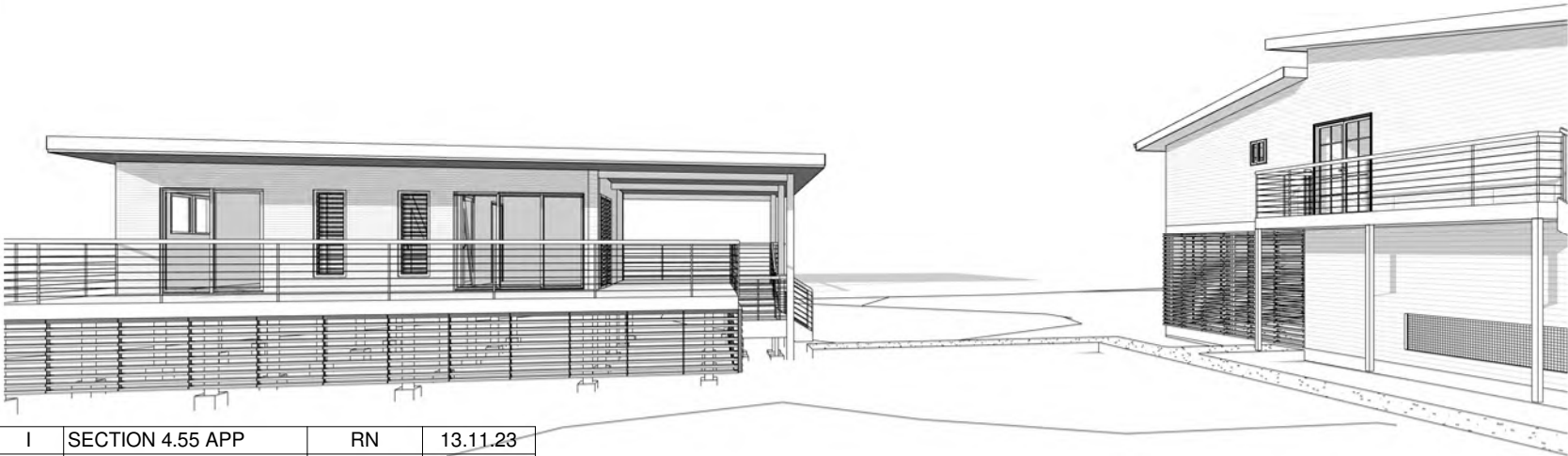


PROPOSED DWELLING & ADDITIONS TO EXPANDED  
DWELLING HOUSE (EXISTING SHED)  
14 CASONS ROAD  
NEW BRIGHTON



PROPOSED DWELLING - ILLUSTRATIVE PURPOSES ONLY



I	SECTION 4.55 APP	RN	13.11.23
H	REV DA ISSUE	RN	07.07.23
G	RFI RESPONSE	RN	16.0523
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
TITLE PAGE



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD00  
Issue :  
1

Scale : @ A3

Sheet List			
Sheet Number	Sheet Name	Current Revision	Current Revision Date
SD00	TITLE PAGE	I	13.11.23
SD01	SITE LOCATION PLAN	E	16.0523
SD02	SITE PLAN	I	07.07.23
SD03	DEMOLITION PLAN	E	07.07.23
SD04	SITE ANALYSIS	E	07.07.23
SD05	EXP DWELLING	I	07.07.23
SD06	EXP DWELLING ROOF PLAN	G	07.07.23
SD07	EXP DWELLING ELEVATIONS	G	07.07.23
SD08	EXP DWELLING ELEVATIONS	G	07.07.23
SD110	HOUSE-GROUND FLOOR PLAN	H	13.11.23
SD201	HOUSE-FIRST FLOOR PLAN	H	13.11.23
SD300	HOUSE-ELEVATIONS SOUTH & WEST	F	13.11.23
SD301	HOUSE-ELEVATIONS NORTH & EAST	F	13.11.23
SD400	HOUSE-SECTION	E	20.01.23
SD500	OVERALL ELEVATIONS AND MATERIAL SCHEDULE	G	13.11.23
SD501	BUILDING HEIGHT PLANE AND SET BACK DIAGRAM	E	16.0523
SD502	SHADOW DIAGRAMS	E	07.07.23
SD503	STORMWATER MANAGEMENT PLAN	E	07.07.23
SD504	EROSION AND SEDIMENT CONTROL PLAN	E	07.07.23





0008704785-01

26 Feb 2024

4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7

MUM

www.nathers.gov.au

Assessor John Marchant

Accreditation No. 101526

Address  
14 Casons Road,  
New Brighton, NSW,  
2483

  
hstar.com.au

ABSA

Australian Building Sustainability Association

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Marchant

Assessment Number: 101526

Assessor Signature: 

This Accredited Assessor is authorised to issue BASIX Certificates on behalf of the ABSA Code of Practice



SITE LOCATION:  
14 CASONS ROAD, NEW BRIGHTON  
LOT 361  
PLAN DP755687

AMENDMENT

E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE LOCATION PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD01

Scale : @ A3  
1 : 1  
Issue :  
E

13/11/2023 3:01:35 PM

SITE

**SITE DESCRIPTION**  
PROPOSED DWELLING &  
ADDITIONS TO EXPANDED  
DWELLING HOUSE (EXISTING  
SHED)

**ADDRESS**  
14 CASONS ROAD  
NEW BRIGHTON

**SITE INFORMATION**  
LOT - 1  
DP - 1207731  
LOT - 361  
DP - 755687

**SITE AREA**  
1133.6m<sup>2</sup>

**ZONING**  
R2 - LOW DENSITY RESIDENTIAL

DESIGN CRITERIA

BYRON SHIRE COUNCIL DCP

REQUIRED	ACHIEVED	COMPLY
1a) DEEP SOIL ZONE MIN 25% OF SITE	<255m <sup>2</sup> <25%	✓
2a) FLOOR SPACE RATIO 0.2:1	0.20:1 (228.5m <sup>2</sup> )	✓
2) SETBACKS (LOTS 300m <sup>2</sup> - 600m <sup>2</sup> )		
FRONT = 6.5m (GROUND FLOOR)	6.95m	✓
SIDE = 0.9m TO WALL UP TO 4.5m	>1.98m	✓
REAR TO WALL = 0.9m TO WALL UP TO 4.5m	>1.53m	✓
GARAGE 1m SETBACK FROM FRONT FACADE	17.13m	✓
3) SITE COVERAGE		
SITE AREA - 1133.3m <sup>2</sup>	263.4m <sup>2</sup>	✓
MAX 50%	43%	
4) HEIGHT MAX 9m	7.22m	✓

**NOTE**  
ALL CONSTRUCTION AS PER BASIX REPORT

**BUSHFIRE CONSTRUCTION REQUIREMENTS - SUMMARY**  
REFER NCCC vol 2,c3.7 & AS3959-2018 SEC 3 & 8 - BAL 40  
PLANNING FOR BUSHFIRE PROTECTION 2019  
FOR FULL DETAILS & INFORMATION

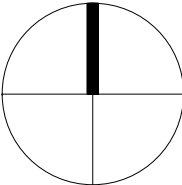
EXTERNAL STUD WALLS  
FRAMING - MIN 90mm STEEL OR TIMBER  
SARKING - NON-COMBSUTIBLE  
CLADDING - FC SHEET MIN 9mm THICK  
POSTS - NON COMBUSTIBLE

**EXTERNAL WINDOWS, GLASS DOORS**  
FIRE SHUTTER - NON REMOVABLE  
- METAL FRAME  
- MAX 2mm APERTURE  
FRAMING - METAL  
GLAZING  
WINDOWS - TOUGHENED GLASS MIN 6mm  
DOORS - TOUGHENED GLASS MIN 6mm

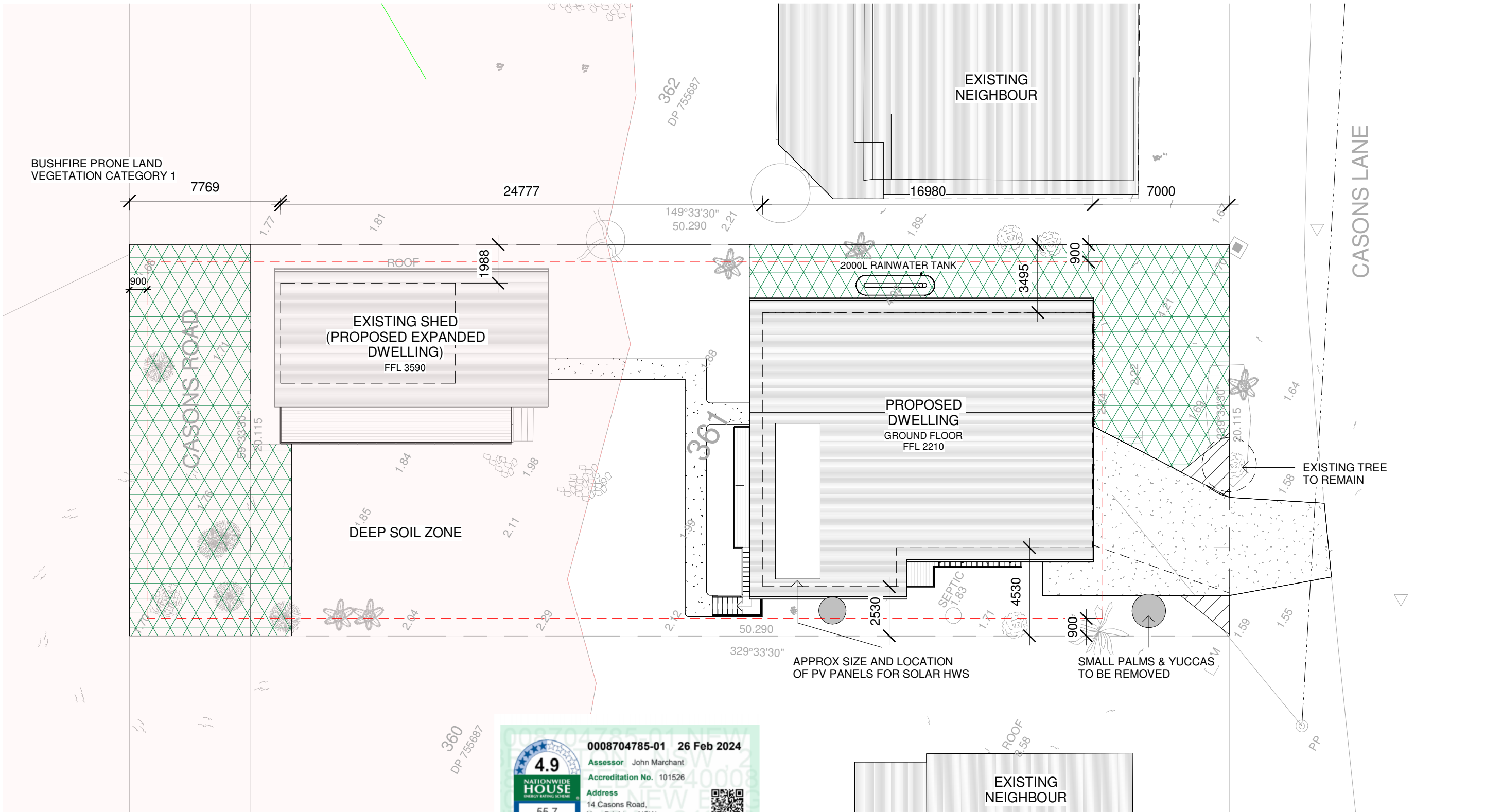
**ROOF inc VERANDAH**  
DECK/EAVES LINING - FC SHEET MIN 4.5mm THICK  
SARKING - FLAMMABILITY INDEX NOT MORE THAN 5  
ALL JOINTS SEALED - OVERLAPPED, BACKED OR BUTT-JOINTED  
- FASCIA SEALED WITH MINERAL WOOL  
PENETRATIONS - FULLY SEALED  
ROOF LIGHTS - FRL (-/30/-)  
FASCIA - METAL FIXED AT 450crs  
GUTTERS - NON-COMBUSTIBLE EMBER GUARDS  
BALUSTRADE - NON COMBUSTIBLE

