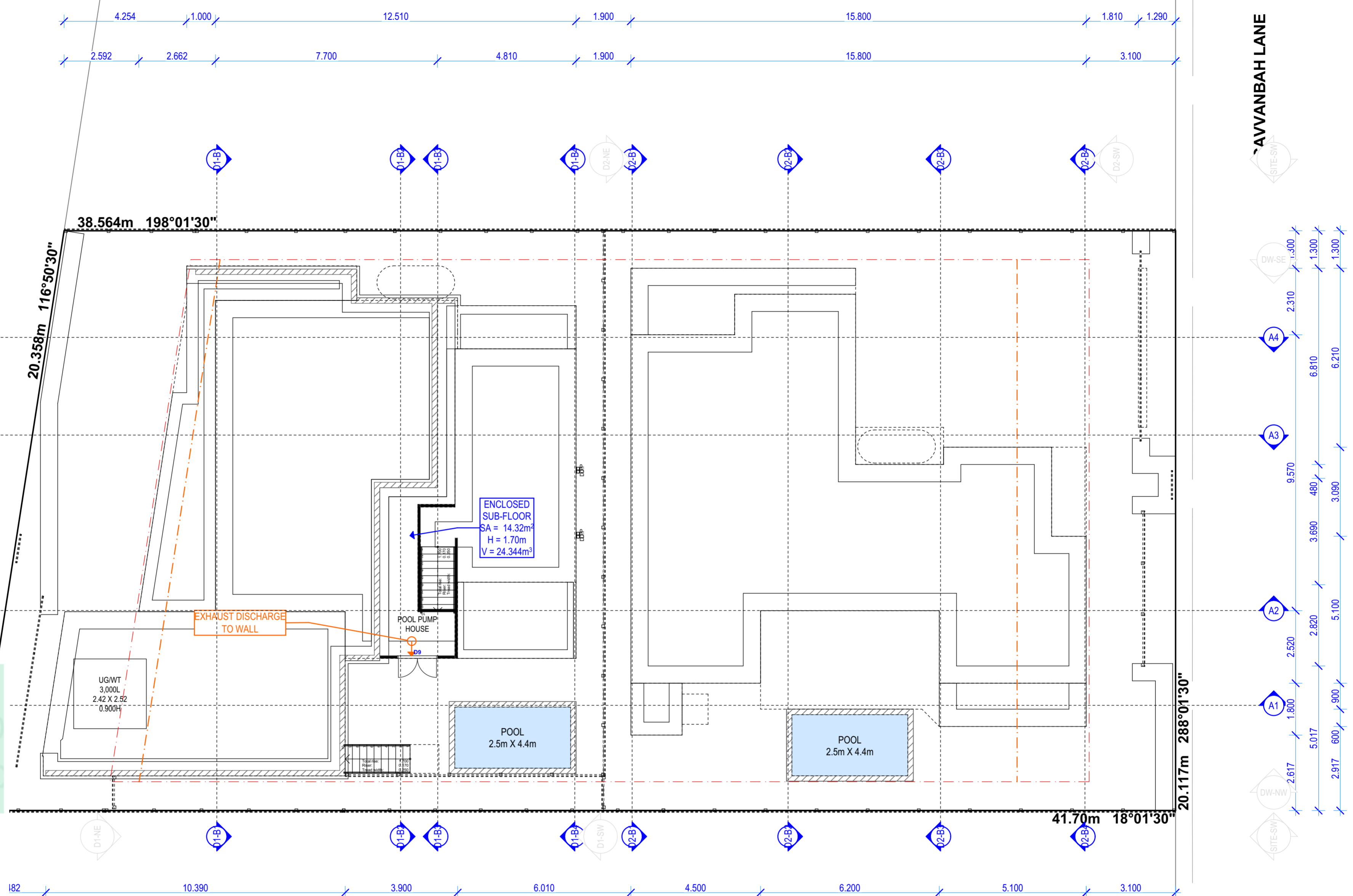
SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

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PROJECT INFORMATION CLIENT NAME: Domax Development Australia P/L JOB TYPE: TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P2

CAVVANBAH STREET

AVVANBAH LANE



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MECHANICAL VENTILATION IN ALL WET AREAS, KITCHEN DUCTS AND THE DISCHARGE LOCATION (I.E EXTERNAL WALL/EAVE, VENTILATED ROOF SPACE ETC) AS PER BCA HOUSING PROVISIONS PART 10.8 (CONDENSATION MANAGEMENT). PROVIDE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS CALCULATIONS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S)

- THE SWIMMING POOL BARRIER IS TO BE DESIGNED IN ACCORDANCE WITH AS 1926.1-2012 (I.E 1800MM BOUNDARY FENCE, 1200MM INTERNAL BARRIER AND OUTWARD OPENING SELF-CLOSING/ SELF-LATCHING GATES).
- THE SWIMMING POOL FILTRATION/ RECIRCULATION SYSTEM IS TO COMPLY WITH AS 1926.3-2010.

ALL FLOOR AND SHOWER WASTE TO HAVE COMPLIANT FALLS (I.E 1:80 TO 1:50) IN ACCORDANCE WITH AS 3740 - 2022 AND BCA H4D3 /H4D2

ALL DECK FALLS AND DRAINAGE ARE TO BE IN ACCORDANCE WITH NB ENGINEERS DRAWINGS D01- D05

ALL PENETRATION LOCATIONS TO BE CONFIRMED BY PLUMBER IN COORDINATION WITH STRUCTURAL ENGINEERING ALL DIMENSIONS SHOWN TO CENTRE OF PENETRATION

- SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2
- COMPRESSED FIBRE CEMENT SHEETING ATOP BEARERS & JOISTS TO BE WATERPROOFED IN ACCORDANCE WITH BCA H4D3

PROJECT INFORMATION
CLIENT NAME: Domax Development Australia P/L
JOB TYPE:
TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE LEVEL 0 SUB-FLOOR	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P3
PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE			

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CAVANBAH STREET

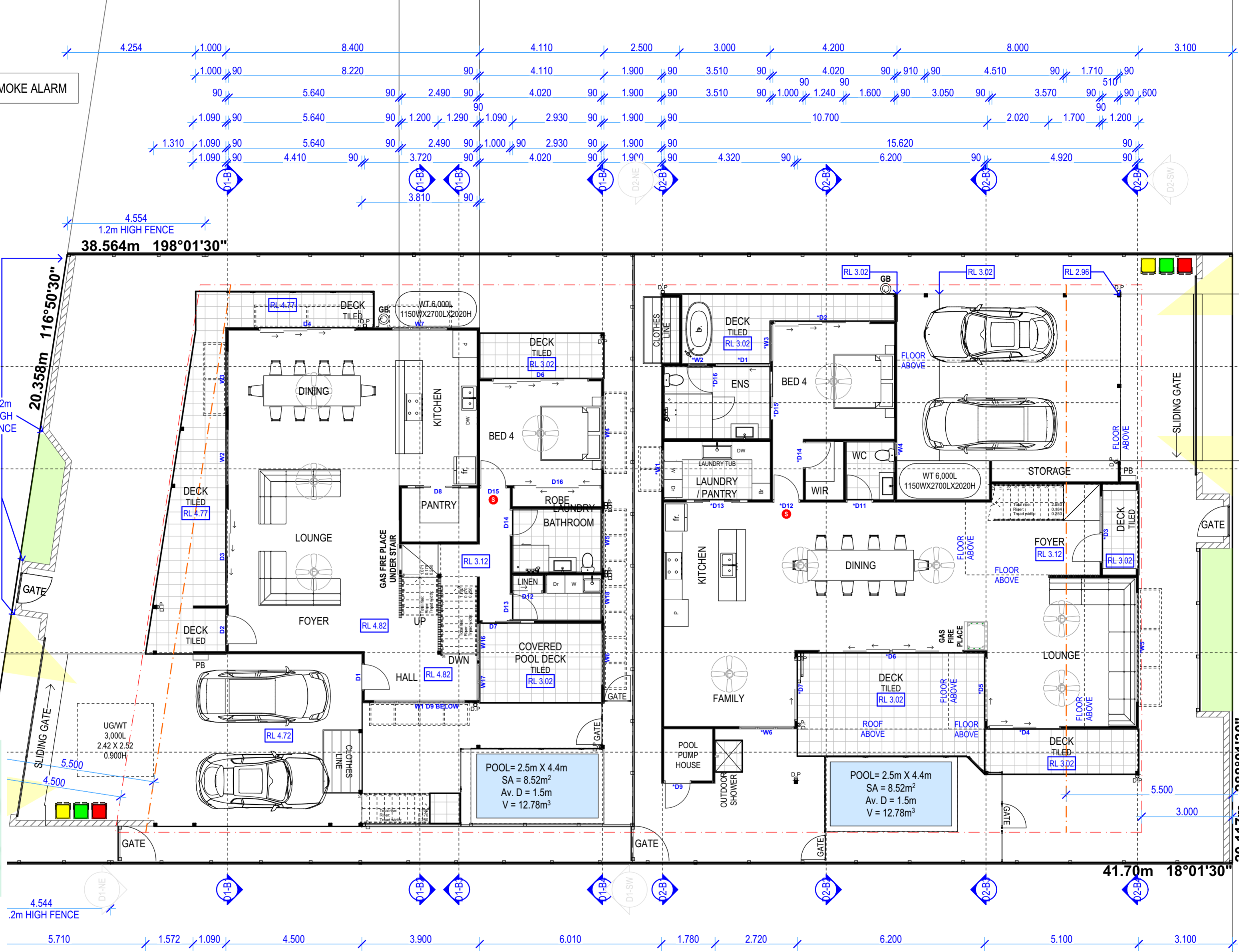
CAVANBAH LANE

Ⓢ DENOTES SMOKE ALARM

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PLAN TYPE LEVEL 0 FLOOR PLAN	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P4
PROPERTY DESCRIPTION			
Lot & DP: Lot 5 (SECTION 54) DP 758207			
STREET ID: No.26 CAVANBAH STREET			
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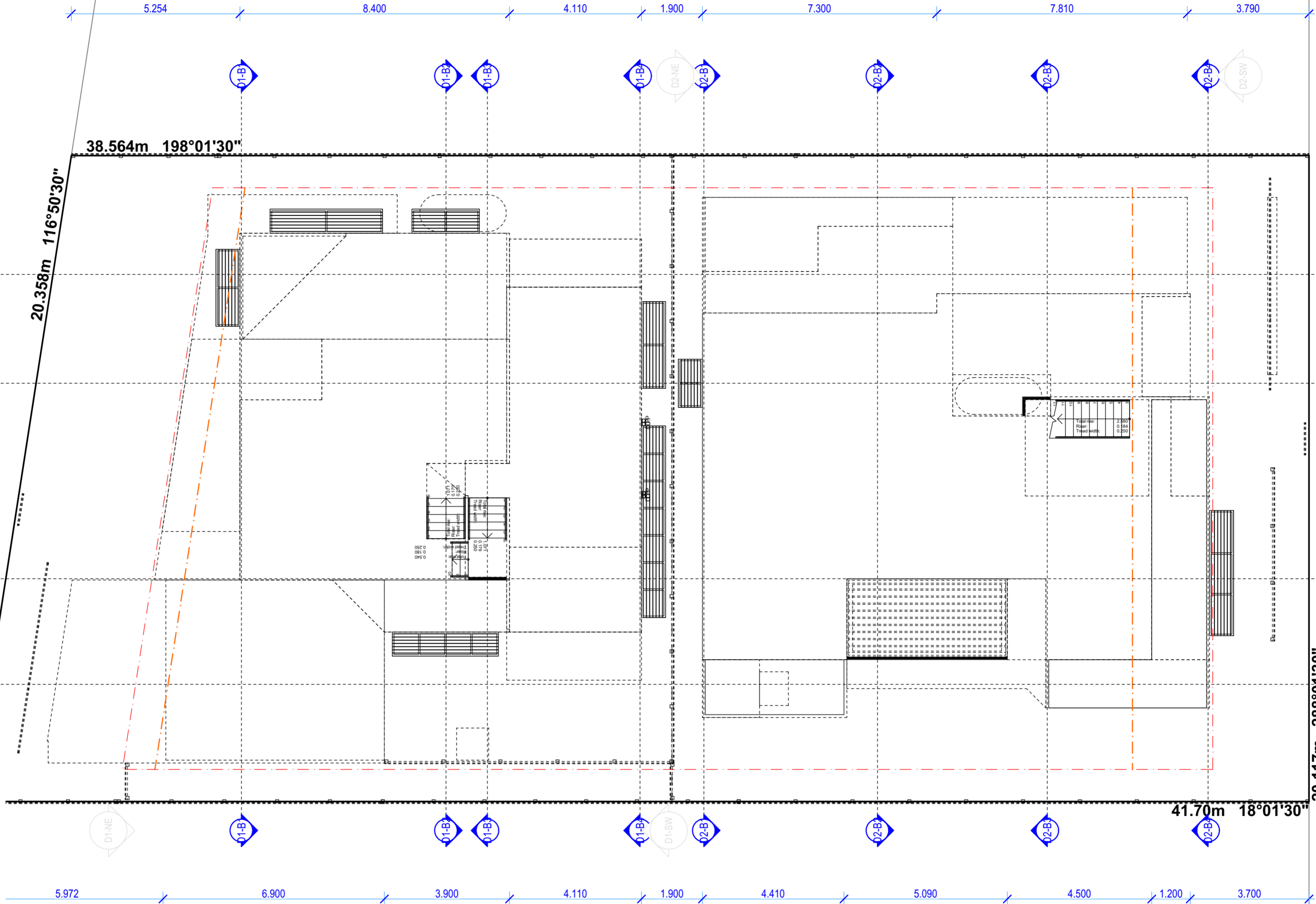


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☐ DENOTES TILED AREAS
 ☐ TO BE WATERPROOFED

CAVVANBAH STREET

CAVVANBAH LANE



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PLAN TYPE
 LEVEL 1 SUB-FLOOR

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SCALE
 1:100 @ A2

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 Sec4.55 - P5

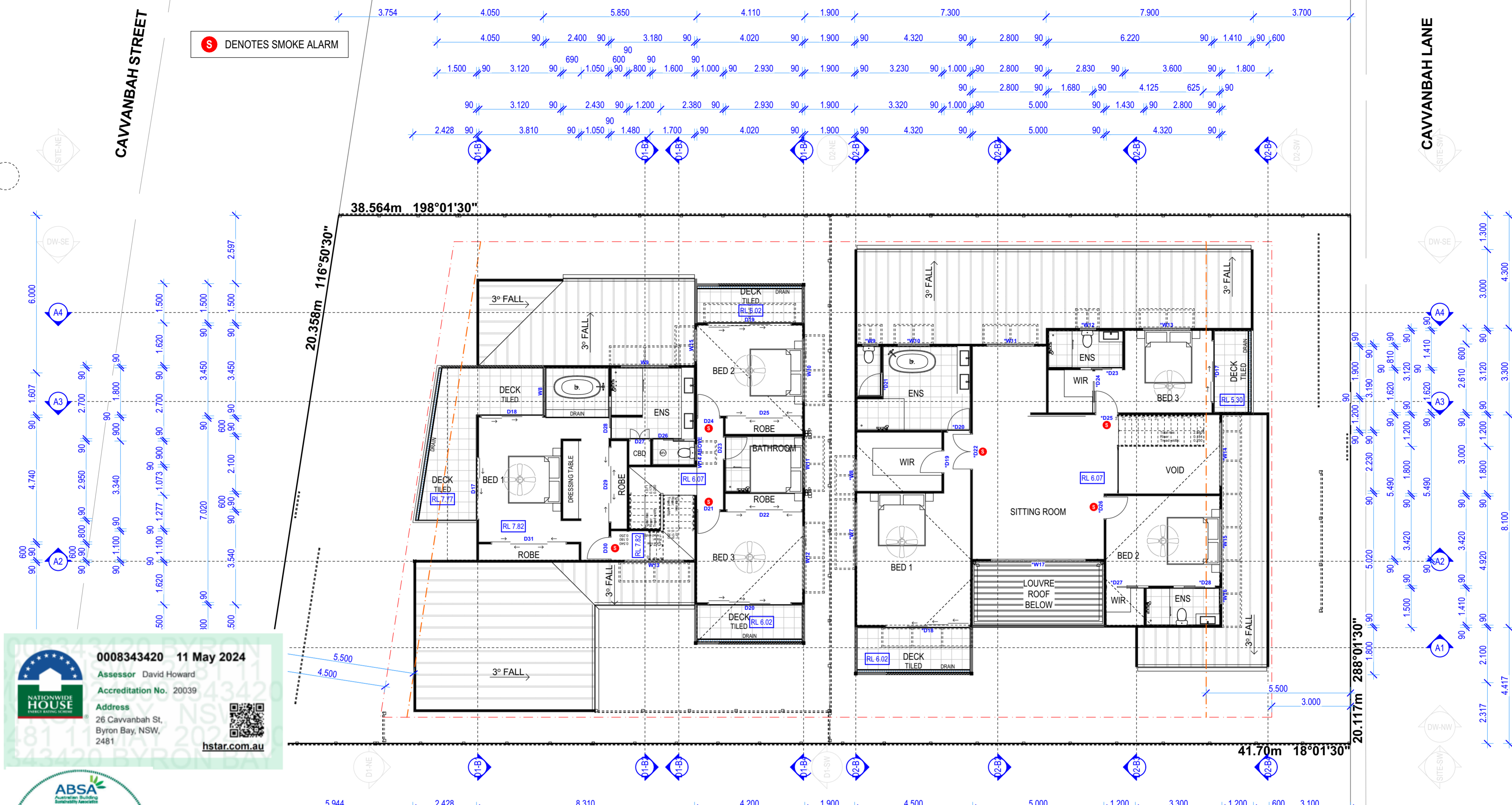
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Ⓢ DENOTES SMOKE ALARM



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 Accreditation No. 20039
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 26 Cavanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au

ABSA
 Assessment Building
 Accreditation Authority
 Assessments completed within the accreditation period are part of the ABSA quality audit system.
 Accreditation Period 31/03/2024-31/03/2025
 Assessor Name David Howard
 Assessor Number 20039
 Assessor Signature

⊞ DENOTES TILED AREAS TO BE WATERPROOFED

MECHANICAL VENTILATION IN ALL WET AREAS, KITCHEN DUCTS AND THE DISCHARGE LOCATION (I.E EXTERNAL WALL/EAVE, VENTILATED ROOF SPACE ETC) AS PER BCA HOUSING PROVISIONS PART 10.8 (CONDENSATION MANAGEMENT). PROVIDE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS CALCULATIONS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S)

- THE SWIMMING POOL BARRIER IS TO BE DESIGNED IN ACCORDANCE WITH AS 1926.1-2012 (I.E 1800MM BOUNDARY FENCE, 1200MM INTERNAL BARRIER AND OUTWARD OPENING SELF-CLOSING/ SELF-LATCHING GATES).
 - THE SWIMMING POOL FILTRATION/ RECIRCULATION SYSTEM IS TO COMPLY WITH AS 1926.3-2010.

