

Our Ref: N21-086

Westera Partners Pty Ltd
ABN 52 097 417 975

19 December 2022

PO Box 1131
Kingscliff
NSW, 2487

P 02 6674 8047
F 07 5646 5857

Development Assessment & Compliance
Byron Shire Council
PO Box 219
Mullumbimby NSW 2482

RE: PRELIMINARY ENGINEERING SERVICES LETTER FOR THE PROPOSED RESIDENTIAL DEVELOPMENT AT 39 MARINE PARADE, BYRON BAY.

This letter has been prepared to accompany a development application for the proposed residential development at the above address. This letter documents how the site will be serviced by the necessary infrastructure in accordance with Byron Shire Council's (BSC's) requirements.

The proposed development site is located at 39 Marine Parade, Byron Bay, with a real property address of Lot 8 on DP 111263. The site area is approximately 664m², consisting of a single residence and a granny flat. The site falls away from Julian Place to the rear of the development site towards Marine Parade. The site is bound by residential properties to the East and West, with current access from Julian Place to the South. Refer to Figure 1 for an indicative site location.



Figure 1 - Indicative Site Location (Nearmaps 2022)

Stormwater

Stormwater runoff from the existing site discharges as surface flow over the rear boundary into Marine Parade. The proposed development has the ability to discharge the roof area and the majority of landscaping area to the rear of the site (Marine Parade). The driveway area is proposed to be discharged to the Julian Place kerb and channel. The Marine Parade road reserve, specifically the kerb and channel,

is deemed to be the sites primary Lawful Point of Discharge (LPOD), with the Julian Place road reserve deemed to be a secondary LPOD.

The proposed residence roof area will be collected and discharged to a dispersion trench before overflowing to the Marine Parade road reserve.

A new kerb and channel is be proposed to be installed to Julian Place to formalise the road and prevent external flows from entering the property from the road.

The proposed stormwater system will mitigate all stormwater peak flows to equal or below the existing sites peak flow discharge for the respective storm event.

All stormwater works shall be in accordance with BSC's DCP section 3 and BSC's Comprehensive Guidelines for Stormwater Management.

Flooding

Byron Shire Council (BSC) online mapping has indicated that the proposed development site is not affected by the Design Flood Event (DFE), thus no mitigative measures are required. Refer Figure 2 below for flood extent information.

