

WORKING DRAWINGS

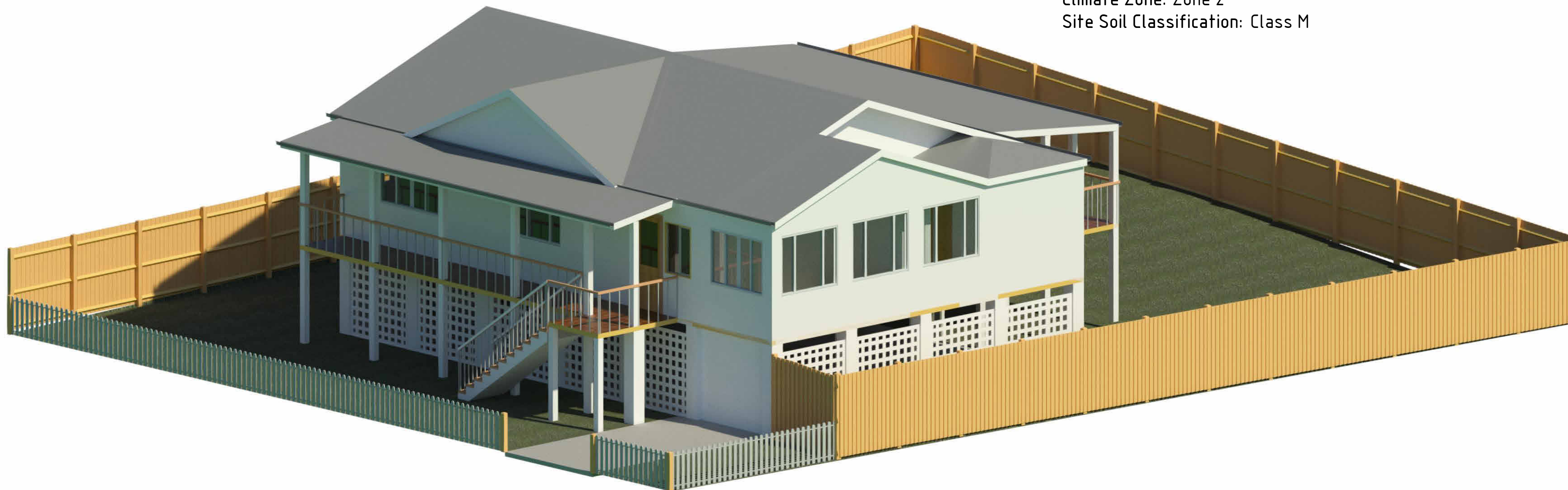
These working drawings have been prepared for the purpose of obtaining Building Approval and for construction purposes.

These plans are to be accompanied by the other consultants documentation, including but not limited to:

- Geotechnical Engineer's Soil Test and Report
- Structural Engineer's Design Specification
- Energy Efficiency Rating Report
- Development Approval conditions and approved plans, dated 12th July 2022

Plans and documentation compiled and completed by David Lyons, Residential Draftsperson.

Signed: _____ Dated: 22-SEP-22



Drawing List

Sheet Number	Sheet Name
WD00	Cover Sheet
WD01	Site Plan
WD02	Ground Floor
WD03	First Floor Plan
WD04	West/South Elevations
WD05	East/North Elevations

Relevant Site Conditions

Bushfire Attack Level (BAL): BAL-LOW
Flood Levels: No Defined Flood Levels (DFL),
Residential Flood Level (RFL) or Overland Flow flags
for this property
Site Slope Gradient Percent: 3%
Wind Classification of Site: N2
Permitted exemptions/Site relaxations: None
Decision notices: None
Transport Noise Corridor (TNC): Category 0 in all
Categories
Finished Building Classification: Class 1
Climate Zone: Zone 2
Site Soil Classification: Class M

Client: Emma Hansford
Project Address: 10 Anstey Street
Albion, QLD 4010

Draftsperson: David Lyons

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Do not scale. Dimensions take precedence over scale.