ALL FLOOR AND SHOWER WASTE TO HAVE COMPLIANT FALLS (I.E 1:80 TO 1:50) IN ACCORDANCE WITH AS 3740 - 2022 AND BCA H4D3 /H4D2

ALL DECK FALLS AND DRAINAGE ARE TO BE IN ACCORDANCE WITH NB ENGINEERS DRAWINGS D01- D05

ALL PENETRATION LOCATIONS TO BE CONFIRMED BY PLUMBER IN COORDINATION WITH STRUCTURAL ENGINEERING ALL DIMENSIONS SHOWN TO CENTRE OF PENETRATION

- SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2
 - COMPRESSED FIBRE CEMENT SHEETING ATOP BEARERS & JOISTS TO BE WATERPROOFED IN ACCORDANCE WITH BCA H4D3

PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 LEVEL 1 FLOOR PLAN

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

PLAN No.
 Sec4.55 - P6

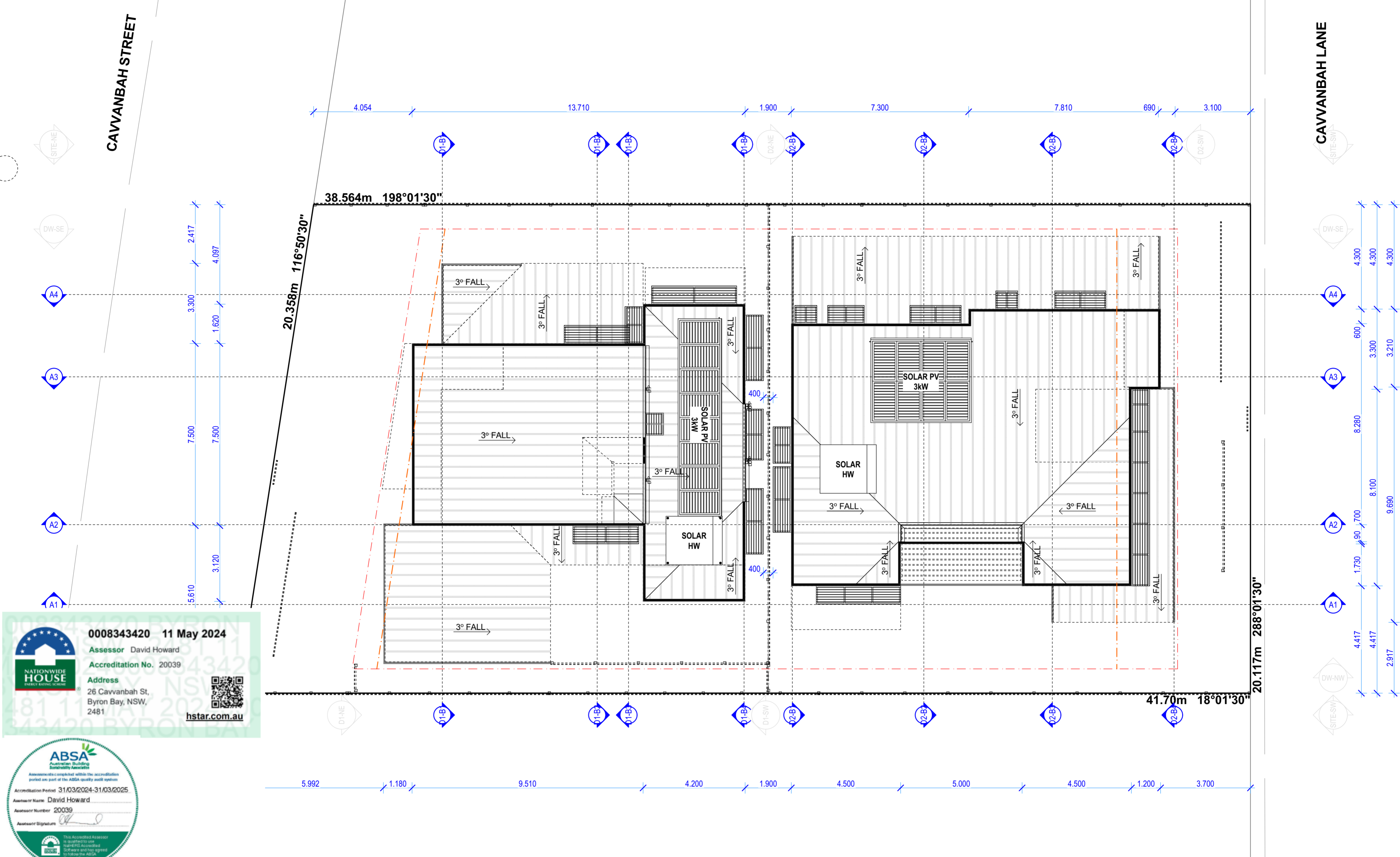
designevolutions
 TOWN PLANNING & BUILDING DESIGN
 P.O. Box 13, Ocean Shores, NSW 2483;
 tloano@designevolutions.com.au

GENERAL NOTES:
 1. DO NOT SCALE OFF DRAWINGS REFER TO ALL DIMENSIONS.
 2. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE.
 3. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH THE BUILDING CODE OF AUSTRALIA.
 4. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA).
 5. ALL GROUND LINES ARE TO BE APPROVED BY REGISTERED SURVEYOR.
 6. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIS REPORT.
 7. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
 8. THESE DRAWINGS ARE THE COPYRIGHT AND THE PROPERTY OF DESIGN EVOLUTIONS.



CAVANBAH STREET

CAVANBAH LANE



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 Assessor David Howard
 Accreditation No. 20039
 Address 26 Cavanbah St, Byron Bay, NSW, 2481
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- SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2
 - COMPRESSED FIBRE CEMENT SHEETING ATOP BEARERS & JOISTS TO BE WATERPROOFED IN ACCORDANCE WITH BCA H4D3

PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

PLAN TYPE
 ROOF PLAN

SCALE
 1:100 @ A2

DATE
 12/04/2024

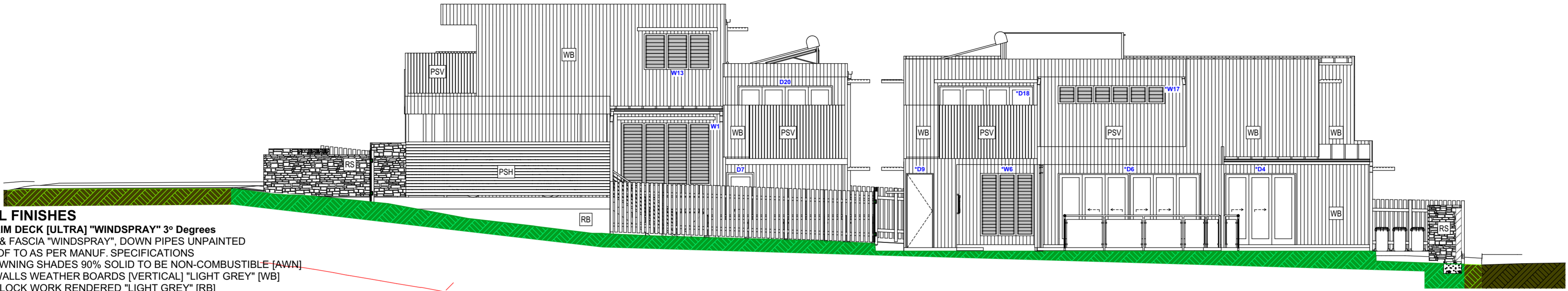
PLAN No.
 Sec4.55 - P7

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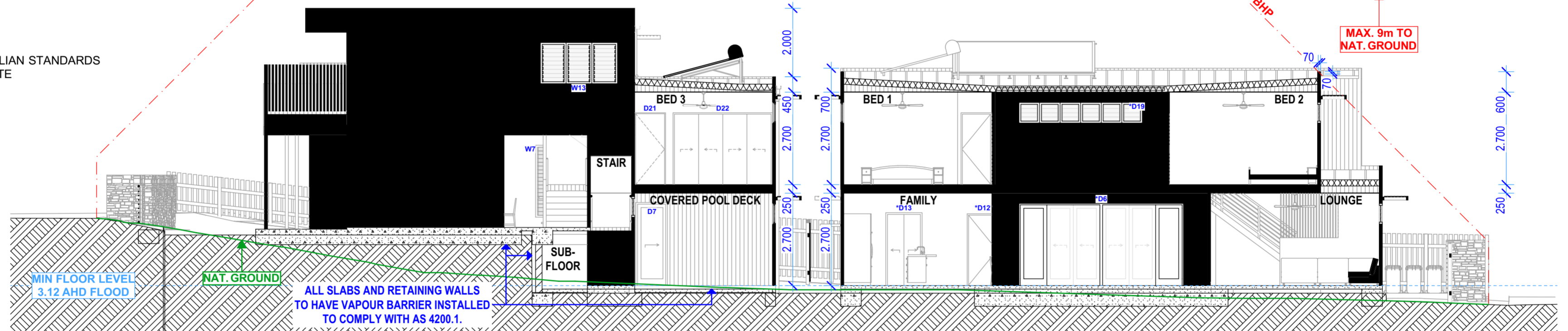


EXTERNAL FINISHES

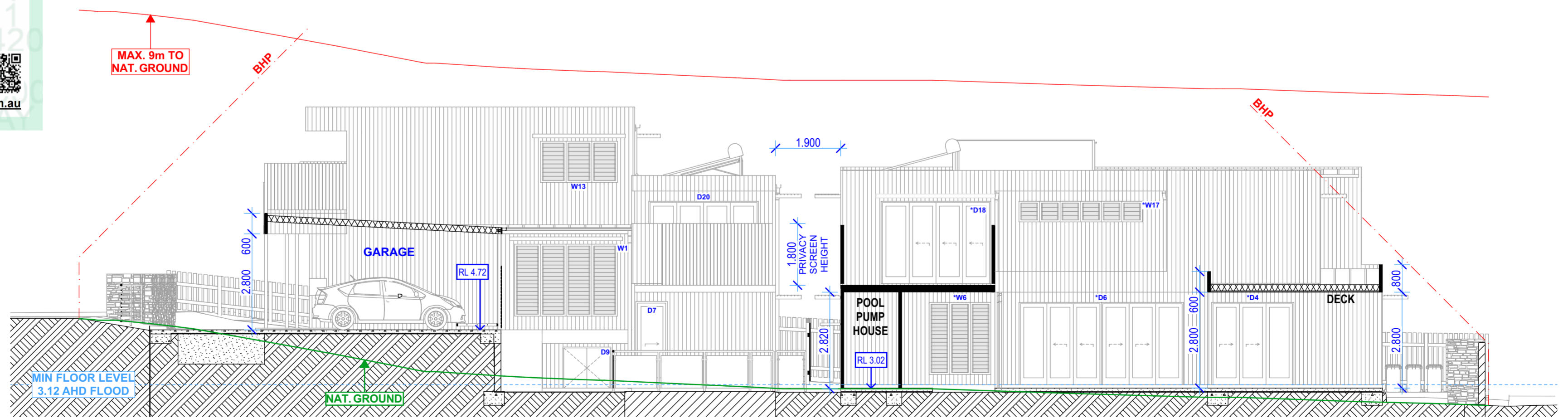
- ROOFING TRIM DECK [ULTRA] "WINDSPRAY" 3° Degrees
- GUTTERING & FASCIA "WINDSPRAY", DOWN PIPES UNPAINTED
- LOUVRE ROOF TO AS PER MANUF. SPECIFICATIONS
- EXTERNAL AWNING SHADES 90% SOLID TO BE NON-COMBUSTIBLE [AWN]
- EXTERNAL WALLS WEATHER BOARDS [VERTICAL] "LIGHT GREY" [WB]
- EXTERNAL BLOCK WORK RENDERED "LIGHT GREY" [RB]
- EXTERNAL BLOCK WALLS FACE SELECT STONE WORK [RS]
- VERTICAL ANGLED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSV]
- HORIZONTAL SLATTED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSH]
- EXTERNAL WINDOW & DOOR FRAMES "WHITE HAVEN"
- EXTERNAL POSTS "WHITE HAVEN"
- EXTERNAL DECKS TILED
- SOLAR HOT WATER
- 3kW SOLAR PER DWELLING
- ALL WORKS TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS
- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- SEE P18 NOTES GENERAL, BUSH FIRE, & BASIX



DWELLINGS NORTH-WEST ELEVATION



SECTION A2



SECTION A1

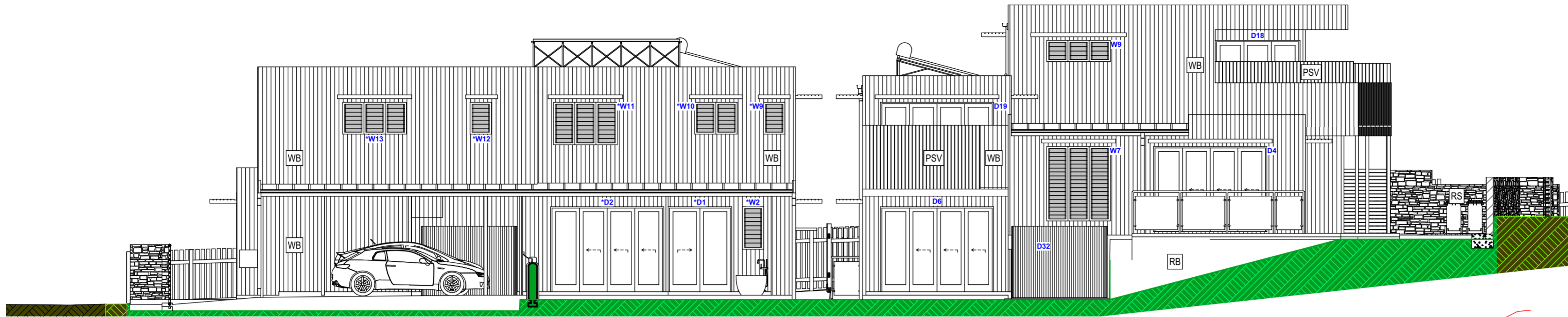
0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address 26 Cavanbah St, Byron Bay, NSW, 2481
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ABSA
 Australian Building Sustainability Association
 Accreditation Period: 31/03/2024-31/03/2025
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 6. ALL GROUND LINES ARE NOMINAL.
 7. ALL BOUNDARIES & BUILDING SETBACK TO BE APPROVED BY REGISTERED SURVEYOR.
 8. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIX REPORT.
 9. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
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SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

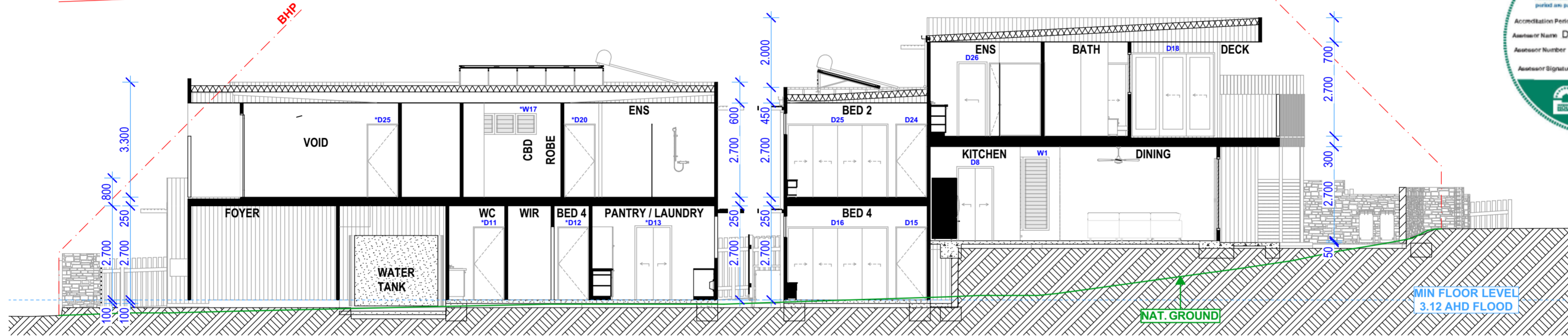
PROJECT INFORMATION CLIENT NAME: Domax Development Australia P/L JOB TYPE: TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P8
		TOWN PLANNING & BUILDING DESIGN P.O. Box 13, Ocean Shores, NSW 2483; tlo@designevolutions.com.au		



DWELLINGS SOUTH-EAST ELEVATION

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 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavanbah St,
 Byron Bay, NSW,
 2481
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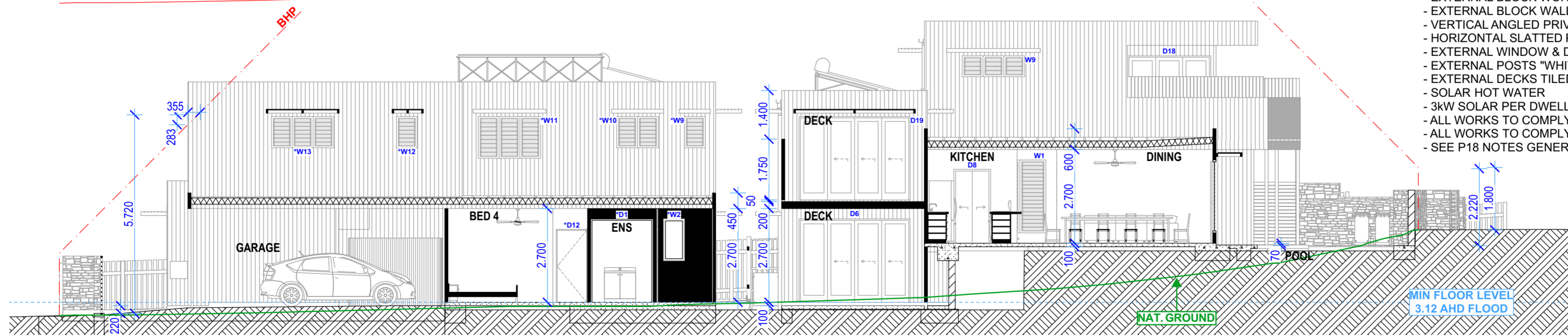
ABSA
 Australian Building
 Sustainability Assessor
 Accreditation Period 31/03/2024-31/03/2025
 Assessor Name David Howard
 Assessor Number 20039
 Assessor Signature



SECTION A3

EXTERNAL FINISHES

- ROOFING TRIM DECK (ULTRA) "WINDSPRAY" 3° Degrees
- GUTTERING & FASCIA "WINDSPRAY", DOWN PIPES UNPAINTED
- LOUVRE ROOF TO AS PER MANUF. SPECIFICATIONS
- EXTERNAL AWNING SHADES 90% SOLID TO BE NON-COMBUSTIBLE [AWN]
- EXTERNAL WALLS WEATHER BOARDS (VERTICAL) "LIGHT GREY" [WB]
- EXTERNAL BLOCK WORK RENDERED "LIGHT GREY" [RB]
- EXTERNAL BLOCK WALLS FACE SELECT STONE WORK [RS]
- VERTICAL ANGLED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSV]
- HORIZONTAL SLATTED PRIVACY SCREEN 1.8m HIGH "LIGHT GREY" [PSH]
- EXTERNAL WINDOW & DOOR FRAMES "WHITE HAVEN"
- EXTERNAL POSTS "WHITE HAVEN"
- EXTERNAL DECKS TILED
- SOLAR HOT WATER
- 3kW SOLAR PER DWELLING
- ALL WORKS TO COMPLY WITH BCA AND AUSTRALIAN STANDARDS
- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- SEE P18 NOTES GENERAL, BUSH FIRE, & BASIX



