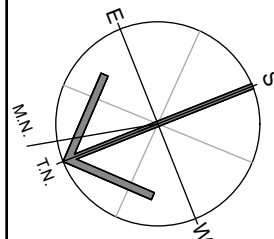


SITE AREA	949sqm
ALLOWED F.S.R.	0.5:1
	474.50sqm
<u>MAIN DWELLING</u>	
EXISTING FLOOR AREA	117.2sqm
PROPOSED FIRST FLOOR	104sqm
PROPOSED LOWER FLOOR	0sqm
DECK AREA	46.8sqm
ROOF AREA	186sqm
<u>SECONDARY DWELLING</u>	
EXISTING FLOOR AREA	41.21sqm
PROPOSED FLOOR AREA	41.21sqm
DECK	11.88sqm

SITE PLAN 1:2000



Do not scale from the drawings.
Written dimensions shall take precedence over scale.
Builder to verify dimensions on site prior to the commencement of construction.
Luis Cristia to be notified of any discrepancies prior to construction

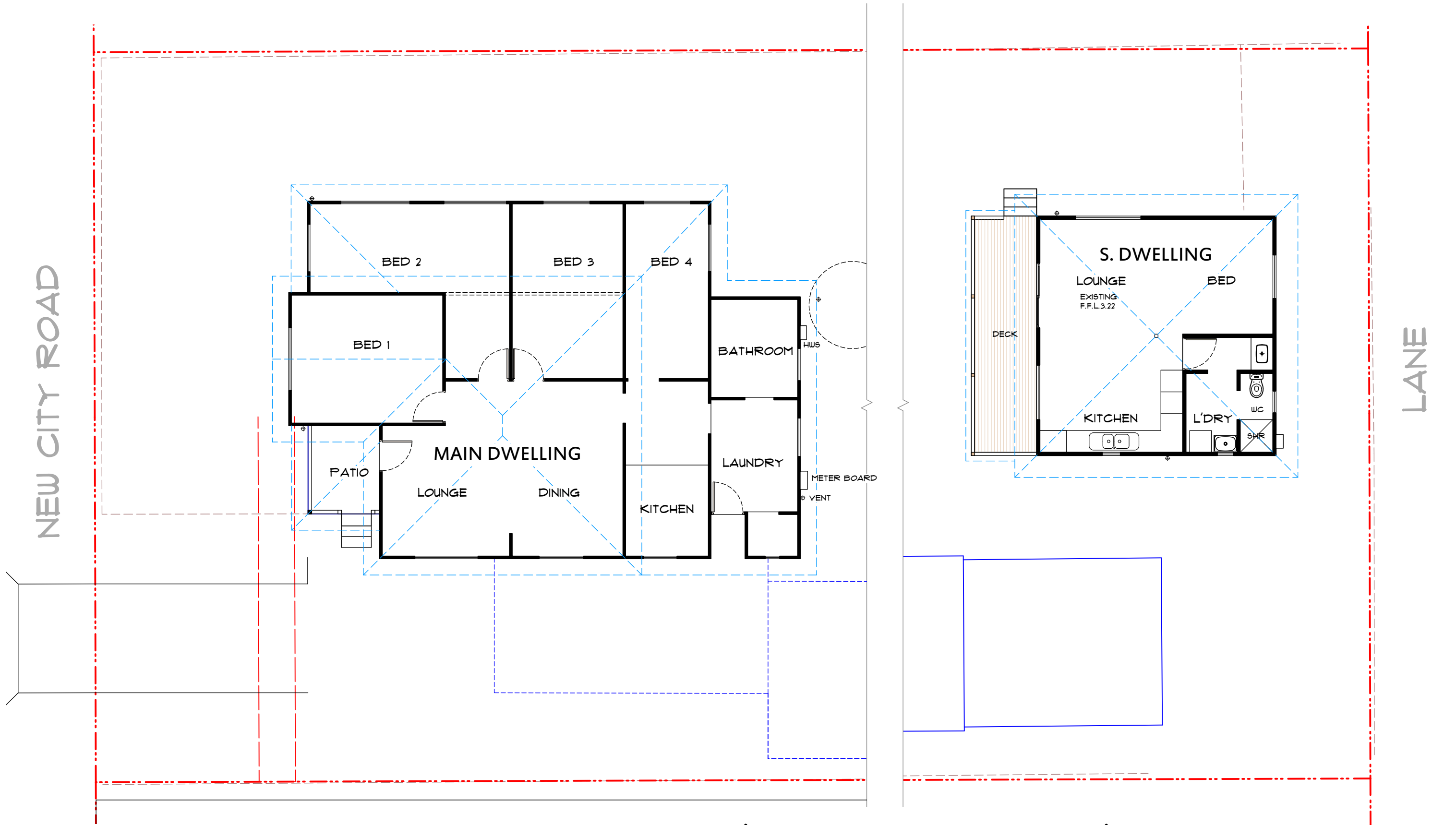
Issue	Revision	Date

PROPOSED ALTERATIONS AND
ADDITIONS (HOUSE RAISING) AT
17 NEW CITY ROAD,
MULLUMBIMBY NSW 2482
LOT 19 SEC. - D.P. 1179670

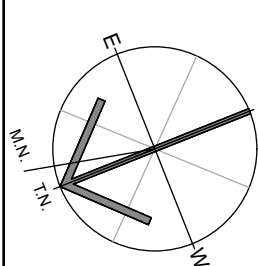
P.O. BOX 774 MULLUMBIMBY NSW 2482
MOBILE 0403 564 721
EMAIL: luisc@bigpond.com