NOTE

1. ALL EXISTING OPENABLE WINDOWS TO BE FITTED WITH METAL MESH SCREENS TO PROTECT AGAINST EMBER ATTACK. REFER BUSHFRIE REPORT & SPECIFICATION FOR FURTHER DETAIL
2. TO BE READ IN CONJUNCTION WITH BASIX CERTIFICATE
3. EXISTING EXTERNAL DOORS TO BE FITTED WITH DRAUGHT EXCLUDERS - REFER SPECIFICATION
4. EXISTING WINDOWS AND DOORS SCHEDULED IN 'E'
5. SIZE PROVIDED OF EXISTING WINDOWS AND DOORS FOR INFORMATION TO BE CONFIRMED ONSITE







LEGEND

- SITE BOUNDARY — — — — —  
SUPPORTING STRUCTURE - - - - -  
SET BACK - - - - -  
POWERLINE — — — — —

I	REV DA ISSUE	RN	07.07.23
H	REV DA ISSUE	RN	14.06.23
G	RFI RESPONSE	RN	16.05.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

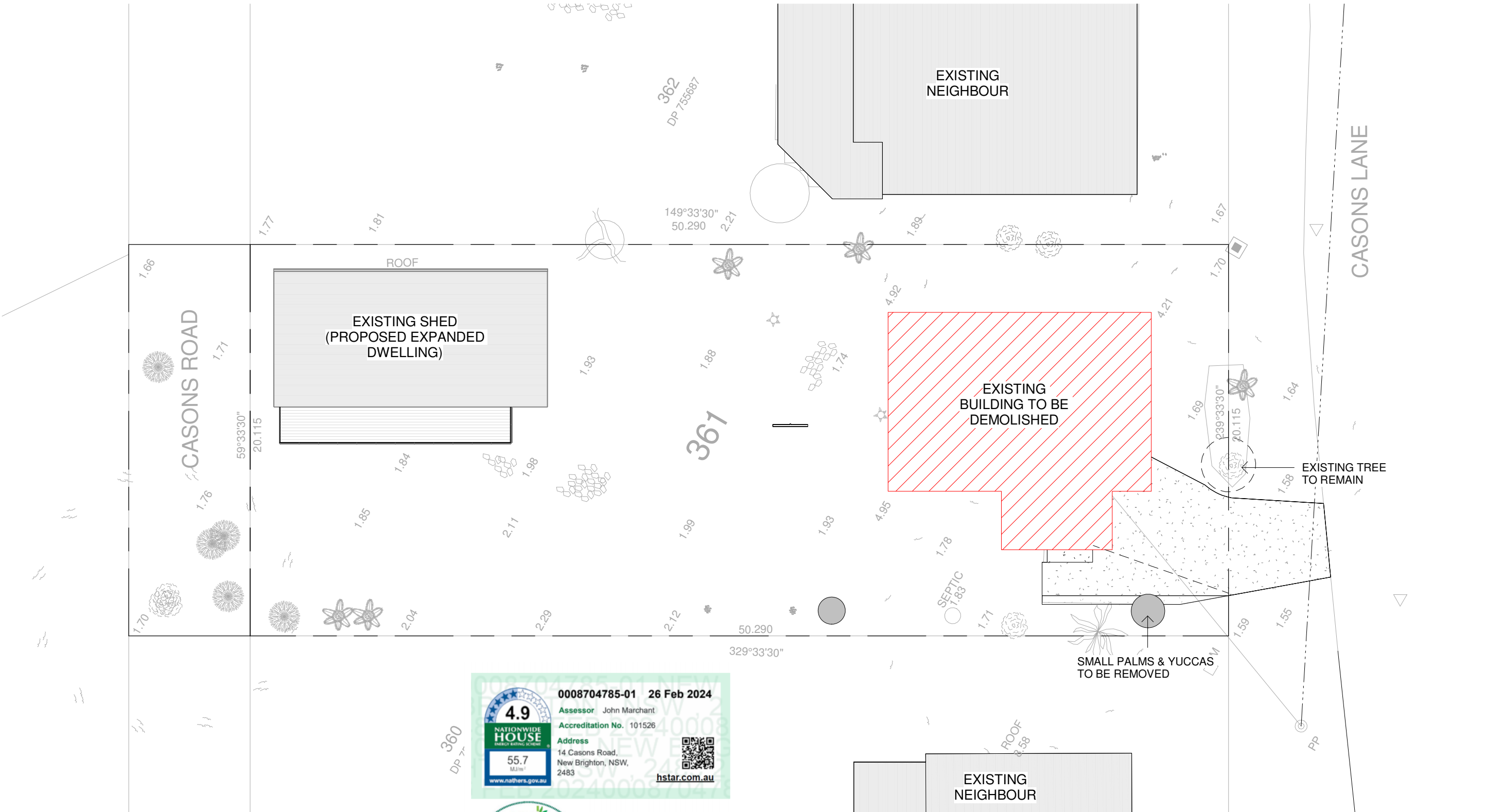


Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD  
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD02  
Scale : @ A3  
1 : 200  
Issue :  
1



LEGEND  
SITE BOUNDARY

0008704785-01 26 Feb 2024  
Assessor John Marchant  
Accreditation No. 101526  
Address  
14 Casons Road,  
New Brighton, NSW,  
2483  
www.nathers.gov.au  
hstar.com.au



AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
DEMOLITION PLAN



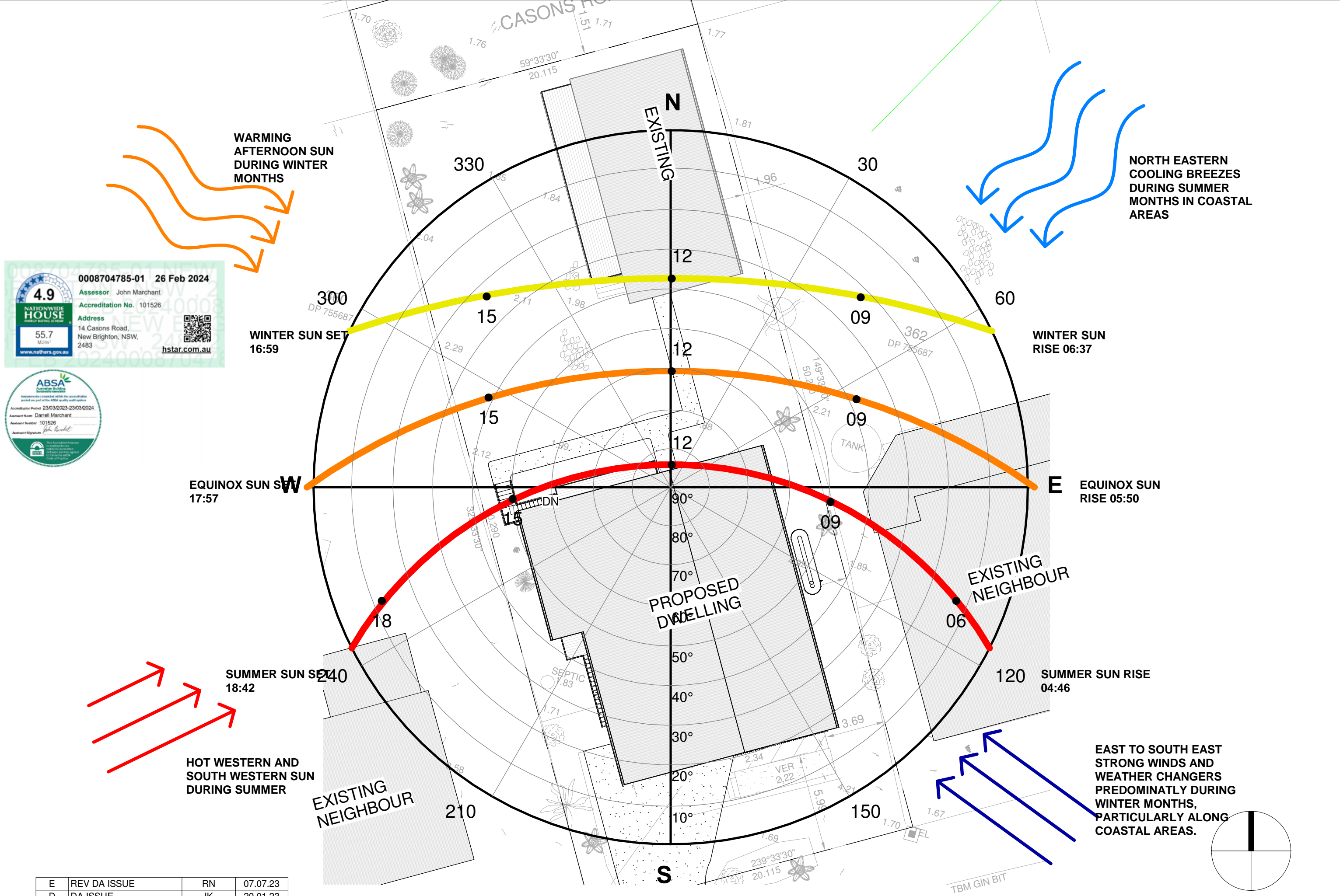
RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD03

Scale : @ A3  
1 : 200  
Issue :  
E



0008704785-01 26 Feb 2024  
Assessor John Marchant  
Accreditation No. 101526  
Address 14 Casons Road, New Brighton, NSW, 2483  
www.nathers.gov.au



AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

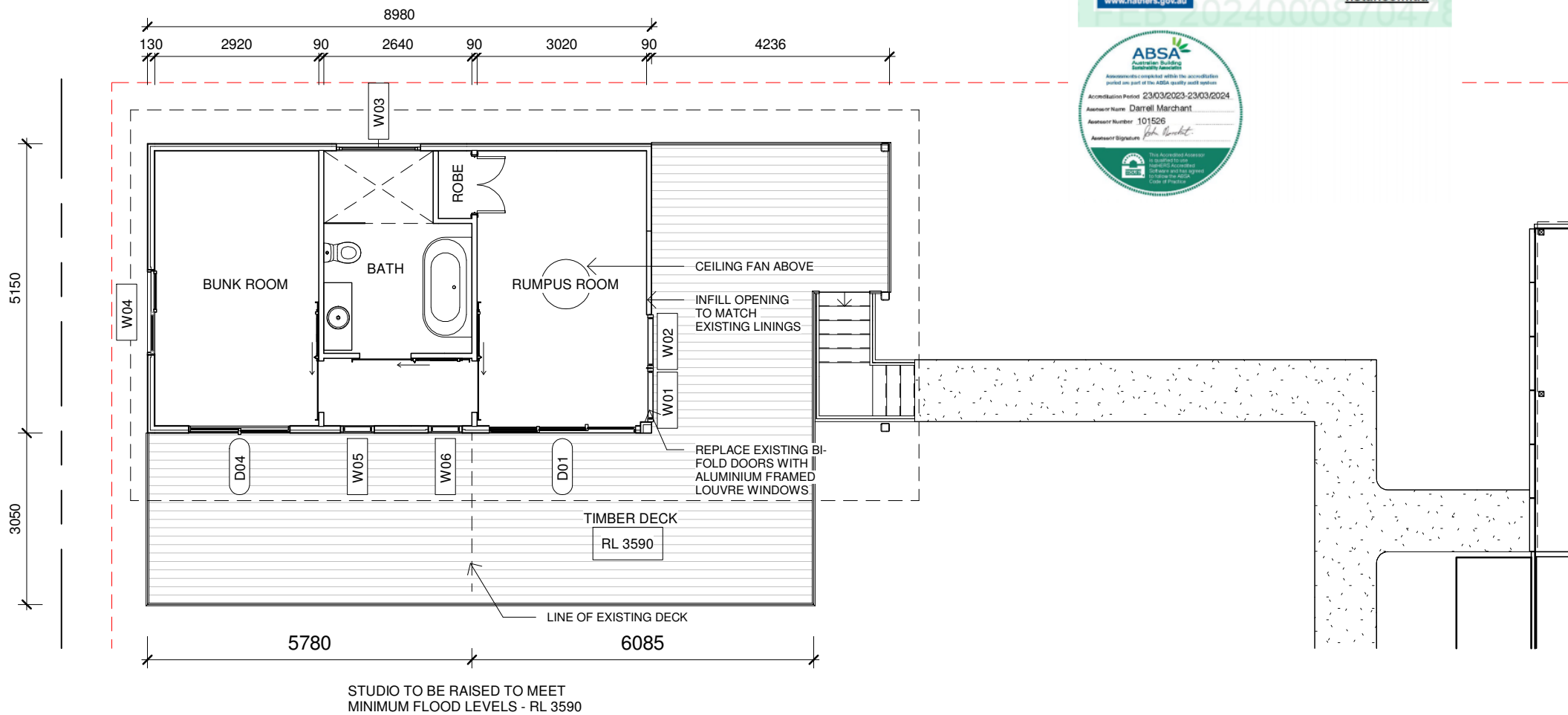
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SITE ANALYSIS



