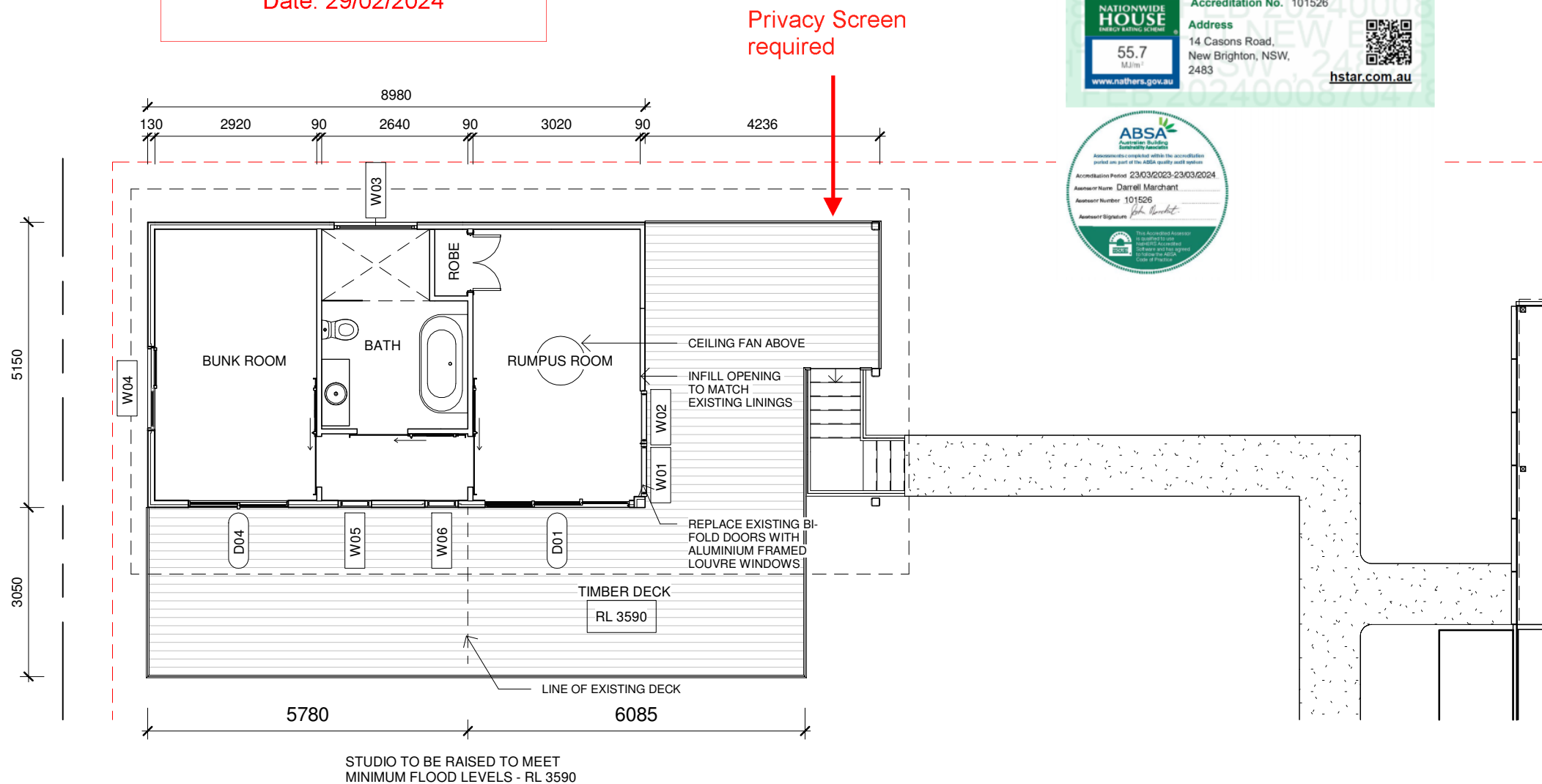


BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024



SUMMARY

THERMAL PERFORMANCE SPECIFICATIONS: (23114_04 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing

- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

WINDOWS (total product specification – glass + frame)

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 – Rumpus sgd only.

EXTERNAL WALL (Medium and Dark colour as specified on the drawings)

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

INTERNAL WALL

Cavity Panel – No Insulation (generally)

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

CEILING SPACE with CEILING ABOVE

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

CEILING SPACE with ROOF ABOVE

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

ROOF (Medium – Shale Grey colour) (Non-ventilated)

Sheet Metal Roofing – 60mm Reflective Foil Blanket

CEILING FANS

1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

Refer to current HERS Certificate to validate these thermal specification details.

