

# Nationwide House Energy Rating Scheme

## NatHERS Certificate No. 0008704785-01

Generated on 26 Feb 2024 using BERS Pro v4.4.1.5 (3.21)

### Property

**Address** 14 Casons Road,  
New Brighton , NSW , 2483

**Lot/DP** 1207731

**NCC Class\*** 1A

**Type** New Dwelling

### Plans

**Main plan** Issue H

**Prepared by** Imagine by Design

### Construction and environment

<b>Assessed floor area (m<sup>2</sup>)*</b>	<b>Exposure type</b>
Conditioned* 198.0	Suburban
Unconditioned* 72.0	<b>NatHERS climate zone</b>
Total 270.0	10
Garage 54.0	



### Accredited assessor

**Name** John Marchant

**Business name** Partners Energy Management

**Email** johnm@partnersenergy.com.au

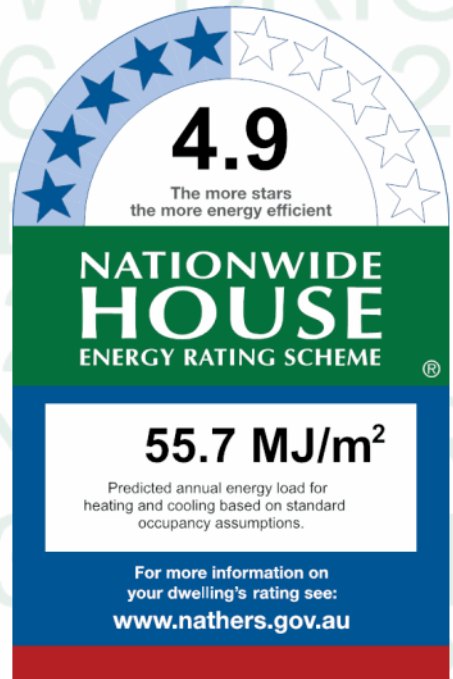
**Phone** 0421381005

**Accreditation No.** 101526

**Assessor Accrediting Organisation**

ABSA

**Declaration of interest** The Assessor has provided design advice to the Applicant



### Thermal performance

<b>Heating</b>	<b>Cooling</b>
<b>16.2</b>	<b>39.5</b>
<b>MJ/m<sup>2</sup></b>	<b>MJ/m<sup>2</sup></b>

### About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

### Verification

To verify this certificate, scan the QR code or visit [hstar.com.au/QR/Generate?p=JShxaMwAE](https://hstar.com.au/QR/Generate?p=JShxaMwAE). When using either link, ensure you are visiting [hstar.com.au](https://hstar.com.au)



### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](https://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

## Certificate check

Ensure the dwelling is designed and then built as per the NatHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling's rating.

### Genuine certificate

Does this Certificate match the one available at the web address or QR code in the verification box on the front page? Does the set of NatHERS-stamped plans for the dwelling have a Certificate number on the stamp that matches this Certificate?

### Ceiling penetrations\*

Does the 'number' and 'type' of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this Certificate?

### Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this Certificate? Substituted values must be based on the Australian Fenestration Rating Council (AFRC) protocol.

### Apartment entrance doors

Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

### Exposure\*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".

### Provisional\* values

Have provisional values been used in the assessment and, if so, noted in "additional notes" below?

## Additional notes

Downlights must not penetrate ceiling insulation.

D01 - Rumpus - externally shaded - fixed or adjustable louvre/blind or awning

I have modeled the shading in accordance with NatHERS principles

## Window and glazed door type and performance

### Default\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
ALM-004-03 A	ALM-004-03 A				
	Aluminium B DG Air Fill High Solar Gain low-E - Clear	4.3	0.53	0.50	0.56
ALM-002-01 A	ALM-002-01 A				
	Aluminium B SG Clear	6.7	0.70	0.66	0.73
ALM-003-03 A	ALM-003-03 A				
	Aluminium A DG Air Fill High Solar Gain low-E - Clear	4.3	0.47	0.45	0.49

## Default\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
ATB-004-03 B	ATB-004-03 B AI Thermally Broken B DG Air Fill High Solar Gain low-E -Clear	3.1	0.49	0.47	0.51