SECTION A4

SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

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 6. ALL GROUND LINES ARE NOMINAL.
 7. ALL BOUNDARIES & BUILDING FOOTPRINT TO BE APPROVED BY REGISTERED SURVEYOR.
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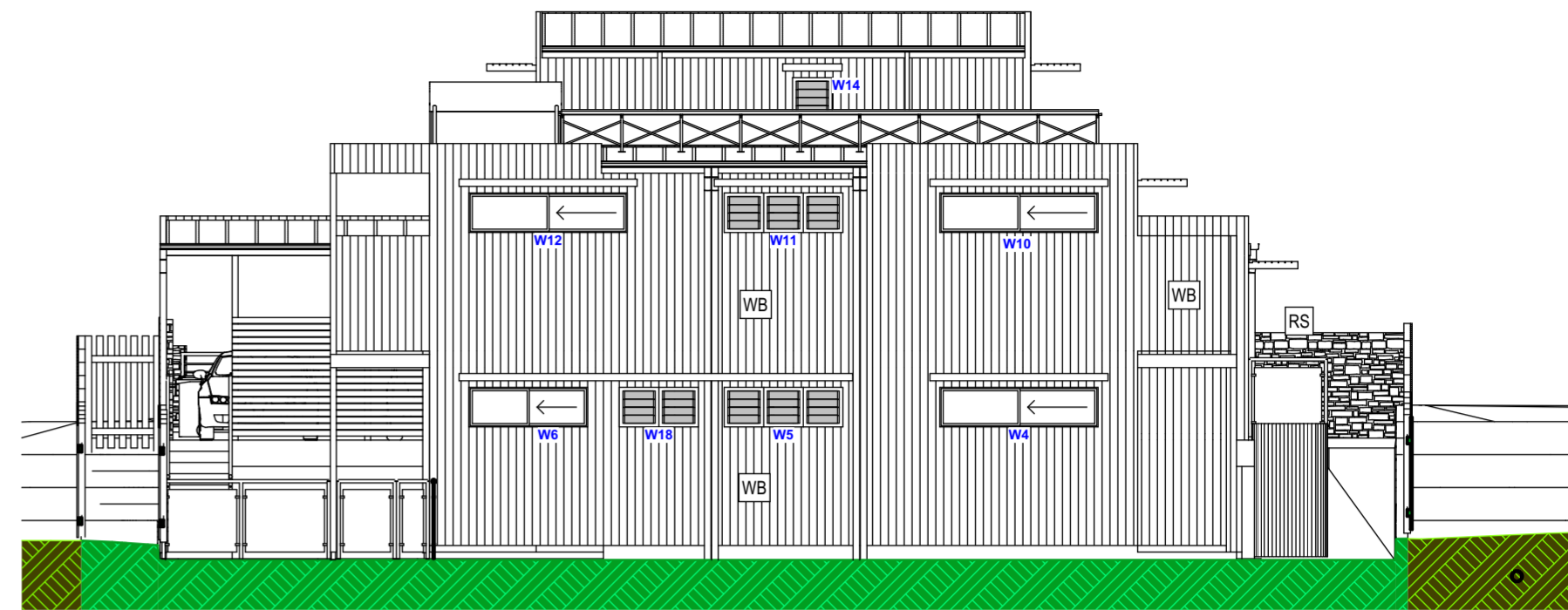
PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
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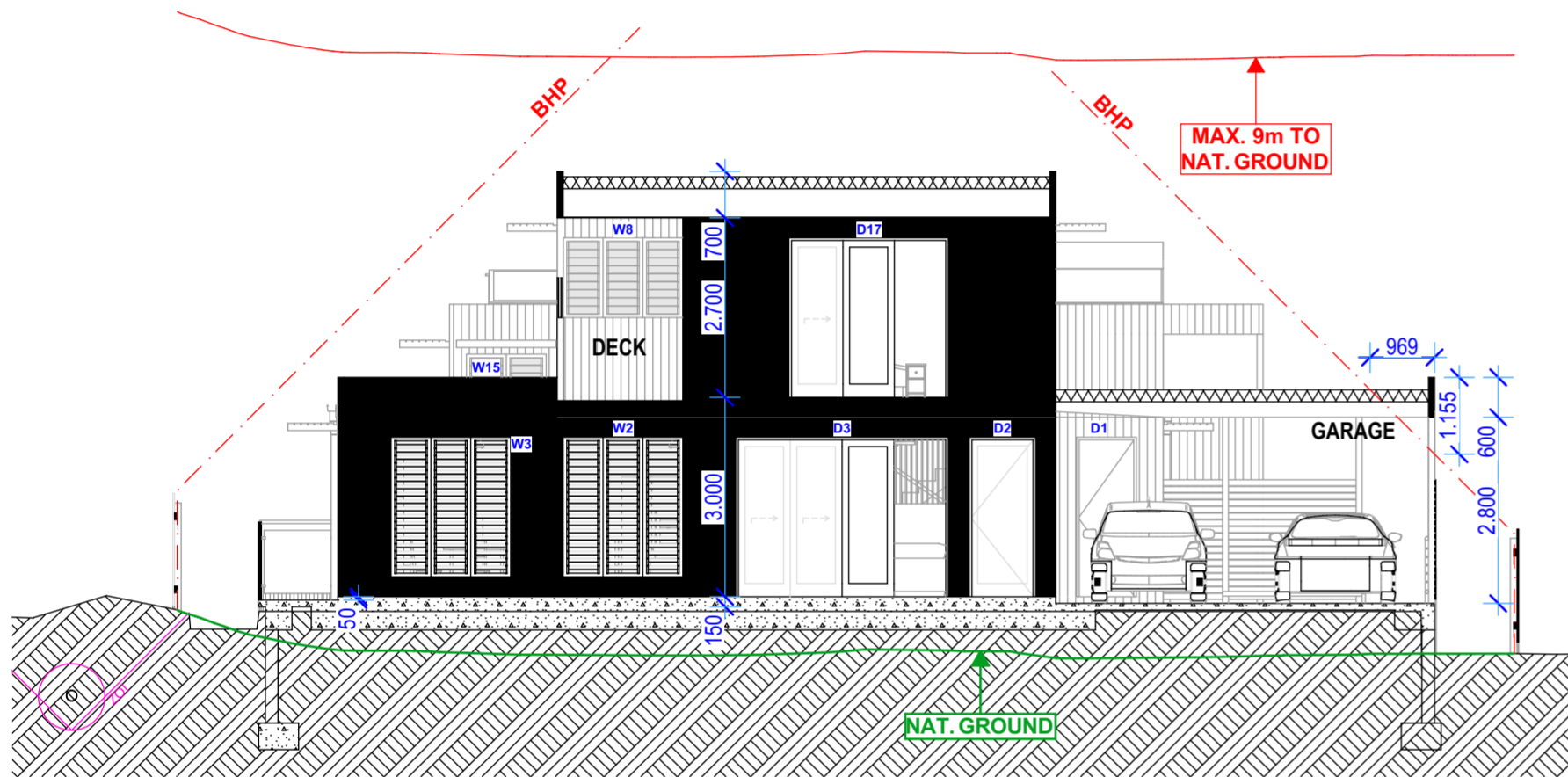
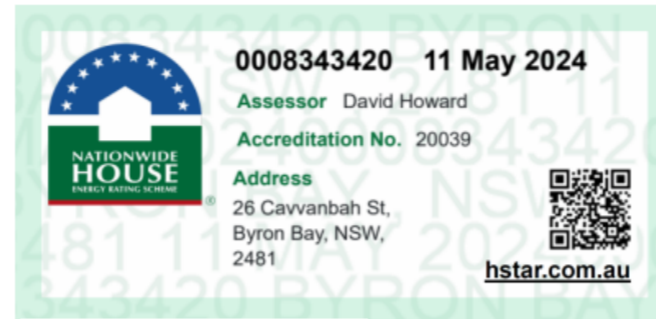
PLAN TYPE SOUTH-EAST ELEVATION / SECTIONS A3 & A4	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P9
designevolutions			
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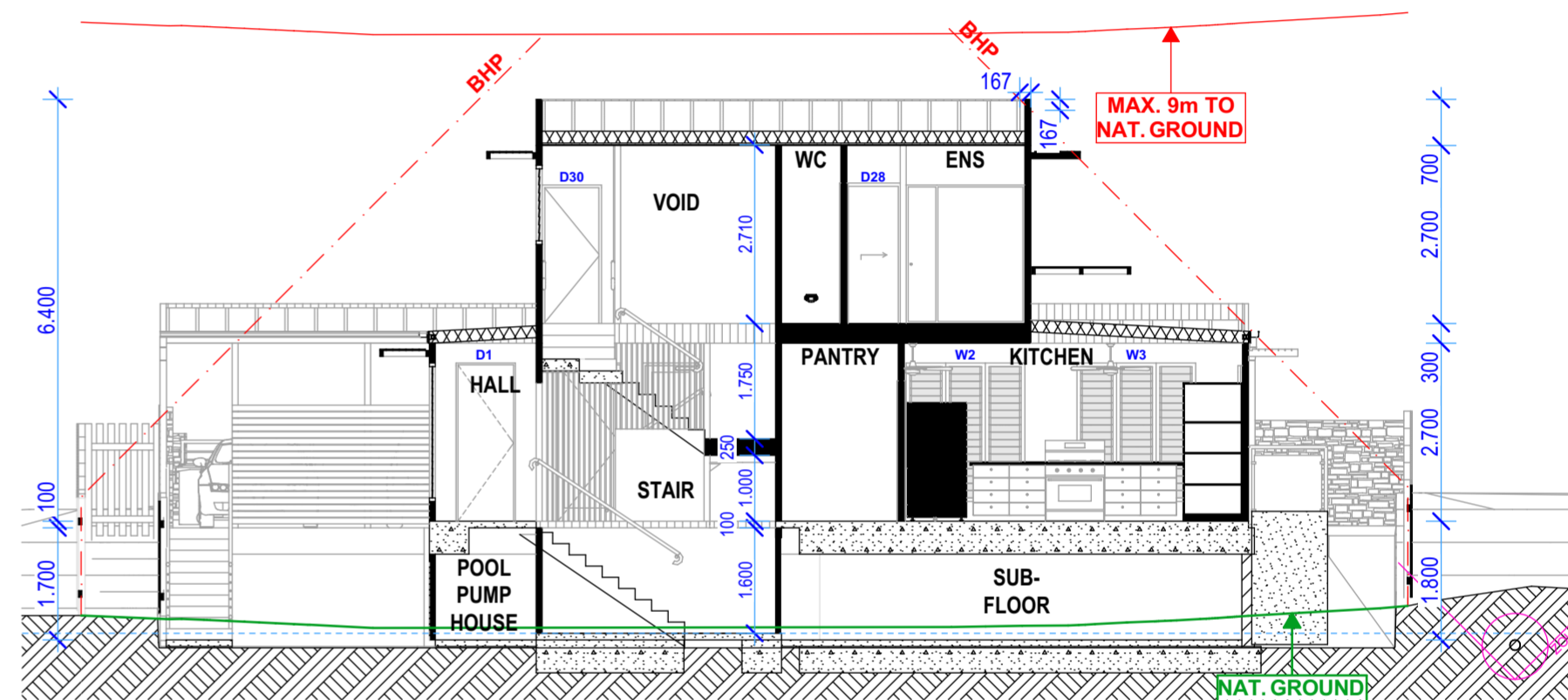
DWELLING 1 NORTH-EAST ELEVATION



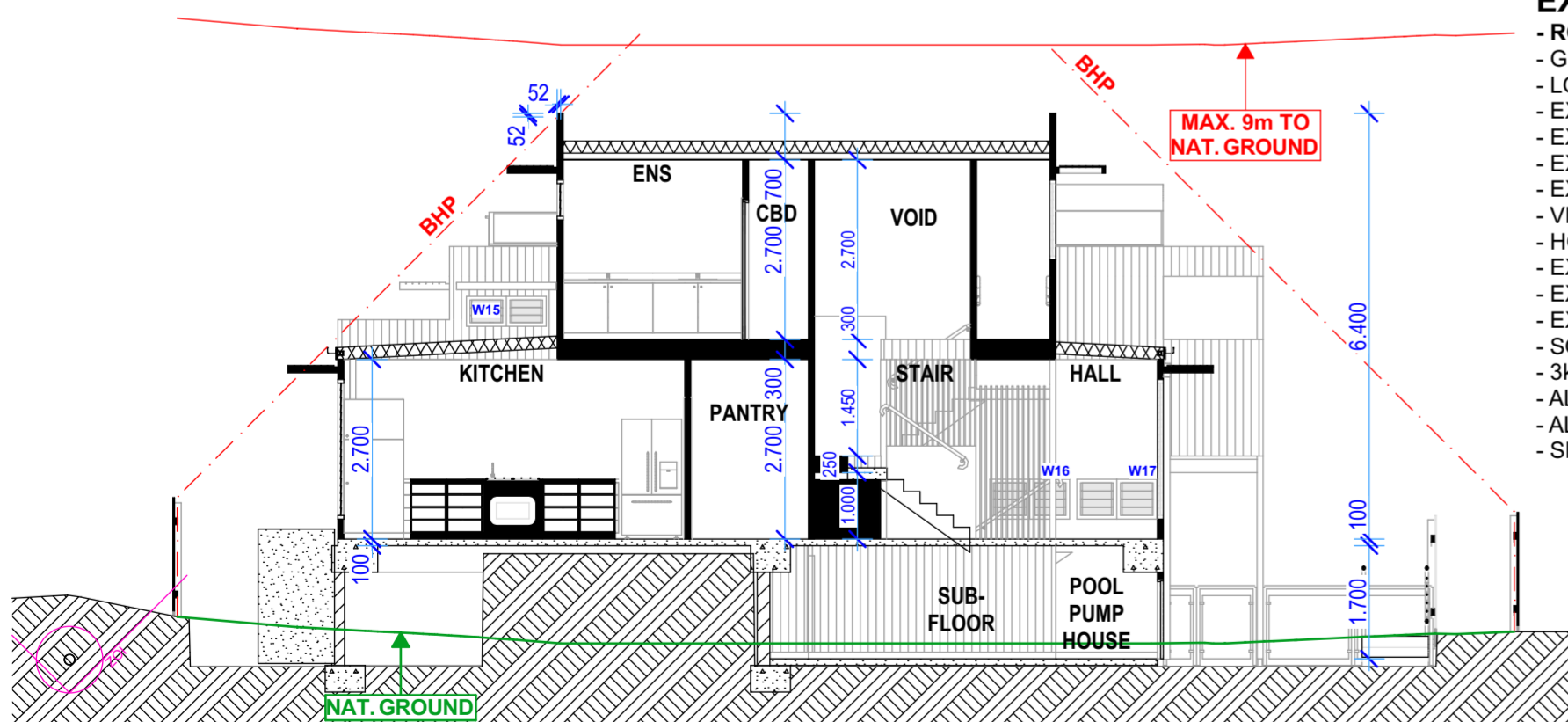
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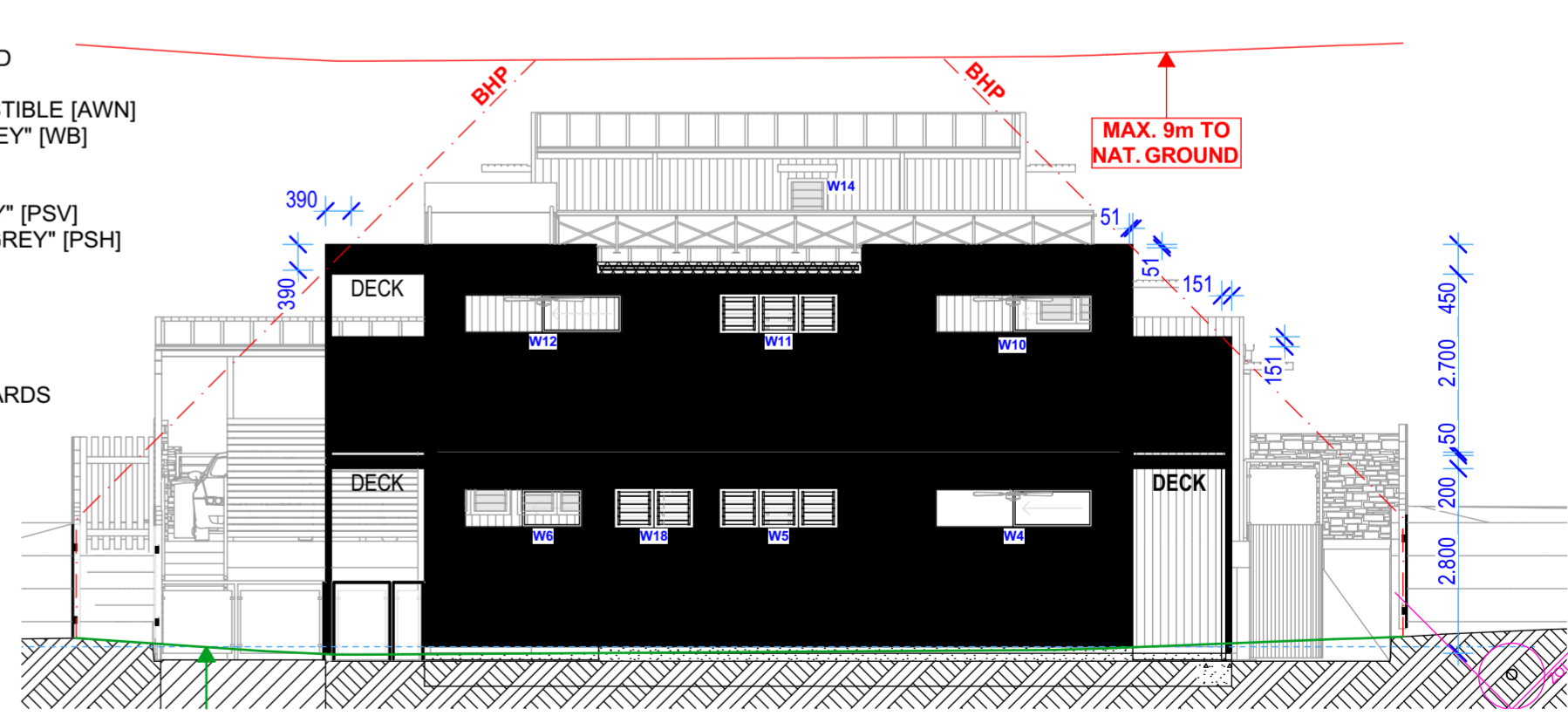
DWELLING 1-SECTION B1



DWELLING 1-SECTION B3



DWELLING 1-SECTION B2



DWELLING 1-SECTION B4

EXTERNAL FINISHES

- ROOFING TRIM DECK [ULTRA] "WINDSPRAY" 3° Degrees
- GUTTERING & FASCIA "WINDSPRAY", DOWN PIPES UNPAINTED
- LOUVRE ROOF TO AS PER MANUF. SPECIFICATIONS
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- ALL WORKS TO COMPLY WITH BASIX CERTIFICATE
- SEE P18 NOTES GENERAL, BUSH FIRE, & BASIX

SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

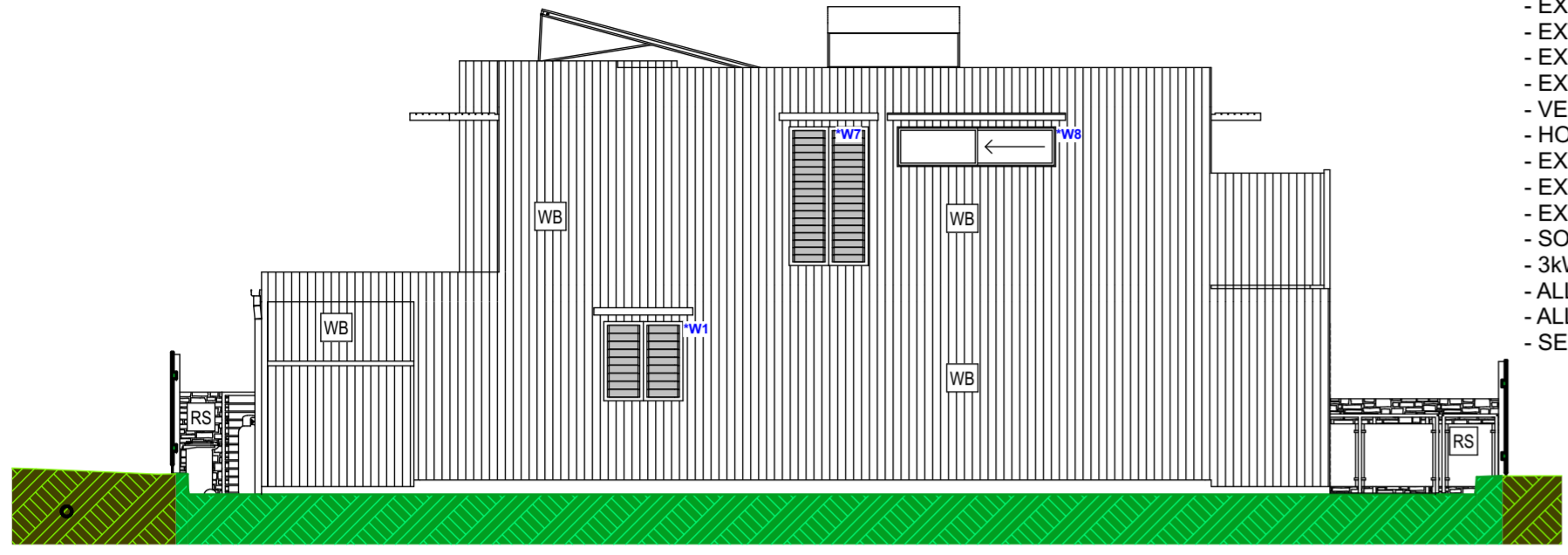
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 8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
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PLAN TYPE DWELLING 1 ELEVATIONS / SECTIONS B1 TO B4	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P10
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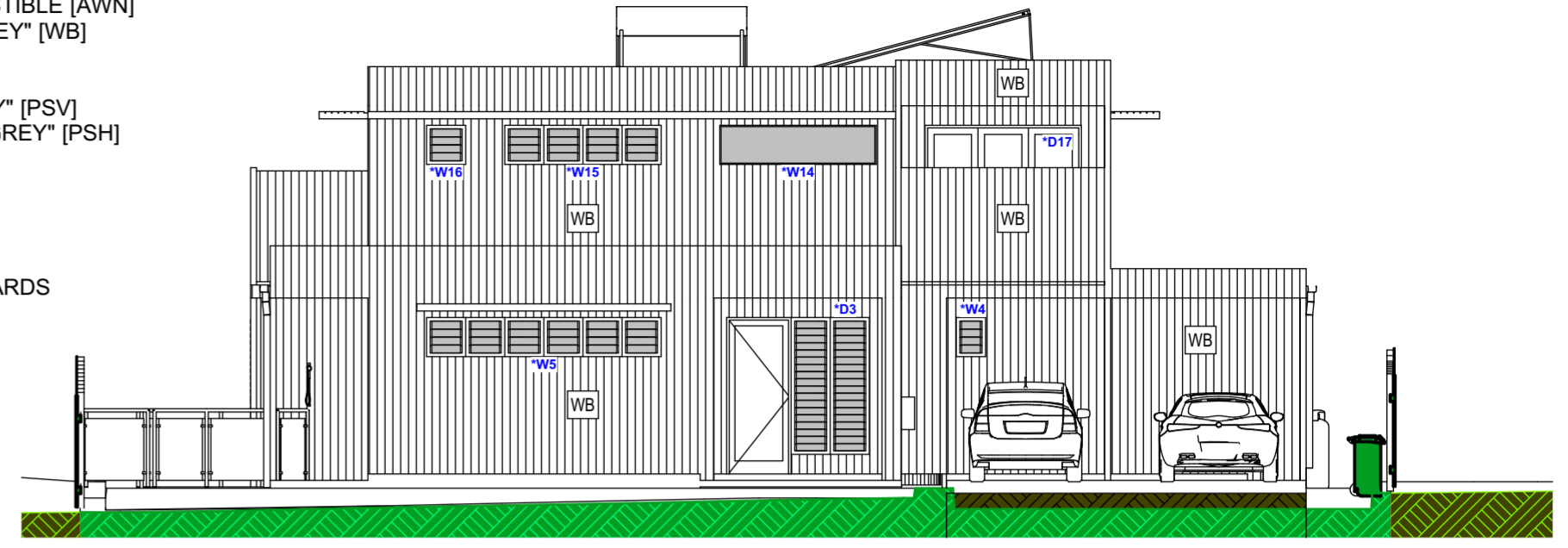
PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
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 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
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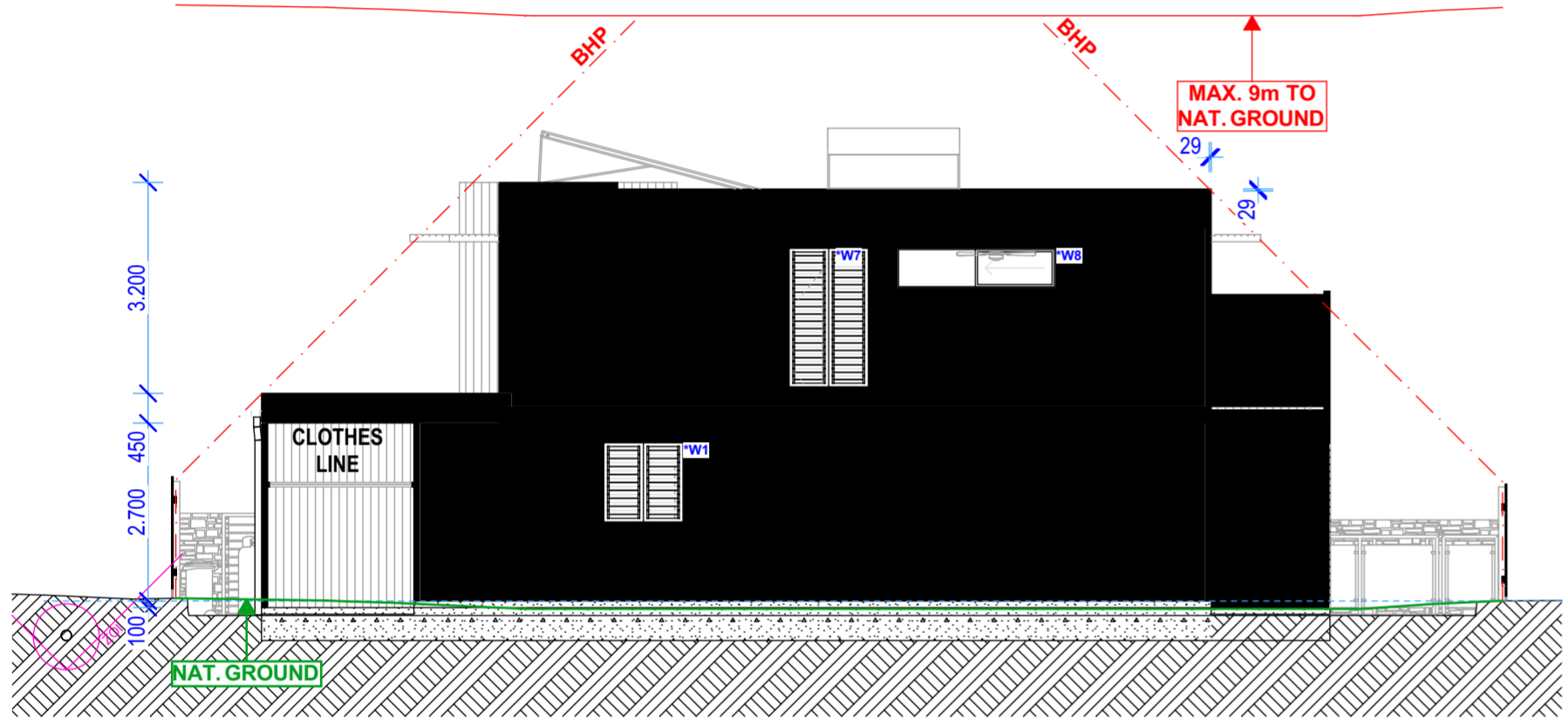


DWELLING 2 NORTH-EAST ELEVATION



DWELLING 2 SOUTH-WEST ELEVATION

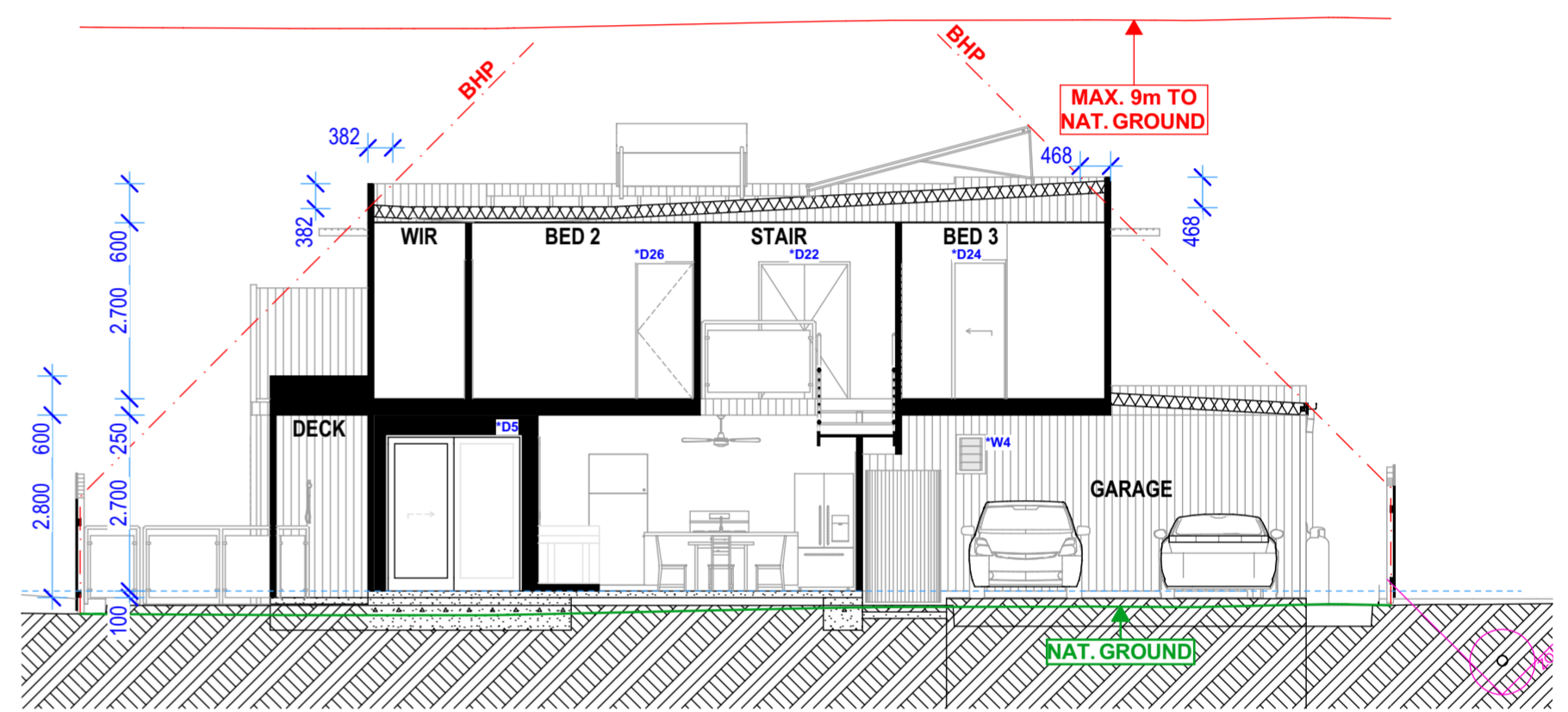
- EXTERNAL FINISHES**
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 - SEE P18 NOTES GENERAL, BUSH FIRE, & BASIX



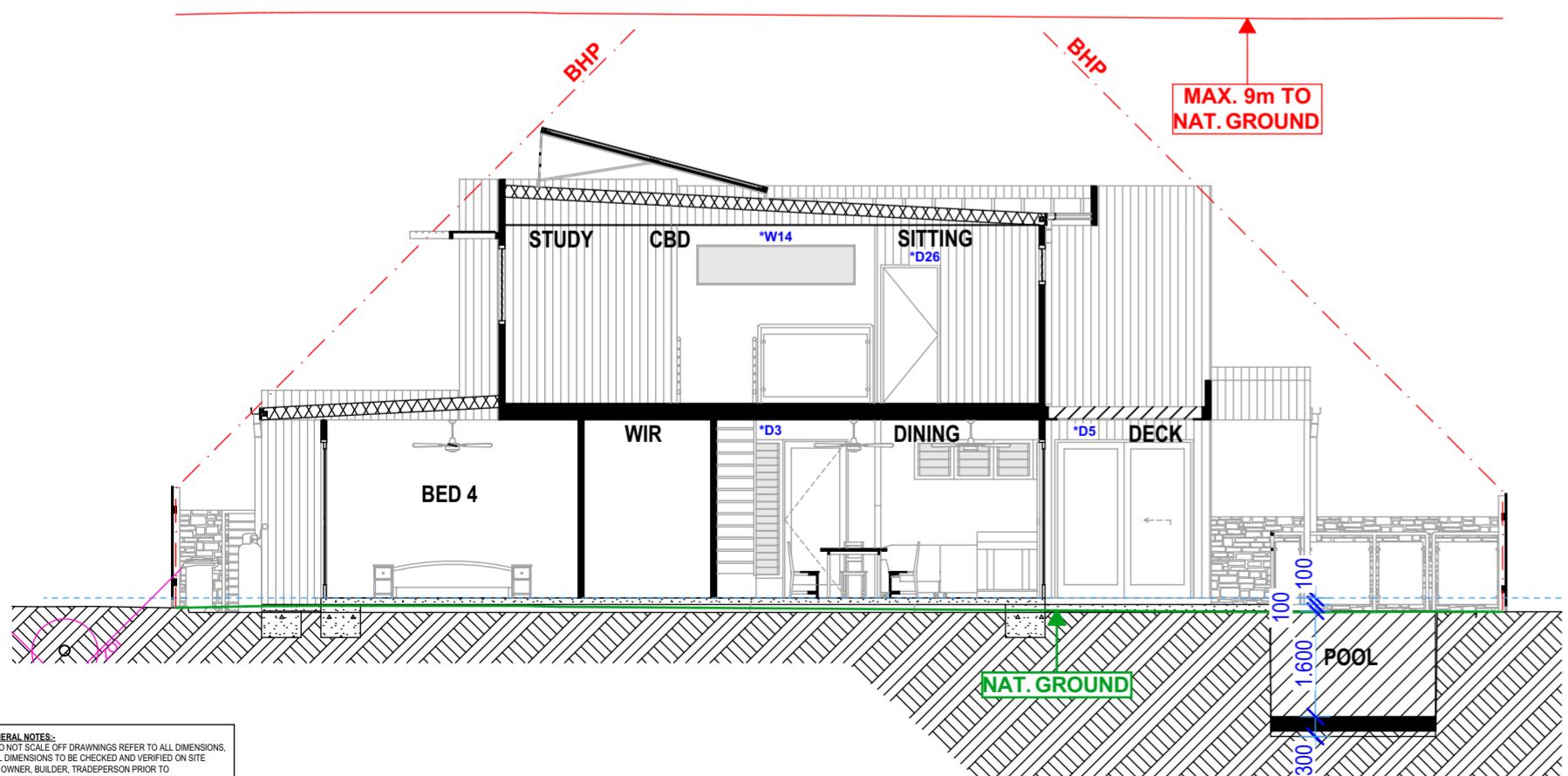
DWELLING 2-SECTION B1

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 Assessor David Howard
 Accreditation No. 20039
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 Byron Bay, NSW,
 2481
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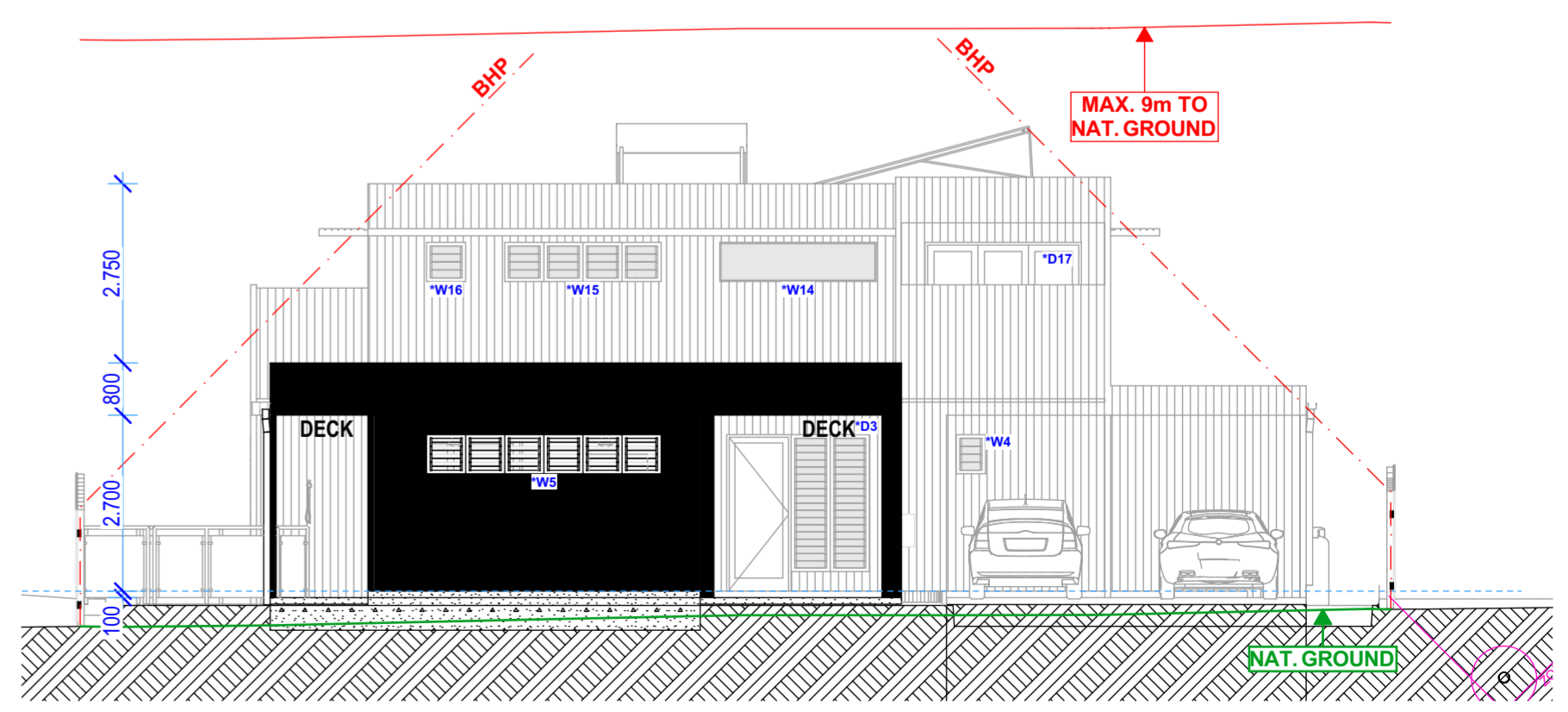
ABSA
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 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: [Signature]