Door Schedule				
Mark	Level	Height	Width	Comments
D01	FFL SHED NEW	2100	2600	3 PANE STACKER DOOR
D04	FFL SHED NEW	2100	1800	ALUMINIUM FRAMED SLIDING DOOR
D18	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D31	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D32	FFL SHED NEW	2040	500	ROBE DOOR

Window Schedule				
Mark	Level	Height	Width	Comments
W01	FFL SHED NEW	2100	950	LOUVRE WINDOW
W02	FFL SHED NEW	2100	950	LOUVRE WINDOW
W03	FFL SHED NEW	900	1500	AWNING WINDOW TO REPLACE EXISTING
W04	FFL SHED NEW	900	1510	EXISTING WINDOW
W05	FFL SHED NEW	1800	600	LOUVRE WINDOW
W06	FFL SHED NEW	1800	600	LOUVRE WINDOW

I	REV DA ISSUE	RN	07.07.23
H	REV DA ISSUE	RN	14.06.23
G	RFI RESPONSE	RN	16.05.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING



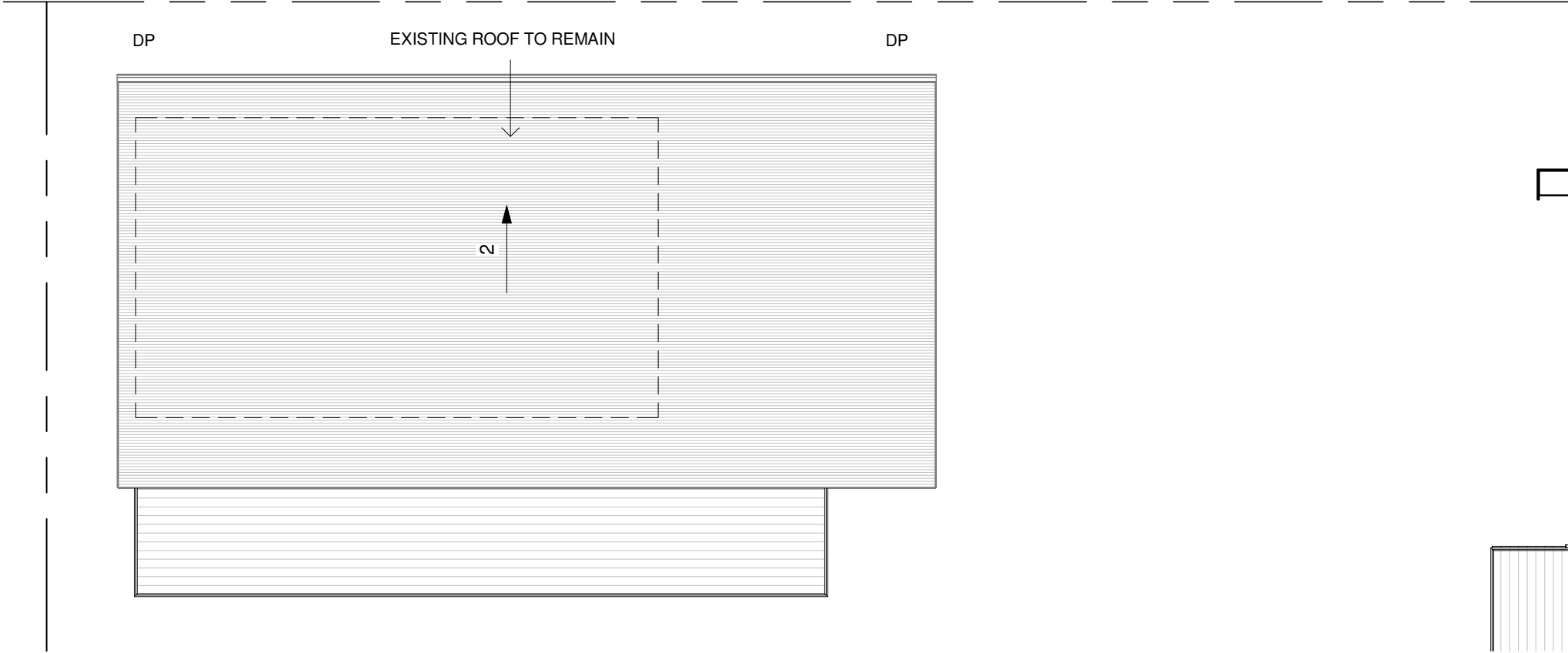
RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Project number :
2219
Drawing number :
SD05
Issue :
1

Scale : @ A3
1 : 100

13/11/2023 3:01:40 PM

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024



LEGEND
SUPPORTING STRUCTURE - - - - -

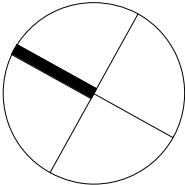
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F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING ROOF PLAN



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Scale : @ A3
1 : 100
Project number :
2219
Drawing number :
SD06
Issue :
G



4.9

NATIONWIDE
HOUSE

ENERGY RATING SCHEME

55.7

MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address
14 Casons Road,
New Brighton, NSW,
2483

hstar.com.au

ABSAAustralian Building Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality seal system