Issue:
DA

DA01



EXISTING GROUND FLOOR PLAN (MAIN DWELLING AND S.D.) 1:100



NOTES:
Do not scale from the drawings.
Written dimensions shall take precedence over scale.
Builder to verify dimensions on site prior to the commencement of construction.
Luis Cristia to be notified of any discrepancies prior to construction

Issue	Revision	Date

Project:
PROPOSED ALTERATIONS AND ADDITIONS (HOUSE RAISING) AT 17 NEW CITY ROAD, MULLUMBIMBY NSW 2482 LOT 19 SEC. - D.P. 1179670

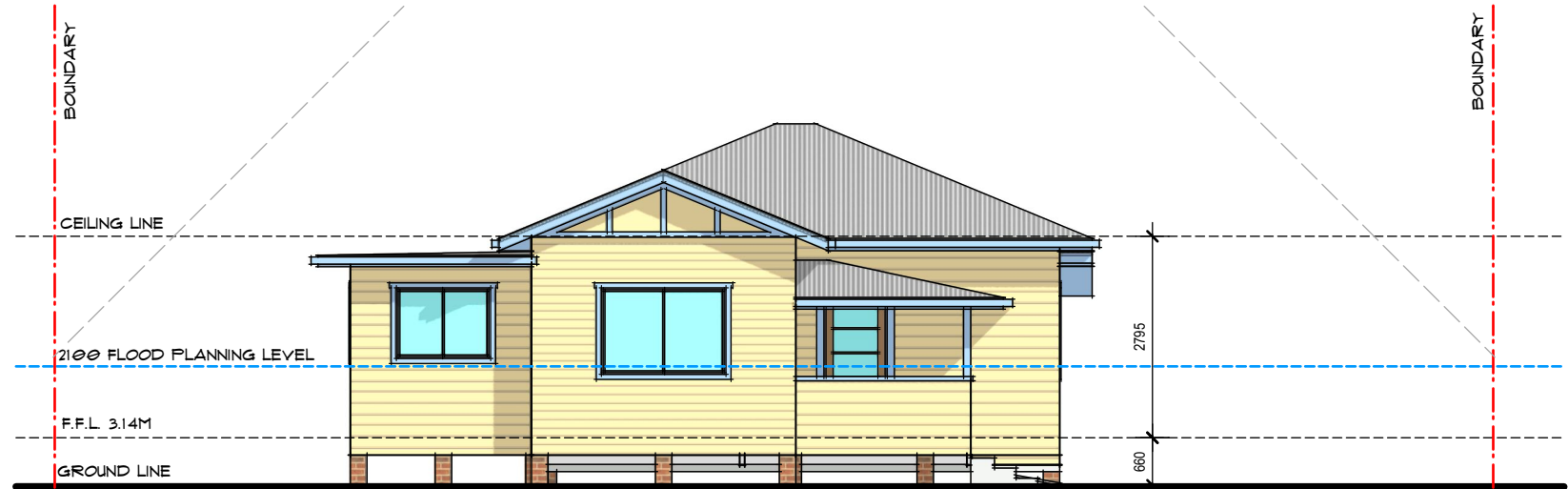
Drawing Title:
EXISTING FLOOR PLAN
LUIS CRISTIA DESIGNS
P.O. BOX 774 MULLUMBIMBY NSW 2482
MOBILE 0403 564 721
EMAIL: luisc@bigpond.com