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD04

Scale : @ A3  
1 : 200  
Issue :  
E



#### SUMMARY

**THERMAL PERFORMANCE SPECIFICATIONS:** (23114\_04 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

**NOTE:** In addition to BASIX commitments; building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing

- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

#### WINDOWS (total product specification – glass + frame)

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 – Rumpus sgd only.

#### EXTERNAL WALL (Medium and Dark colour as specified on the drawings)

Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage – No insulation

#### INTERNAL WALL

Cavity Panel – No Insulation (generally)

#### EXTERNAL FLOOR

Concrete Slab on Ground – No insulation – Garage only

Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

#### CEILING SPACE with CEILING ABOVE

Plasterboard – R2.0 bulk insulation (between garage and living areas above)

#### CEILING SPACE with ROOF ABOVE

Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

#### ROOF (Medium – Shale Grey colour) (Non-ventilated)

Sheet Metal Roofing – 60mm Reflective Foil Blanket

#### CEILING FANS

1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**

Refer to current HERS Certificate to validate these thermal specification details.

Door Schedule				
Mark	Level	Height	Width	Comments
D01	FFL SHED NEW	2100	2600	3 PANE STACKER DOOR
D04	FFL SHED NEW	2100	1800	ALUMINIUM FRAMED SLIDING DOOR
D18	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D31	FFL SHED NEW	2100	914	INTERNAL BARN SLIDING DOOR
D32	FFL SHED NEW	2040	500	ROBE DOOR

Window Schedule				
Mark	Level	Height	Width	Comments
W01	FFL SHED NEW	2100	950	LOUVRE WINDOW
W02	FFL SHED NEW	2100	950	LOUVRE WINDOW
W03	FFL SHED NEW	900	1500	AWNING WINDOW TO REPLACE EXISTING
W04	FFL SHED NEW	900	1510	EXISTING WINDOW
W05	FFL SHED NEW	1800	600	LOUVRE WINDOW
W06	FFL SHED NEW	1800	600	LOUVRE WINDOW

I	REV DA ISSUE	RN	07.07.23
H	REV DA ISSUE	RN	14.06.23
G	RFI RESPONSE	RN	16.05.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

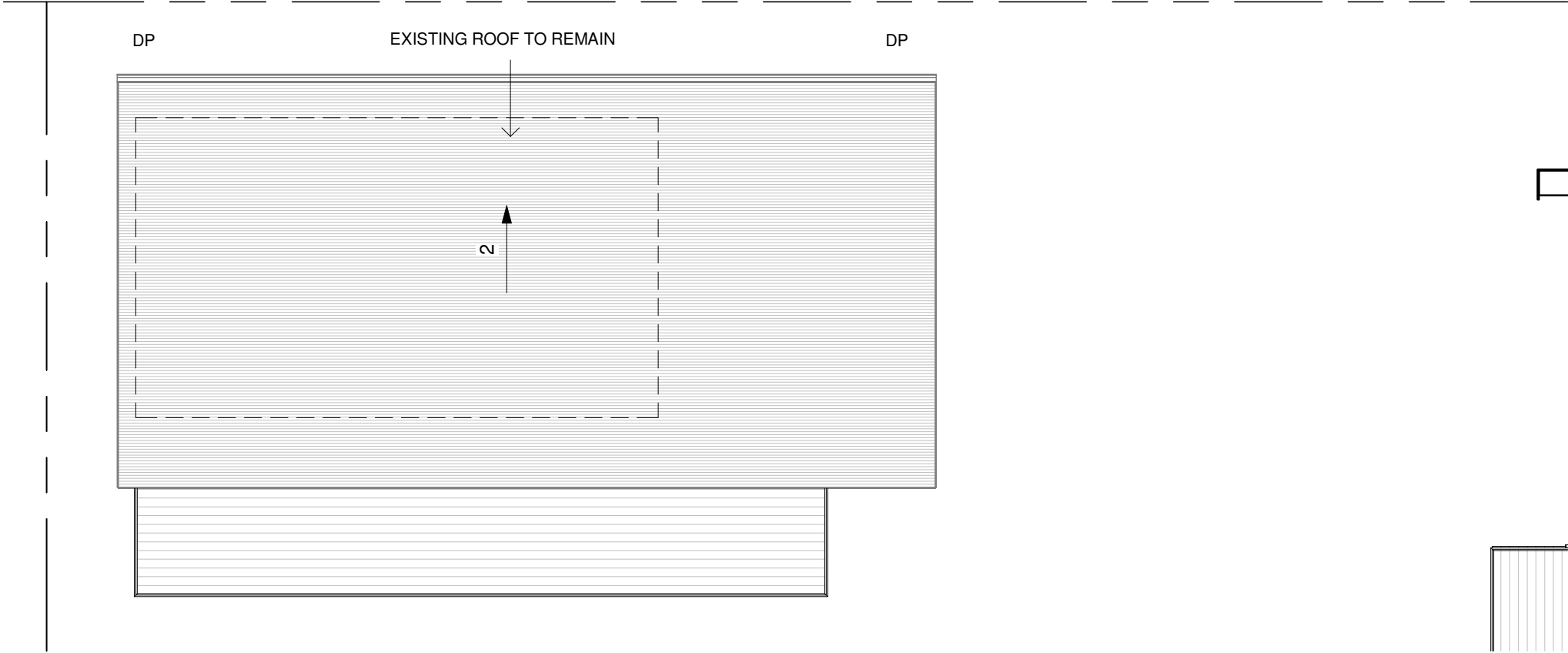
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD05  
Issue :  
1

Scale : @ A3  
1 : 100  
13/11/2023 3:01:40 PM



LEGEND  
SUPPORTING STRUCTURE    - - - - -

REV.	DESCRIPTION	ISSUED BY	DATE
G	REV DA ISSUE	RN	07.07.23
F	DA ISSUE	IK	20.01.23
E	DRAFT DA ISSUE	RN	30.11.22
D	REV REVIEW ISSUE	RN	18.11.22
C	REVIEW ISSUE	RN	04.11.22
B	UPDATED STUDIO PLAN	RN	10.10.22
A	BATHROOM ADDITION	RN	30.09.22

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD  
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING ROOF PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD06  
Scale : @ A3  
1 : 100  
Issue :  
G  
13/11/2023 3:01:41 PM





**ABSA**  
Australian Building  
Sustainability Institute

Assessments completed within the accreditation  
period on part of the ABSA quality audit system

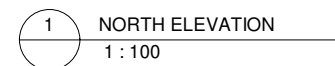
Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Marchant

Assessor Number: 101526

Assessor Signature: *Darrell Marchant*

 The Accredited Assessor  
is accredited to issue  
NABERS Accredited  
Certificates and is  
required to follow the ABSA  
Code of Practice



13/11/2023 3:01:41 PM



4.9

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

55.7

MJ/m<sup>2</sup>

[www.nathers.gov.au](http://www.nathers.gov.au)

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address  
14 Casons Road,  
New Brighton, NSW,  
2483

  
[hstar.com.au](http://hstar.com.au)

ABSA

Australian Building Sustainability Association

Assessments completed within the accreditation period are part of the ABSA quality audit system

Accreditation Period 23/03/2023-23/03/2024

Assessor Name Darrell Marchant

Assessor Number 101526

Assessor Signature 

This Accredited Assessor is authorised to issue NERSAT Accredited Certificates and has agreed to maintain data Copy of Certificate



Architectural elevation drawing of the shed roof level and deck level. The drawing shows a cross-section of the building with a shed roof and a deck. Key dimensions and levels are indicated:

- SHED ROOF LEVEL: 6040
- FFL SHED NEW: 3590
- FFL SHED EXISTING: 2730
- Deck Level: 2340
- Vertical dimensions: 2450 (from deck to shed roof), 2100 (from existing floor to shed roof), 1035 (from deck to existing floor).
- Horizontal dimensions: 2100 (from deck to shed roof), 1035 (from deck to existing floor).
- SETBACK: Indicated by a dashed line.
- BOUNDARY: Indicated by a dashed line.
- REPLACE EXISTING BI-FOLDS WITH ALUMINIUM FRAMED LOUVRE WINDOWS
- Orientation: SOUTH (indicated by a circle with the number 3).
- Scale: 1 : 100

Architectural elevation drawing of the west elevation. The drawing shows a cross-section of the building with a shed roof and a deck. Key dimensions and levels are indicated:

- SHED ROOF LEVEL: 6040
- FFL SHED NEW: 3590
- FFL SHED EXISTING: 2730
- Deck Level: 2340
- Vertical dimensions: 2450 (from deck to shed roof), 2100 (from existing floor to shed roof).
- Horizontal dimensions: 2100 (from deck to shed roof).
- REPLACE EXISTING BI-FOLD DOORS WITH ALUMINIUM FRAMED STACKER DOOR
- Orientation: WEST ELEVATION (indicated by a circle with the number 4).
- Scale: 1 : 100

AMENDMENT	G	REV DA ISSUE	RN	07.07.23
	F	DA ISSUE	IK	20.01.23
	E	DRAFT DA ISSUE	RN	30.11.22
	D	REV REVIEW ISSUE	RN	18.11.22
	C	REVIEW ISSUE	RN	04.11.22
	B	UPDATED STUDIO PLAN	RN	10.10.22
	A	BATHROOM ADDITION	RN	30.09.22
	REV.	DESCRIPTION	ISSUED BY	DATE

