

LEGEND

SITE BOUNDARY	---	SUPPORTING STRUCTURE	---
SET BACK	---		
POWERLINE	---		

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

I	REV DA ISSUE	RN	07.07.23
H	REV DA ISSUE	RN	14.06.23
G	RFI RESPONSE	RN	16.05.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

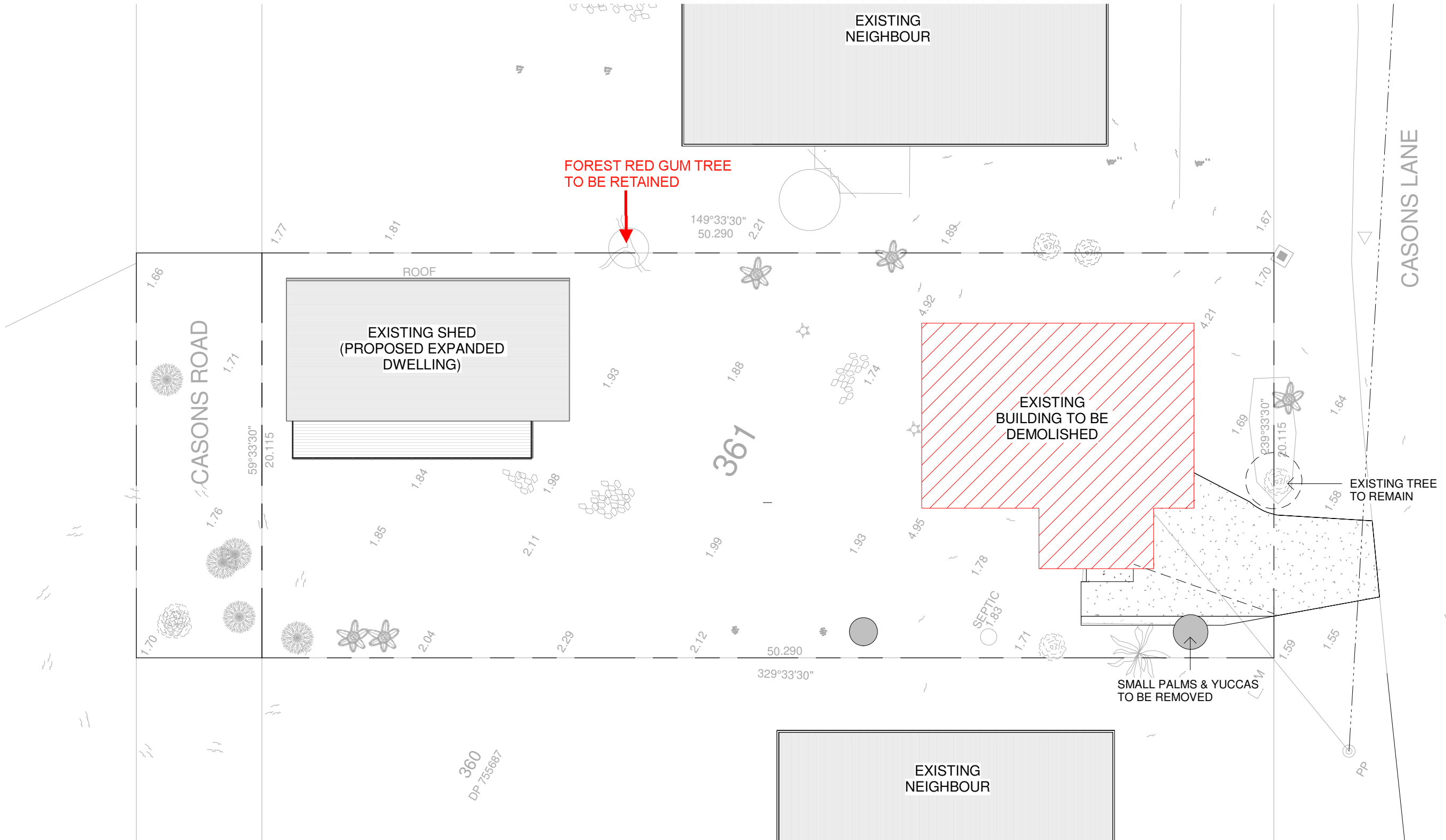
Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
SITE PLAN



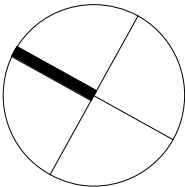
RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Project number :
2219
Drawing number :
SD02
Scale : @ A3
1 : 200
Issue :
1