DWELLING 2-SECTION B3



DWELLING 2-SECTION B2



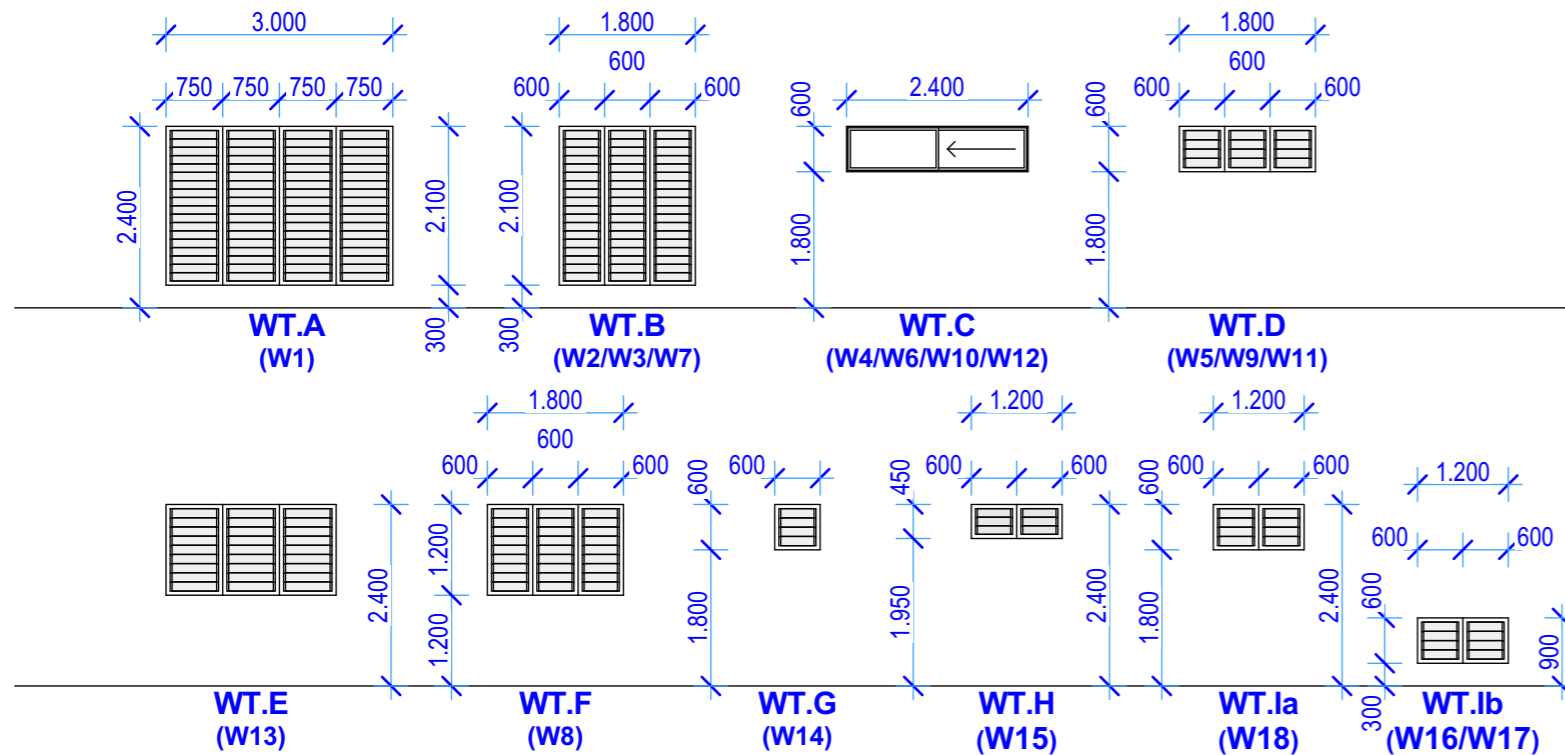
DWELLING 2-SECTION B4

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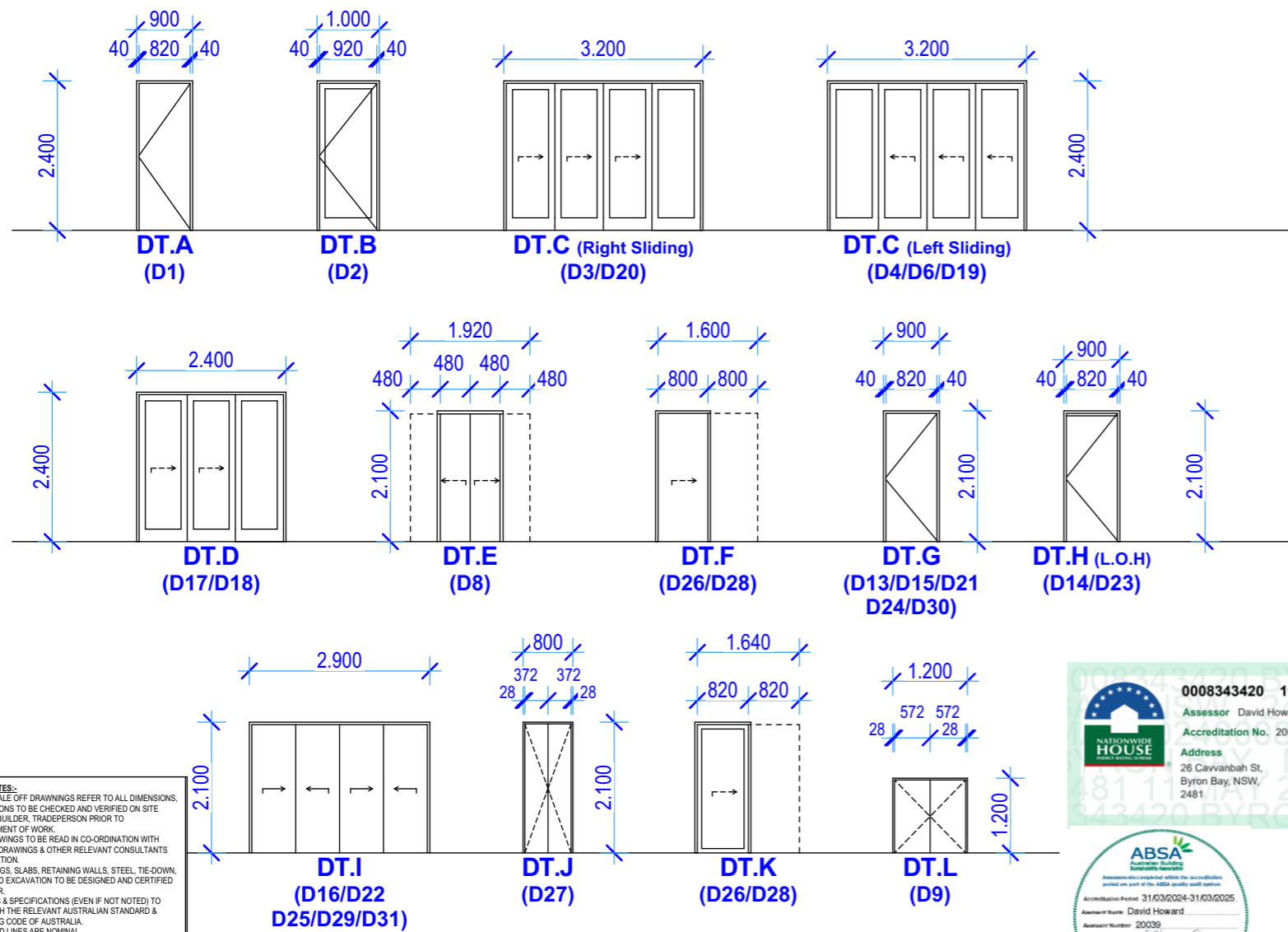
SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

PROJECT INFORMATION CLIENT NAME: Domax Development Australia P/L JOB TYPE: TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE	SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P11

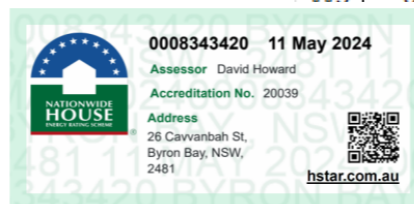
WINDOWS



DOORS



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Window Quantity Schedule - Dwelling 1 (Cavanbah Street)

Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Window No.s
WT.A	2.100	3.000	Louver x 4	6.3	1	6.3	OOOO	W1
WT.B	2.100	1.800	Louver x 3	3.78	3	11.34	OOO	W2/W3/W7
WT.C	0.600	2.400	HZ Sliding (Ext)	1.44	4	5.76	XO	W4/W6/W10/W12
WT.D	0.600	1.800	Louver x 3	1.08	3	3.24	OOO	W5/W9/W11
WT.E	1.250	2.250	Louver x 3	2.8125	1	2.8125	OOO	W13
WT.F	1.200	1.800	Louver x 3	2.16	1	2.16	OOO	W8
WT.G	0.600	0.600	Louver	0.36	1	0.36	O	W14
WT.H	0.450	1.200	Louver x 2	0.54	1	0.54	OO	W15
WT.I	0.600	1.200	Louver x 2	0.72	2	1.44	OO	W16/W17/W18
TOTALS					17	33.9525		

WINDOW NOTES: LOUVERS TO BE OBSCURE

Door Quantity Schedule - Dwelling 1 (Cavanbah Street)

Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Door No.s
DT.A	2.400	0.900	Hinge Door (Ext)	2.16	1	2.16	O	D1
DT.B	2.400	1.000	Hinge Door (Ext)	2.4	1	2.4	O	D2
DT.C [R]	2.400	3.200	HZ Right Sliding (Ext)	7.68	2	15.36	OOOX	D3/D20
DT.C [L]	2.400	3.200	HZ Left Sliding (Ext)	7.68	3	23.04	XOOO	D4/D6/D19
DT.D	2.400	2.400	HZ Sliding (Ext)	5.76	2	11.52	OOX	D17/D18
DT.E	2.100	1.920	Double Pocket Sliding (Int)	0	1	0	OO	D8
DT.F	2.100	1.600	Pocket Sliding (Int)	0	2	0	O	D26/D28
DT.G	2.400	0.820	Hinge Door (Int)	0	5	0	O	D13/D15/D21 D24/D30
DT.H	2.400	0.820	Lift-Off Hinge Door (Int)	0	2	0	O	D14/D23
DT.I	2.100	2.900	Robe Sliding (Int)	0	5	0	OOOO	D16/D22 D25/D29/D31
DT.J	2.100	0.800	Double - Hinge Door (Int)	0	1	0	O	D27
DT.K	2.400	0.820	Glazed Pocket Sliding (Ext)	1.968	1	1.968	O	D7
DT.L	1.200	1.400	Double - Hinge Door (Ext)	0	1	0	OO	D9
DT.M	2.100	1.000	Linen Robe Sliding (Int)	0	1	0	OO	D12
TOTALS					28	56.448		

DOOR NOTES: Removed Doors D5/D10/D11

KEY (O=OPENING) (X=FIXED)

ALL EXTERNAL TIMBER HINGE DOORS TO BE SOLID CORE TO COMPLY BUSH FIRE REQUIREMENTS BAL 12.5 AS 3959

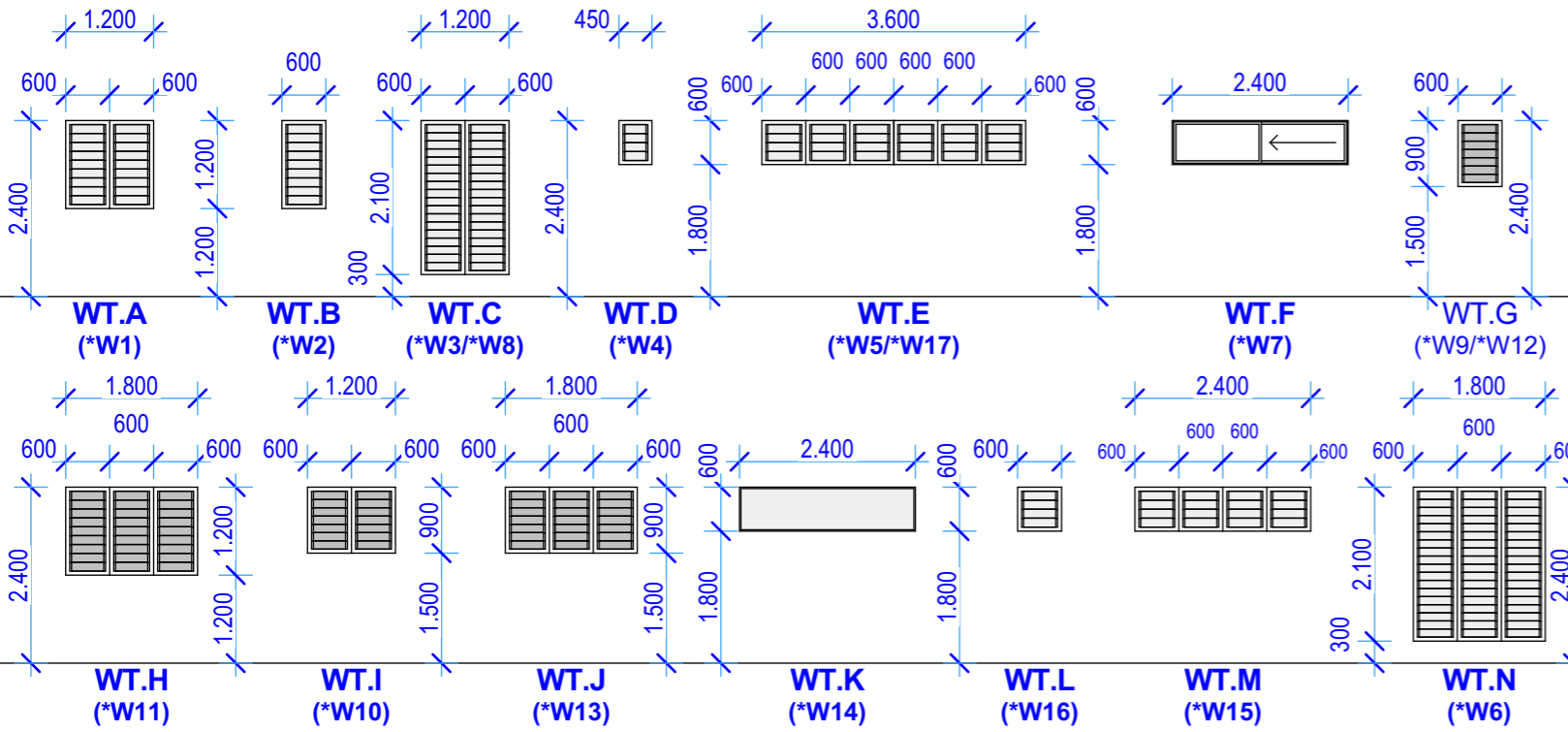
BASIX SCHEDULE DWELLING 1 (CAVVANBAH STREET)

NORTH						SOUTH					
ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE	ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE
D1	2.40	0.82	1.97	O	6.90	W4	0.60	2.40	1.44	OOO	0.75
D2	2.40	1.00	2.40	O	2.40	W5	0.60	1.80	1.08	OOO	0.75
D3	2.40	3.20	7.68	OOOX	1.90	W6	0.60	2.40	1.44	OOO	0.75
W2	2.10	1.80	3.78	OOO	1.50	W10	0.60	2.40	1.44	OOO	0.75
W3	2.10	1.80	3.78	OOO	0.75	W11	0.60	1.80	1.08	OOO	0.75
D17	2.40	2.40	5.76	OOX	1.20	W12	0.60	2.40	1.44	OOO	0.75
W8	1.20	1.80	2.16	OOO	3.75	W14	0.60	0.60	0.36	O	0.75
W15	0.45	1.20	0.54	OO	0.75	W18	0.60	1.20	0.72	OOO	0.75
D1 NORTH						D1 SOUTH					
28.07						9.00					
EAST						WEST					
ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE	ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE
D4	2.40	3.20	7.68	XOOO	0.75	D7	2.40	3.20	7.68	OOOX	4.14
W7	2.10	1.80	3.78	OOO	0.75	W1	2.10	3.00	6.30	OOOO	0.75
D6	2.40	3.20	7.68	XOOO	1.50	D20	2.40	3.20	7.68	OOOX	1.50
D19	2.40	2.40	5.76	XOO	1.89	W13	1.20	2.25	2.70	OOO	0.75
W9	0.60	1.80	1.08	OOO	0.75	D1 WEST					
10						24.36					
EAST											
33.66											

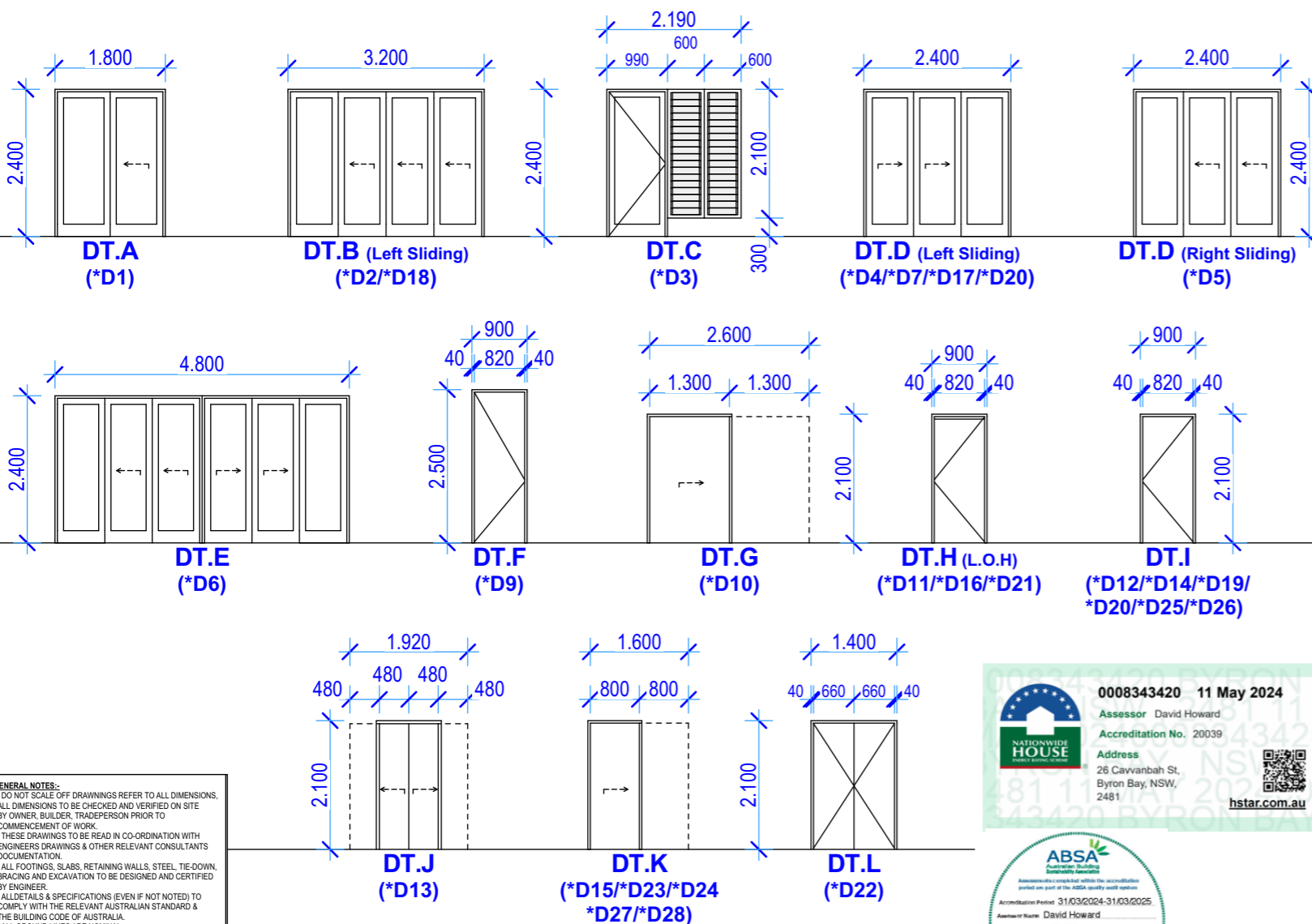
WINDOWS AND DOORS TO BE SCREENED IN ACCORDANCE WITH DEVELOPMENT CONSENT. OPENINGS & SCREENS TO COMPLY WITH AS 5039-2008 & BUSH FIRE REQUIREMENTS BAL 12.5 AS 3959. WINDOW RESTRICTORS OR CRIM SAFE OR SIMILAR SCREENS TO PREVENT FALLS ABOVE 2M OR MORE

PLAN TYPE DWELLING 1 GLAZING SCHEDULE	SCALE 1:100 @ A3	DATE 12/04/2024	PLAN No. Sec4.55 - P12
PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE			
TOWN PLANNING & BUILDING DESIGN P.O. Box 13, Ocean Shores, NSW 2483; ttono@designevolutions.com.au			

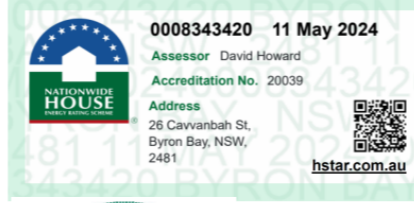
WINDOWS



DOORS



GENERAL NOTES:
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 2. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS & OTHER RELEVANT CONSULTANTS DOCUMENTATION.
 3. ALL FOOTINGS, SLABS, RETAINING WALLS, STEEL, TIE-DOWN, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER.
 4. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED) TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA.
 5. ALL GROUND LINES ARE NOMINAL.
 6. ALL BOUNDARIES & BUILDING SETOUT TO BE APPROVED BY REGISTERED SURVEYOR.
 7. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIX REPORT.
 8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
 9. THESE DRAWINGS ARE THE COPYRIGHT AND THE PROPERTY OF DESIGN EVOLUTIONS.