Issue	Amendment	Date
WD-A	Working Drawings	28-FEB-22
WD-B	Revision 1	09-JUL-22
WD-C	Final Revision	22-SEP-22

These drawings are completed to meet the following Minimum Design Standards, including (but not limited to):

1. NCC Volumes 1, 2 & 3
2. All appropriate Australian Standards
3. Queensland Development Codes MP1.1 to MP4.1
4. Queensland Building Act 1975
5. Queensland Fire and Emergency Services Act 1990

10 Anstey Street
QLD'er House

Cover Sheet

Sheet No. **WD00**

Project number	2022-1A
Date Issued	22-SEP-22
Drawn by	David Lyons
Checked by	David Lyons
Approved by	David Lyons
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SITE NOTES

1. GENERAL

Do not scale off plan, figured dimensions take preference. Builder to verify all dimensions and levels on plan prior to construction. All services and manholes must be located and identified prior to construction. Contours and levels shown on the plan are indicative only, as supplied by contour surveyor. No responsibility is taken for accuracy of levels.

2. SITE SETOUT

Location of boundaries to be confirmed by surveyor/ builder prior to setout. It is recommended that a licensed surveyor be engaged to setout the building. All boundary clearances shown to be verified by builder prior to commencement of construction. Any variation to setout dimensions must remain within Council requirements.

3. EARTHWORKS

Ground levels, finished floor levels, site works and retaining are indicative only and shall be confirmed on site prior to construction. All earthworks shall comply with Building Code of Australia (BCA) Part 3.1 and relevant Council legislation. Soil erosion and sediment control to be installed by builder as per local authority requirements prior to construction, and must be maintained in working order at all times.

4. DRAINAGE

All site and stormwater drainage shall comply with BCA Part 3.1.2, AS 3500 and relevant Council legislation. Stormwater to be discharged to Council approved discharge point. All roof stormwater drainage, including downpipes/ drainage pipes shall be in accordance with BCA Part 3.5.2 and QDC MP4.2.

5. DRIVEWAY

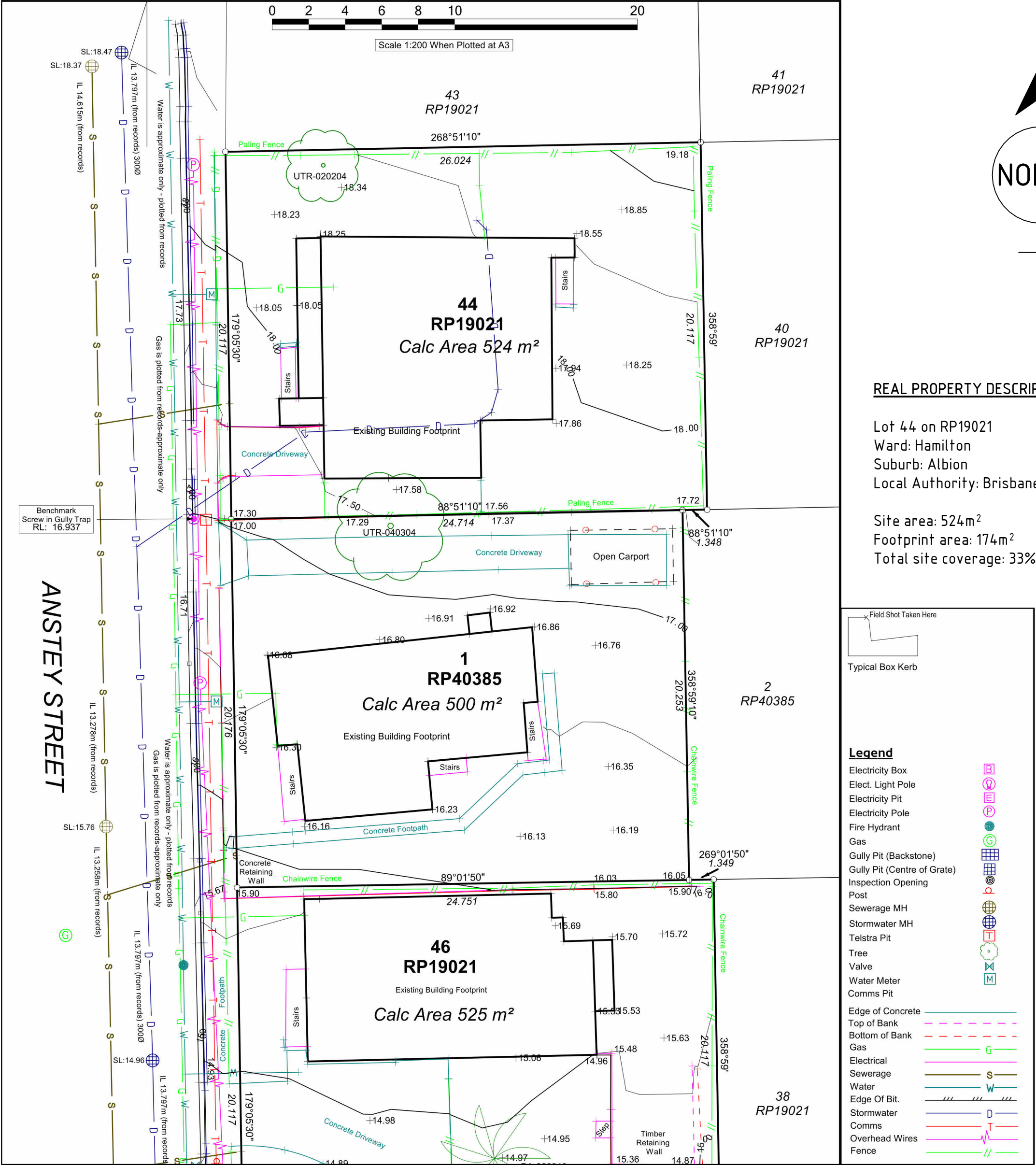
Driveway to comply with Council legislation, with 1:5 max. gradient.