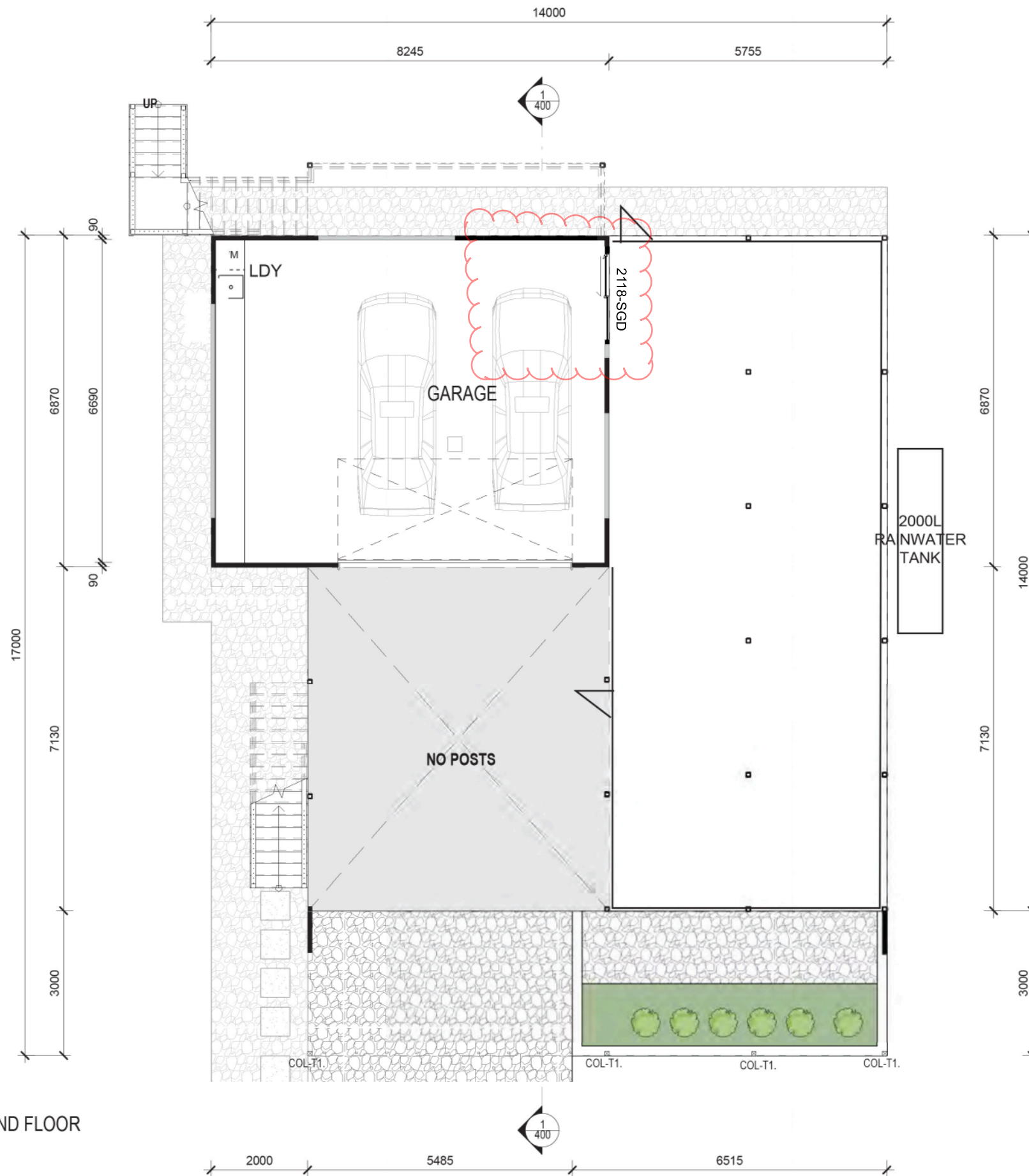
Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EXP DWELLING ELEVATIONS

RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E [rachel@rachelnormanarchitect.com.au](mailto:rachel@rachelnormanarchitect.com.au)  
W [www.rachelnormanarchitect.com.au](http://www.rachelnormanarchitect.com.au)

Project number :  
2219  
Drawing number :  
SD08  
Scale : @ A3  
1 : 100  
Issue :  
G

13/11/2023 3:01:42 PM



**ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE PRONE AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING**

#### SUMMARY

**THERMAL PERFORMANCE SPECIFICATIONS:** (23114\_04 – 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

**NOTE:** In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC – Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12.

Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation
- (NOTE: If steel framing is used a thermal break may be required)
- Building Sealing
- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (ii) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

#### WINDOWS (total product specification – glass + frame)

- U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)
- U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)
- Applies to Group B (e.g. fixed, louvred and sliding) glass
- U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)
- Applies to D01 – Rumpus sgd only.

#### EXTERNAL WALL (Medium and Dark colour as specified on the drawings)

- Cavity Panel – R2.7 - 90mm thick Bulk insulation with vapour barrier
- Garage – No insulation

#### INTERNAL WALL

- Cavity Panel – No Insulation (generally)

#### EXTERNAL FLOOR

- Concrete Slab on Ground – No insulation – Garage only
- Suspended Timber (Timber enclosed Sub-Floor) – R2.5 bulk insulation

#### CEILING SPACE with CEILING ABOVE

- Plasterboard – R2.0 bulk insulation (between garage and living areas above)

#### CEILING SPACE with ROOF ABOVE

- Plasterboard – R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

#### ROOF (Medium – Shale Grey colour) (Non-ventilated)

- Sheet Metal Roofing – 60mm Reflective Foil Blanket

#### CEILING FANS

- 1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**

Refer to current HERS Certificate to validate these thermal specification details.

## Ground Floor Plan

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P.:	ISSUE: <b>H</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>110</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				H	13.11.23	RELOCATE SLIDING DOOR	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

**imagine**  
by design



AREA SCHEDULE	
Name	Area
DECK	36.5 m²
FIRST FLOOR LIVING	179.4 m²
PORCH	4.2 m²
REAR DECK	9.5 m²
GARAGE	56.6 m²
Grand total	286.3 m²

LEGEND	
COL-T1.	COLUMN - 90x90 HWD.
REF	REFRIGERATOR SPACE

**SUMMARY**

**THERMAL PERFORMANCE SPECIFICATIONS:** (23114\_04 - 14 Casons Road)

The following specifications take precedence over other plan notations for the construction of this building.

**NOTE:** In addition to BASIX commitments, building compliance is required to comply with the 'New South Wales Additions' in the current edition of the NCC - Vol. 2, at the time of building. This includes New South Wales Parts 2.6 and 3.12. Specific mention is made of the following provisions:

- Building Fabric Thermal Insulation

(NOTE: If steel framing is used a thermal break may be required)

- Building Sealing
- Building Services

(NOTE: Ventilation requirements of Section 3.8.5.2 c (i) (B) must also be complied with and this means bathrooms should not normally be exhausted into roofspaces.)

**WINDOWS (total product specification - glass + frame)**

U-value 4.3 (or less than) & SHGC 0.47 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to all Group A (i.e. hinged e.g. awnings and glass doors)

U-value 6.70 (or less than) & SHGC 0.53 (+/-5%) (Typically: Double glazed Glass in AL. frame)

- Applies to Group B (e.g. fixed, louvred and sliding) glass

U-value 3.1 (or less than) & SHGC 0.49 (+/-5%) (Default: Plain Glass in AL. frame)

- Applies to D01 - Rumpus sgd only.

**EXTERNAL WALL (Medium and Dark colour as specified on the drawings)**

Cavity Panel - R2.7 - 90mm thick Bulk insulation with vapour barrier

Garage - No insulation

**INTERNAL WALL**

Cavity Panel - No Insulation (generally)

**EXTERNAL FLOOR**

Concrete Slab on Ground - No insulation - Garage only

Suspended Timber (Timber enclosed Sub-Floor) - R2.5 bulk insulation

**CEILING SPACE with CEILING ABOVE**

Plasterboard - R2.0 bulk insulation (between garage and living areas above)

**CEILING SPACE with ROOF ABOVE**

Plasterboard - R2.5 bulk insulation (raked) / R3.5 bulk insulation (flat)

**ROOF (Medium - Shale Grey colour) (Non-ventilated)**

Sheet Metal Roofing - 60mm Reflective Foil Blanket

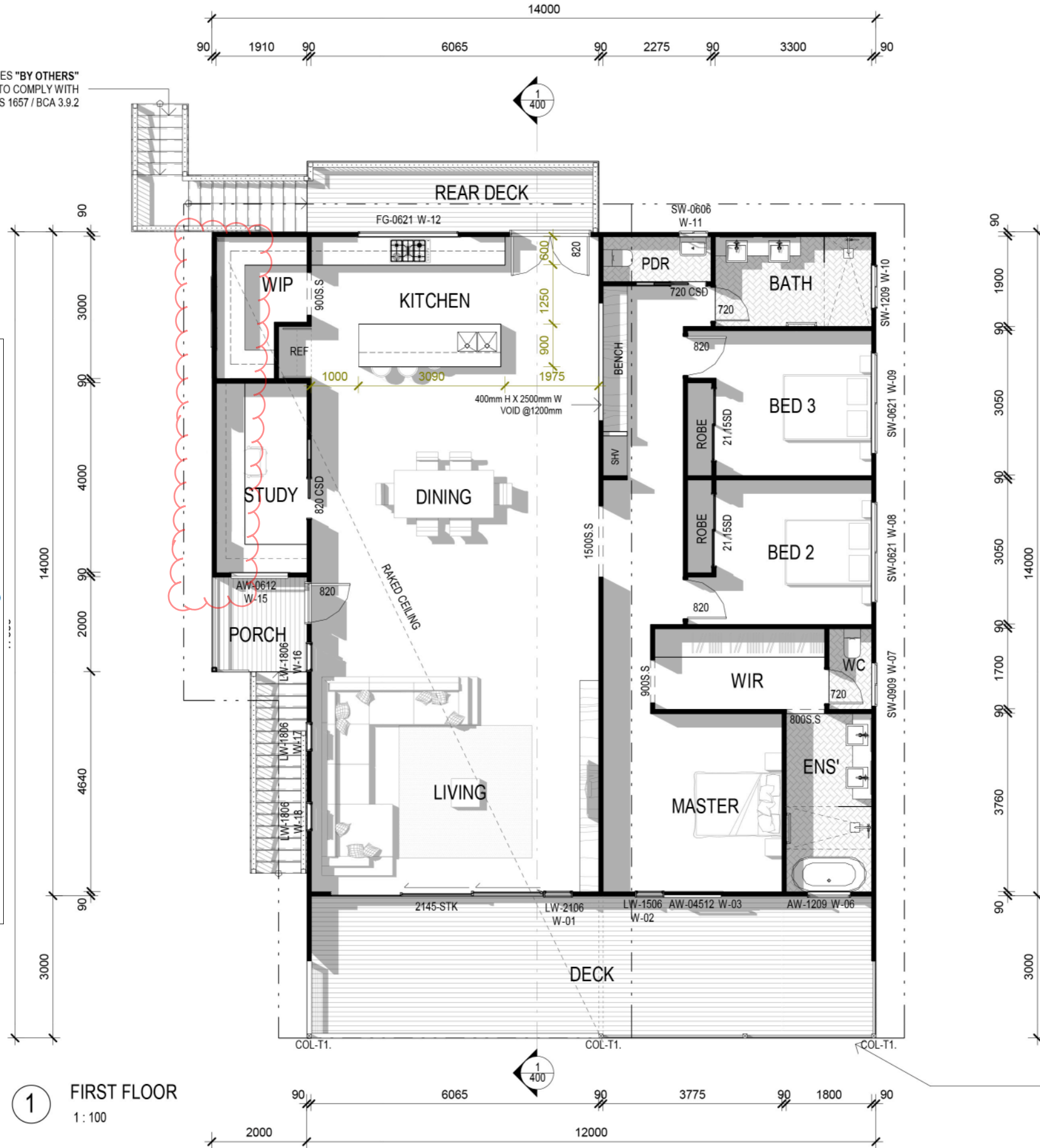
**CEILING FANS**

1 x 1400mm Kitchen/Living/Dining // 1 x 1200mm Rumpus room // 1 x 900mm in each bedroom

**RATED either with NO DOWNLIGHTS or with LED downlights which do not penetrate ceiling insulation (ie: IC rated)**

Refer to current HERS Certificate to validate these thermal specification details.