Window Quantity Schedule - Dwelling 2 (Cavvanbah Lane)								
Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Window No.s
WT.A	1.200	1.200	Louver X 2	1.44	1	1.44	OO	*W1
WT.B	1.200	0.600	Louver	0.72	1	0.72	O	*W2
WT.C	2.100	1.200	Louver X 2	2.52	2	5.04	OO	*W3/*W8
WT.D	0.600	0.450	Louver	0.27	1	0.27	O	*W4
WT.E	0.600	3.600	Louver X 6	2.16	2	4.32	OOOOOO	*W5/*W17
WT.F	0.600	2.400	HZ Sliding (Ext)	1.44	1	1.44	XO	*W7
WT.G	0.900	0.600	Louver	0.54	2	1.08	O	*W9/*W12
WT.H	1.200	1.800	Louver X 3	2.16	1	2.16	OOO	*W11
WT.I	0.900	1.200	Louver X 2	1.08	1	1.08	OO	*W10
WT.J	0.900	1.800	Louver X 3	1.62	1	1.62	OOO	*W13
WT.K	0.600	2.400	Fixed	1.44	1	1.44	X	*W14
WT.L	0.600	0.600	Louver	0.36	1	0.36	O	*W16
WT.M	0.600	2.400	Louver X 4	1.44	1	1.44	OOOO	*W15
WT.N	2.100	1.800	Louver X 3	3.78	1	3.78	OOO	*W6
TOTALS					17	26.19		

WINDOW NOTES: LOUVERS TO BE OBSCURE

Door Quantity Schedule - Dwelling 2 (Cavvanbah Lane)								
Code	Height	Width	Type	Glazing	Quantity	Total Glazing	Style	Door No.s
DT.A	2.400	1.800	HZ Sliding (Ext)	4.32	1	4.32	OX	*D1
DT.B	2.400	3.200	HZ Sliding (Ext)	7.68	2	15.36	XOOO	*D2/*D18
DT.C	2.400	2.190	Hinge Door (Ext) Louver X 2	4.9	1	4.9	OOO	*D3
DT.D [R]	2.400	2.400	HZ Right Sliding (Ext)	5.76	4	23.04	OOX	*D4/*D7/*D17/*D20
DT.D [L]	2.400	2.400	HZ Left Sliding (Ext)	5.76	1	5.76	XOO	*D5
DT.E	2.400	4.800	HZ Sliding (Ext)	11.52	1	11.52	XOOOOX	*D6
DT.F	2.500	0.900	Hinge Door (Ext)	0	1	0	OO	*D9
DT.G	2.100	1.300	Pocket Sliding (Int)	0	1	0	O	*D10
DT.H	2.100	0.820	Lift-Off Hinge Door (Int)	0	3	0	O	*D11/*D16/*D21
DT.I	2.100	0.820	Hinge Door (Int)	0	6	0	O	*D12/*D14/*D19
								*D20/*D25/*D26
DT.J	2.100	1.920	Double Pocket Sliding (Int)	0	1	0	OO	*D13
DT.K	2.100	0.800	Pocket Sliding (Int)	0	5	0	O	*D15/*D23/*D24
								*D27/*D28
DT.L	2.100	0.800	Double - Hinge Door (Int)	0	1	0	O	*D22
TOTALS					28	64.9		

DOOR NOTES: Removed Doors D8/D10
 KEY (O=OPENING) (X=FIXED)
 ALL EXTERNAL TIMBER HINGE DOORS TO BE SOLID CORE TO COMPLY BUSH FIRE REQUIREMENTS BAL 12.5 AS 3959

BASIX SCHEDULE DWELLING 2 (CAVVANBAH LANE)											
NORTH						SOUTH					
ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE	ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE
*W1	1.20	1.20	1.44	OO	0.75	*D3	2.40	2.19	5.26	OOO	1.20
*W3	2.10	1.20	2.52	OO	2.91	*W5	0.60	3.60	2.16	OOOOOO	0.75
*D5	2.40	2.40	5.76	XOO	6.20	*D7	2.40	2.40	5.76	OOX	6.20
*W7	0.60	2.40	1.44	XO	0.75	*D17	2.40	2.40	5.76	OOX	1.50
*W8	2.10	1.20	2.52	OO	0.75	*W14	0.60	2.40	1.44	X	0.75
NOR				13.68		*W15	0.60	2.40	1.44	OOOO	0.75
						*W16	0.60	0.60	0.36	O	0.75
						D2 SOUTH		22.18			
EAST						WEST					
ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE	ID	HEIGHT	WIDTH	AREA (m2)	OPENING	EAVE
*D1	2.40	1.80	4.32	OX	2.31	*D4	2.40	2.40	5.76	OOX	2.10
*W2	1.20	0.60	0.72	O	2.31	*D6	2.40	4.80	11.52	XOOOOX	3.42
*D2	2.40	3.20	7.68	XOOO	0.90	*W6	2.10	1.80	3.78	OOO	1.80
*W9	0.90	0.60	0.54	O	0.75	*W17	0.60	2.40	1.44	OOOOOO	2.78
*W10	0.90	1.20	1.08	OO	0.75	*D21	2.40	3.20	7.68	XOOO	1.50
*W11	1.20	1.80	2.16	OOO	0.75	D2 SOUTH		30.18			
*W12	0.90	0.60	0.54	O	0.75						
*W13	0.90	1.80	1.62	OOO	0.75						
			D2 EAST	18.66							

ALL WINDOWS AND DOORS TO BE SCREENED IN ACCORDANCE WITH DEVELOPMENT CONSENT.
 ALL OPENINGS & SCREENS TO COMPLY WITH AS 5039-2008 & BUSH FIRE REQUIREMENTS BAL 12.5 AS 3959
 WINDOW RESTRICTORS OR CRIM SAFE OR SIMILAR SCREENS TO PREVENT FALLS ABOVE 2M OR MORE

INFORMATION : Domax Development Australia P/L ELLINGS TO CREATE DETACHED DUAL ONE POOL, & LANDSCAPING	PLAN TYPE DWELLING 2 GLAZING SCHEDULE	SCALE 1:100 @ A3	DATE 12/04/2024	PLAN No. Sec4.55 - P13
	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE			

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 TOWN PLANNING & BUILDING DESIGN
 P.O. Box 13, Ocean Shores, NSW 2483;
 ttono@designevolutions.com.au

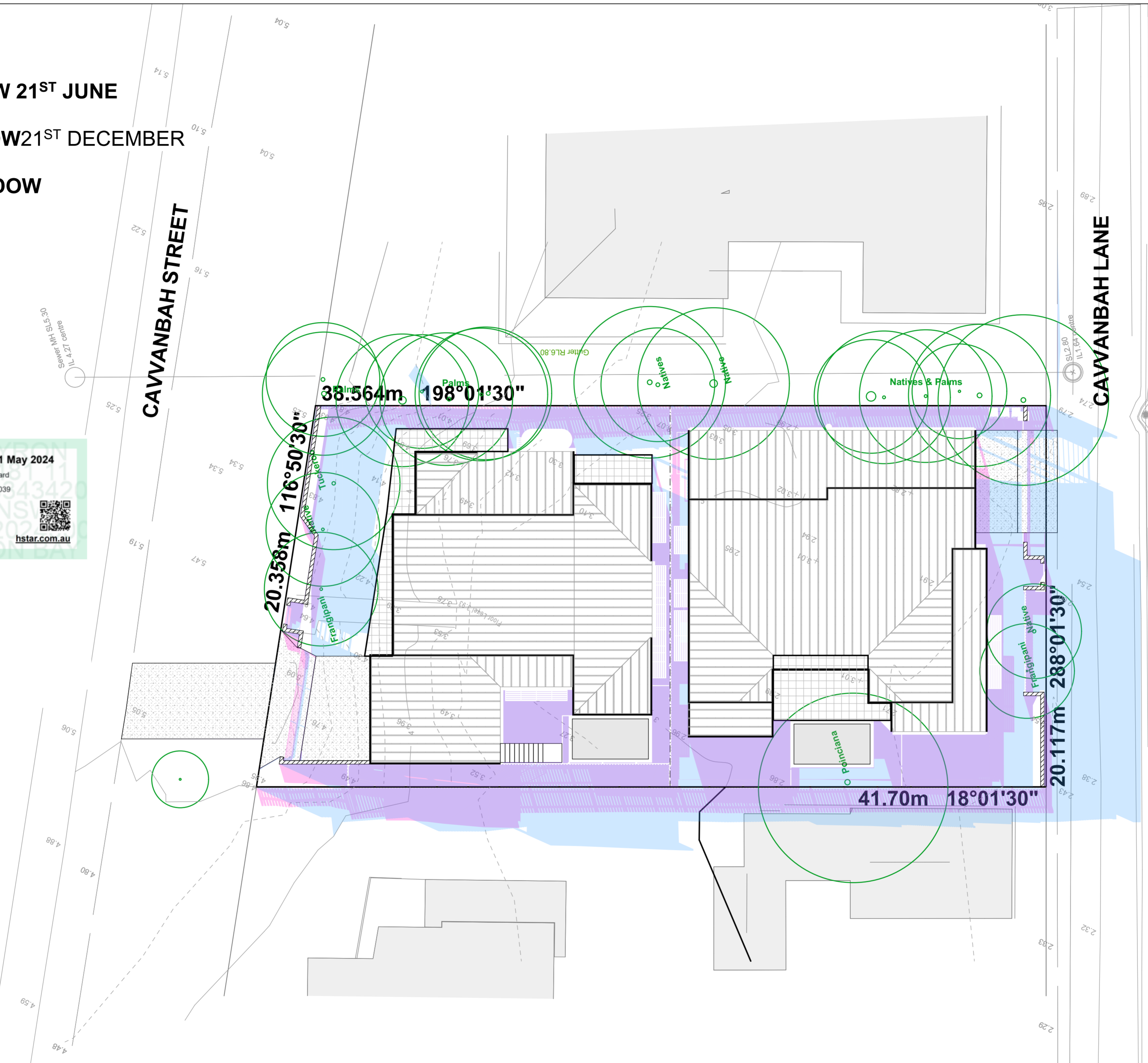
KEY

- WINTER SHADOW 21ST JUNE
- SUMMER SHADOW 21ST DECEMBER
- COMBINED SHADOW

0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au

ABSA
 Accredited Assessor
 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: *[Signature]*

GENERAL NOTES:
 1. DO NOT SCALE OFF DRAWINGS REFER TO ALL DIMENSIONS.
 2. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE BY OWNER, BUILDER, TRADEPERSON PRIOR TO COMMENCEMENT OF WORK.
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PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 9am SHADOW DIAGRAMS

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

PLAN No.
 Sec4.55 - P14

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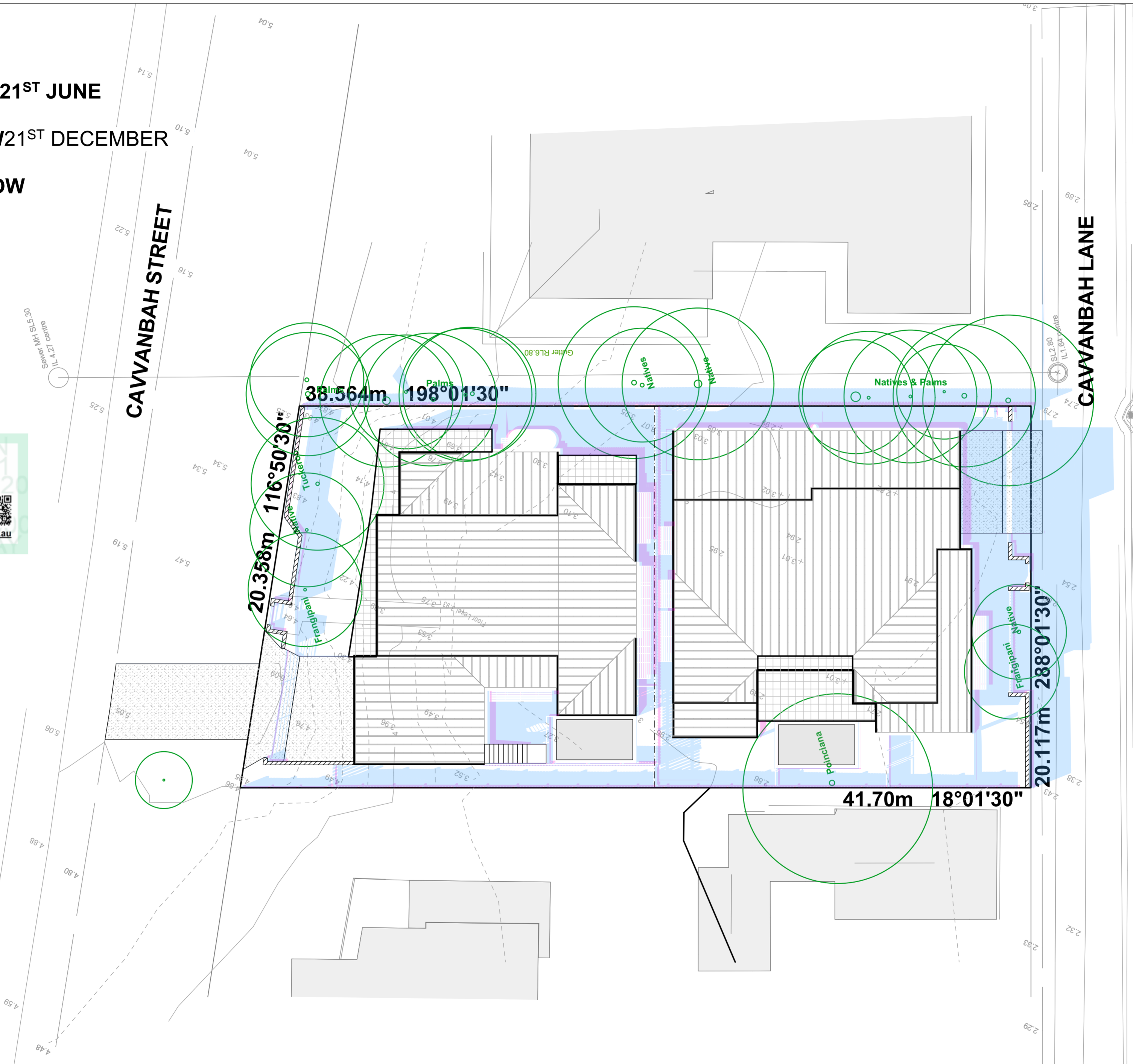
KEY

- WINTER SHADOW 21ST JUNE
- SUMMER SHADOW 21ST DECEMBER
- COMBINED SHADOW

0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au

ABSA
 Australian Building
 Sustainability Assessor
 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: *[Signature]*

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PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 12pm SHADOW DIAGRAMS

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

PLAN No.
 Sec4.55 - P15

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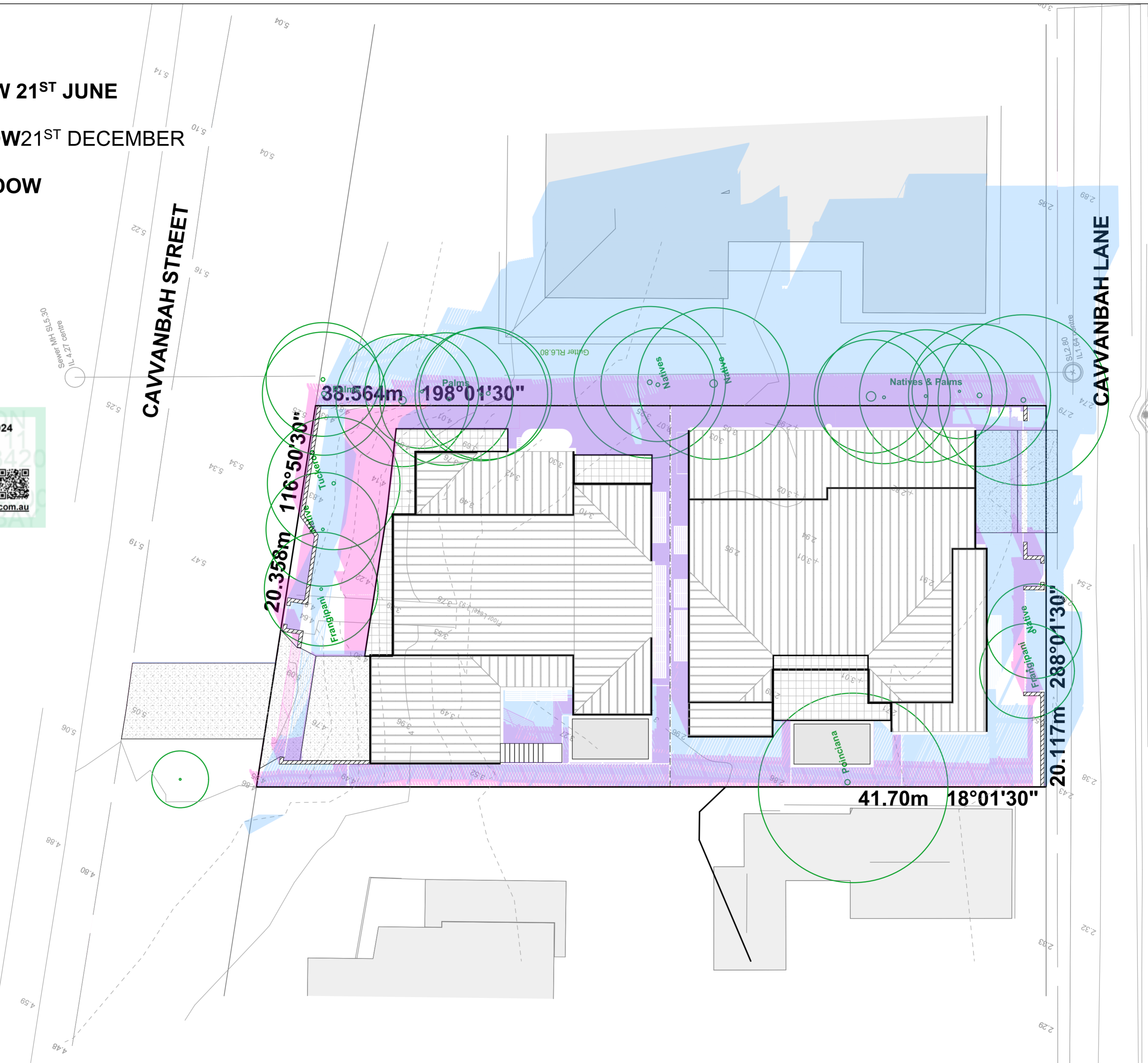
KEY

- WINTER SHADOW 21ST JUNE
- SUMMER SHADOW 21ST DECEMBER
- COMBINED SHADOW

0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
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 Byron Bay, NSW,
 2481
 hstar.com.au



ABSA
 Australian Building
 Sustainability Assessor
 Accreditation Period: 31/03/2024-31/03/2025
 Assessor Name: David Howard
 Assessor Number: 20039
 Assessor Signature: 



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PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 3pm SHADOW DIAGRAMS

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

PLAN No.
 Sec4.55 - P16

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 P.O. Box 13, Ocean Shores, NSW 2483;
 ttono@designevolutions.com.au

CAVVANBAH STREET

CAVVANBAH LANE

0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au

ABSA
 Australian Building Standards Association
 Accreditation Period 31/03/2024-31/03/2025
 Assessor Name David Howard
 Assessor Number 20039
 Assessor Signature

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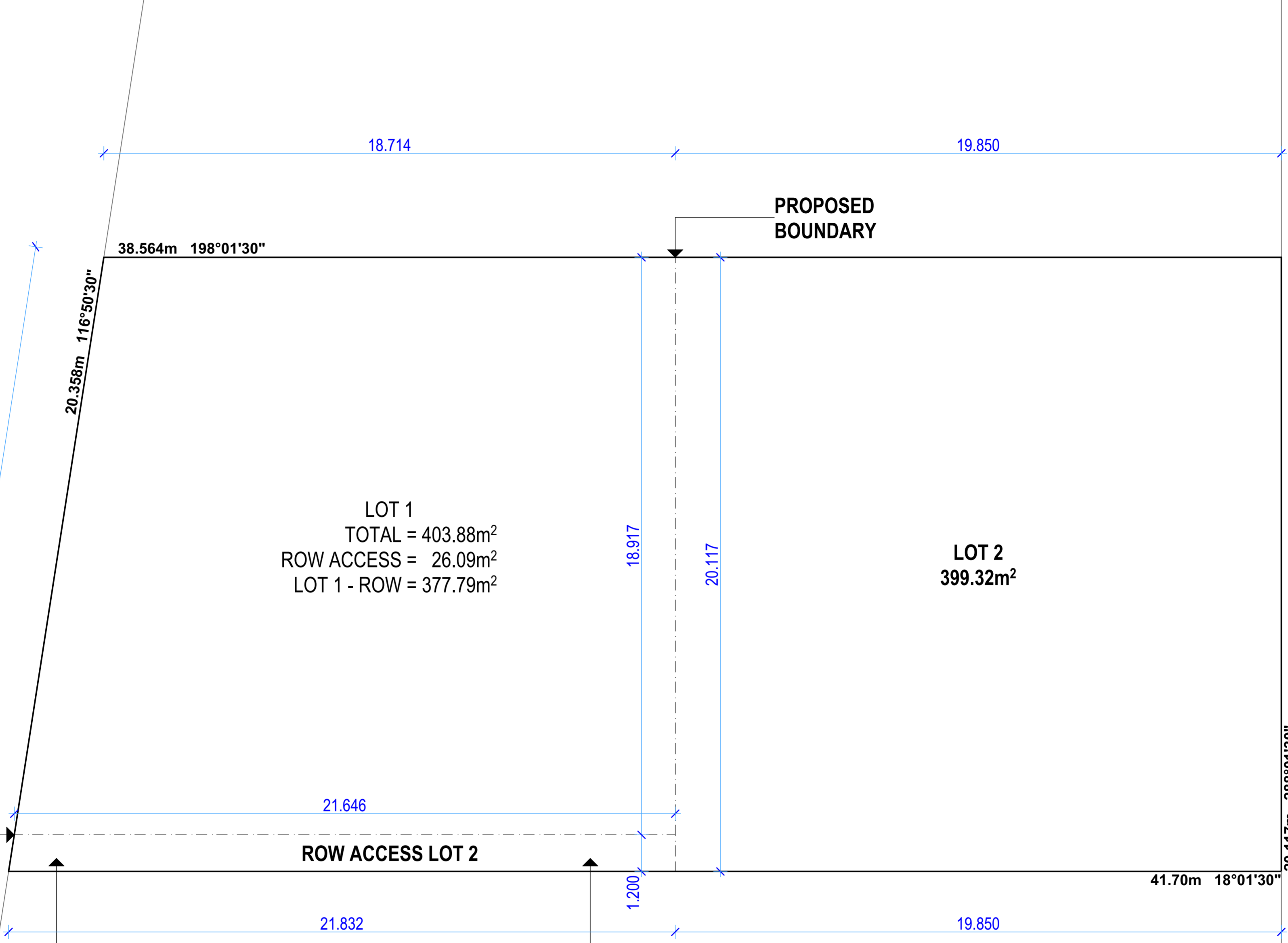
PROPOSED BOUNDARY

PROPOSED BOUNDARY

LOT 1
 TOTAL = 403.88m²
 ROW ACCESS = 26.09m²
 LOT 1 - ROW = 377.79m²

LOT 2
 399.32m²

ALL WEATHER ACCESS
 ROW 1.2m WIDE
 DETAILED LANDSCAPE PLAN



PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 PROPOSED STRATA SUBDIVISION

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

PLAN No.
 Sec4.55 - P17

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 TOWN PLANNING & BUILDING DESIGN
 P.O. Box 13, Ocean Shores, NSW 2483;
 tloano@designevolutions.com.au



BUSH FIRE NOTES BAL 12.5 ALL WORKS TO COMPLY WITH AS 3959

FLOORING

- A concrete slab-on-the-ground.
- OR
- A suspended concrete or framed floor (>600m above finish ground level), supported by complying posts, columns, stumps, piers, poles or walls.
- OR
- A suspended timber floor, framed with timber or metal, fully enclosed or unenclosed with any timber flooring, bearers and joists of fire-retardant-treated timber.