LEGEND
SITE BOUNDARY

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023



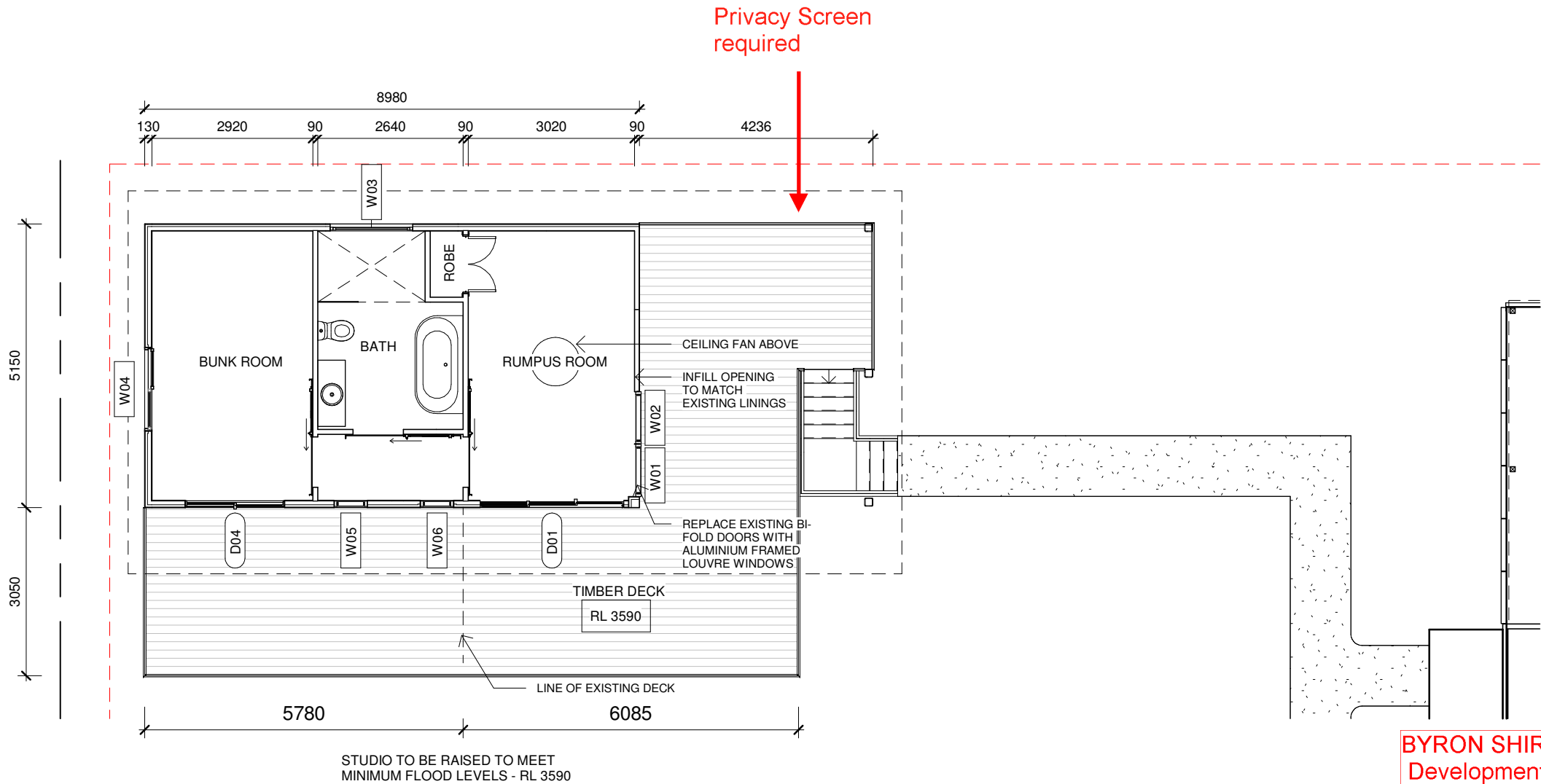
AMENDMENT	D	DA ISSUE	IK	20.01.23
	C	DRAFT DA ISSUE	RN	30.11.22
	B	REV REVIEW ISSUE	RN	18.11.22
	A	REVIEW ISSUE	RN	04.11.22
	REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
DEMOLITION PLAN



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Project number :
2219
Drawing number :
SD03
Scale : @ A3
1 : 200
Issue :
D



THERMAL PERFORMANCE SPECIFICATIONS: (23114_03 – 14 Casons Road)
The following specifications take precedence over other plan notations for the construction of this building.
NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:
- Building Fabric Thermal Insulation
(NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services
(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)
WINDOWS (total product specification – glass + frame)
U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to Group B (e.g. fixed, louvred and sliding) glass

NB: the glazing above can be sourced as single glazed glass.
U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)
- Applies to D01 – Rumpus sgd only.

EXTERNAL WALL (Medium and Dark colour as specified on the drawings)
Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier
Garage – No insulation
INTERNAL WALL
Cavity Panel – No Insulation (generally)
EXTERNAL FLOOR
Concrete Slab on Ground – No insulation – Garage only
Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation
CEILING SPACE with CEILING ABOVE
Plasterboard – R2.0 bulk insulation (between garage and living areas above)
CEILING SPACE with ROOF ABOVE
Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)
ROOF (Medium – Shale Grey colour) (Non-ventilated)
Sheet Metal Roofing – 60mm Reflective Foil Blanket
CEILING FANS
2 x 1200mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

Refer to current HERS Certificate to validate these thermal specification details.

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
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Door Schedule				
Mark	Level	Height	Width	Comments
D01	FFL SHED NEW	2100	2600	3 PANE STACKER DOOR
D04	FFL SHED NEW	2100	1800	ALUMINIUM FRAMED SLIDING DOOR
D18	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D31	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D32	FFL SHED NEW	2040	500	ROBE DOOR

Window Schedule				
Mark	Level	Height	Width	Comments
W01	FFL SHED NEW	2100	950	LOUVRE WINDOW
W02	FFL SHED NEW	2100	950	LOUVRE WINDOW
W03	FFL SHED NEW	900	1500	AWNING WINDOW TO REPLACE EXISTING
W04	FFL SHED NEW	900	1510	EXISTING WINDOW
W05	FFL SHED NEW	1800	600	LOUVRE WINDOW
W06	FFL SHED NEW	1800	600	LOUVRE WINDOW

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B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Project number :
2219
Drawing number :
SD05
Scale : @ A3
1 : 100
Issue :
1

DP

EXISTING ROOF TO REMAIN

DP

2

SUPPORTING STRUCTURE — — — —

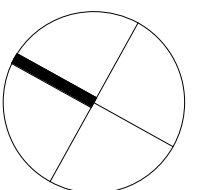
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F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE



RACHEL NORMAN ARCHITECT

Scale : @ A3
1 : 100

Project number : 2219 Drawing number : SD06 Issue : G



▼ SHED ROOF LEVEL
6040

▼ FFL SHED NEW
3590

▼ FFL SHED EXISTING
2730



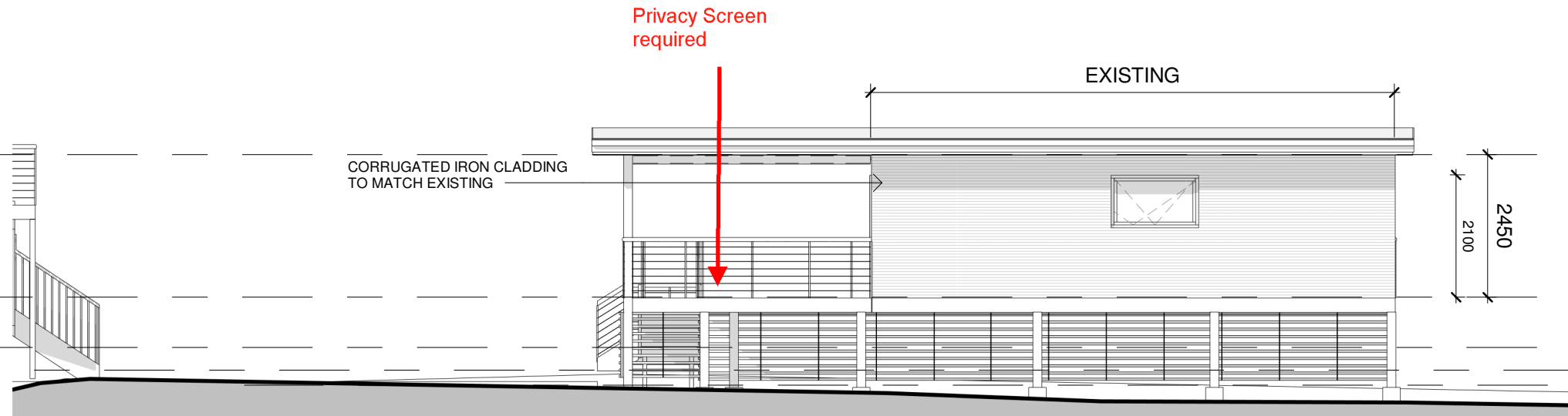
1 NORTH ELEVATION
1 : 100

▼ SHED ROOF LEVEL
6040

▼ FFL SHED NEW
3590

▼ FFL SHED EXISTING
2730

▼ Deck Level
2340



2 EAST ELEVATION
1 : 100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

AMENDMENT

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
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C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING

Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON

Drawing Title :
EXP DWELLING ELEVATIONS



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539

M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Project number :
2219

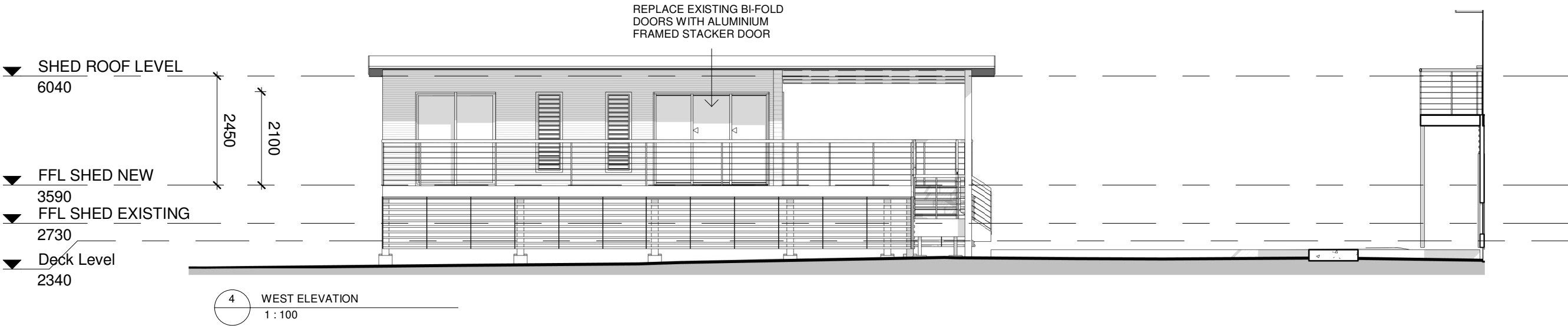
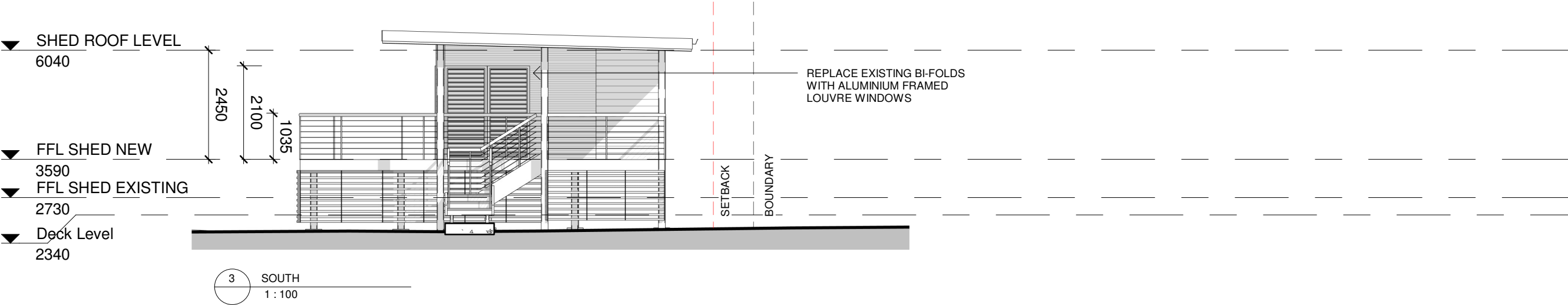
Drawing number :
SD07