6. RETAINING WALLS

All retaining walls and embankments are to comply with BCA, relevant Australian Standards and Council legislation. Retaining walls shall have 65 dia. ag. pipe (to discharge to stormwater line) and granular backfill behind. All retaining walls one metre high and greater must be designed by a registered engineer.

7. LANDSCAPING

The finished ground immediately surrounding the residence shall remain 150mm below the internal concrete slab height and shall fall away from the residence at a slope of not less than 50mm over the first 1m. Landscaping must not cover any weep holes within the brickwork and must not allow termites to bridge any visual, physical or chemical termite barrier.



REAL PROPERTY DESCRIPTION

Lot 44 on RP19021
Ward: Hamilton
Suburb: Albion
Local Authority: Brisbane City Council

Site area: 524m²
Footprint area: 174m²
Total site coverage: 33%

Legend

- Electricity Box
- Elect. Light Pole
- Electricity Pit
- Electricity Pole
- Fire Hydrant
- Gas
- Gully Pit (Backstone)
- Gully Pit (Centre of Grate)
- Inspection Opening
- Post
- Sewerage MH
- Stormwater MH
- Telstra Pit
- Tree
- Valve
- Water Meter
- Comms Pit
- Edge of Concrete
- Top of Bank
- Bottom of Bank
- Gas
- Electrical
- Sewerage
- Water
- Edge Of Bit.
- Stormwater
- Comms
- Overhead Wires
- Fence

SERVICES

Power: Telephone poles
Phone: Telephone poles
Water: Meter located
Sewerage: Underground
Stormwater: Front
Road: Bitumen
Kerb: Mountable
Footpath: None



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10 Anstey Street
QLD'er House