STAIRS & BALUSTRADES "BY OTHERS"  
BE CONSTRUCTED TO COMPLY WITH  
AS 1657 / BCA 3.9.2



**ALERT: THIS PROPERTY IS LOCATED IN A  
BUSHFIRE PRONE AREA. REFER TO BUSHFIRE  
REPORT FOR "BAL" RATING**

WINDOW SCHEDULE				
No.	Type	Height	Width	Description
01	LW-2106	2100	610	Window-Louvre-Trend-Quantum-130mm
02	LW-1506	1500	610	Window-Louvre-Trend-Quantum-130mm
03	AW-04512	450	1200	Awning Window X
04	AW-04512	450	1200	Awning Window X
05	AW-04512	450	1200	Awning Window X
06	AW-1209	1200	910	Awning Window X
07	SW-0909	900	910	Sliding Window - XO
08	SW-0621	600	2110	Sliding Window - XO
09	SW-0621	600	2110	Sliding Window - XO
10	SW-1209	1200	910	Sliding Window - XO
11	SW-0606	600	610	Sliding Window - XO
12	FG-0621	600	2110	Fixed Glass - O
13	SW-0615	600	1510	Sliding Window - XO
14	SW-0616	600	1010	Sliding Window - XO
15	AW-0612	600	1200	Awning Window X
16	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
17	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm
18	LW-1806	1800	610	Window-Louvre-Trend-Quantum-130mm

DOOR SCHEDULE.				
Mark	Type	Height	Width	Description.
01	2145-STK	2100	4500	STACKER DOOR
02	820	2040	820	2/820 EXTERNAL DOOR
03	820	2040	820	820 FULL GLASS EXTERNAL DOOR



## First Floor Plan

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P.:	ISSUE: <b>H</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>	WIND RATING:	A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>201</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE PANTRY & KITCHEN WINDOW	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT IMAGINE BY DESIGN PTY LTD ©

**imagine**  
by design

LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting

4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7 MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address  
14 Casons Road,  
New Brighton, NSW,  
2483

  
hstar.com.au

ABSA

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Merchant

Assessor Number: 101526

Assessor Signature: 

ABSA

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Merchant

Assessor Number: 101526

Assessor Signature: 

1 SOUTH. ELEVATION  
1 : 100

2 WEST. ELEVATION  
1 : 100

## Elevations - South&West

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P.:	ISSUE: <b>F</b>	<table><tr><th>REV</th><th>DATE</th><th>DESCRIPTION</th><th>DRAWN</th><th>CHECKED</th></tr><tr><td>A</td><td>07.09.22</td><td>PRELIMINARY DESIGN</td><td>AM</td><td>JMW</td></tr><tr><td>B</td><td>09.09.22</td><td>CLIENT REVIEW</td><td>AM</td><td>JMW</td></tr><tr><td>C</td><td>12.09.22</td><td>MINOR AMEND</td><td>AM</td><td>JMW</td></tr><tr><td>D</td><td>12.09.22</td><td>ADD LOUVERES / MINOR AMEND</td><td>AM</td><td>JMW</td></tr><tr><td>E</td><td>16.09.22</td><td>REMOVE ONE LW</td><td>AM</td><td>JMW</td></tr><tr><td>F</td><td>13.11.23</td><td>REMOVE PANTRY WINDOW</td><td></td><td></td></tr></table>	REV	DATE	DESCRIPTION	DRAWN	CHECKED	A	07.09.22	PRELIMINARY DESIGN	AM	JMW	B	09.09.22	CLIENT REVIEW	AM	JMW	C	12.09.22	MINOR AMEND	AM	JMW	D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW	E	16.09.22	REMOVE ONE LW	AM	JMW	F	13.11.23	REMOVE PANTRY WINDOW		
REV	DATE	DESCRIPTION	DRAWN	CHECKED																																			
A	07.09.22	PRELIMINARY DESIGN	AM	JMW																																			
B	09.09.22	CLIENT REVIEW	AM	JMW																																			
C	12.09.22	MINOR AMEND	AM	JMW																																			
D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW																																			
E	16.09.22	REMOVE ONE LW	AM	JMW																																			
F	13.11.23	REMOVE PANTRY WINDOW																																					
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>																																					
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>300</b>	LAND AREA: <b>1134m²</b>																																				

PRELIM - NOT FOR CONSTRUCTION

imagine

by design

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

QBCC: 1511 1256



LEGEND	
8° PITCH	ROOF PITCH @ 8°
10° PITCH	ROOF PITCH @ 10°
Cs	Colorbond Steel Roofing
Cs-Ws	Colorbond Steel Wall Sheeting

4.9

NATIONWIDE  
HOUSE  
ENERGY RATING SCHEME

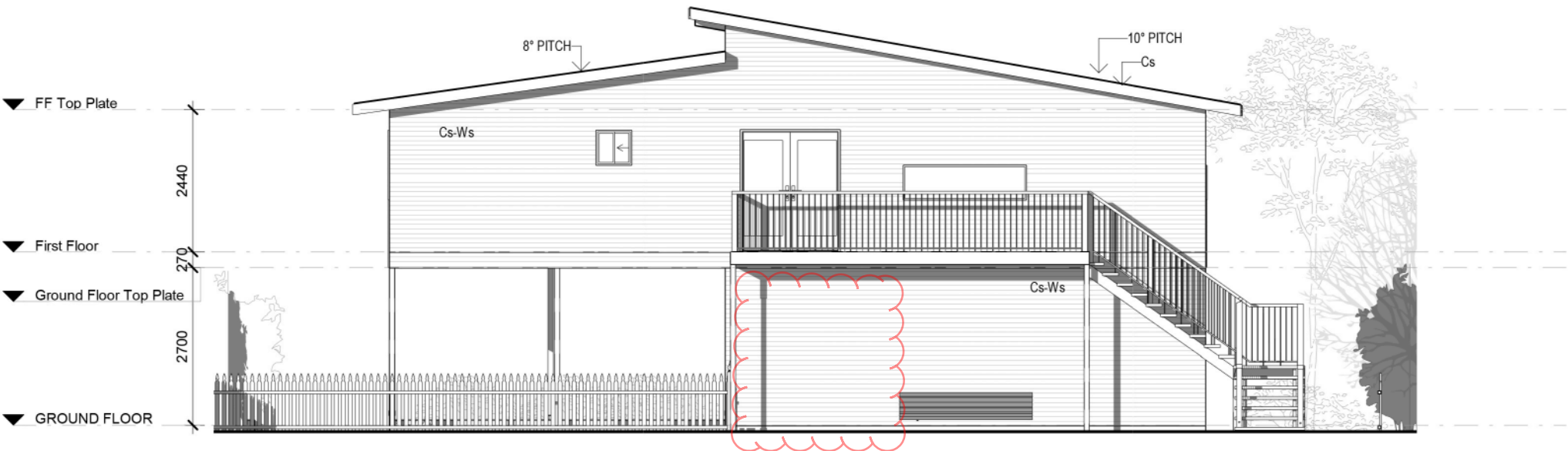
55.7  
MJ/m²

www.nathers.gov.au

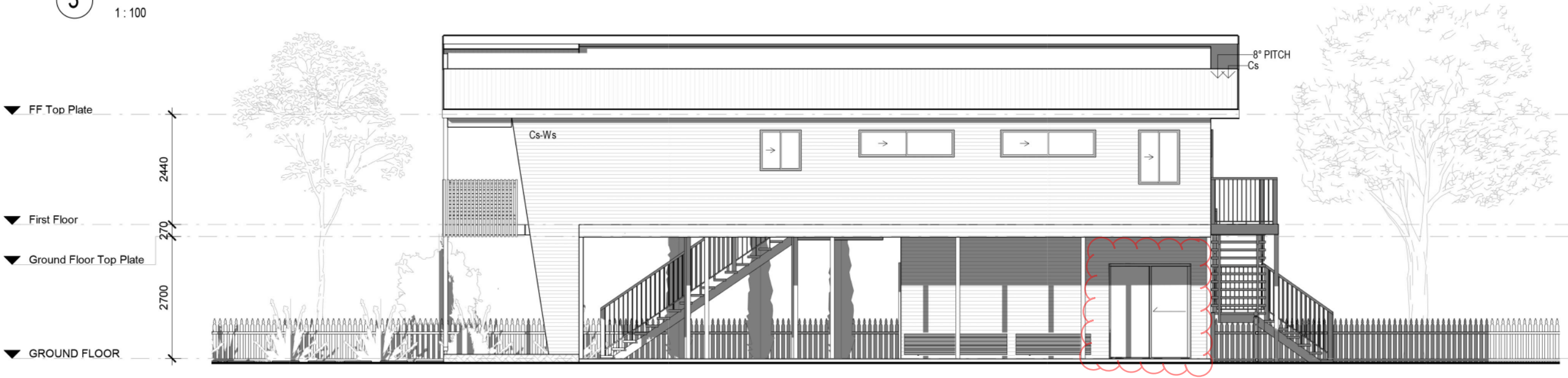
0008704785-01 26 Feb 2024  
Assessor John Marchant  
Accreditation No. 101526  
Address  
14 Casons Road,  
New Brighton, NSW,  
2483  
hstar.com.au

ABSA  
Australian Building  
Sustainability Association

Accreditation Period: 23/03/2023-23/03/2024  
Assessor Name: Darrell Marchant  
Assessor Number: 101526  
Assessor Signature: *John Marchant*



3 NORTH ELEVATION  
1:100



4 EAST ELEVATION  
1:100

## Elevations - North&East

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P: <b>F</b>	ISSUE: <b>F</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>		SCALE: <b>1 : 100 @ A3</b>		A	07.09.22	PRELIMINARY DESIGN	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	DWG No: <b>301</b>	LAND AREA: <b>1134m²</b>	B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
				F	13.11.23	REMOVE KITCHEN WINDOW & RELOCATE DOOR	AM	JMW

PRELIM - NOT FOR CONSTRUCTION

**imagine**  
by design

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129  
Phone: +61 73806 5100  
QBCC: 1511 1256