Scale : @ A3
1 : 100

Issue :
G

7/07/2023 12:11:30 PM

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023



AMENDMENT

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING ELEVATIONS

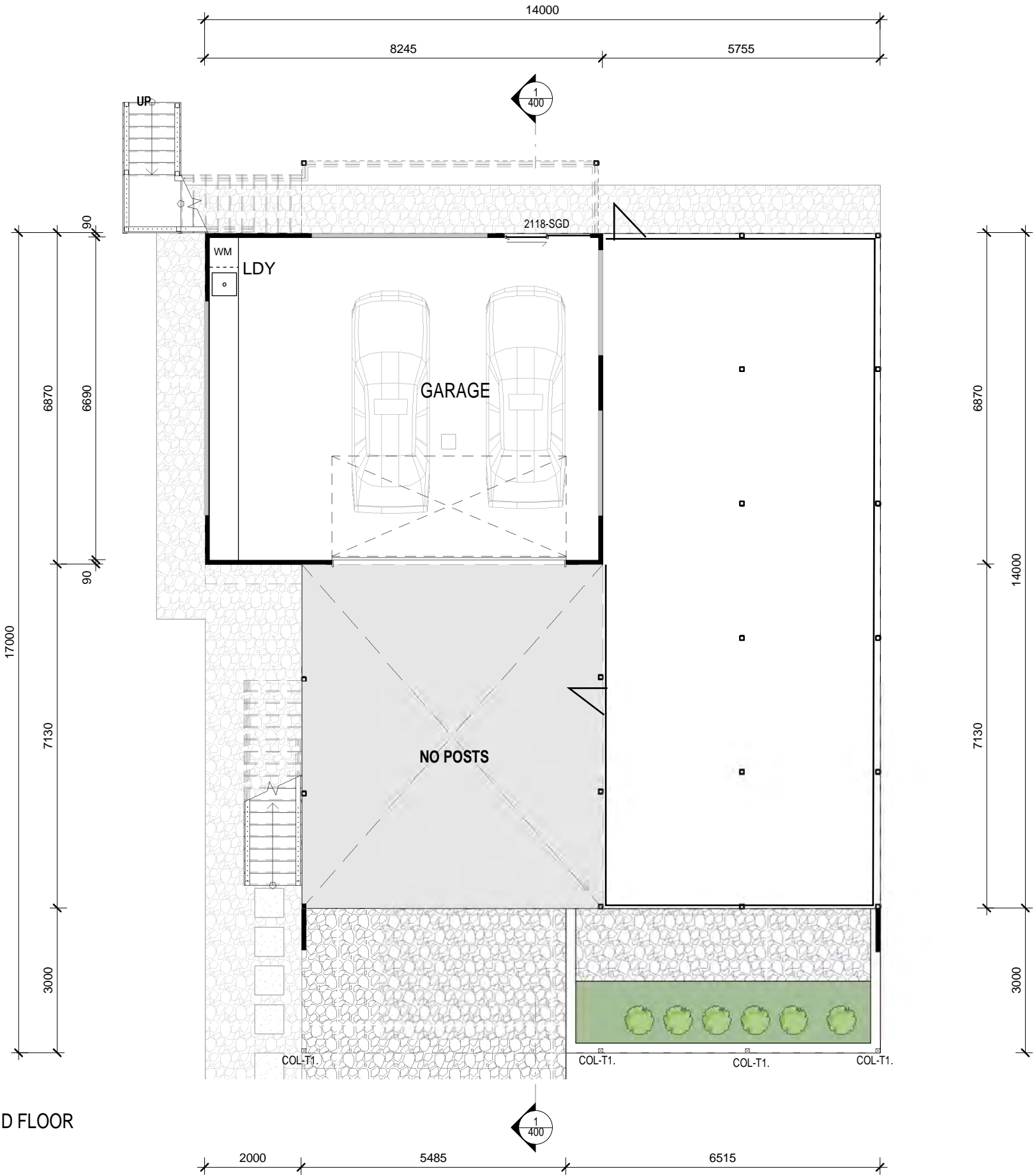


RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

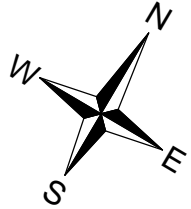
Scale : @ A3
1 : 100
Project number :
2219
Drawing number :
SD08
Issue :
G

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023



THERMAL PERFORMANCE SPECIFICATIONS:
(23114_02-Casons Rd)
The following specifications take precedence over other plan notations for the construction of this building.
NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building.
This includes New South Wales Parts 2.6 and 3.12.
Specific mention is made of the following provisions:
- Building Fabric Thermal Insulation
(NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services
(NOTE: Ventilation requirements of Section 3.8.5.2 c (i) (B) must also be completed with and this means bathrooms should no normally be exhausted into roofspaces.)
WINDOWS
Standard clear glass/aluminium frame used
EXTERNAL WALL
Framed (Weatherboard, fibre cement, metal clad) – 2.80 (or 3.20 including construction)
EXTERNAL FLOOR
Suspended floor above subfloor – nil
Suspended floor above garage – nil
CEILING SPACE with ROOF ABOVE
Flat ceiling/flat roof framed – ceiling: 3.5 (down), roof: foil backed blanket (55mm)
Roof – medium (solar absorbance 0.475 – 0.70)
CEILING FANS
At least 1 x Living
At least 1 x bedroom
RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)



Ground Floor Plan

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P:	ISSUE: F	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 110	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMINED	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129
Phone: +61 73806 5100