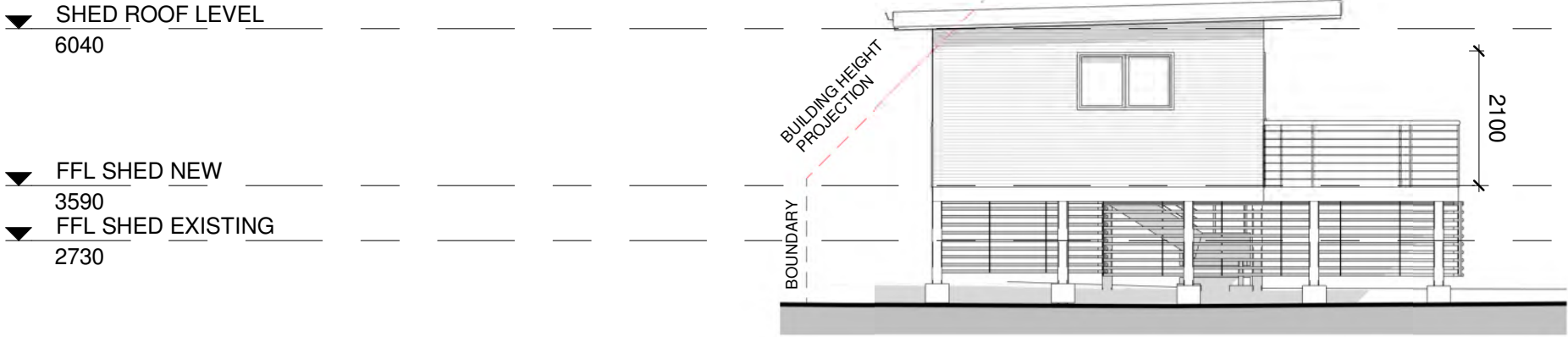
Accreditation Period 23/03/2023-23/03/2024

Assessor Name Darrell Marchant

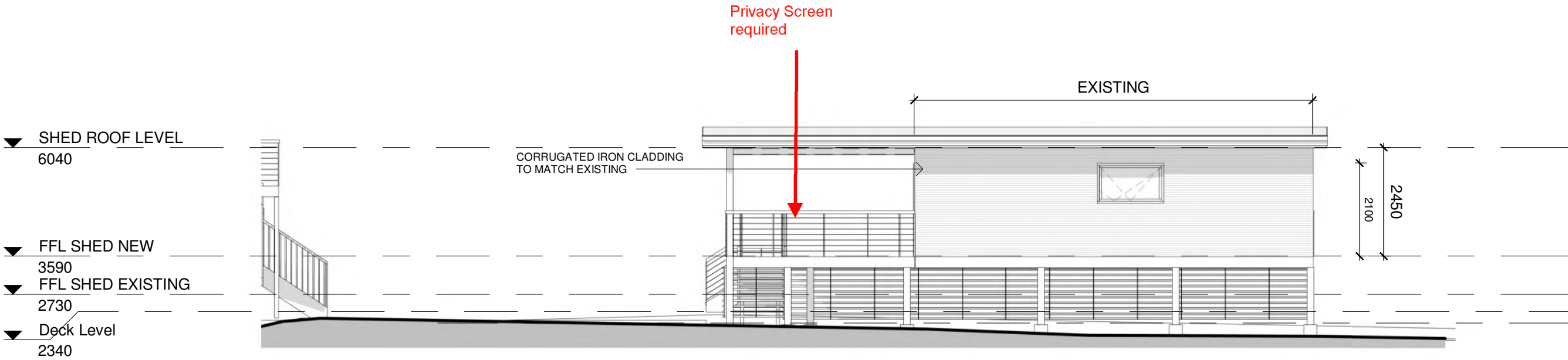
Assessor Number 101526

Assessor Signature

This Accredited Assessor is qualified to rate buildings in accordance with the National Energy Rating Scheme (NERS) and has agreed to comply with the Code of Practice



1 NORTH ELEVATION
1 : 100



2 EAST ELEVATION
1 : 100

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

AMENDMENT

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING ELEVATIONS



RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Scale : @ A3
1 : 100
Project number :
2219
Drawing number :
SD07
Issue :
G
13/11/2023 3:01:41 PM

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7

MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address
14 Casons Road,
New Brighton, NSW,
2483

hstar.com.au

ABSA

Australian Building Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period 23/03/2023-23/03/2024

Assessor Name Darrell Marchant

Assessor Number 101526

Assessor Signature

This Accredited Assessor is authorised to apply the NHERS Accredited Assessment and Rating system to determine the Energy Star Rating of a dwelling