4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7 MJ/m<sup>2</sup>

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address  
14 Casons Road,  
New Brighton, NSW,  
2483

hstar.com.au

ABSA

Customer Building Sustainability Australia

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Marchant

Assessor Number: 101526

Assessor Signature: *[Signature]*

ABSA

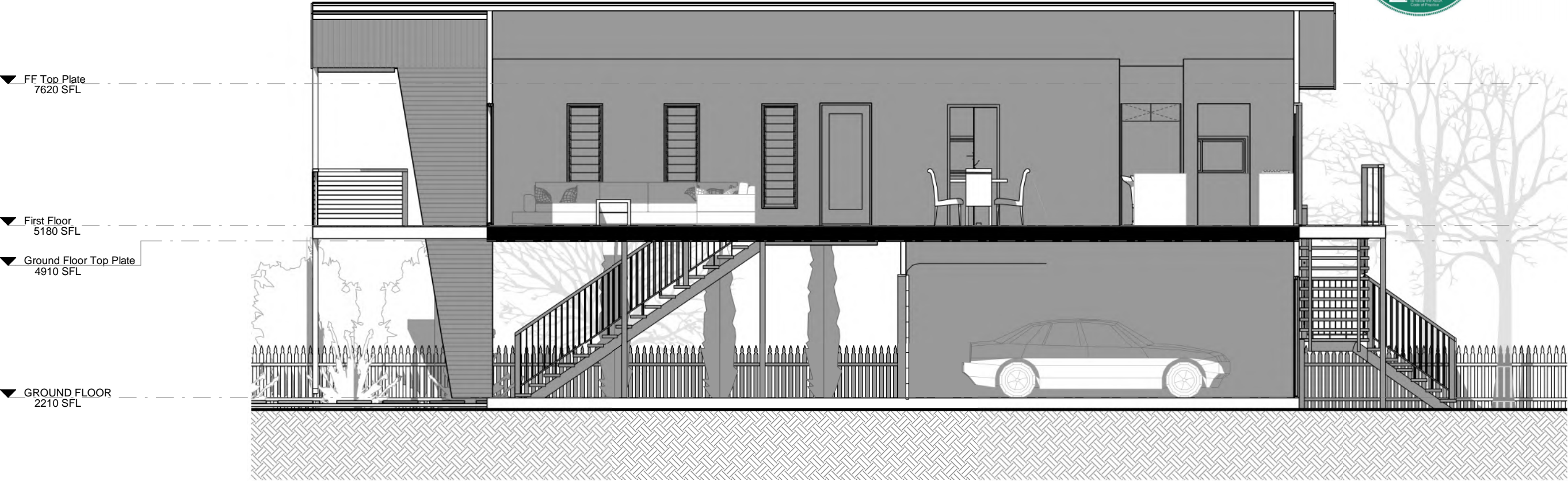
THE ACCREDITED ASSessor

REGISTERED ASSessor

OF BUILDING AND CONSTRUCTION

UNDER THE NBSA

CODE OF PRACTICE



1 Section 1  
1:75

## Sections

DESIGN: <b>KIOLOA - MOD SKILLION</b>	JOB ADDRESS: <b>14 Casons Road New Brighton NSW, 2483</b>	S.P:	ISSUE: <b>E</b>	REV	DATE	DESCRIPTION	DRAWN	CHECKED
STAGED PLAN: <b>PRELIMINARY</b>				A	07.09.22	PRELIMINARY DESIGN	AM	JMW
				B	09.09.22	CLIENT REVIEW	AM	JMW
				C	12.09.22	MINOR AMEND	AM	JMW
				D	12.09.22	ADD LOUVERES / MINOR AMEND	AM	JMW
				E	16.09.22	REMOVE ONE LW	AM	JMW
CLIENT: <b>GEOFF WARD</b>	USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY ENQUIRES TO <b>BUILDING CONTRACTOR</b> . ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS.	SCALE: <b>1 : 75 @ A3</b>						
		DWG No: <b>400</b>	LAND AREA: <b>1134m<sup>2</sup></b>					

PRELIM - NOT FOR CONSTRUCTION

**imagine**  
by design

3968 PACIFIC HIGHWAY  
LOGANHOLME, QLD 4129

Phone: +61 73806 5100

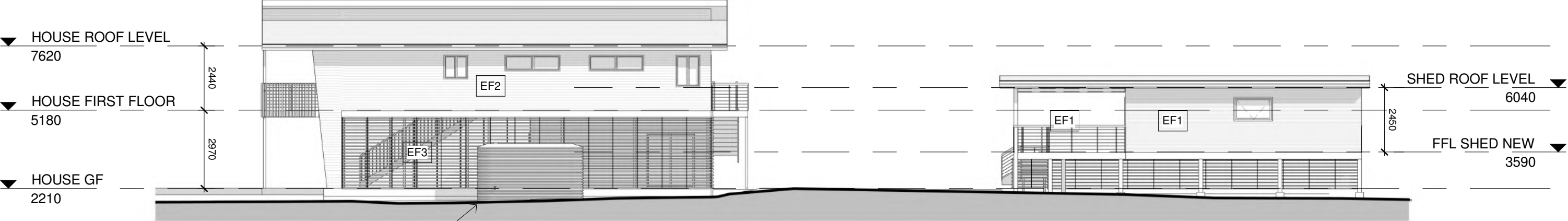
QBCC: 1511 1256



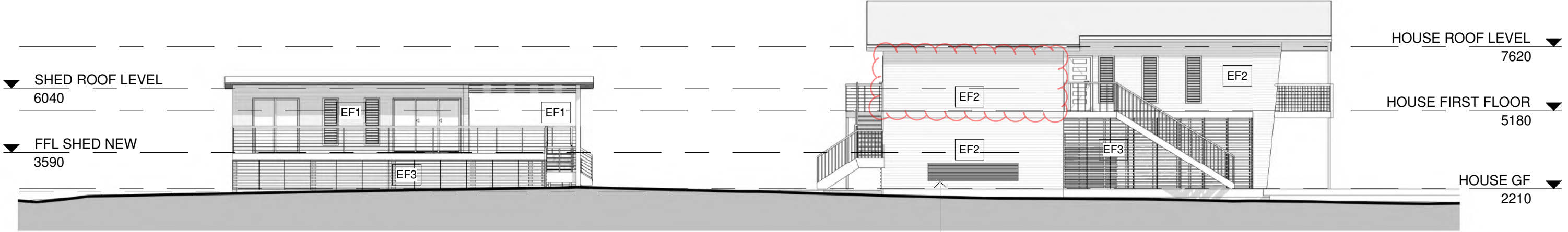
NOTE: ALL BALUSTRADES TO BE CONSTRUCTED TO NCC REQUIREMENTS



MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 OVERALL ELEVATION NORTH EAST  
1 : 150



2 OVERALL ELEVATION SOUTH WEST  
1 : 150

G	SECTION 4.55 APP	RN	13.11.23
F	REV DA ISSUE	RN	07.07.23
E	RFI RESPONSE	RN	16.05.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
OVERALL ELEVATIONS AND MATERIAL  
SCHEDULE



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Scale : @ A3  
1 : 150  
Project number : 2219  
Drawing number : SD500  
Issue : G

4.9

NATIONWIDE  
HOUSE

ENERGY RATING SCHEME

55.7

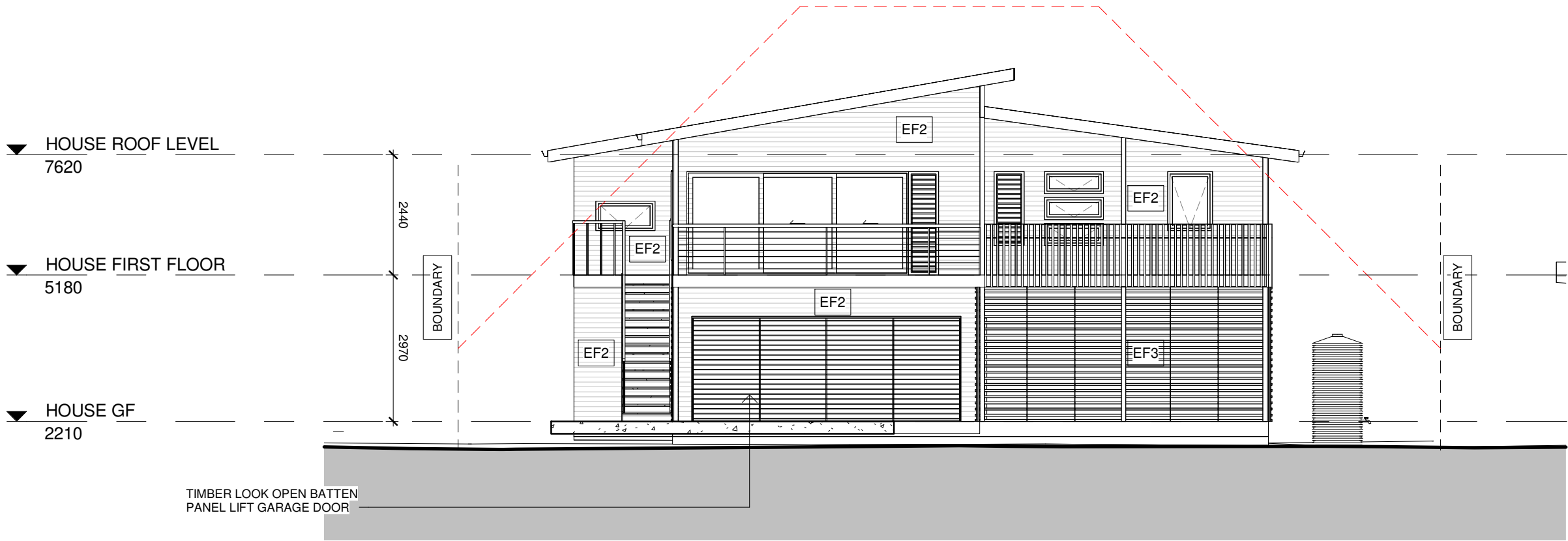
MJ/m²

www.nathers.gov.au

0008704785-01 26 Feb 2024  
Assessor John Marchant  
Accreditation No. 101526  
Address  
14 Casons Road,  
New Brighton, NSW,  
2483  
hstar.com.au



MATERIAL KEY SCHEDULE		
REF NO.	DESCRIPTION	IMAGE
EF1	LYSAGHT CUSTOM ORB ZINCALUME UNPAINTED FINISH	
EF2	COLORBOND "MONUMENT" FINISH	
EF3	TIMBER LOOK ALUMINIUM BATTEN SCREEN	
EF4	COLORBOND ROOFING "SHALE GREY" FINISH "MONUMENT" FASCIA AND GUTTER	



1 BUILDING HEIGHT PROJECTION DIAGRAM  
1 : 100

LEGEND	
BUILDING HEIGHT PLANE	— — — —
SET BACK	- - - - -

E	RFI RESPONSE	RN	16.0523
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
BUILDING HEIGHT PLANE AND SET BACK  
DIAGRAM