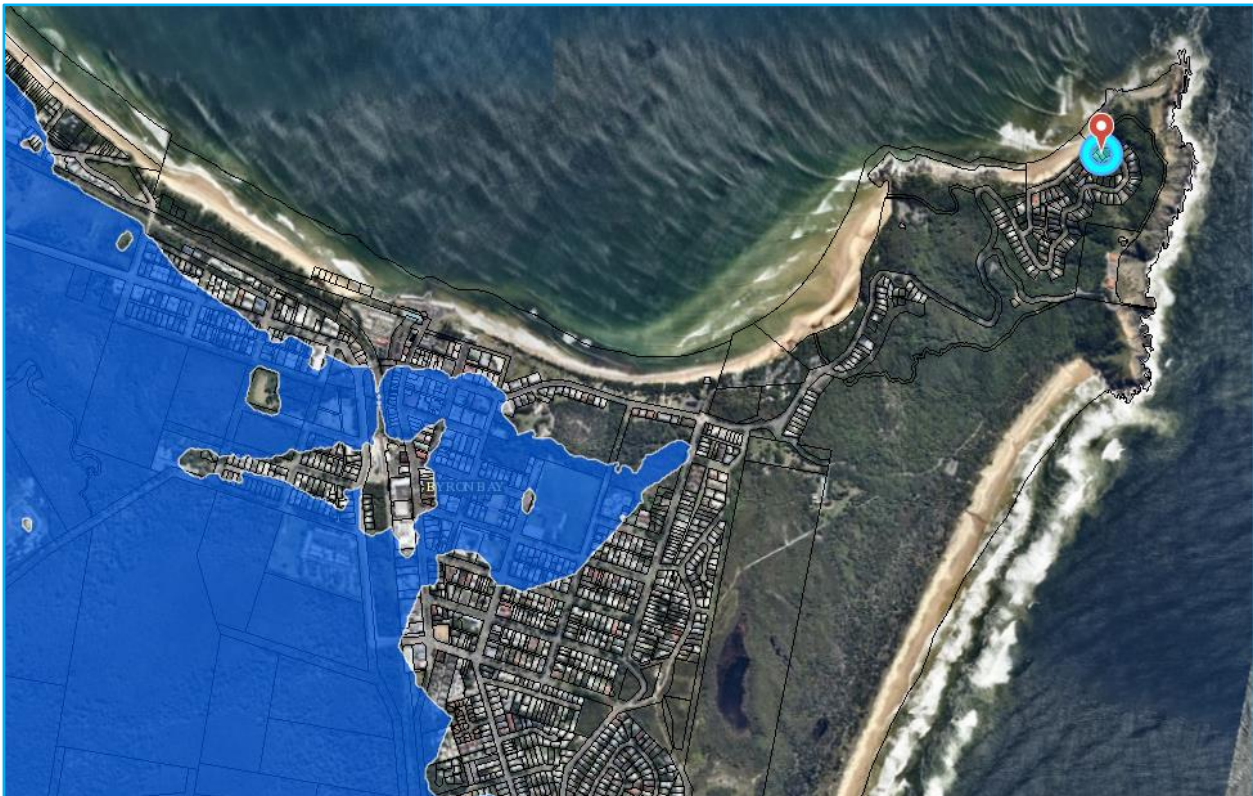


Figure 2 – Design Flood Inundation areas (BSC online mapping)

Sewer

The existing property is serviced by a single property connection (assumed 100mm) extending from the existing 150mm sewer main located within Marine Parade. This connection shall be maintained to service the proposed residence. The existing service size and location will be confirmed prior to construction.

All sewer reticulation works shall be in accordance with BSC's Sewerage System Design Specification D12, Refer to preliminary civil works plan in Attachment A for additional details.

Water

The subject site is currently serviced by a water meter in the southern corner of the development site. Due to the location of the proposed driveway of car space #3, this existing water meter and service will need to be removed. A new 20mm water meter and service connection to the existing 150mm water main within Julian Place will be installed in a preferable location to service the proposed residence.

All water reticulation works shall be in accordance with BSC's Water Supply Design Specification D11, Refer to preliminary civil works plan in Attachment A for additional details.

Earthworks

The proposed development is expected to involve predominately cut due to the proposed ground floor located under the proposed driveway. No significant excavation is anticipated outside the building footprint. A boundary retaining wall is required along the entirety of the Northern boundary and part of the Eastern and Western boundaries of the development site. The proposed retaining wall along the northern boundary is to have a maximum height ranging from 0.44m to 3.00m. The backyard at the northern end of the site will involve mostly fill due to the location of the existing retaining walls.

Due to the site location, acid sulfate soils are not likely to be encountered. However, geotechnical investigation will be required to determine this.

All earthworks undertaken on site shall be in accordance with BSC's Site Regrading Development Design Specification D6.

Vehicular access

The proposed development will utilise a two 3.1m wide driveways and one 3.8m driveway to service the proposed residence off Julian Place. This is possible due to the existing levels and road location in Julian Place.

The existing driveway accessing Julian Place is proposed to be removed and the verge to be reinstated, in addition to the installation of the proposed kerb and channel.

All proposed driveway works shall be undertaken in accordance with *BSC's DCP 2014 Chapter B4 Traffic Planning, Vehicle Parking, Circulation and Access*.

Gas, Electricity, and Communications

There are existing Telstra cables, above ground electrical infrastructure and NBN infrastructure within Julian Place. No gas infrastructure is shown on DBYD results.

Refer to Attachment B for further information.

Summary

This letter establishes that the proposed development can be adequately serviced by the existing sewer, stormwater, water and other services infrastructure surrounding the site. Please do not hesitate to contact either myself or Mitchell Williams at our Kingscliff office should there be any questions regarding this letter.