SHED ROOF LEVEL
6040

FFL SHED NEW
3590

FFL SHED EXISTING
2730

Deck Level
2340

2450

2100

1035

REPLACE EXISTING BI-FOLDS
WITH ALUMINIUM FRAMED
LOUVRE WINDOWS

SETBACK

BOUNDARY

3 SOUTH
1 : 100

SHED ROOF LEVEL
6040

FFL SHED NEW
3590

FFL SHED EXISTING
2730

Deck Level
2340

2450

2100

1035

REPLACE EXISTING BI-FOLD
DOORS WITH ALUMINIUM
FRAMED STACKER DOOR

4 WEST ELEVATION
1 : 100

G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
EXP DWELLING ELEVATIONS

RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

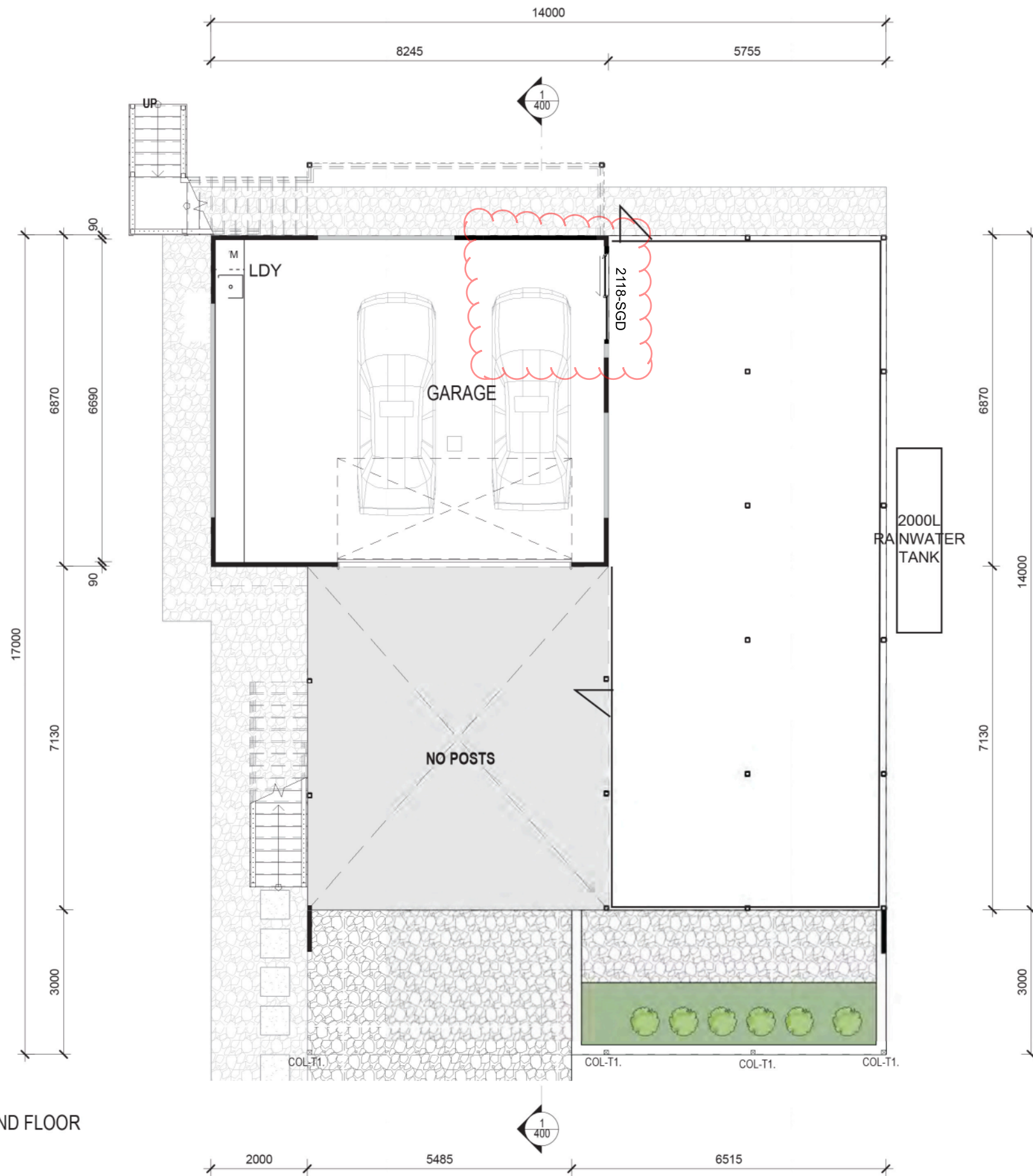
Project number :
2219
Drawing number :
SD08

Scale : @ A3
1 : 100
Issue :
G

13/11/2023 3:01:42 PM



BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024



SUMMARY

THERMAL PERFORMANCE SPECIFICATIONS: (23114_04 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

NOTE: In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- Building Sealing
- Building Services

(NOTE: If steel framing is used a thermal break may be required)

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

WINDOWS (total product specification – glass + frame)

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 – Rumpus sgd only.

EXTERNAL WALL (Medium and Dark colour as specified on the drawings)

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

INTERNAL WALL

Cavity Panel – No Insulation (generally)

EXTERNAL FLOOR

Concrete Slab on Ground – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

CEILING SPACE with CEILING ABOVE

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

CEILING SPACE with ROOF ABOVE

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

ROOF (Medium – Shale Grey colour) (Non-ventilated)

Sheet Metal Roofing – 60mm Reflective Foil Blanket

CEILING FANS

1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)

Refer to current HERS Certificate to validate these thermal specification details.