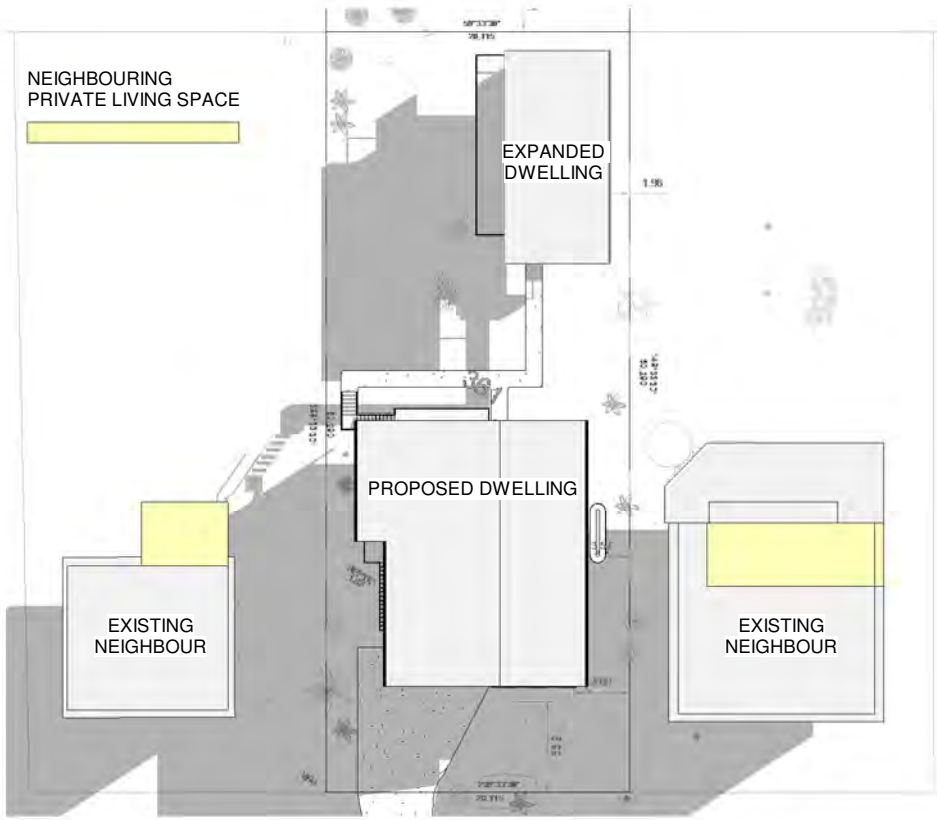


RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

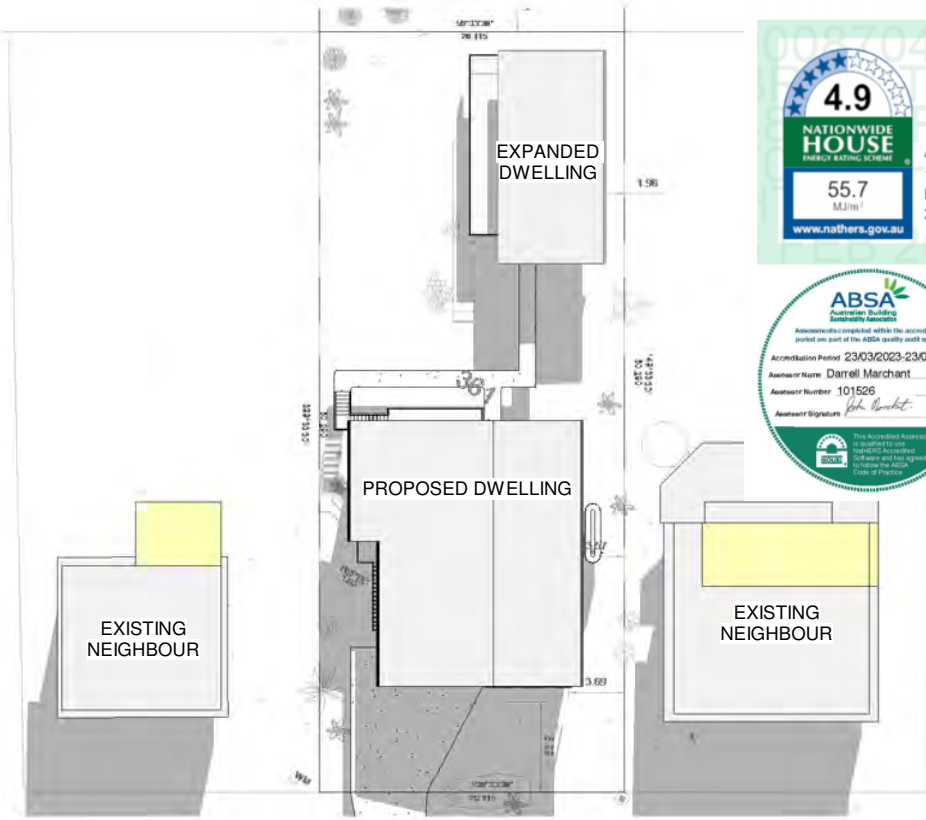
Project number :  
2219  
Drawing number :  
SD501