imagine
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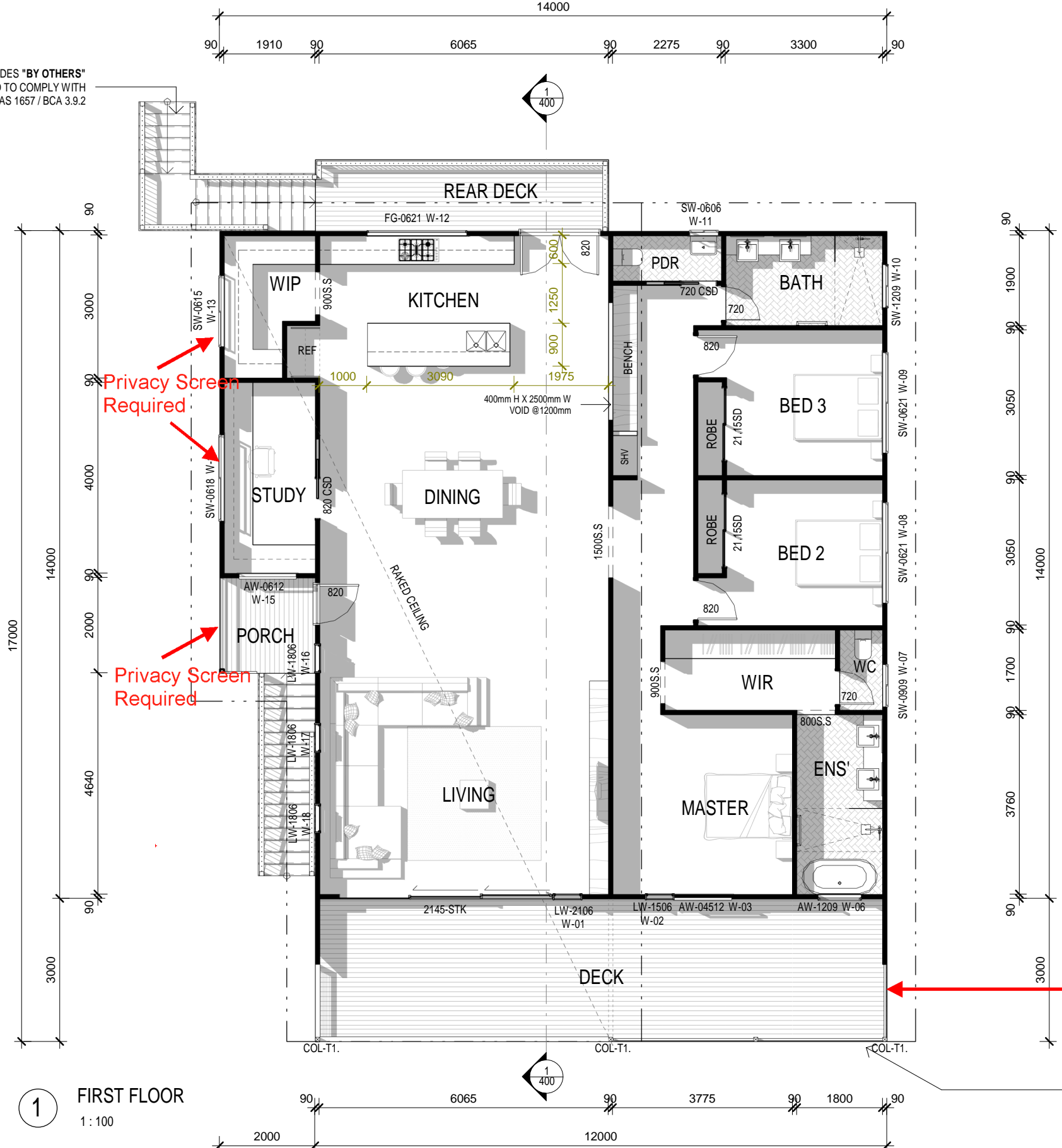
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AREA SCHEDULE	
Name	Area
DECK	36.5 m²
FIRST FLOOR LIVING	179.4 m²
PORCH	4.2 m²
REAR DECK	9.5 m²
GARAGE	56.6 m²
Grand total	286.3 m²

LEGEND	
COL-T1.	COLUMN - 90x90 HWD.
REF	REFRIGERATOR SPACE

STAIRS & BALUSTRADES "BY OTHERS"
BE CONSTRUCTED TO COMPLY WITH
AS 1657 / BCA 3.9.2

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

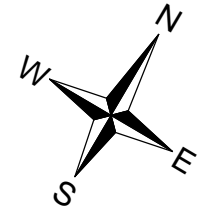


1 FIRST FLOOR
1 : 100

ALERT: THIS PROPERTY IS LOCATED IN A
BUSHFIRE PRONE AREA. REFER TO BUSHFIRE
REPORT FOR "BAL" RATING

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	LW-2106	2100	610	Window-Louvre-Trend-Quantum-130mm
02	LW-1506	1500	610	Window-Louvre-Trend-Quantum-130mm
03	AW-04512	450	1200	Awning Window X
04	AW-04512	450	1200	Awning Window X
05	AW-04512	450	1200	Awning Window X
06	AW-1209	1200	910	Awning Window X
07	SW-0909	900	910	Sliding Window - XO
08	SW-0621	600	2110	Sliding Window - XO
09	SW-0621	600	2110	Sliding Window - XO
10	SW-1209	1200	910	Sliding Window - XO
11	SW-0606	600	610	Sliding Window - XO
12	FG-0621	600	2110	Fixed Glass - O
13	SW-0615	600	1510	Sliding Window - XO
14	SW-0618	600	1810	Sliding Window - XO
15	AW-0612	600	1200	Awning Window X
16	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
17	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
18	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm

DOOR SCHEDULE.				
Mark	Type	Height	Width	Description.
01	2145-STK	2100	4500	STACKER DOOR
02	820	2040	820	2/820 EXTERNAL DOOR
03	820	2040	820	820 FULL GLASS EXTERNAL DOOR



Privacy Screen
Required

STAIRS & BALUSTRADES "BY OTHERS"
BE CONSTRUCTED TO COMPLY WITH
AS 1657 / BCA 3.9.2

First Floor Plan

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P:	ISSUE: F	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 201	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVRES / MINOR AMINED	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