Ground Floor Plan

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P.:	ISSUE: H	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 110	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				H	13.11.23	RELOCATE SLIDING DOOR	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

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AREA SCHEDULE	
Name	Area
DECK	36.5 m ²
FIRST FLOOR LIVING	179.4 m ²
PORCH	4.2 m ²
REAR DECK	9.5 m ²
GARAGE	56.6 m ²
Grand total	286.3 m ²

LEGEND	
COL-T1.	COLUMN - 90x90 HWD.
REF	REFRIGERATOR SPACE

THERMAL PERFORMANCE SPECIFICATIONS: (231114_04 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

(NOTE: In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building.

This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- (NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

WINDOWS (total product specification – glass + frame)

- U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)
- U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to Group B (e.g. fixed, louvred and sliding) glass
- U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)
- Applies to D01 – Rumpus sgd only.

EXTERNAL WALL (Medium and Dark colour as specified on the drawings)

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

INTERNAL WALL

Cavity Panel – No Insulation (generally)

EXTERNAL FLOOR

Concrete Slab on Floor – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

CEILING SPACE with CEILING ABOVE

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

CEILING SPACE with ROOF ABOVE

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

ROOF (Medium – Shale Grey colour) (Non-ventilated)

Sheet Metal Roofing – 60mm Reflective Foil Blanket

CEILING FANS

1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

RATED either with NO DOWNLIGHTS or with LED downlights

which do not penetrate ceiling insulation (ie: IC rated)

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

WINDOW SCHEDULE

No.	Type	Height	Width	Description
01	LW-2106	2100	610	Window-Louvre-Trend-Quantum-130mm
02	LW-1506	1500	610	Window-Louvre-Trend-Quantum-130mm
03	AW-04512	450	1200	Awning Window X
04	AW-04512	450	1200	Awning Window X
05	AW-04512	450	1200	Awning Window X
06	AW-1209	1200	910	Awning Window X
07	SW-0909	900	910	Sliding Window - XO
08	SW-0621	600	2110	Sliding Window - XO
09	SW-0621	600	2110	Sliding Window - XO
10	SW-1209	1200	910	Sliding Window - XO
11	SW-0606	600	610	Sliding Window - XO
12	FG-0621	600	2110	Fixed Glass - O
13	SW-0613	600	1510	Sliding Window - XO
14	SW-0610	600	1010	Sliding Window - XO
15	AW-0612	600	1200	Awning Window X
16	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
17	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
18	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm

Mark	Type	Height	Width	Description.
01	2145-STK	2100	4500	STACKER DOOR
02	820	2040	820	2/820 EXTERNAL DOOR
03	820	2040	820	820 FULL GLASS EXTERNAL DOOR



Privacy Screen Required



STAIRS & BALUSTRADES "BY OTHERS"
BE CONSTRUCTED TO COMPLY WITH
AS 1657 / BCA 3.9.2

DESIGN:	JOB ADDRESS:	S.P.	ISSUE:	REV	DATE	DESCRIPTION	DRAWN	CHECKED	
KIOLOA - MOD SKILLION	14 Casons Road New Brighton NSW, 2483	SCALE:	H	A	07.09.22	PRELIMINARY DESIGN	AM	J/W	
				B	09.09.22	CLIENT REVIEW	AM	J/W	
				C	12.09.22	MINOR AMEND	AM	J/W	
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	J/W	
				E	16.09.22	REMOVE ONE LW	AM	J/W	
STAGED PLAN:	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	1 : 100 @ A3	WIND RATING:	F	13.11.23	REMOVE PANTRY & KITCHEN WINDOW			
PRELIMINARY				CLIENT:	GEOFF WARD	DWG No:	201	LAND AREA:	1134m ²

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by design

LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting

4.9

NATIONWIDE HOUSE ENERGY RATING

55.7

MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address
14 Casons Road,
New Brighton, NSW,
2483

ABSA

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Merchant

Assessor Number: 101526

Assessor Signature: *[Signature]*

ABSA

Assessor Name: Darrell Merchant

Assessor Number: 101526

Assessor Signature: *[Signature]*

1 SOUTH. ELEVATION
1 : 100

2 WEST. ELEVATION
1 : 100

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

Elevations - South&West

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P.:	ISSUE: F	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 300	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE PANTRY WINDOW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

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by design

3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129
Phone: +61 73806 5100
QBCC: 1511 1256

LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

4.9

NATIONWIDE
HOUSE
ENERGY RATING SCHEME

55.7

MJ/m²

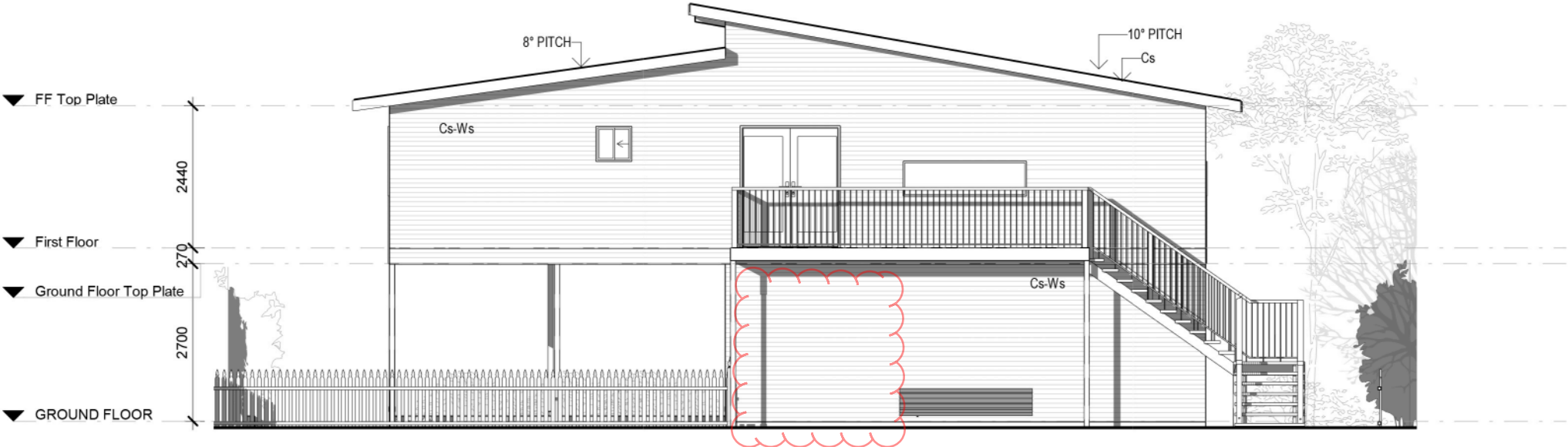
www.nathers.gov.au

0008704785-01 26 Feb 2024
Assessor John Marchant
Accreditation No. 101526
Address
14 Casons Road,
New Brighton, NSW,
2483
hstar.com.au

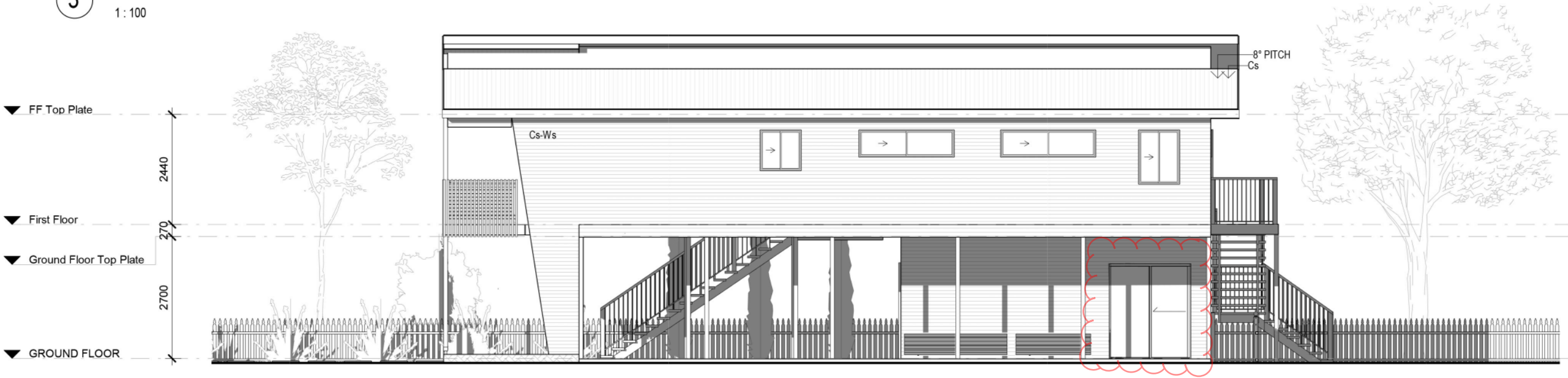
ABSA

Australian Building
Sustainability Association

Accreditation Period: 23/03/2023-23/03/2024
Assessor Name: Darrell Marchant
Assessor Number: 101526
Assessor Signature: John Marchant



3 NORTH ELEVATION
1:100



4 EAST ELEVATION
1:100

Elevations - North&East

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P: F	ISSUE: F	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 100 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 301	LAND AREA: 1134m²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE KITCHEN WINDOW & RELOCATE DOOR	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

imagine
by design

3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

QBCC: 1511 1256

4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7 MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address
14 Casons Road,
New Brighton, NSW,
2483