Scale:
1:100 @ A3
Date:
30.05.2023
Issue:
DA

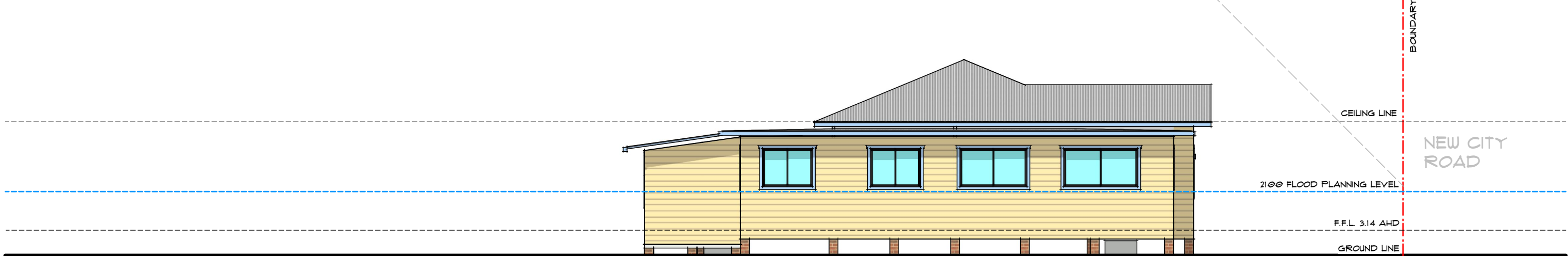
Drawn:
LC
Dwg. No.:
DA02



SOUTH ELEVATION 1:100



NORTH ELEVATION (NEW CITY RD) 1:100



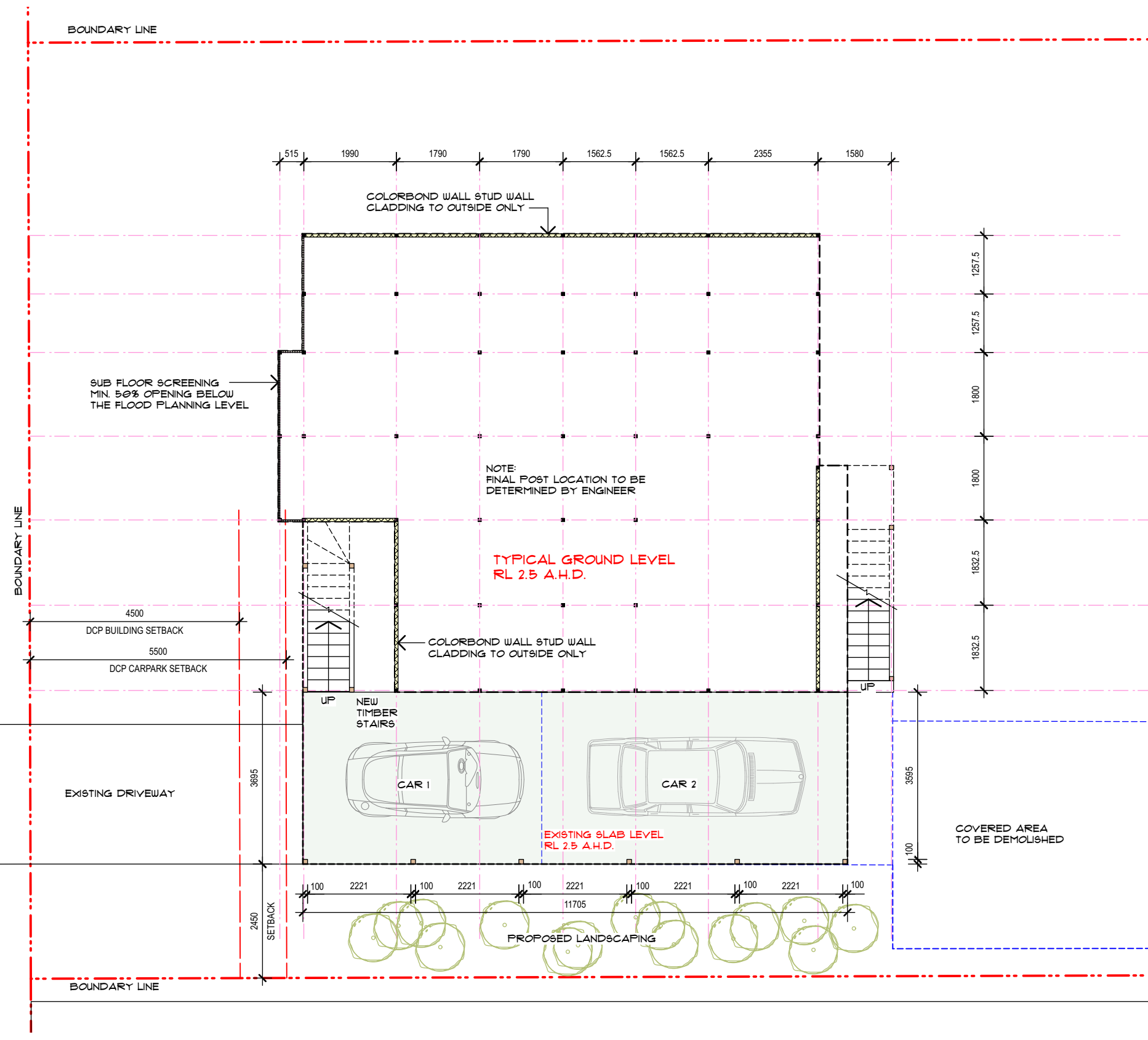
EAST ELEVATION 1:100



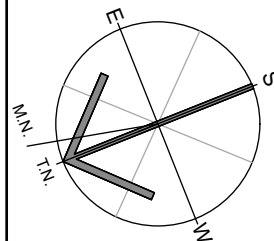
WEST ELEVATION 1:100

NOTE: CARPORT NOT SHOWN

	NOTES: Do not scale from the drawings. Written dimensions shall take precedence over scale. Builder to verify dimensions on site prior to the commencement of construction. Luis Cristia to be notified of any discrepancies prior to construction	Issue	Revision	Date	Project: PROPOSED ALTERATIONS AND ADDITIONS (HOUSE RAISING) AT 17 NEW CITY ROAD, MULLUMBIMBY NSW 2482 LOT 19 SEC. - D.P. 1179670	Drawing Title: ELEVATIONS- EXISTING LUIS CRISTIA DESIGNS P.O. BOX 774 MULLUMBIMBY NSW 2482 MOBILE 0403 564 721 EMAIL: luisc@bigpond.com	Scale: 1:100 @ A3	Drawn: LC
							Date: 30.05.2023	Dwg. No.: DA03
							Issue: DA	