## Custom\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

## Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Garage	ALM-004-03 A	n/a	2100	1800	n/a	45	NW	No
Garage	ALM-002-01 A	n/a	2100	1800	n/a	45	NE	No
Study	ALM-003-03 A	n/a	600	1200	n/a	90	SE	No
Kitchen/Living	ALM-004-03 A	n/a	600	2100	n/a	00	NW	No
Kitchen/Living	ALM-003-03 A	n/a	2100	1600	n/a	90	NW	No
Kitchen/Living	ALM-004-03 A	n/a	2100	4500	n/a	65	SE	No
Kitchen/Living	ALM-004-03 A	n/a	2100	600	n/a	90	SE	No
Kitchen/Living	ALM-004-03 A	n/a	1800	600	n/a	90	SW	No
Kitchen/Living	ALM-004-03 A	n/a	1800	600	n/a	90	SW	No
Kitchen/Living	ALM-004-03 A	n/a	1800	600	n/a	90	SW	No
Kitchen/Living	ALM-003-03 A	n/a	2100	820	n/a	90	SW	No
Powder	ALM-004-03 A	n/a	600	600	n/a	45	NW	No
Bathroom	ALM-004-03 A	n/a	1200	900	n/a	10	NE	No
Master Bed	ALM-004-03 A	n/a	1500	600	n/a	90	SE	No
Master Bed	ALM-003-03 A	n/a	1350	1200	n/a	90	SE	No
WC Master	ALM-004-03 A	n/a	900	900	n/a	10	NE	No
Ensuite Master	ALM-003-03 A	n/a	1200	900	n/a	90	SE	No
Bedroom 2	ALM-004-03 A	n/a	600	2100	n/a	10	NE	No
Bedroom 3	ALM-004-03 A	n/a	600	2100	n/a	10	NE	No
Bunk Room	ALM-004-03 A	n/a	900	1500	n/a	45	NW	No

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Window shading device*
Bunk Room	ALM-004-03 A	n/a	2100	1800	n/a	45	SW	No
Rumpus Room	ALM-004-03 A	n/a	2100	950	n/a	90	SE	No
Rumpus Room	ALM-004-03 A	n/a	2100	950	n/a	90	SE	No
Rumpus Room	ATB-004-03 B	n/a	2100	2600	n/a	45	SW	Yes
Hall Studio	ALM-004-03 A	n/a	1800	600	n/a	90	SW	No
Hall Studio	ALM-004-03 A	n/a	1800	600	n/a	90	SW	No
Bath - Studio	ALM-003-03 A	n/a	900	1500	n/a	90	NE	No

## Roof window type and performance

### Default\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

### Custom\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	Substitution tolerance ranges	
				SHGC lower limit	SHGC upper limit
No Data Available					

## Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
No Data Available								

## Skylight type and performance

Skylight ID	Skylight description
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No Data Available

## Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m <sup>2</sup> )	Orientation	Outdoor shade	Diffuser	Skylight shaft reflectance
No Data Available								

## External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
Garage	2100	4800	90	SE

## External wall type

Wall ID	Wall type	Solar absorptance	Wall shade (colour)	Bulk insulation (R-value)	Reflective wall wrap*
EW-1	Fibro Cavity Panel Direct Fix	0.50	Medium	No insulation	No
EW-2	Fibro Cavity Panel Direct Fix	0.50	Medium	Anti-glare foil with bulk no gap R2.7	No

## External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
Garage	EW-1	2700	8100	NW	0	NO
Garage	EW-1	2700	6700	NE	5800	NO
Garage	EW-1	2700	8100	SE	7200	NO
Garage	EW-1	2700	6700	SW	0	NO
WIP	EW-2	2450	1995	NW	700	NO
WIP	EW-2	2450	3095	SW	600	NO
Study	EW-2	2450	1995	SE	2700	YES
Study	EW-2	2450	3995	SW	600	NO
Kitchen/Living	EW-2	2450	6090	NW	700	NO
Kitchen/Living	EW-2	2450	6095	SE	3000	NO
Kitchen/Living	EW-2	2450	6800	SW	600	YES
Powder	EW-2	2450	2390	NW	700	NO
Bathroom	EW-2	2450	3395	NW	700	NO

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* maximum projection (mm)	Vertical shading feature (yes/no)
Bathroom	EW-2	2450	1995	NE	700	NO
Master Bed	EW-2	2450	3890	SE	3000	NO
WC Master	EW-2	2450	1690	NE	700	NO
Ensuite Master	EW-2	2450	3895	NE	700	NO
Ensuite Master	EW-2	2450	1895	SE	3000	NO
Bedroom 2	EW-2	2450	3190	NE	700	NO
Bedroom 3	EW-2	2450	3090	NE	700	NO
Bunk Room	EW-2	2440	4900	NW	400	NO
Bunk Room	EW-2	2440	2995	NE	700	NO
Bunk Room	EW-2	2440	2995	SW	1400	NO
Rumpus Room	EW-2	2440	3695	NE	700	NO
Rumpus Room	EW-2	2440	4900	SE	4800	NO
Rumpus Room	EW-2	2440	2995	SW	1400	NO
Hall Studio	EW-2	2440	2790	SW	1400	NO
Bath - Studio	EW-2	2440	2090	NE	700	NO

## Internal wall type

Wall ID	Wall type	Area (m <sup>2</sup> )	Bulk insulation
IW-1	Cavity wall, direct fix plasterboard, single gap	183.00	No insulation

## Floor type

Location	Construction	Area (m <sup>2</sup> )	Sub-floor ventilation	Added insulation (R-value)	Covering
Garage	Concrete Slab on Ground 100mm	54.30	None	No Insulation	Bare
WIP /Garage	Timber Above Plasterboard 19mm	5.10		Bulk Insulation R2	Vinyl 3mm
Study/Garage	Timber Above Plasterboard 19mm	7.00		Bulk Insulation R2	Vinyl 3mm
Study	Suspended Timber Floor 19mm	0.80	Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Kitchen/Living/Garage	Timber Above Plasterboard 19mm	41.20		Bulk Insulation R2	Vinyl 3mm