Site Plan

Sheet No. WD01

Project number 2022-1A

Date Issued 22-SEP-22

Drawn by SW

Checked by David Lyons

Approved by David Lyons

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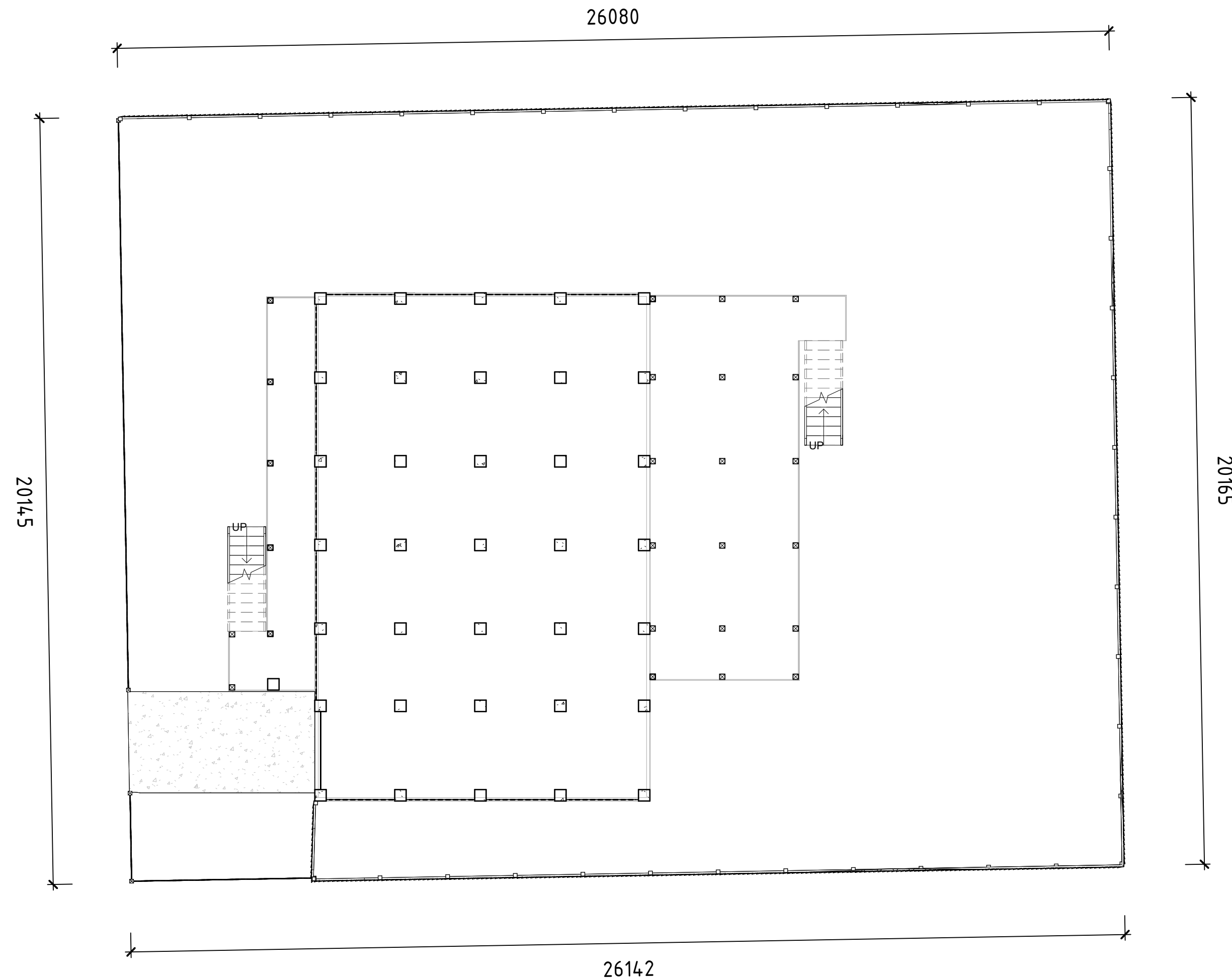
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10 Anstey Street
QLD'er House