PROPOSED LOWER FLOOR PLAN 1:100



NOTES:

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Luis Cristia to be notified of any discrepancies prior to construction

Issue	Revision	Date

Project:

**PROPOSED ALTERATIONS AND
ADDITIONS (HOUSE RAISING) AT
17 NEW CITY ROAD,
MULLUMBIMBY NSW 2482
LOT 19 SEC. - D.P. 1179670**

Drawing Title:

PROPOSED LOWER FLOOR PLAN

LUIS CRISTIA DESIGNS

P.O. BOX 774 MULLUMBIMBY NSW 2482
MOBILE 0403 564 721
EMAIL: luisc@bigpond.com

	Scale:
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1:100 @ A3

Date:
30.05.2023

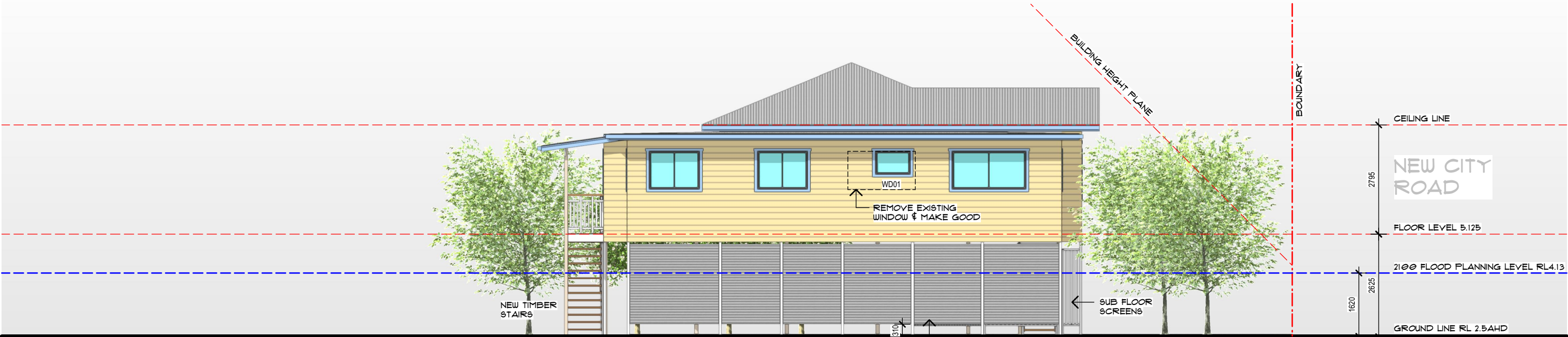
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DA

Drawn:

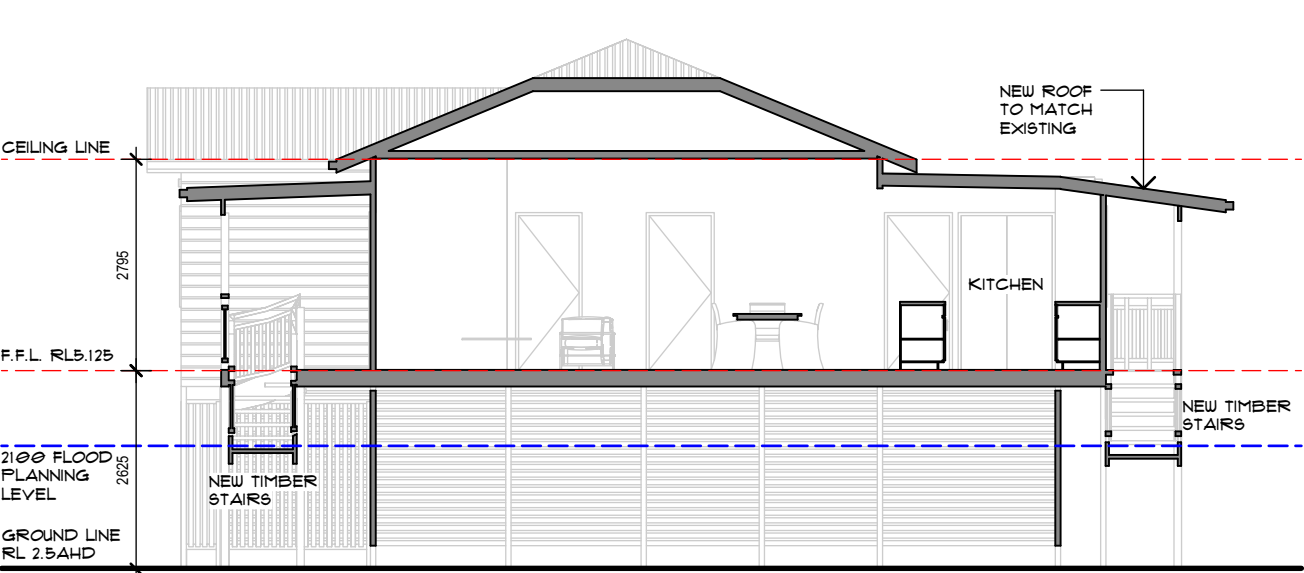
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Dwg. No.:	
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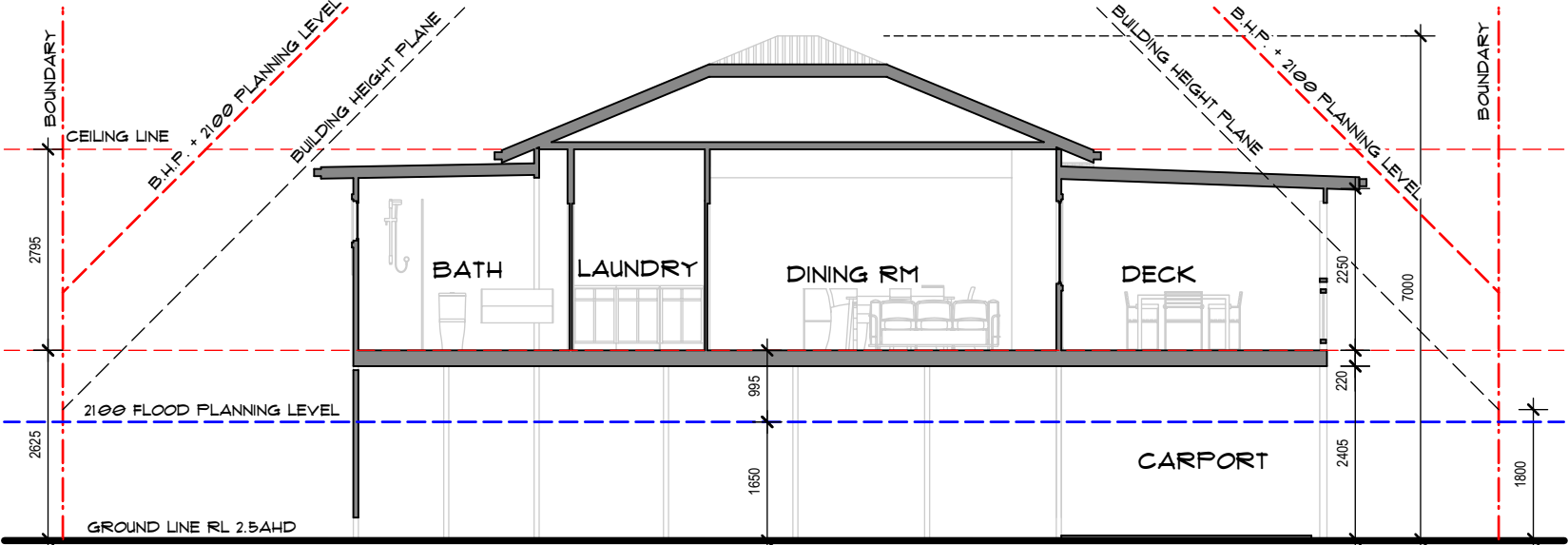
DA05



EAST ELEVATION 1:100

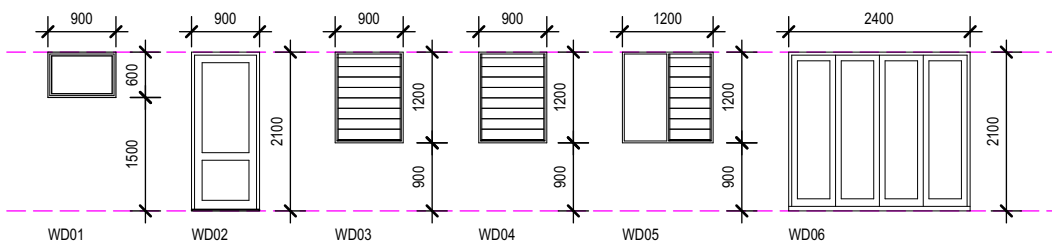


SECTION A 1:100



SECTION B 1:100

Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m ²)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W1	E	0.54	0	0	eave/verandah/pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W2	S	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W3	S	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W4	S	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	W	1.44	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W6	W	5.04	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