Supporting Posts, Columns, Stumps, Piers and Poles

- Non-combustible.
- OR
- Fire-retardant-treated timber for a minimum 400 mm above the finished ground level.
- OR

- Timber mounted on galvanized metal shoes with a clearance of not less than 75mm above the adjacent finished ground level or paving level.
- (The above do not apply where the sub-floor space is totally enclosed)

External Walls

- External walls shall be one, or a combination of external leaf masonry, concrete, pise, rammed earth or stabilised earth or a complying framed wall. Where the external leaf or cladding is of a combustible sheetmaterial and is less than 400 mm above finished ground level, the cladding shall be protected for not less than 400 mm above the adjacent finished ground with a non-combustible material or fire-retardant-treated timber.

Windows

- All open-able windows shall be screened with corrosionresistant steel, bronze or aluminium mesh with a maximum aperture size of 1.8 mm in such a way that the entire opening remains screened when the window is opened.

External Doors

- Weather strips or draught excluders.
- And
- Tight fitting door screens fitted with corrosion-resistant steel,bronze or aluminium mesh with a maximum aperture size of 1.8 mm.

Vents and Weepholes

- Corrosion-resistant steel, bronze or aluminium spark guards with a maximum aperture size of 1.8 mm.

Roofs

General

- Timber shakes or shingles shall not be used.
- The roof/wall junction shall be sealed with suitable noncombustible materials.
- Sarking shall have a flammability index of not more than five (5).

Sheeted Roofs

- Only metal or fibre-cement sheet shall be used, all gaps must be sealed with complying material.

Roof lights

- Shall be sealed with a non-combustible sleeve or lining.
- Vented roof lights shall be provided with corrosionresistant steel or bronze mesh having a maximum aperture size of 1.8mm.

Eaves

- Enclosed, and the fascia or the gaps between the rafters sealed.

Fascias

- No Requirements.

Gutters and Downpipes

- Any device used to stop leaves collecting in the gutters shall have a flammability index of not greater than 5 when tested in accordance with AS 1530.2.

Verandas and Decks

- A reinforced concrete suspended slab supported by complying posts, or complying slab-on-the-ground.
- OR
- Complying sheeted or tongued and grooved solid flooring.
- OR
- Complying spaced decking.

Service Pipes (Water and Gas)

- All exposed pipes shall be metal.
- Pipes of other material must be buried to a depth of at least 300 mm below the finished ground level.

GENERAL NOTES

ALL WINDOWS SHOWN AS VIEWED FROM OUTSIDE (REFER TO FLOOR PLANS FOR DOOR SWING)
BUILDER SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WINDOW FABRICATION
ALL WINDOWS TO COMPLY WITH AS2047. ALL GLAZING TO COMPLY WITH AS1288

ALL WINDOWS TO COMPLY WITH BASIX/NATHERS REQUIREMENTS
ALL GLAZING TO BE CLEAR UNLESS NOTED OTHERWISE
ALL WINDOW FRAMES SHALL BE SELECTED ALUMINIUM SUITE(S) IN POWDERCOATED FINISH (colour TBC)
ALL OPENABLE GROUND-FLOOR WINDOWS, OTHER THAN HINGED GLAZED DOORS, SHALL BE LOCKABLE IN PARTLY OPEN POSITION (NOM 100MM OPENING) FOR VENTILATION WITH SECURITY
ALL WINDOWS TO COMPLY WITH BCA REQ'S FOR Protection of openable windows
PROVIDE FLYSCREENS TO ALL OPENABLE WINDOWS AND GLAZED DOORS

BY-LAWS AND CODES:

ALL WORKS SHALL COMPLY WITH THE BUILDING CODE OF AUSTRALIA (NATIONAL CONSTRUCTION CODE), CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS.

THE FOLLOWING CODES ARE A RECOMMENDATION ONLY. ADDITIONAL CODES MAY BE REQUIRED:

AS 1289	GLASS IN BUILDINGS
AS 1562	DESIGN & INSTALLATION OF SHEET ROOF & WALL CLADDING
AS 1680	ARTIFICIAL LIGHTING & VENTILATION
AS 1684	TIMBER FRAMING CODE
AS 1926	POOL FENCING
AS 2049	ROOF TILES
AS 2050	INSTALLATION OF ROOF TILES
AS 2870	RESIDENTIAL SLABS & FOOTINGS
AS 2904	DAMP PROOF COURSES & FLASHINGS
AS 3000	ELECTRICAL
AS 3500	PLUMBING & DRAINAGE
AS 3600	CONCRETE STRUCTURES
AS 3660	BARRIERS FOR SUBTERRANEAN TERMITES
AS 3700	MASONRY IN BUILDINGS
AS 3740	WATERPROOFING OF WET AREAS IN RESIDENTIAL BUILDINGS
AS 3786	SMOKE ALARMS
AS 3798	SITE PREPARATION
AS 4055	WIND LOADINGS FOR HOUSING
AS 4100	STEEL STRUCTURES

APPROVALS:

NO BUILDING WORK SHALL BE UNDERTAKEN PRIOR TO BUILDING APPROVAL BEING ISSUED BY A REGISTERED CERTIFIER OR LOCAL AUTHORITY.

BUILDER/CONTRACTORS:

BUILDER/CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCEMENT OF WORK AND REPORT ANY DISCREPANCIES TO THE PROPRIETORS REPRESENTATIVE.

- USE WRITTEN DIMENSIONS ONLY.
- DO NOT SCALE OFF DRAWINGS.
- IF IN DOUBT, ASK.

BUILDER / CONTRACTOR SHALL CHECK AND VERIFY ALL LEVELS ON SITE PRIOR TO CONSTRUCTION. LEVELS SHOWN ON DRAWINGS ARE RECOMMENDED AND APPROXIMATE ONLY. IT SHALL BE THE BUILDERS / CONTRACTORS RESPONSIBILITY TO ENSURE THAT CORRECT GRADES ARE ATTAINED ON SITE.

BUILDER / CONTRACTOR SHALL CHECK & VERIFY THE SITING & ORIENTATION PRIOR TO CONSTRUCTION SETOUT. CONSTRUCTION SETOUT TO BE CARRIED OUT BY A LICENSED SURVEYOR.

BUILDER / CONTRACTOR SHALL CHECK & VERIFY ALL SET-BACKS & HEIGHTS PRIOR TO CONSTRUCTION. NO FOOTINGS, WALLS OR OTHER PHYSICAL ELEMENTS ARE TO ENCR OACH THE TITLE BOUNDARY.

BUILDER / CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE THE STABILITY OF EXISTING AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.

BUILDER / CONTRACTOR TO LOCATE ALL EXISTING SERVICES PRIOR TO COMMENCEMENT OF ANY EXCAVATION WORKS. IF AN EXISTING PLUMBING SERVICE IS TO BE ABANDONED THE CONTRACTOR MUST CUT AND SEAL / DISCONNECT AND MAKE SAFE.

THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANTS DRAWINGS. ALL DRAWINGS TO BE CO-ORDINATED WITH CONSULTANTS DOCUMENTATION PRIOR TO COMMENCEMENT OF WORKS.

LICENSED TRADESPERSONS:

ALL SERVICES TO BE INSTALLED BY LICENSED TRADESPERSONS IN ACCORDANCE WITH THE LOCAL AUTHORITY AND WITH CURRENT MANUFACTURERS SPECIFICATIONS.

SERVICES:

ALL SERVICES SHALL BE CONCEALED. WHERE SERVICES ARE EXPOSED THEY MUST BE CONFIRMED BY THE DESIGNER ON SITE PRIOR TO INSTALLATION UNLESS NOTED OTHERWISE.

EROSION CONTROL:

ALL BUILDING WORKS TO COMPLY WITH LOCAL AUTHORITIES EROSION AND SEDIMENT CONTROL STANDARDS.

SITE SURFACE:

EXCAVATE OVER THE SITE TO GIVE CORRECT LEVELS AND PROFILES AS THE BASIS FOR CONSTRUCTION, PAVING, FILLING, LANDSCAPING AND THE LIKE. MAKE ALLOWANCES FOR COMPACTION AND SETTLEMENT. EXTERNAL GROUND LEVELS ADJACENT TO BUILDINGS SHALL BE IN ACCORDANCE WITH BCA 3.3.2. GRADE SITE AWAY FROM BUILDING A MINIMUM SLOPE OF 1:20 FOR A MINIMUM DISTANCE OF 1000mm TO THE PERIMETER SO THAT THE WATER DRAINS TO THE ROAD OR UNDERGROUND DRAINAGE, NOT ONTO NEIGHBOURING PROPERTIES. BANKS TO BE BATTERED IN ACCORDANCE WITH BCA 3.1.1

TERMITE PROTECTION:

ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660. DURABILITY NOTICE TO BE PLACED IN METERBOX INDICATING TYPE OF BARRIER AND REQUIRED PERIODICAL INSPECTIONS AND MAINTENANCE.

MATERIALS:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

MATERIALS RELATING TO CONSTRUCTION IN CLOSE PROXIMITY OF COASTAL & INDUSTRIAL ENVIRONMENTS TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS.

STRUCTURAL STEEL:

ALL STEEL TO STRUCTURAL ENGINEERS DESIGN. UNLESS NOTED OTHERWISE. ALL EXPOSED STRUCTURAL STEEL SHALL BE HOT DIP GALVANISED. A COLD GAL PAINTED FINISH SHALL BE APPLIED TO ANY FIELD WELDING BE IT EXISTING OR NEW STEELWORK. ALL STEELWORK CAST IN CONCRETE FOOTINGS OR SLABS SHALL HAVE A BITUMEN FINISH APPLIED TO FULL EXTENT OF CAST IN CONCRETE STEEL. CHECK ALL DIMENSIONS ON SITE PRIOR TO FABRICATION OF ANY STEELWORK.

SLABS & FOOTINGS:

ALL SLABS & FOOTINGS TO STRUCTURAL ENGINEERS DETAILS. MINIMUM 200mm POLYETHYLENE UNDERLAY ON COMPACTED SAND BED. LAP AND TAPE ALL JOINTS AND PENETRATIONS.

RETAINING WALLS:

ALL RETAINING WALLS TO STRUCTURAL ENGINEERS DETAILS. PROVIDE RUBBLE BACKFILL AND AGG DRAINAGE TO ALL RETAINING WALLS. BUILDER TO PROVIDE TANKING WHERE REQUIRED. RETAINING WALLS THAT EXCEED 1m IN HEIGHT WILL REQUIRE ADDITIONAL APPROVAL PRIOR TO THE RELEASE OF A FINAL CERTIFICATION FORM 21.

BRICKWORK:

BRICK VENEER WALLS SHALL BE CONSTRUCTED WITH LIGHT DUTY WALL TIES. W33 AT 450mm CENTRES HORIZONTALLY AND 514mm CENTRES VERTICALLY. W41 AT 450mm CENTRES HORIZONTALLY AND 429mm CENTRES VERTICALLY. PROVIDE ARTICULATION JOINTS TO COMPLY WITH CEMENT AND CONCRETE ASSOCIATION CONSTRUCTION.

WALL FRAMING

GROUND FLOOR	EXTERNAL AND LOAD BEARING	INTERNAL
BOTTOM PLATES:-	90 X 35 MGP 12	70 X 35 MGP 10
TOP PLATES	90 X 70 MGP 12 OR 2/ 90 X 35 MGP 12	70 X 35 MGP 10
STUDS	90 X 35 MGP 12 AT 450 C/C	70 X 35 MGP 10 AT 450 C/C

FOR ROOF SPAN UP TO 5100mm

FIRST FLOOR	EXTERNAL AND LOAD BEARING	INTERNAL
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BOTTOM PLATE	90 X 35 MGP 12	70 X 35 MGP 10
TOP PLATE	90 X 70 MGP 12 OR 2/ 90 X 35 MGP 12	70 X 35 MGP 10
STUDS	90 X 35 MGP 12 AT 450 C/C	70 X 35 MGP 10 AT 450 C/C

FOR ROOF SPAN UP TO 5100mm

NOGGINGS AT 1350mm C/C MAXIMUM. NOGGINGS IN WET AREAS ARE TO LINE UP HORIZONTALLY THROUGHOUT. FOR CAVITY SLIDING DOORS PROVIDE 90mm STUD WALL FRAMES.

LINTEL SIZES TO STRUCTURAL ENGINEERS DETAILS.

ROOF FRAMING:

ROOF PITCH AS INDICATED ON PLANS. ROOF TRUSSES TO BE 'GANGNAL' TYPE TRUSSES SUPPLIED AND FIXED TO ENGINEERS DETAILS AT 600mm C/C UNLESS NOTED OTHERWISE. CEILING BINDERS TO BE EVENLY SPACED THROUGHOUT THE CEILING SPACE. ROOF BATTENS TO BE TO MANUFACTURERS SPECIFICATIONS FOR CLADDING TYPE.

FLOOR FRAMING:

FLOOR FRAMING TO STRUCTURAL ENGINEERS DETAILS.

WALL LININGS:

EXTERIOR WALL LININGS AS INDICATED ON PLANS. INTERIOR WALL LININGS TO BE FLUSH PLASTERBOARD LINING UNLESS NOTED OTHERWISE. 6mm VILLABOARD TO WET AREAS FIXED OFF IN ACCORDANCE WITH THE BCA AND MANUFACTURERS SPECIFICATIONS. FEATURE WALLS AS INDICATED ON PLANS.

CEILING LININGS:

CEILING LINING TO BE FLUSH PLASTERBOARD FIXED TO MANUFACTURERS SPECIFICATIONS UNLES NOTED OTHERWISE.

FLOOR LININGS:

FLOOR LININGS AS INDICATED ON PLANS. BUILDER/CONTRACTOR TO CONFIRM ALL REBATES IN TOP OF SLAB TO ENSURE TOP OF FLOOR FINISHES ARE FLUSH UNLES NOTED OTHERWISE. EXPOSED TIMBER FLOORS TO HAVE VAPOUR PERMEABLE FOIL TO UNDERSIDE.

BRACING & TIE-DOWN:

BRACING & TIE-DOWN TO STRUCTURAL ENGINEERS DETAILS.

ROOF DRAINAGE:

DRAINPIPES TO BE LOCATED AS PER THE PLANS. ALLOW TO CONNECT TO IN-GROUND STORMWATER DRAINS WITH 90mm UPVC AT 1:100 MINIMUM GRADE. ALLOW FOR 10.°S AT EACH CHANGE IN DIRECTION AND AT 600mm CENTRES.

WATERPROOFING:

WATERPROOFING IS TO BE CARRIED OUT BY A SUITABLY QUALIFIED PERSON. ALL WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH BCA 3.9 & AS 3740. BUILDER TO PROVIDE CERTIFICATE OF INSTALLATION AND COMPLIANCE. (BCA 2022, Clause 10.2.7 to 10.2.32 of the Housing Provisions OR AS3740 - 2022)

APPLIANCES & EQUIPMENT:

BUILDER TO CO-ORDINATE ALL APPLIANCE AND EQUIPMENT LOCATIONS ON SITE WITH JOINER. INSTALLATION AND FINAL CONNECTION BY CONTRACTOR.

SANITARY COMPARTMENTS:

SANITARY COMPARTMENT DOORS TO COMPLY WITH BCA 3.8.3. DOORS TO SWING OUT FROM PAN. DISTANCE FROM PAN TO DOOR EDGE TO BE 1200mm OR LIFT OFF HINGES TO BE INSTALLED ENSURING DOOR IS READILY REMOVABLE FROM OUTSIDE.

FIRE SAFETY:

CONSTRUCTION WITHIN 900 OF A BOUNDARY (NO CLOSER THAN 450 OF A BOUNDARY OR 900 OF ASSOCIATED ENCROACHMENTS OF ANOTHER BUILDING) TO BE OF NON-COMBUSTIBLE MATERIALS & WALLS WITHIN 900 OF A BOUNDARY TO HAVE A MINIMUM FIRE RESISTANCE LEVEL OF 60/60/60 IN ACCORDANCE WITH BCA 3.7.1.

POOL FENCING:

POOL FENCING TO BE IN ACCORDANCE WITH AS 1926 AND LOCAL AUTHORITIES REQUIREMENTS.

STAIRS & BALUSTRADES:

STAIRS & BALUSTRADES TO COMPLY WITH BCA 3.9. STEPS TO BE PROVIDED WHERE FALL FROM DWELLING EXCEEDS 190mm.

SITE DISCHARGE:

STORMWATER AND SANITARY PLUMBING TO BE CONNECTED TO EXISTING COUNCIL SYSTEM IN ACCORDANCE WITH LOCAL AUTHORITIES REQUIREMENTS.

WATER LINES:

ALL HOT WATER LINES SHALL BE FULLY INSULATED. ALL DOMESTIC HOT WATER TO BASINS, SHOWERS AND BATHS TO HAVE A MAXIMUM TEMPERATURE OF 50°C. ALLOW TO SUPPLY AND INSTALL TEMPERING VALVES WHERE REQUIRED, AS NOMINATED IN THE BCA AND RELEVANT CODES AND STANDARDS.

DISTRIBUTION BOARD:

PROVIDE NEW DISTRIBUTION BOARD AS REQUIRED. ALL ELECTRICAL OUTLETS SHALL BE PROTECTED BY OVER-CURRENT / EARTH LEAKAGE CIRCUIT BREAKERS IN ACCORDANCE WITH AUSTRALIAN STANDARDS.

ELECTRICAL ACCESSORIES:

LIGHT SWITCHES TO BE LOCATED 1200mm ABOVE THE FINISHED FLOOR LEVEL UNLES NOTED OTHERWISE.

ANTENNA:

SUPPLY AND INSTALL A ROOF MOUNTED ANTENNA - COMBINED VHF/UHF. ANTENNA TO BE HIDDEN FROM VIEW TO STREET AND WATERFRONT. LOCATION TO BE CONFIRMED BY DESIGNER.