Ground Floor

Sheet No. WD02

Project number	2022-1A
Date Issued	22-SEP-22
Drawn by	David Lyons
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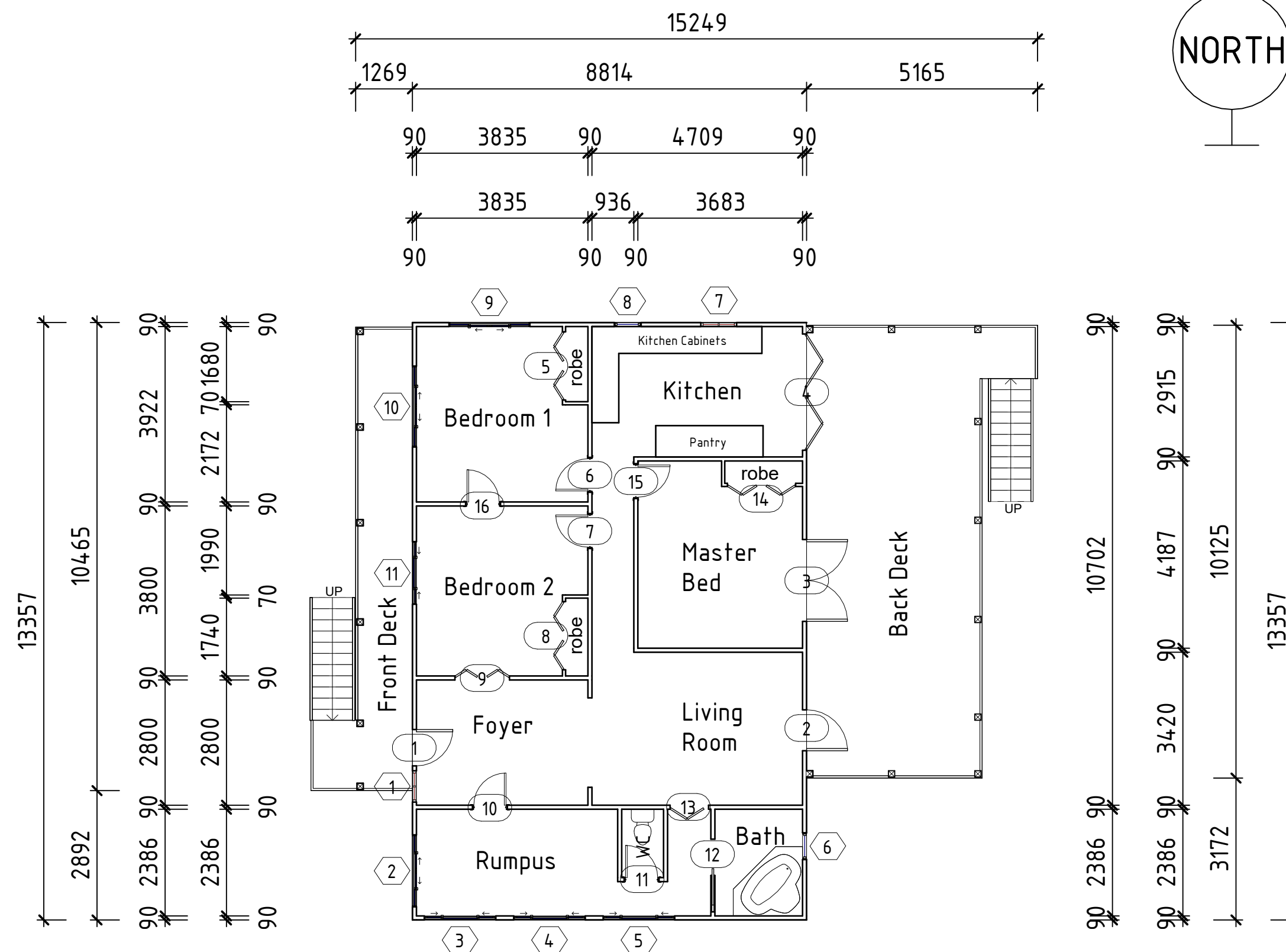
10 Anstey Street
QLD'er House