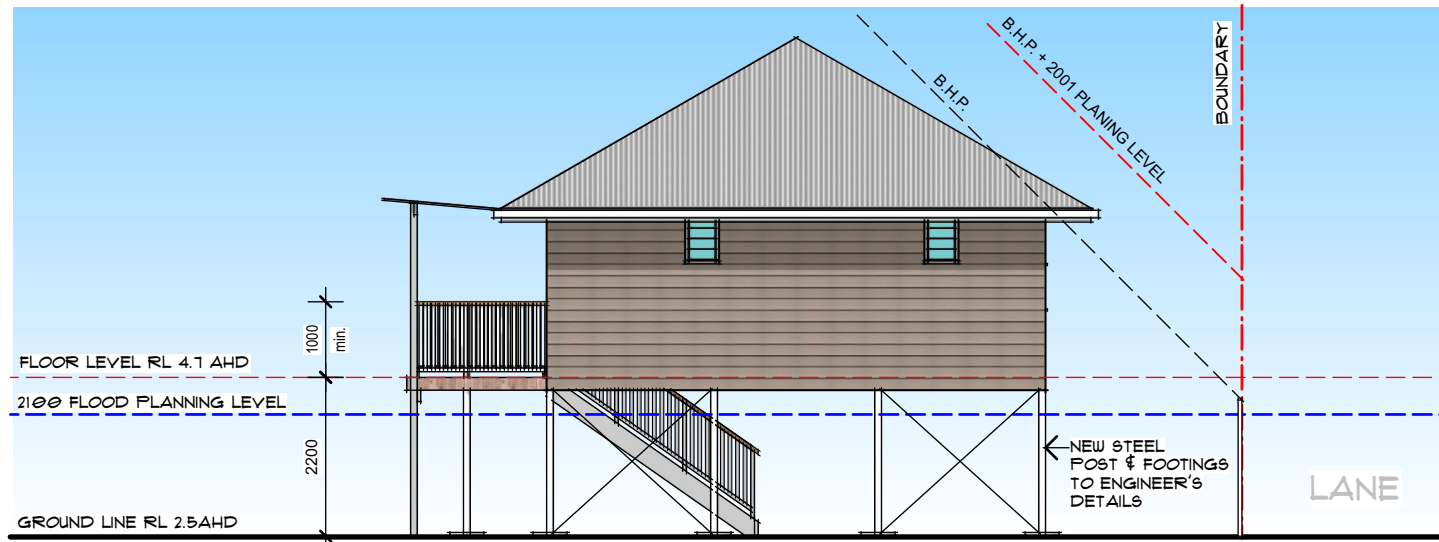


WINDOW & DOOR SCHEDULE 1:100

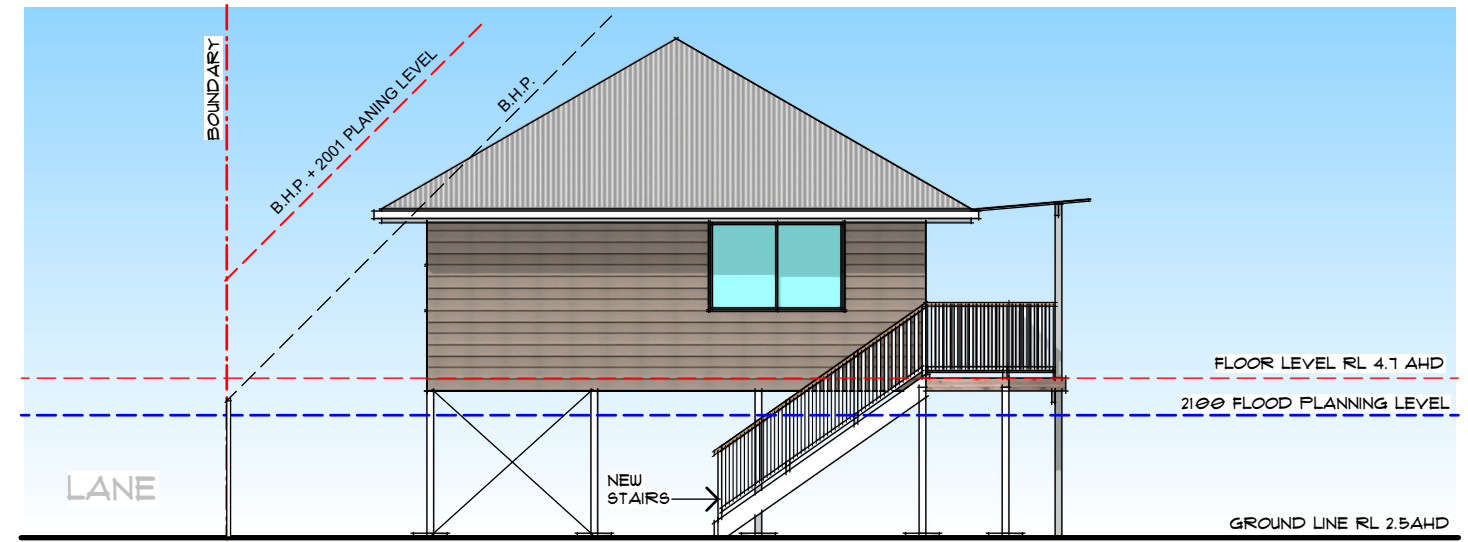
INSULATION REQUIREMENTS:
SUSPENDED FLOOR WITH OPEN SUBFLOOR FRAMED (R0.1) : NIL
EXTERNAL WALL: FRAMED (WEATHERBOARD): R1.0
(OR R1.40 INCLUDING CONSTRUCTION)
FLAT CEILING, PITCH ROOF : R1.73 (DOWN) ROOF: FOIL/ SARKING
LIGHT (SOLAR ABSORPTANCE< 0.415)