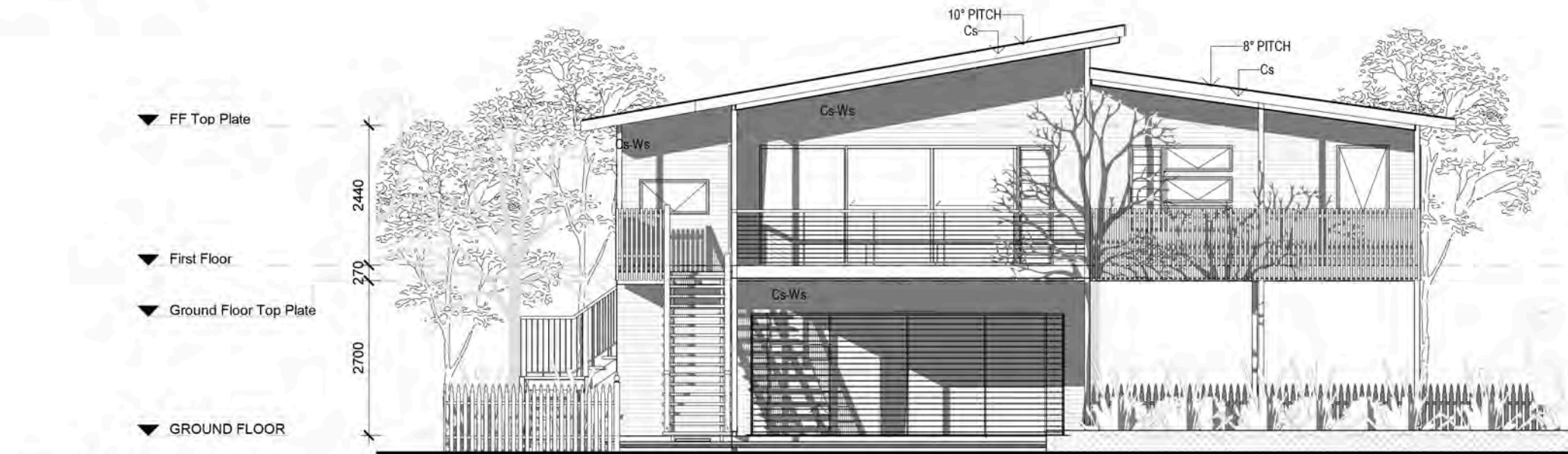
3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

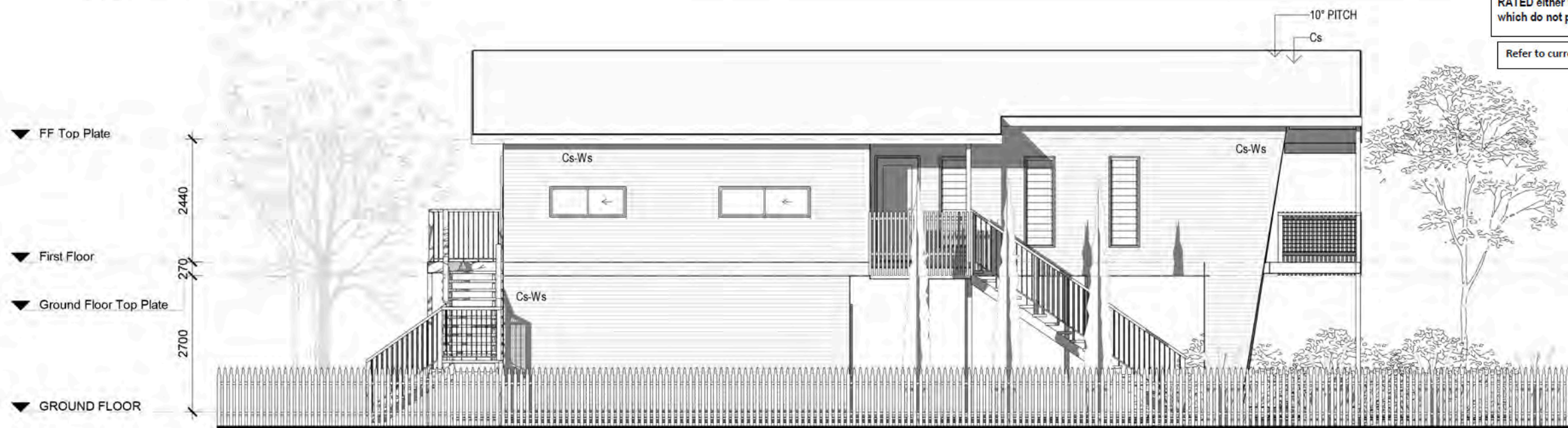
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LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting



1 SOUTH. ELEVATION
1 : 100



2 WEST. ELEVATION
1 : 100

<p>THERMAL PERFORMANCE SPECIFICATIONS: (23114_03 – 14 Casons Road)</p> <p>The following specifications take precedence over other plan notations for the construction of this building.</p> <p>NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.</p> <p>Specific mention is made of the following provisions:</p> <ul style="list-style-type: none"> - Building Fabric Thermal Insulation - Building Sealing - Building Services <p>(NOTE: If steel framing is used a thermal break may be required)</p> <p>(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)</p> <p>WINDOWS (total product specification – glass + frame)</p> <p>U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)</p> <ul style="list-style-type: none"> - Applies to all Group A (i.e. hinged e.g. awnings and glass doors) <p>U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)</p> <ul style="list-style-type: none"> - Applies to Group B (e.g. fixed, louvred and sliding) glass <p>NB: the glazing above can be sourced as single glazed glass.</p> <p>U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)</p> <ul style="list-style-type: none"> - Applies to D01 – Rumpus sgd only. <p>EXTERNAL WALL (Medium and Dark colour as specified on the drawings)</p> <p>Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier</p> <p>Garage – No insulation</p> <p>INTERNAL WALL</p> <p>Cavity Panel – No Insulation (generally)</p> <p>EXTERNAL FLOOR</p> <p>Concrete Slab on Ground – No insulation – Garage only</p> <p>Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation</p> <p>CEILING SPACE with CEILING ABOVE</p> <p>Plasterboard – R2.0 bulk insulation (between garage and living areas above)</p> <p>CEILING SPACE with ROOF ABOVE</p> <p>Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)</p> <p>ROOF (Medium – Shale Grey colour) (Non-ventilated)</p> <p>Sheet Metal Roofing – 60mm Reflective Foil Blanket</p> <p>CEILING FANS</p> <p>2 x 1200mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room</p> <p>RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)</p>	<p>Refer to current HERS Certificate to validate these thermal specification details.</p>
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Elevations - South&West

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P. E	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
				B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 300	LAND AREA: 1134m²					