First Floor Plan

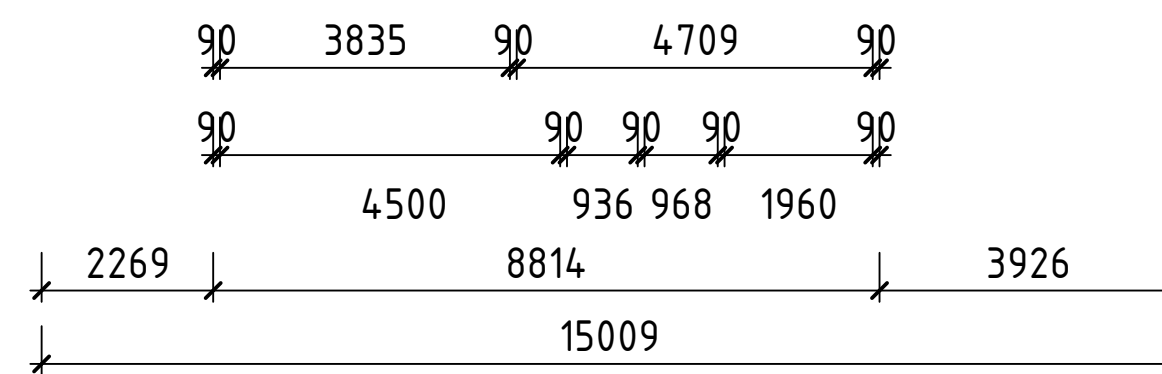
Sheet No. WD03

Project number	2022-1A
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Window Schedule			
#	Height	Width	Description
1	1100	700	Awning window
2	1200	1610	Sliding window OXXO
3	1300	1600	Sliding window XOOX
4	1300	1600	Sliding window XOOX
5	1300	1600	Sliding window XOOX
6	1300	600	Awning window
7	1100	800	Awning window
8	1300	600	Awning window
9	1200	1810	Sliding window OXXO
10	1200	1810	Sliding window OXXO
11	1300	1400	Sliding window OXXO



Note: Total drawing dimensions are slightly off from measured dimensions by: Total building width (N-S axis, including decks): 107mm & Total building depth (W-E axis, including decks): 189mm

Door Schedule			
#	Height	Width	Description
1	2032	813	Timber-framed decorative front door
2	2134	915	Timber-framed glass deck door
3	2134	1830	Timber-framed glass deck door
4	2134	2600	Timber-framed 4-panel bi-fold glass deck door
5	2134	1525	Timber 4-panel wardrobe door
6	2040	720	Hollow core door
7	2040	720	Hollow core door
8	2134	1525	Timber 4-panel wardrobe door
9	2134	1220	Timber 4-panel room door
10	2040	720	Hollow core door
11	2040	720	Hollow core door
12	2032	813	Timber cavity slide door
13	2134	860	Timber 2-panel bi-fold door
14	2134	1525	Timber 4-panel wardrobe door
15	2040	720	Hollow core door
16	2040	720	Hollow core door