hstar.com.au

ABSA

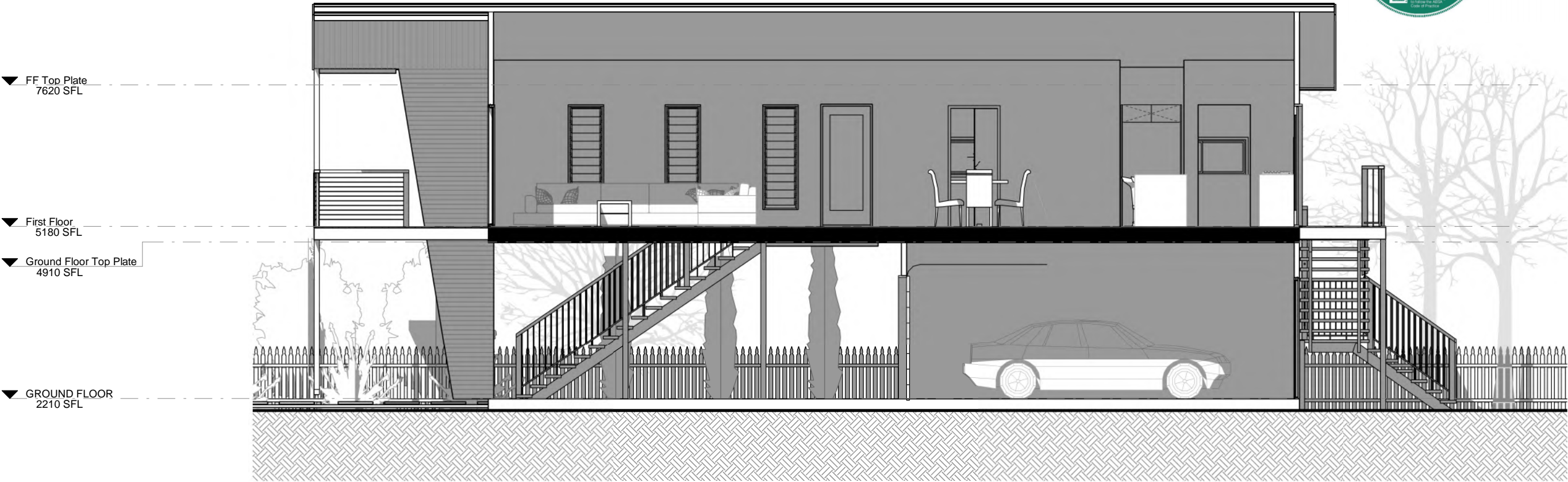
Accredited Assessor

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Marchant

Assessor Number: 101526

Assessor Signature:



1 Section 1
1:75

BYRON SHIRE COUNCIL
Modification to development consent
APPROVED PLAN
Modified DA No. 10.2023.14.2
Date: 29/02/2024

Sections

DESIGN: KIOLOA - MOD SKILLION	JOB ADDRESS: 14 Casons Road New Brighton NSW, 2483	S.P:	ISSUE: E	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: PRELIMINARY		SCALE: 1 : 75 @ A3		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: GEOFF WARD	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO BUILDING CONTRACTOR . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: 400	LAND AREA: 1134m ²	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