LIGHT & VENTILATION:

PROVIDE A MINIMUM OF 10% NATURAL LIGHT AND 5% NATURAL VENTILATION TO HABITABLE ROOMS IN ACCORDANCE WITH BCA 3.8.4 AND 3.8.5 AND RELEVANT AUSTRALIAN STANDARDS.

ARTIFICIAL LIGHT:

PROVIDE LIGHTING IN ACCORDANCE WITH AS 1680 TO ALL ROOMS WITHOUT NATURAL LIGHTING.

SOUND:

TO BE IN ACCORDANCE WITH BCA 3.8.6.

SUB-FLOOR:

SUB-FLOOR ACCESS AND VENTILATION TO BE IN ACCORDANCE WITH BCA 3.4.1.

ENERGY EFFICIENCY:

ALL WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BCA ENVIRONMENTAL GUIDELINES. APPROVED ENERGY EFFICIENCY REPORT AND ESD CONSULTANT CERTIFICATES.

INSULATION:

INSULATION TO BE IN ACCORDANCE WITH ENERGY EFFICIENCY & ACOUSTIC REPORTS. INSULATION REQUIREMENTS INDICATED IN REPORTS MUST BE MET AS A MINIMUM. ALL EXTERNAL WALLS & ROOF TO HAVE VAPOUR PERMEABLE SARKING.

HYDRAULICS:

- HYDRAULIC WORKS TO BE CARRIED OUT IN ACCORDANCE WITH:-
- THE PLUMBING AND DRAINAGE ACT 2002
- AS 3500
- LOCAL AUTHORITY
- ANY OTHER RELEVANT JURISDICTION

SANITARY PLUMBING:

SANITARY PLUMBING SHALL BE UPVC CLASS HD WITH SOLVENT WELD JOINTS AND SHALL BE LAID AT A MINIMUM GRADE OF 1:60 UNLESS NOTED OTHERWISE. CONNECT SANITARY PLUMBING TO COUNCIL SEWER IN ACCORDANCE WITH AUTHORITY REQUIREMENTS. WHERE NO LOCAL AUTHORITY SEWER CONNECTION IS AVAILABLE ALL WASTE WATER TO BE CONNECTED TO AN ON SITE TREATMENT PLANT IN ACCORDANCE WITH ENGINEERS DETAILS.

FIRE PROOF PENETRATIONS:

PENETRATIONS MADE THROUGH FIRE RELATED ELEMENTS SHALL BE MADE USING FIRE STOP COLLARS TO MAINTAIN THE INTEGRITY OF THE ELEMENT BEING PENETRATED.

ENCASING UNDERGROUND SERVICES:

UNDERGROUND WATER & FIRE SERVICES TO BE ENCASED IN 100mm OF SAND.

WEATHERSTRIPS:

EXTERNAL DOORS TO CONTAIN WEATHER STRIPS (TYPE TO BE CONFIRMED BY DESIGNER PRIOR TO MANUFACTURE).

WINDOWS AND DOORS:

WINDOW & DOOR DIMENSIONS TO BE CONFIRMED ON SITE. DIMENSIONS ARE TO OUTSIDE OF FRAMES UNLESS SHOWN OTHERWISE. WINDOW SUPPLIER TO ADJUST DIMENSIONS TO SUIT STANDARD FRAME SIZES WITH THE DESIGNERS APPROVAL. WINDOW & DOOR JOINER TO CONFIRM FRAME SIZES TO SUIT AS-BUILT WALL DEPTHS ON SITE.

MAKE ALLOWANCES FOR DOOR AND SCREEN TRACKS TO BE RECESSED INTO FLOOR FINISH / SLAB. DEPTH OF RECESS / REBATE TO BE CONFIRMED BY BUILDER / CONTRACTOR.

BUILDER / CONTRACTOR TO INSTALL NECESSARY FLASHINGS TO ALL WINDOWS, DOORS & OPENINGS.

BUILDER / CONTRACTOR TO CONFIRM ALL STRUCTURAL OPENINGS WITH MANUFACTURER PRIOR TO CONSTRUCTION.

INSTALL DOOR BOTTOM AND FRAME SEALS ON AND AROUND ALL EXTERNAL OPENINGS TO PREVENT HEAT LOSS.

MECHANICAL VENTILATION IN ALL WET AREAS,

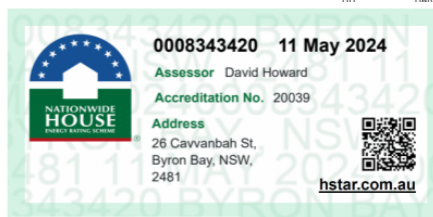
KITCHEN DUCTS AND THE DISCHARGE LOCATION (I.E EXTERNAL WALL/EAVE, VENTILATED ROOF SPACE ETC) AS PER BCA HOUSING PROVISIONS PART 10.8 (CONDENSATION MANAGEMENT). PROVIDE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS CALCULATIONS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S)

SHOWER WATER STOPS,

ALL SHOWER WATER STOPS TO ALIGN WITH SHOWER AS SHOWN ON PLANS.

VAPOUR BARRIER,

ALL SLABS AND RETAINING WALLS TO HAVE VAPOUR BARRIER INSTALLED TO COMPLY WITH AS 4200.1



PLAN TYPE
GENERAL NO

PROPERTY DESCRIPTION
Lot & DP: Lot 5 (SECTION 54) DP 758207
STREET ID: No.26 CAVVANBAH STREET
SUBURB: BYRON BAY
LGA: BYRON SHIRE

PROJECT INFORMATION
CLIENT NAME: Domax Development Australia P/L
JOB TYPE:
TWO NEW DWELLINGS TO CREATE DETACHED DUAL
OCCUPANCY, ONE POOL, & LANDSCAPING

SUMMARY (23250- Cavanbah st)

THERMAL PERFORMANCE SPECIFICATIONS:

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building.

This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing

- Building Services

- Condensation provisions

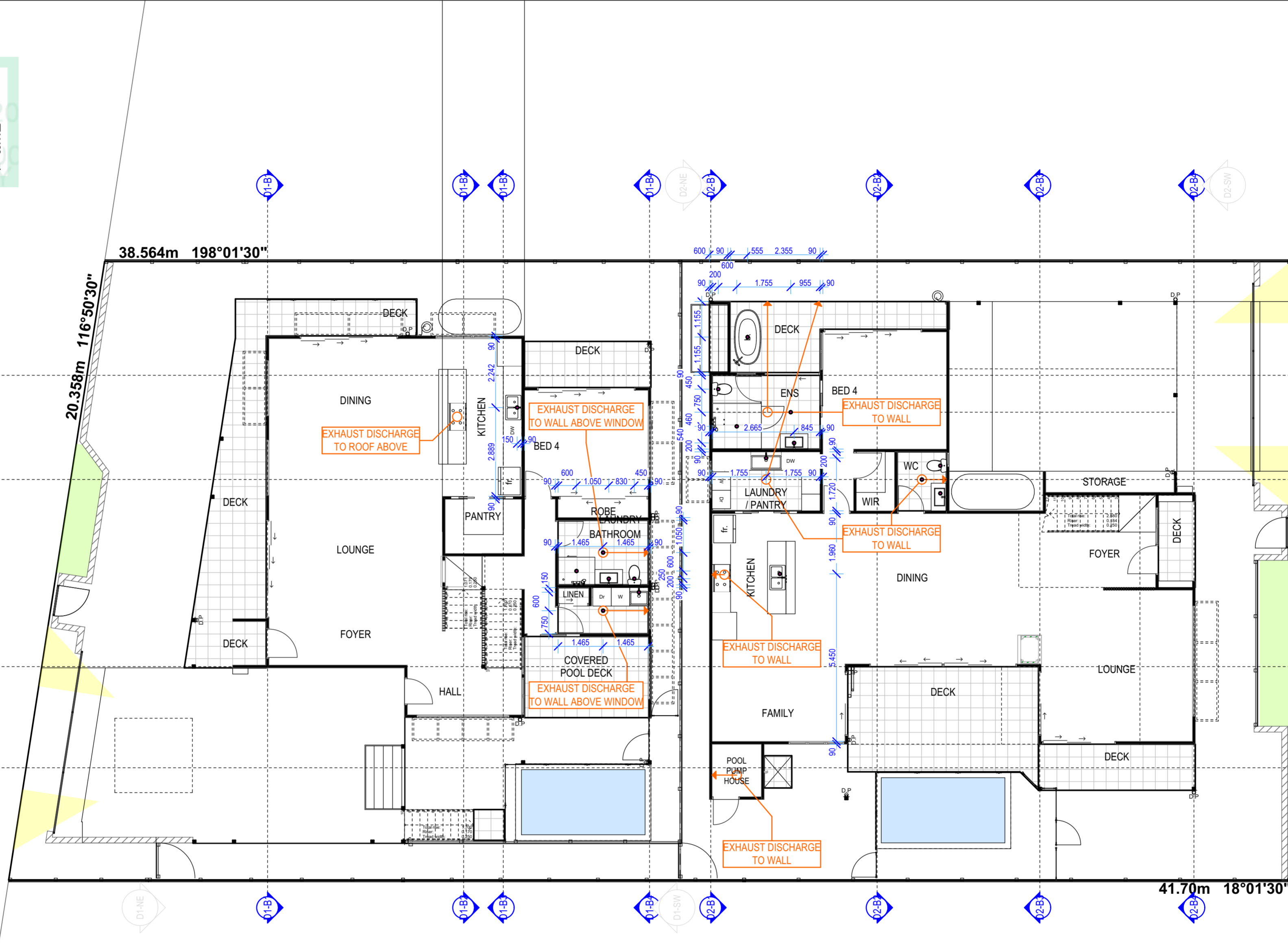
(NOTE: Ventilation requirements of Section 3.8.7.3 b must also be complied with and this means bathrooms should not be exhausted into roofspaces unless they are ventilated.)

WINDOWS (total product specification – glass + frame)

Default: Plain Clear glass in AL. frame (House 1)

Default: High Solar Gain glass in AL. frame (House 2)(generally)

Default: High Solar Gain Double Glazing in AL. frame (House 2)(doors)



● DENOTES SEWER PENETRATION

■ DENOTES TILED AREAS TO BE WATERPROOFED

MECHANICAL VENTILATION IN ALL WET AREAS, KITCHEN DUCTS AND THE DISCHARGE LOCATION (I.E EXTERNAL WALL/EAVE, VENTILATED ROOF SPACE ETC) AS PER BCA HOUSING PROVISIONS PART 10.8 (CONDENSATION MANAGEMENT). PROVIDE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS CALCULATIONS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S)

- THE SWIMMING POOL BARRIER IS TO BE DESIGNED IN ACCORDANCE WITH AS 1926.1-2012 (I.E 1800MM BOUNDARY FENCE, 1200MM INTERNAL BARRIER AND OUTWARD OPENING SELF-CLOSING/ SELF-LATCHING GATES).

- THE SWIMMING POOL FILTRATION/ RECIRCULATION SYSTEM IS TO COMPLY WITH AS 1926.3-2010.

ALL FLOOR AND SHOWER WASTE TO HAVE COMPLIANT FALLS (I.E 1:80 TO 1:50) IN ACCORDANCE WITH AS 3740 - 2022 AND BCA H4D3 /H4D2

ALL DECK FALLS AND DRAINAGE ARE TO BE IN ACCORDANCE WITH NB ENGINEERS DRAWINGS D01- D05

ALL PENETRATION LOCATIONS TO BE CONFIRMED BY PLUMBER IN COORDINATION WITH STRUCTURAL ENGINEERING ALL DIMENSIONS SHOWN TO CENTRE OF PENETRATION

- SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2

- COMPRESSED FIBRE CEMENT SHEETING ATOP BEARERS & JOISTS TO BE WATERPROOFED IN ACCORDANCE WITH BCA H4D3

PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE
 LEVEL 0 PENETRATIONS PLAN

PROPERTY DESCRIPTION
 Lot & DP: Lot 5 (SECTION 54) DP 758207
 STREET ID: No.26 CAVVANBAH STREET
 SUBURB: BYRON BAY
 LGA: BYRON SHIRE

SCALE
 1:100 @ A2

DATE
 12/04/2024

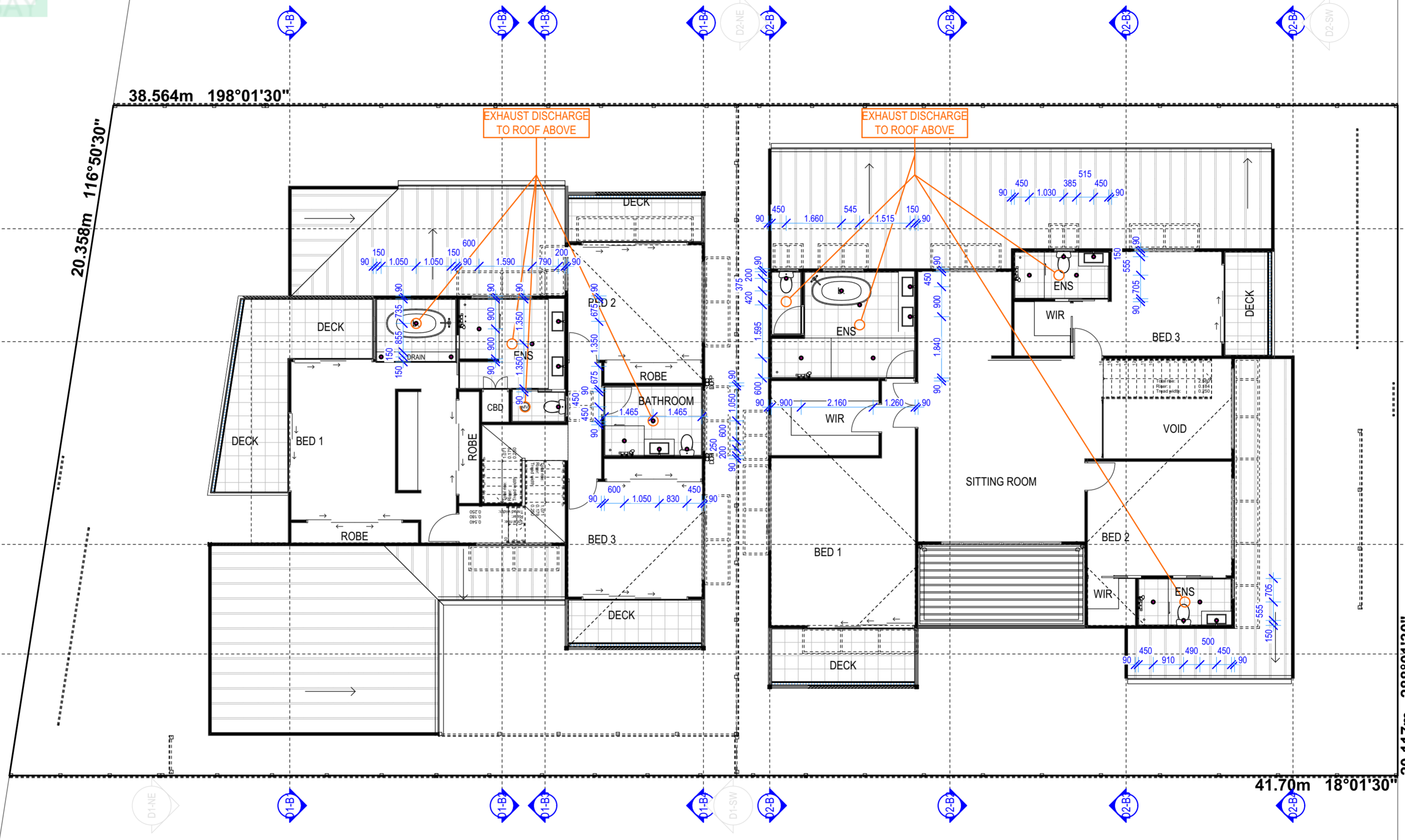
PLAN No.
 Sec4.55 - P19

designevolutions
 TOWN PLANNING & BUILDING DESIGN
 P.O. Box 13, Ocean Shores, NSW 2483;
 tloano@designevolutions.com.au

GENERAL NOTES:
 1. DO NOT SCALE OFF DRAWINGS REFER TO ALL DIMENSIONS.
 2. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE BY OWNER, BUILDER, TRADEPERSON PRIOR TO COMMENCEMENT OF WORK.
 3. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS & OTHER RELEVANT CONSULTANTS DOCUMENTATION.
 4. ALL FOOTING SLABS, RETAINING WALLS, STEEL, TIE BARS, BRACING AND EXCAVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER.
 5. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA).
 6. ALL GROUND LINES ARE NOMINAL.
 7. ALL BOUNDARIES & BUILDING FOOTPRINT TO BE APPROVED BY REGISTERED SURVEYOR.
 8. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BAA'S REPORT.
 9. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
 10. THESE DRAWINGS ARE THE COPYRIGHT AND THE PROPERTY OF DESIGNEVOLUTIONS.



0008343420 11 May 2024
 Assessor David Howard
 Accreditation No. 20039
 Address
 26 Cavvanbah St,
 Byron Bay, NSW,
 2481
 hstar.com.au



GENERAL NOTES:
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 2. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE.
 3. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS & OTHER RELEVANT CONSULTANTS DOCUMENTATION.
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 5. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS & THE BUILDING CODE OF AUSTRALIA).
 6. ALL GROUND LINES ARE TO BE APPROVED BY REGISTERED SURVEYOR.
 7. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BAAI REPORT.
 8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.
 9. THESE DRAWINGS ARE THE COPYRIGHT AND THE PROPERTY OF DESIGN EVOLUTIONS.

MECHANICAL VENTILATION IN ALL WET AREAS, KITCHEN DUCTS AND THE DISCHARGE LOCATION (I.E EXTERNAL WALL/EAVE, VENTILATED ROOF SPACE ETC) AS PER BCA HOUSING PROVISIONS PART 10.8 (CONDENSATION MANAGEMENT). PROVIDE FLOW RATE AND DISCHARGE OF EXHAUST SYSTEMS CALCULATIONS IN ACCORDANCE WITH BCA HOUSING PROVISIONS PART 10.8 - CONDENSATION MANAGEMENT (BATHROOM/SANITARY WC 25L/S KITCHEN OF LAUNDRY 40L/S)

- THE SWIMMING POOL BARRIER IS TO BE DESIGNED IN ACCORDANCE WITH AS 1926.1-2012 (I.E 1800MM BOUNDARY FENCE, 1200MM INTERNAL BARRIER AND OUTWARD OPENING SELF-CLOSING/ SELF-LATCHING GATES).
 - THE SWIMMING POOL FILTRATION/ RECIRCULATION SYSTEM IS TO COMPLY WITH AS 1926.3-2010.

ALL FLOOR AND SHOWER WASTE TO HAVE COMPLIANT FALLS (I.E 1:80 TO 1:50) IN ACCORDANCE WITH AS 3740 - 2022 AND BCA H4D3 /H4D2

ALL DECK FALLS AND DRAINAGE ARE TO BE IN ACCORDANCE WITH NB ENGINEERS DRAWINGS D01- D05



ALL PENETRATION LOCATIONS TO BE CONFIRMED BY PLUMBER IN COORDINATION WITH STRUCTURAL ENGINEERING ALL DIMENSIONS SHOWN TO CENTRE OF PENETRATION

PROJECT INFORMATION
 CLIENT NAME: Domax Development Australia P/L
 JOB TYPE:
 TWO NEW DWELLINGS TO CREATE DETACHED DUAL OCCUPANCY, ONE POOL, & LANDSCAPING

PLAN TYPE LEVEL 1 PENETRATIONS PLAN	PROPERTY DESCRIPTION Lot & DP: Lot 5 (SECTION 54) DP 758207 STREET ID: No.26 CAVVANBAH STREET SUBURB: BYRON BAY LGA: BYRON SHIRE
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- SUB-FLOOR MECHANICAL VENTILATION TO BE IN ACCORDANCE WITH THE BCA HOUSING PROVISIONS PART 6.2
 - COMPRESSED FIBRE CEMENT SHEETING ATOP BEARERS & JOISTS TO BE WATERPROOFED IN ACCORDANCE WITH BCA H4D3

SCALE 1:100 @ A2	DATE 12/04/2024	PLAN No. Sec4.55 - P20
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- DENOTES SEWER PENETRATION
- DENOTES TILED AREAS TO BE WATERPROOFED