1 First Floor

1 : 100

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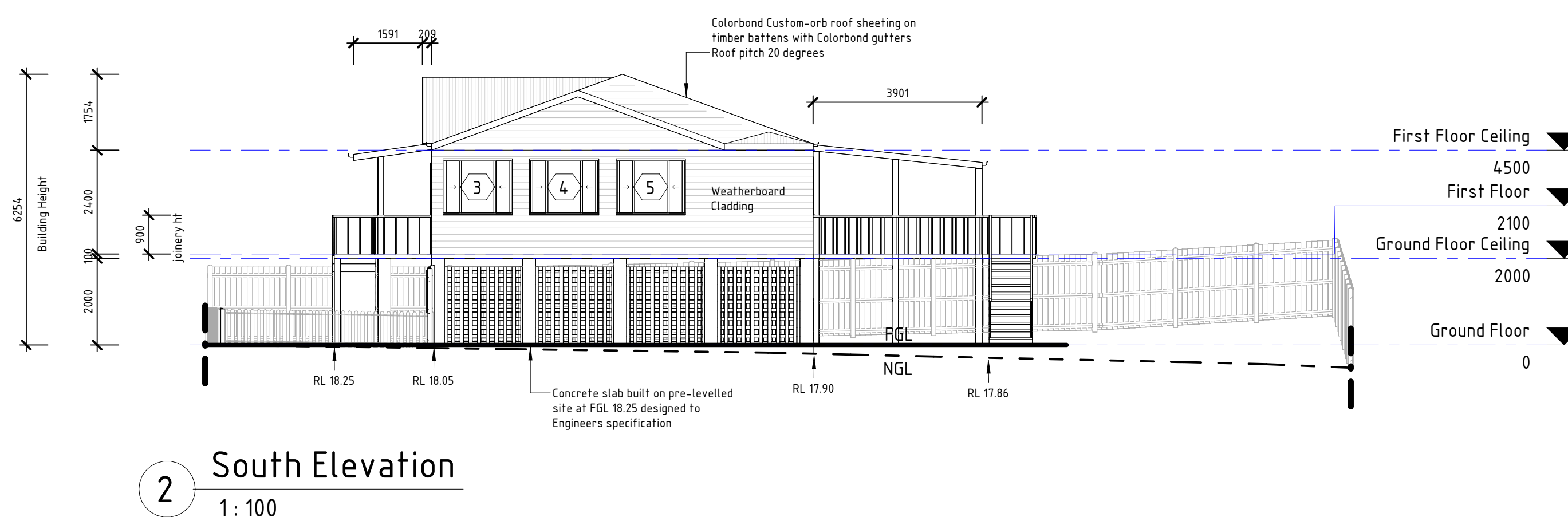
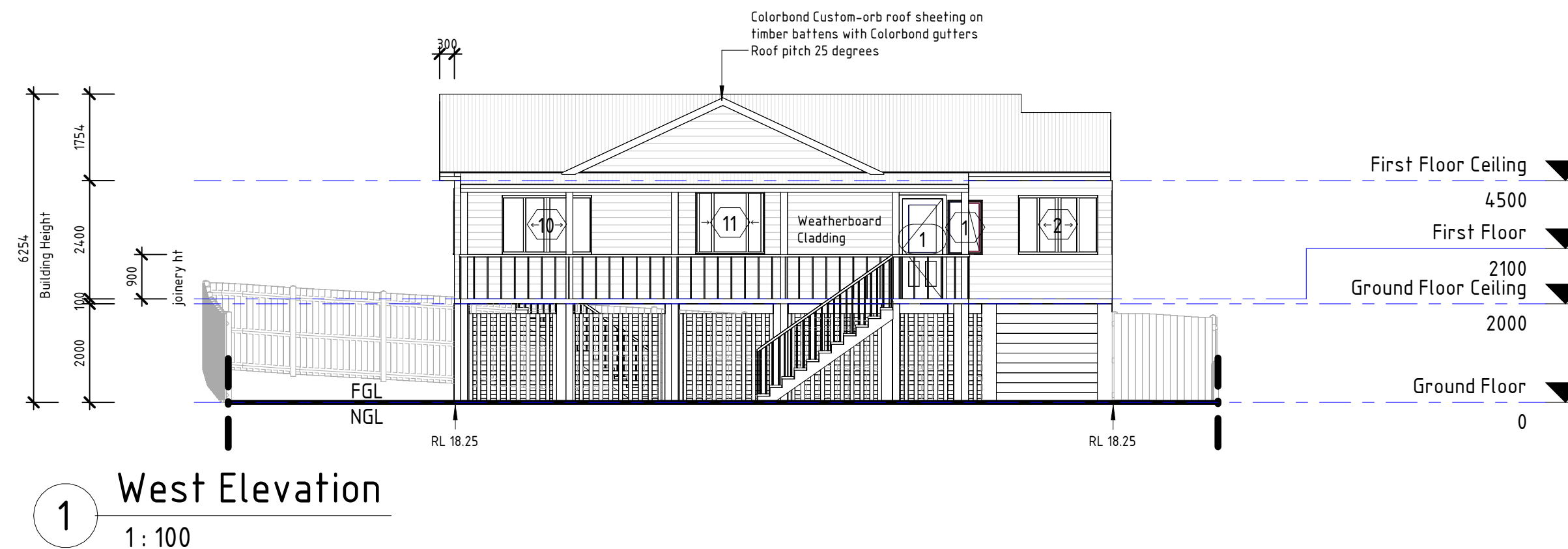
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10 Anstey Street
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West/South Elevations

Sheet No. WD04

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East/North Elevations

Sheet No. WD05

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