Scale : @ A3  
1 : 100  
Issue :  
E  
13/11/2023 3:01:47 PM

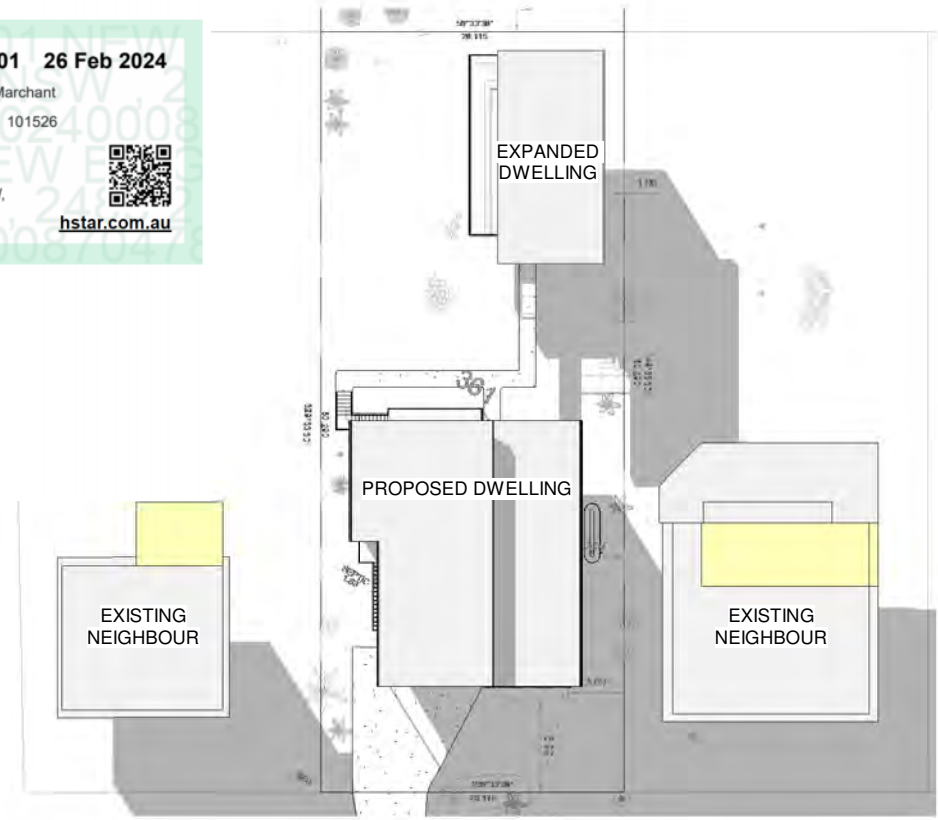




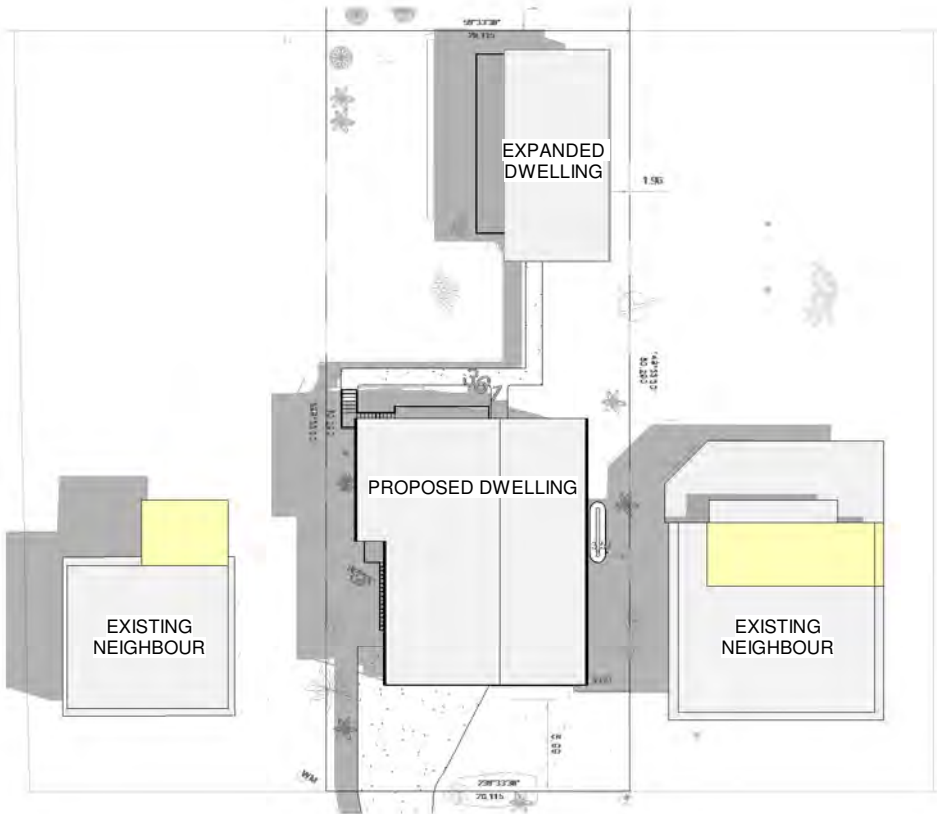
1 JUNE 21 - 9AM  
SD07 1 : 500



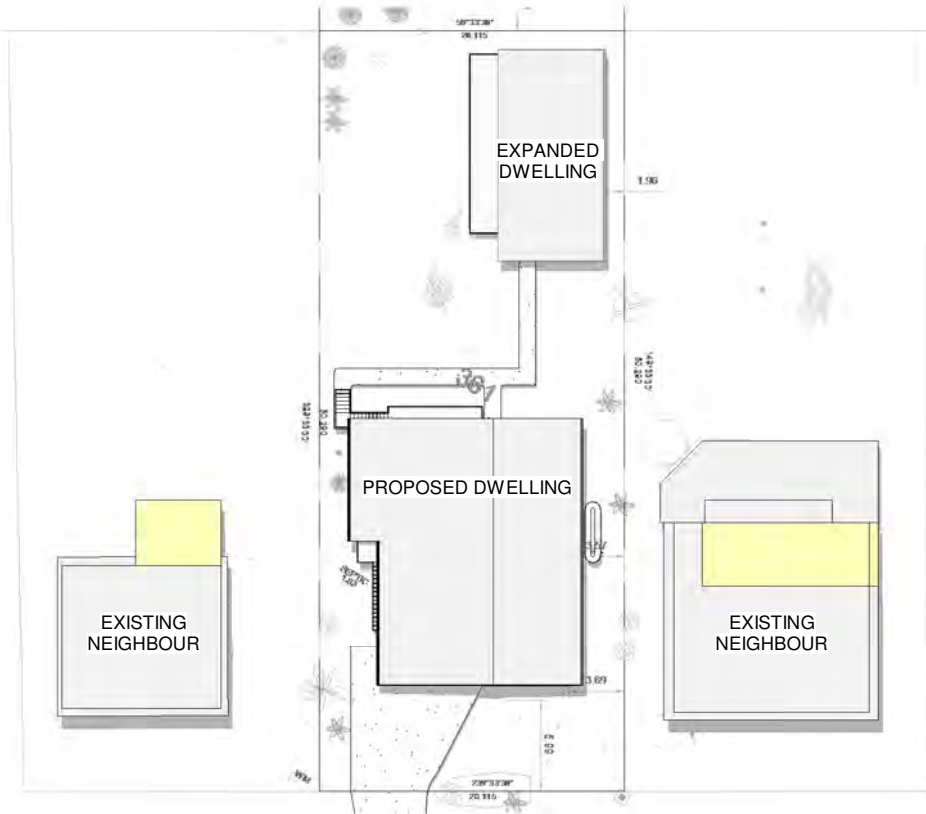
2 JUNE 21 - 12PM  
SD07 1 : 500



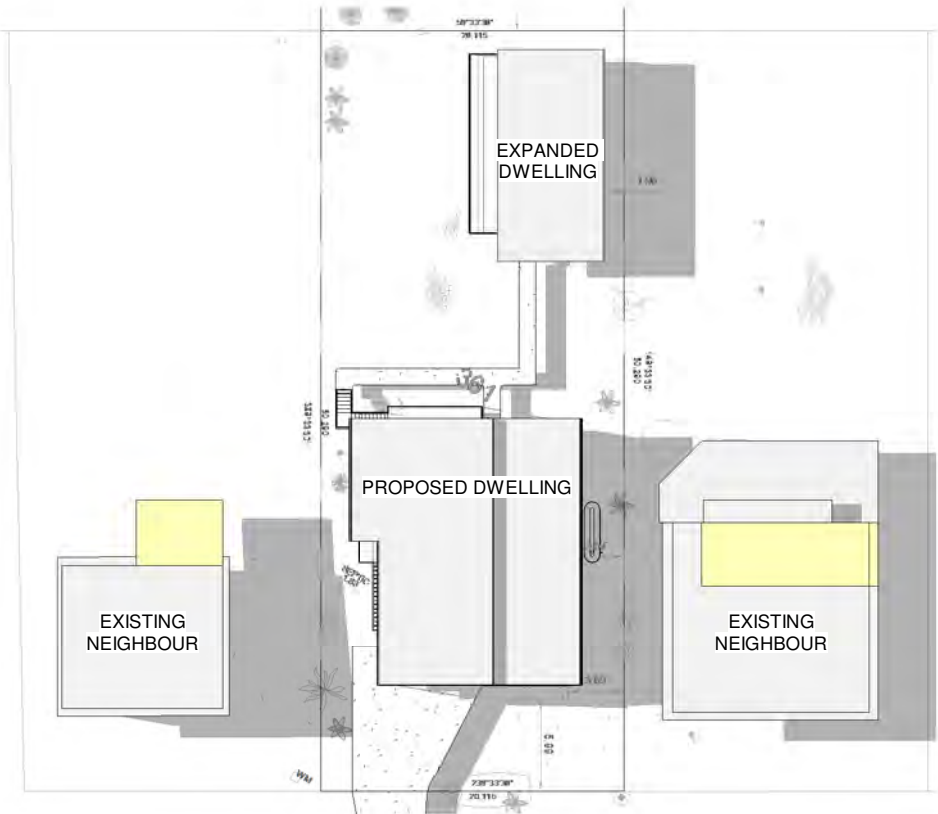
3 JUNE 21 - 3PM  
SD07 1 : 500



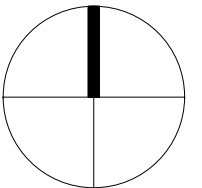
4 DEC 21 - 9AM  
SD07 1 : 500



5 DEC 21 - 12PM  
SD07 1 : 500



6 DEC 21 - 3PM  
SD07 1 : 500



AMENDMENT

E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22
REV.	DESCRIPTION	ISSUED BY	DATE

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD  
Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
SHADOW DIAGRAMS



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD502  
Scale : @ A3  
1 : 500  
Issue :  
E  
13/11/2023 3:01:53 PM

4.9

NATIONWIDE

HOUSE

ENERGY RATING SCHEME

55.7

MJ/m<sup>2</sup>

www.nathers.gov.au

0008704785-01 26 Feb 2024

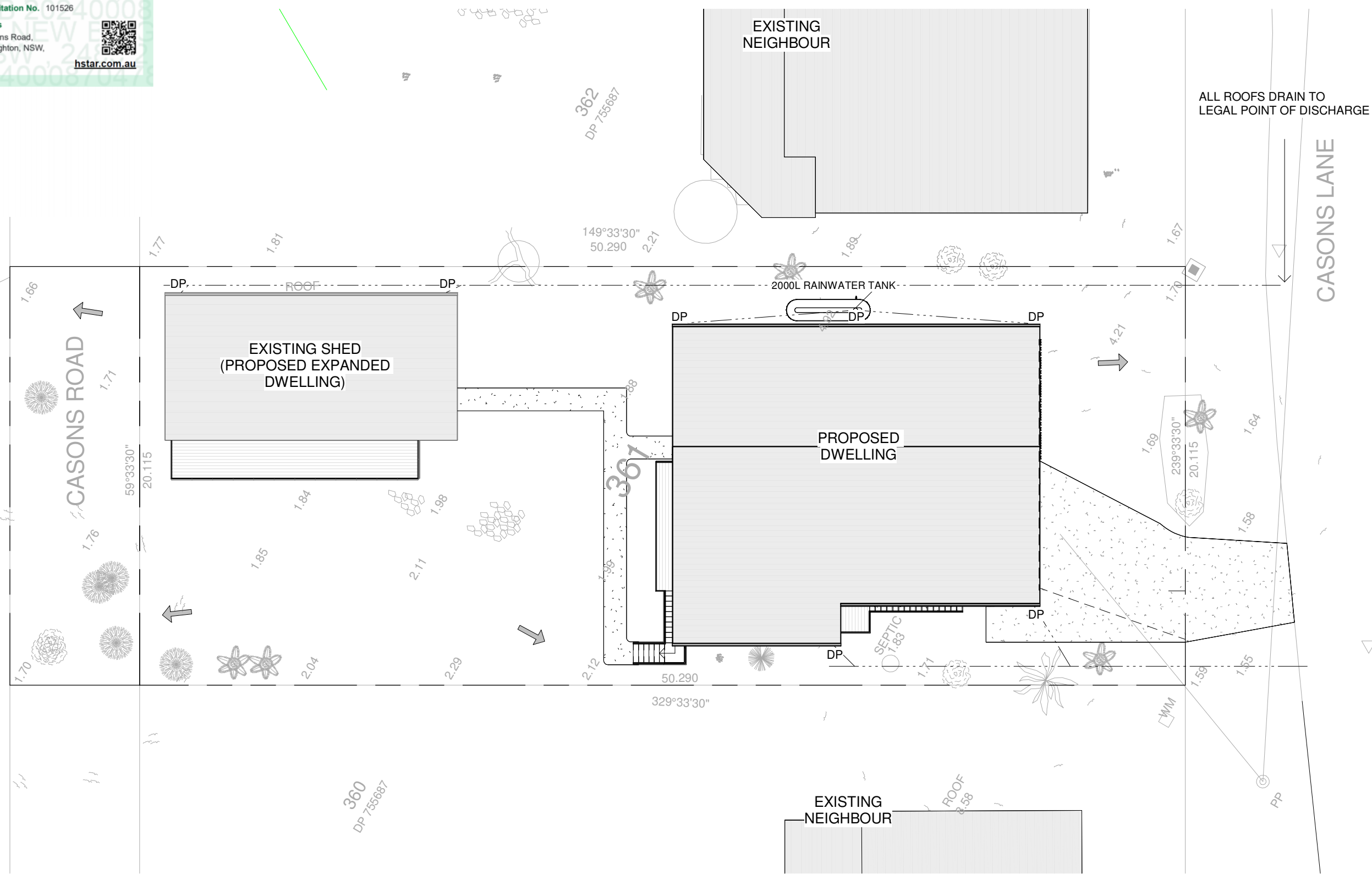
Assessor John Marchant

Accreditation No. 101526

Address

14 Casons Road,  
New Brighton, NSW,  
2483

hstar.com.au





4.9

NATIONWIDE HOUSE ENERGY RATING SCHEME

55.7

Mm

www.nathers.gov.au

0008704785-01 26 Feb 2024

Assessor John Marchant

Accreditation No. 101526

Address  
14 Casons Road,  
New Brighton, NSW,  
2483

hstar.com.au

ABSA

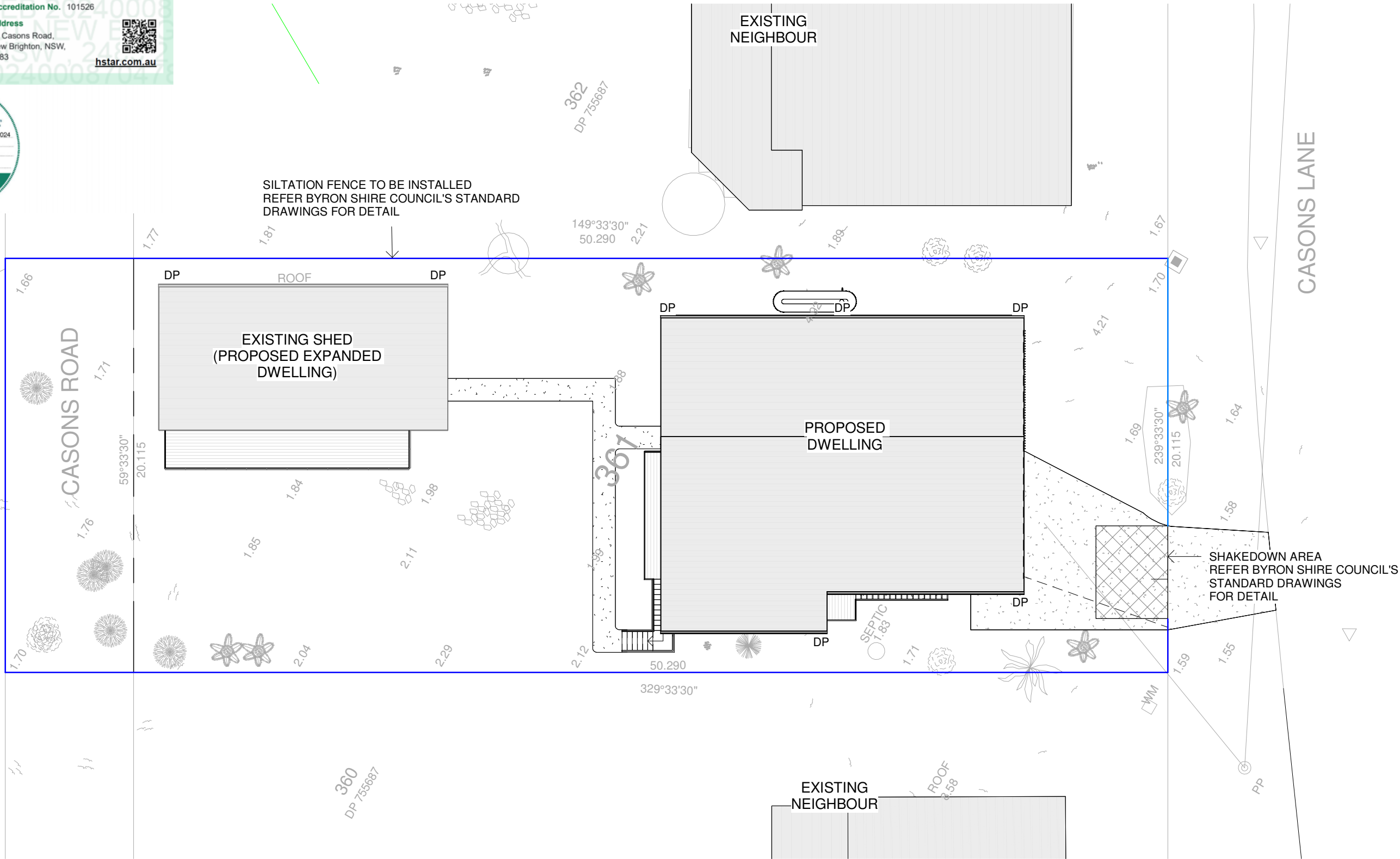
Australian Building Sustainability Association

Accreditation Period: 23/03/2023-23/03/2024

Assessor Name: Darrell Marchant

Assessor Number: 101526

Assessor Signature:



REV.	DESCRIPTION	ISSUED BY	DATE
E	REV DA ISSUE	RN	07.07.23
D	DA ISSUE	IK	20.01.23
C	DRAFT DA ISSUE	RN	30.11.22
B	REV REVIEW ISSUE	RN	18.11.22
A	REVIEW ISSUE	RN	04.11.22

Project :  
PROPOSED DWELLING &  
EXPANDED DWELLING  
Client :  
GEOFF WARD

Location :  
14 CASONS LANE, NEW BRIGHTON  
Drawing Title :  
EROSION AND SEDIMENT CONTROL  
PLAN



RACHEL NORMAN ARCHITECT  
QLD Reg 4459 | NSW Reg 11539  
M 0413 375 307  
E rachel@rachelnormanarchitect.com.au  
W www.rachelnormanarchitect.com.au

Project number :  
2219  
Drawing number :  
SD504  
Scale : @ A3  
1 : 200  
Issue :  
E