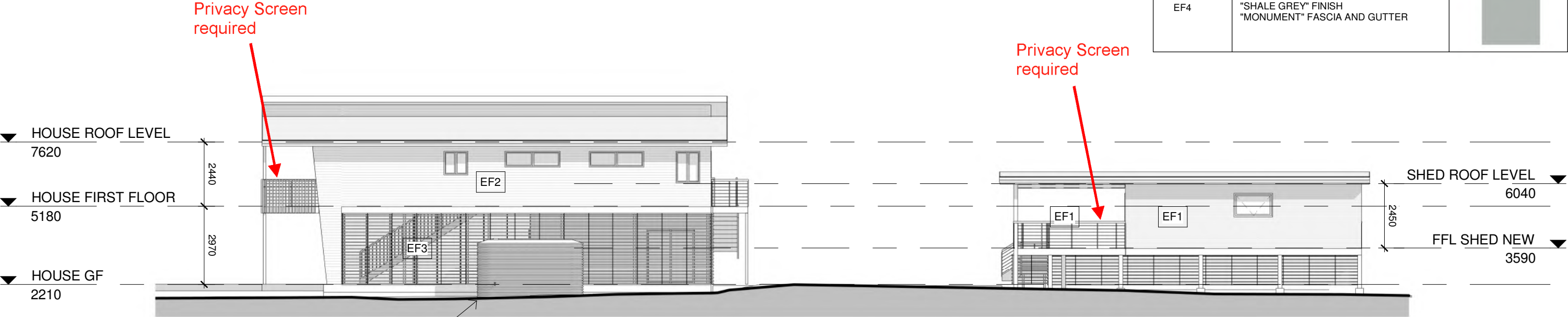
QBCC: 1511 1256

NOTE: ALL BALUSTRADES TO BE CONSTRUCTED TO NCC REQUIREMENTS

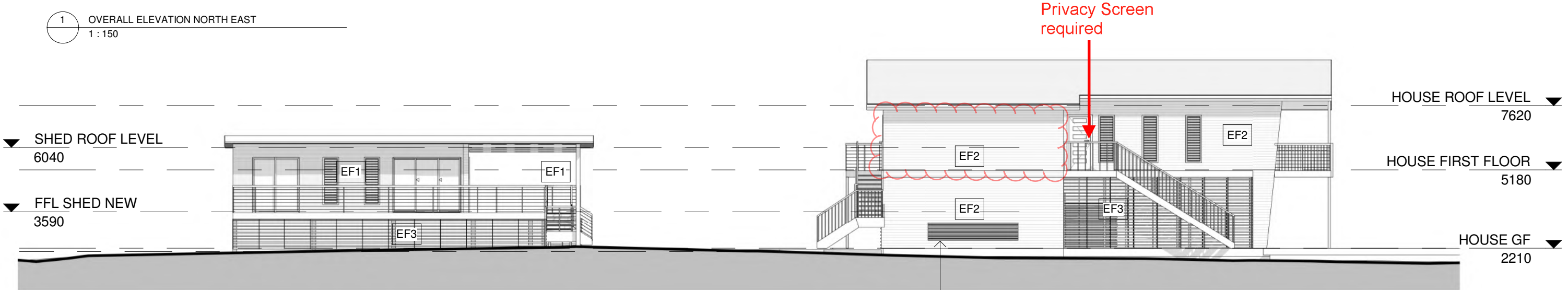
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MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 OVERALL ELEVATION NORTH EAST
1 : 150



2 OVERALL ELEVATION SOUTH WEST
1 : 150

G	SECTION 4.55 APP	RN	13.11.23
F	REV DA ISSUE	RN	07.07.23
E	RFI RESPONSE	RN	16.05.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD

Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
OVERALL ELEVATIONS AND MATERIAL
SCHEDULE



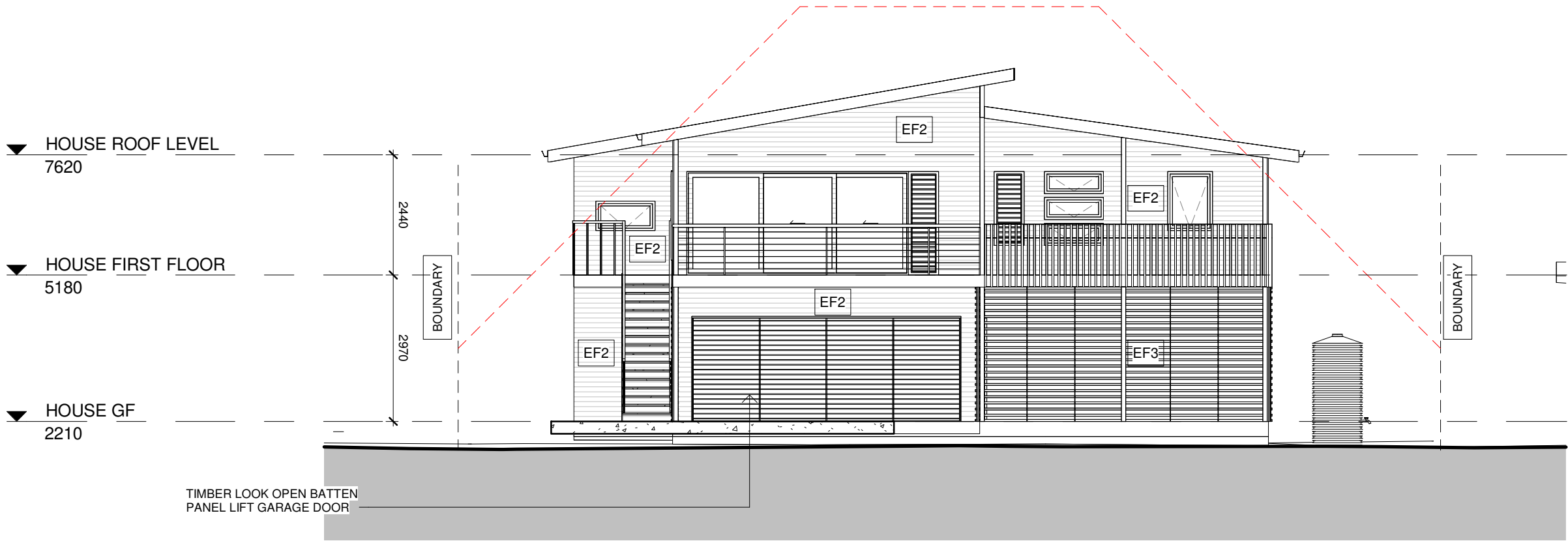
RACHEL NORMAN ARCHITECT
QLD Reg 4459 | NSW Reg 11539
M 0413 375 307
E rachel@rachelnormanarchitect.com.au
W www.rachelnormanarchitect.com.au

Scale : @ A3
1 : 150
Project number :
2219
Drawing number :
SD500
Issue :
G



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MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
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1 BUILDING HEIGHT PROJECTION DIAGRAM
1 : 100

LEGEND
BUILDING HEIGHT PLANE — — — —
SET BACK - - - - -

AMENDMENT

E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :
PROPOSED DWELLING &
EXPANDED DWELLING
Client :
GEOFF WARD
Location :
14 CASONS LANE, NEW BRIGHTON
Drawing Title :
BUILDING HEIGHT PLANE AND SET BACK
DIAGRAM



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Project number :
2219
Drawing number :
SD501
Scale : @ A3
1 : 100
Issue :
E
13/11/2023 3:01:47 PM