COLOUR FINISH SCHEDULE:
ROOF : COLORBOND (EXISTING)
GUTTERS: COLORBOND (EXISTING)
WALLS: WEATHERBOARD PAINT FINISH
UNDER FLOOR SCREENS: TIMBER / COLORBOND
WINDOWS: TO MATCH EXISTING

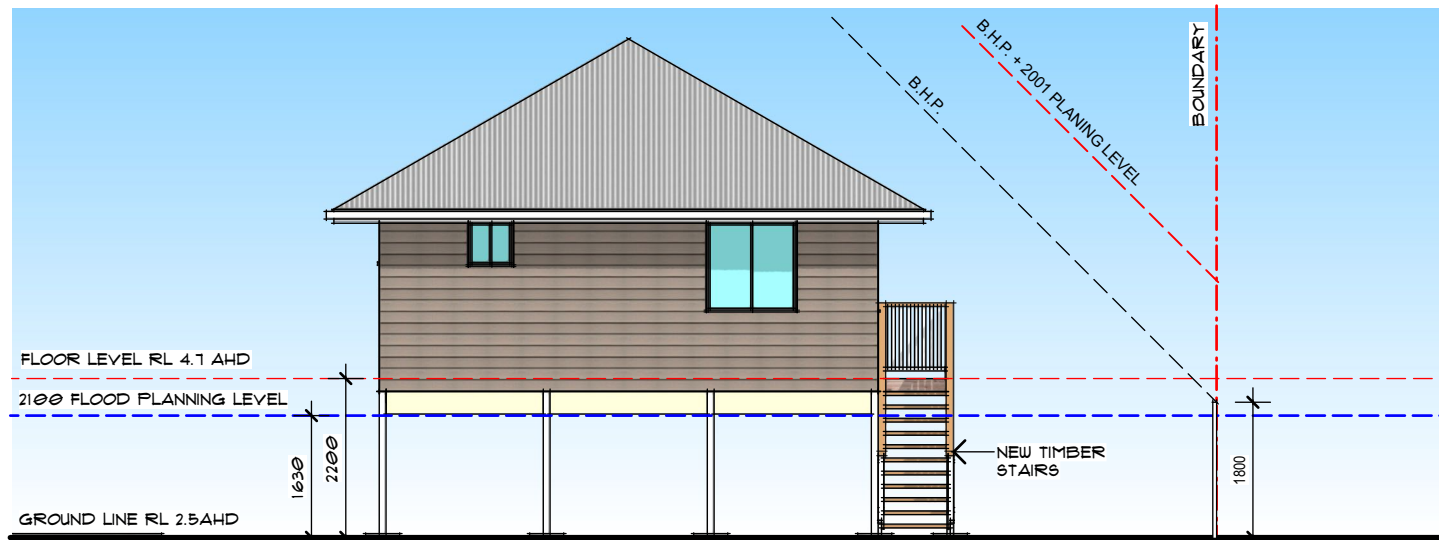
NOTES: Do not scale from the drawings. Written dimensions shall take precedence over scale. Builder to verify dimensions on site prior to the commencement of construction. Luis Cristia to be notified of any discrepancies prior to construction	Issue	Revision	Date	Project:	Drawing Title:	Scale:	Drawn:
				PROPOSED ALTERATIONS AND ADDITIONS (HOUSE RAISING) AT 17 NEW CITY ROAD, MULLUMBIMBY NSW 2482 LOT 19 SEC. - D.P. 1179670	SECTION & ELEVATIONS	1:100 @ A3	LC
					Luis Cristia Designs	Date:	Dwg. No.:
					P.O. BOX 774 MULLUMBIMBY NSW 2482 MOBILE 0403 564 721 EMAIL: luisc@bigpond.com	30.05.2023	DA07