Location	Construction	Area Sub-floor (m <sup>2</sup> )	Added insulation ventilation (R-value)	Covering
Kitchen/Living	Suspended Timber Floor 19mm	43.40 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Powder	Suspended Timber Floor 19mm	2.20 Enclosed	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Bathroom	Suspended Timber Floor 19mm	6.60 Enclosed	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Master Bed	Suspended Timber Floor 19mm	16.40 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
WIR Master	Suspended Timber Floor 19mm	5.80 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
WC Master	Suspended Timber Floor 19mm	1.50 Enclosed	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Ensuite Master	Suspended Timber Floor 19mm	7.10 Enclosed	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm
Bedroom 2	Suspended Timber Floor 19mm	12.00 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Bedroom 3	Suspended Timber Floor 19mm	11.60 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Hallway	Suspended Timber Floor 19mm	13.50 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Bunk Room	Suspended Timber Floor 19mm	14.50 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Rumpus Room	Suspended Timber Floor 19mm	15.40 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Hall Studio	Suspended Timber Floor 19mm	3.10 Enclosed	Bulk Insulation, Gap to Floor R2.5	Vinyl 3mm
Bath - Studio	Suspended Timber Floor 19mm	9.00 Enclosed	Bulk Insulation, Gap to Floor R2.5	Ceramic Tiles 8mm

## Ceiling type

Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
Garage	Plasterboard	Bulk Insulation R2.5	No
Garage	Timber Above Plasterboard	Bulk Insulation R2	No
WIP	Plasterboard	Bulk Insulation R3.5	No
Study	Plasterboard	Bulk Insulation R3.5	No
Kitchen/Living	Plasterboard	Bulk Insulation R3.5	No
Powder	Plasterboard	Bulk Insulation R3.5	No
Bathroom	Plasterboard	Bulk Insulation R3.5	No
Master Bed	Plasterboard	Bulk Insulation R3.5	No



Location	Construction material/type	Bulk insulation R-value (may include edge batt values)	Reflective wrap*
WIR Master	Plasterboard	Bulk Insulation R3.5	No
WC Master	Plasterboard	Bulk Insulation R3.5	No
Ensuite Master	Plasterboard	Bulk Insulation R3.5	No
Bedroom 2	Plasterboard	Bulk Insulation R3.5	No
Bedroom 3	Plasterboard	Bulk Insulation R3.5	No
Hallway	Plasterboard	Bulk Insulation R3.5	No
Bunk Room	Plasterboard	Bulk Insulation R2.5	No
Rumpus Room	Plasterboard	Bulk Insulation R2.5	No
Hall Studio	Plasterboard	Bulk Insulation R2.5	No
Bath - Studio	Plasterboard	Bulk Insulation R2.5	No

### Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
Garage	10	Downlights - LED	0	Sealed
WIP	1	Downlights - LED	0	Sealed
Study	2	Downlights - LED	0	Sealed
Kitchen/Living	5	Downlights - LED	0	Sealed
Kitchen/Living	1	Exhaust Fans	300	Sealed
Powder	1	Downlights - LED	0	Sealed
Bathroom	1	Downlights - LED	0	Sealed
Master Bed	3	Downlights - LED	0	Sealed
WIR Master	1	Downlights - LED	0	Sealed
WC Master	1	Downlights - LED	0	Sealed
Ensuite Master	2	Downlights - LED	0	Sealed
Bedroom 2	2	Downlights - LED	0	Sealed
Bedroom 3	2	Downlights - LED	0	Sealed
Hallway	3	Downlights - LED	0	Sealed
Bunk Room	3	Downlights - LED	0	Sealed
Rumpus Room	3	Downlights - LED	0	Sealed



Location	Quantity	Type	Diameter (mm)	Sealed/unsealed
Hall Studio	1	Downlights - LED	0	Sealed
Bath - Studio	2	Downlights - LED	0	Sealed

## Ceiling fans

Location	Quantity	Diameter (mm)
Kitchen/Living	1	1400
Master Bed	1	900
Bedroom 2	1	900
Bedroom 3	1	900
Bunk Room	1	900
Rumpus Room	1	1200

## Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof shade
Corrugated Iron	Bulk, Reflective Side Down, No Air Gap Above R1.4	0.50	Medium
Corrugated Iron	Bulk, Reflective Side Down, No Air Gap Above R1.4	0.50	Medium

## Explanatory notes

### About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

### Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licensed assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content of each individual certificate is entered and created by the assessor to create a NatHERS Certificate. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

The predicted annual energy load in this NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

## Glossary

<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure category – exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category – open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category – suburban</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category – protected</b>	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Opening percentage</b>	the operability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Reflective wrap</b> (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading device</b>	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>Skylight</b> (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions.
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).