PRELIM - NOT FOR CONSTRUCTION



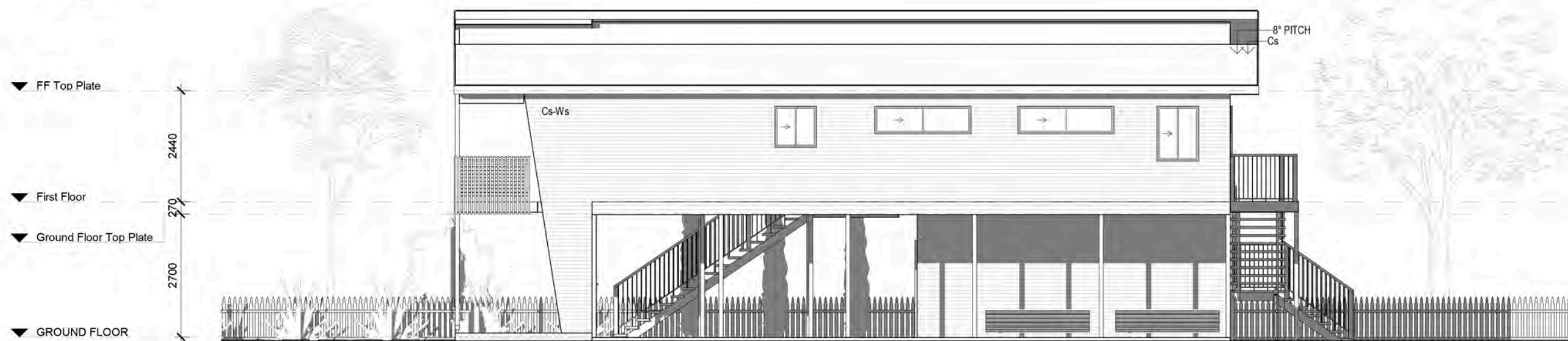
3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129
Phone: +61 73806 5100
QBCC: 1511 1256

LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023



3 NORTH ELEVATION
1 : 100



4 EAST ELEVATION
1 : 100

Elevations - North&East

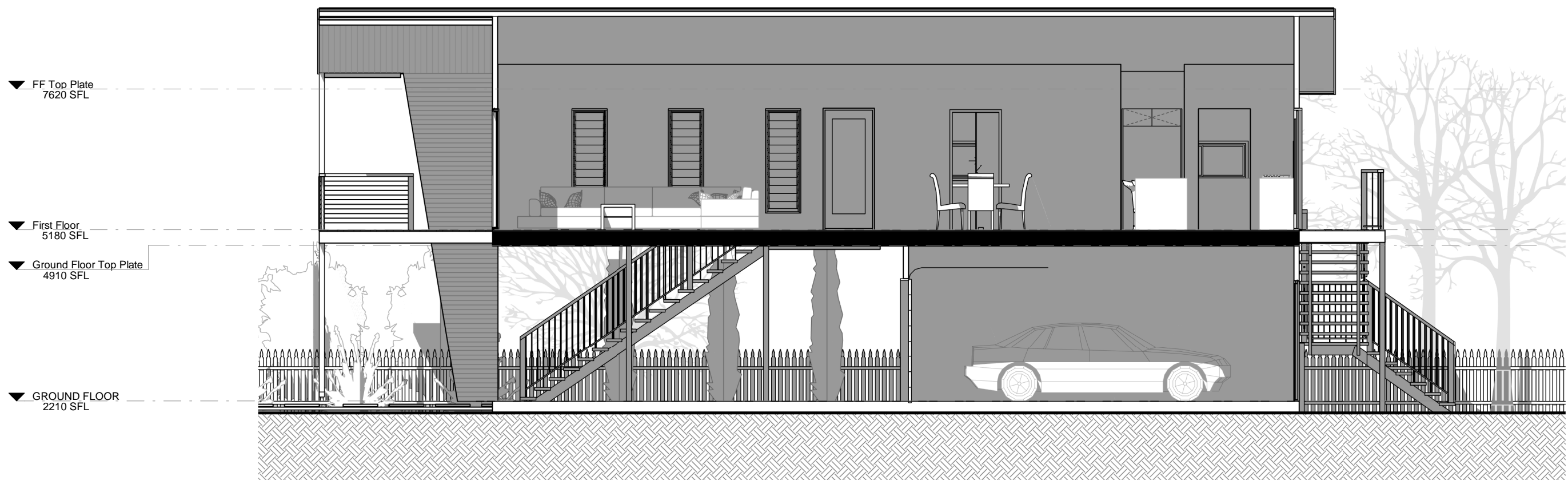
DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P.: E	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 301	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

imagine
by design

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Phone: +61 73806 5100
QBCC: 1511 1256





1 Section 1
1 : 75

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

Sections

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P:	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 75 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 400	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVRES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW



PRELIM - NOT FOR CONSTRUCTION

imagine
by design

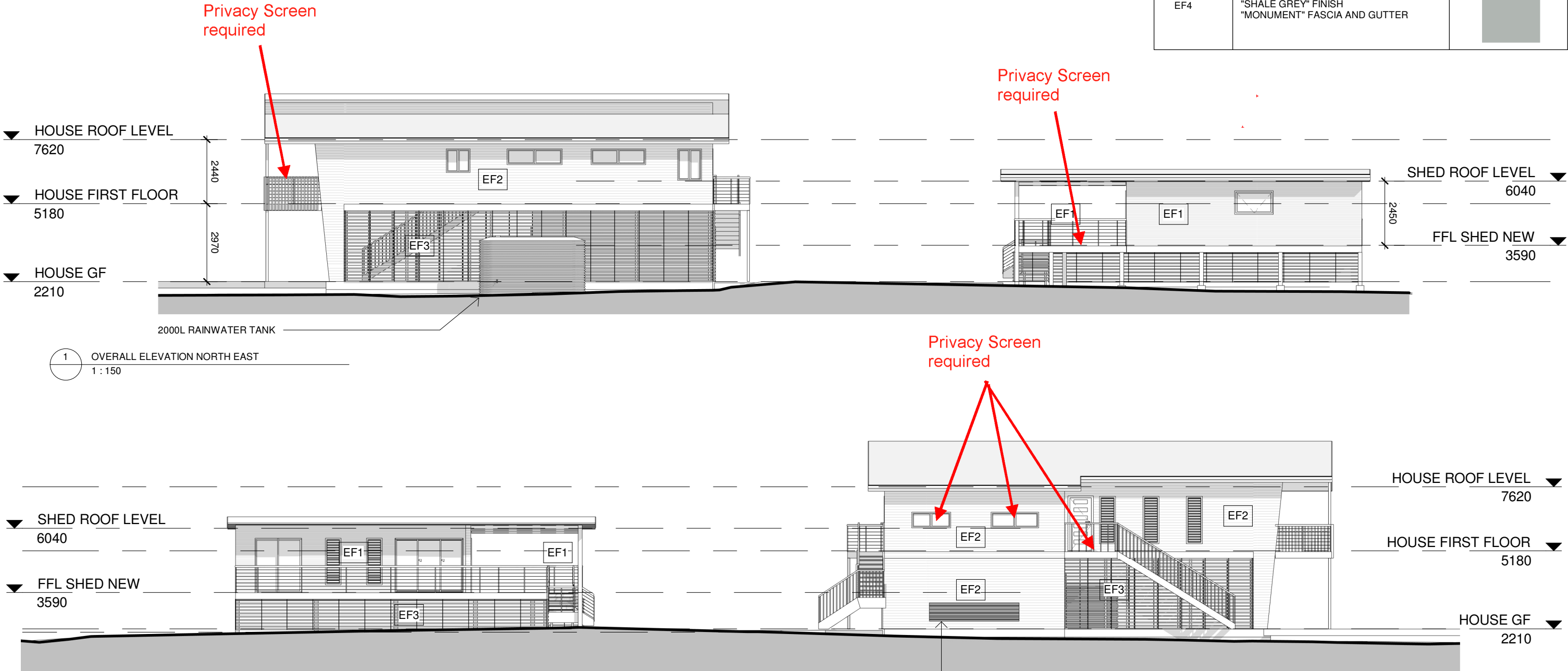
3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129
Phone: +61 73806 5100
QBCC: 1511 1256

NOTE: ALL BALUSTRADES TO BE CONSTRUCTED TO NCC REQUIREMENTS



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 OVERALL ELEVATION NORTH EAST
1 : 150

2 OVERALL ELEVATION SOUTH WEST
1 : 150

F	REV DA ISSUE	RN	07.07.23
E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD



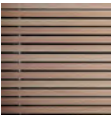

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
OVERALL ELEVATIONS AND MATERIAL
SCHEDULE

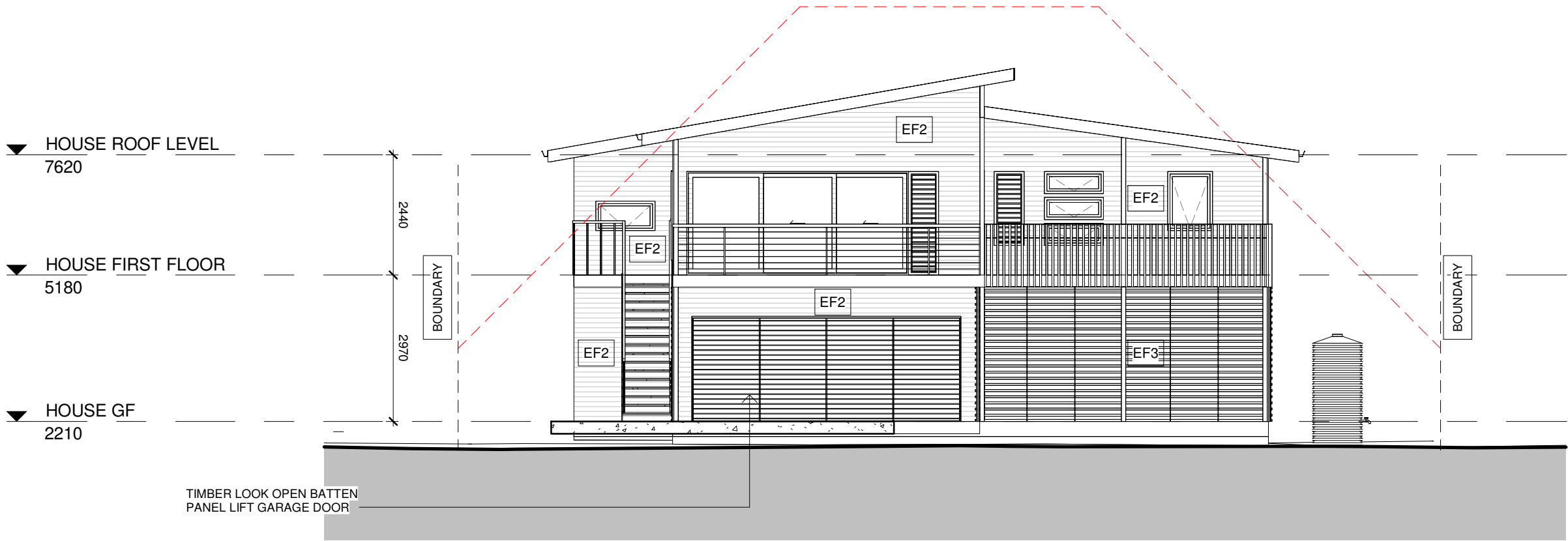


RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Scale : @ A3
1 : 150
Project number :
2219
Drawing number :
SD500
Issue :
F

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.14.1
Date: 19/07/2023

MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 BUILDING HEIGHT PROJECTION DIAGRAM
1 : 100

LEGEND
BUILDING HEIGHT PLANE — — — —
SET BACK - - - - -

AMENDMENT	E	RFI RESPONSE	RN	16.05.23
	D	DA ISSUE	IK	20.01.23
	C	DRAFT DA ISSUE	RN	30.11.22
	B	REV REVIEW ISSUE	RN	18.11.22
	A	REVIEW ISSUE	RN	04.11.22
	REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
BUILDING HEIGHT PLANE AND SET BACK
DIAGRAM



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au
Project number :
2219
Drawing number :
SD501
Scale : @ A3
1 : 100
Issue :
E
16/05/2023 9:13:47 AM