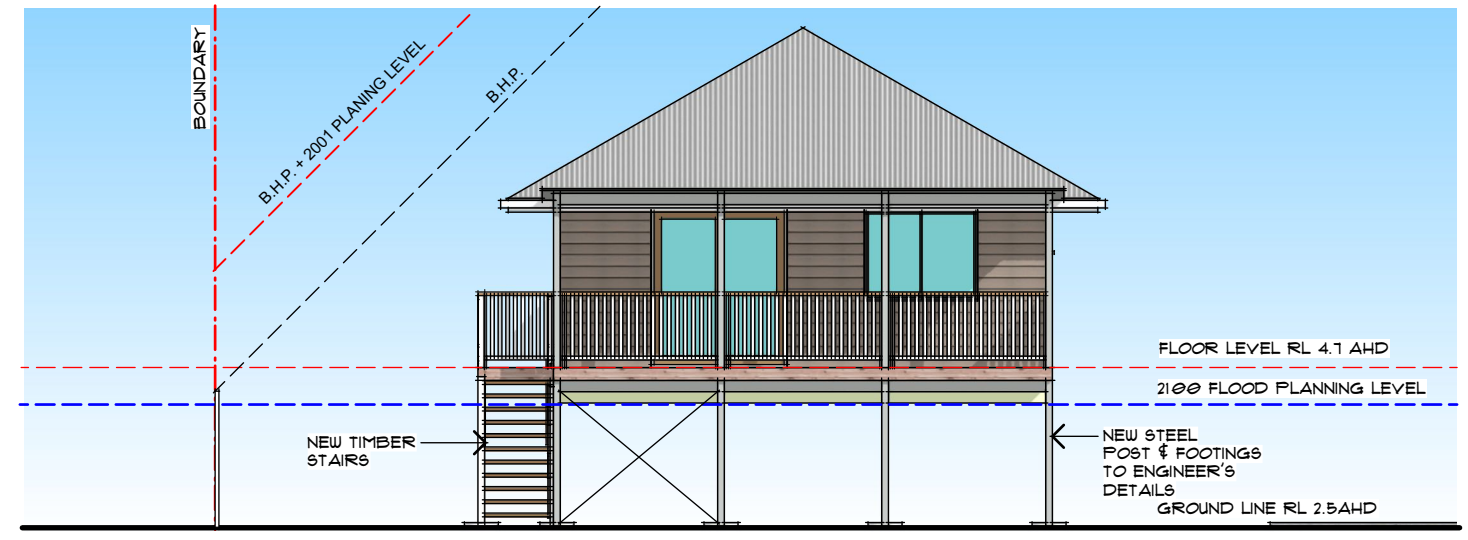
WEST ELEVATION 1:100



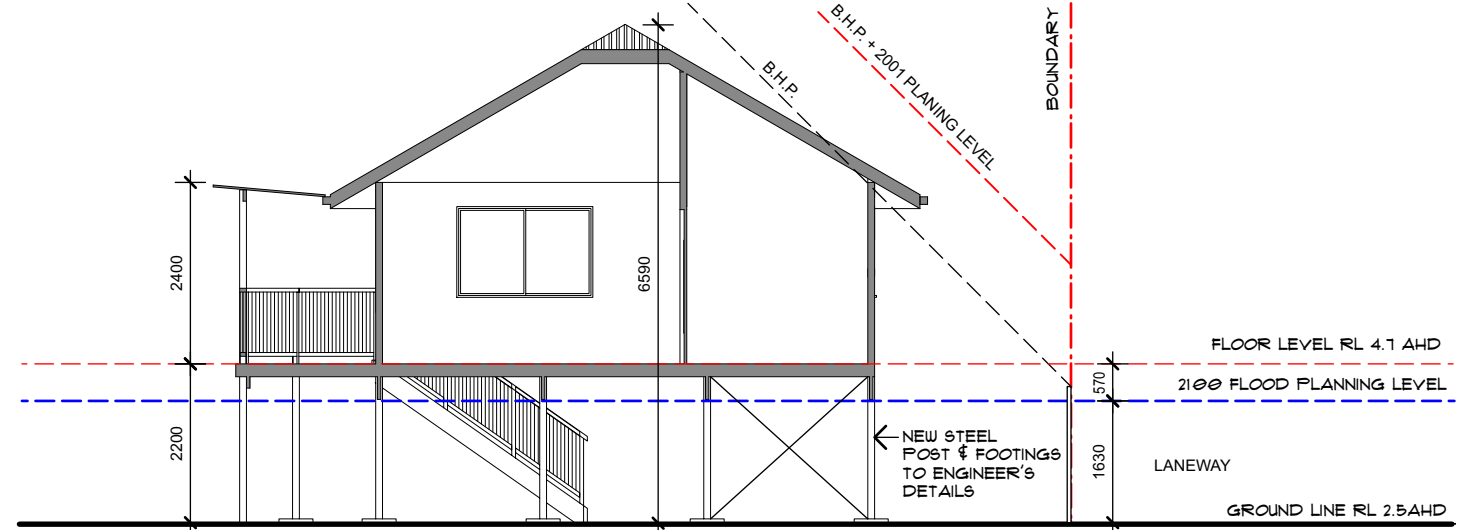
EAST ELEVATION 1:100



SOUTH ELEVATION (LANEWAY) 1:100



NORTH ELEVATION 1:100



SECTION C 1:100

<p>NOTES:</p> <p>Do not scale from the drawings. Written dimensions shall take precedence over scale. Builder to verify dimensions on site prior to the commencement of construction. Luis Cristia to be notified of any discrepancies prior to construction</p>	Issue	Revision	Date	<p>Project:</p> <p>PROPOSED ALTERATIONS AND ADDITIONS (HOUSE RAISING) AT 17 NEW CITY ROAD, MULLUMBIMBY NSW 2482 LOT 19 SEC. - D.P. 1179670</p>	<p>Drawing Title:</p> <p>PROPOSED S.D. ELEVATIONS & SEC</p> <p>LUIS CRISTIA DESIGNS</p> <p>P.O. BOX 774 MULLUMBIMBY NSW 2482 MOBILE 0403 564 721 EMAIL: luisc@bigpond.com</p>	<p>Scale:</p> <p>1:100 @ A3</p>	<p>Drawn:</p> <p>LC</p>
						<p>Date:</p> <p>30.05.2023</p>	<p>Dwg. No.:</p> <p>DA08</p>
						<p>Issue:</p> <p>DA</p>	