Yours faithfully,



Tom Macdougall CPEng – NER 5183221

Senior Civil Engineer | Northern NSW
Westera Partners Pty Ltd

Attachment A – Preliminary Civil Works Plan

PROPOSED RESIDENCE

39 MARINE PARADE, BYRON BAY

AMANDA WALTON & GRANT CROTHERS

Project Number: N21-086



LOCALITY PLAN
NOT TO SCALE

PRELIMINARY GENERAL DRAWINGS	
N21-086-PG01	PRELIMINARY COVER SHEET
PRELIMINARY CIVIL DRAWINGS	
N21-086-PC01	PRELIMINARY CIVIL NOTES AND LEGEND
N21-086-PC02	PRELIMINARY CIVIL WORKS PLAN
N21-086-PC03	PRELIMINARY DRIVEWAY SECTIONS
N21-086-PC04	PRELIMINARY STORMWATER SECTION AND DETAIL

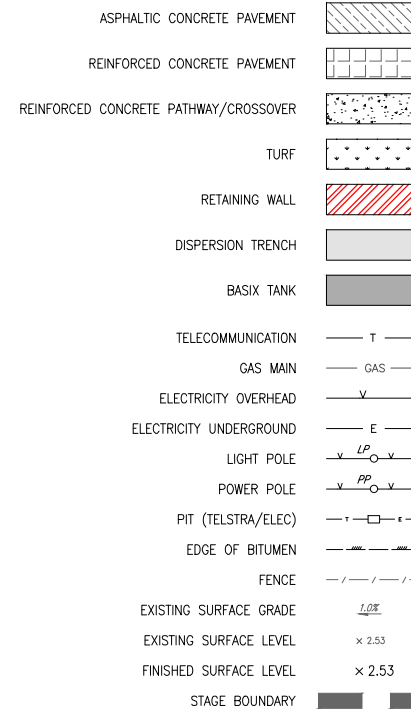
DESIGNED M.J.W	 WESTERA PARTNERS STRUCTURAL+CIVIL+ENVIRONMENTAL ENGINEERS www.westerapartners.com.au ABN 52 097 417 975	BRISBANE T 07 3852 4333 E brisbane@westerapartners.com.au GOLD COAST T 07 5571 1599 E goldcoast@westerapartners.com.au SUNSHINE COAST T 07 5391 3777 E sunshinecoast@westerapartners.com.au NORTHERN NSW T 02 6674 8047 E nsw@westerapartners.com.au	SURVEYOR RCS GROUP PHONE 02 6622 2112 DATUM A.H.D. SSM 90396 R.L. 5.498m	PROJECT PROPOSED RESIDENCE DP 111263 LOCATION 39 MARINE PAREDE, BYRON BAY TITLE PRELIMINARY COVER SHEET CLIENT AMANDA WALTON & GRANT CROTHERS	DRAWING STATUS PRELIMINARY N.F.C. DRAWING NUMBER N21-086-PG01 SHEET NUMBER REVISION 01 of 01						
DRAWN S.M											
CHECKED M.J.W											
APPROVED T.J.M											
DATE OCTOBER 2022	For and on behalf of WESTERA PARTNERS PTY. LTD.	APPROVED									
No.	DATE	REVISIONS	DES	DRN	CHK	APD	DOCUMENT CONTROL				

GENERAL NOTES

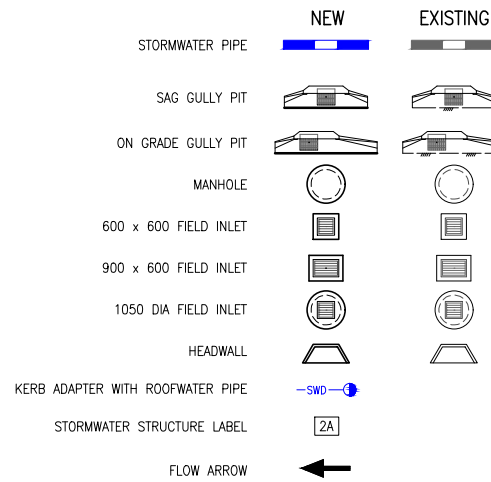
- G1 WESTERA PARTNERS HAS LIMITED CONTROL OR INPUT TO LOCAL GOVERNMENT OR OTHER LEGISLATED APPROVALS UNLESS SPECIFICALLY ENGAGED BY IT'S CLIENT. ANY CHANGES TO APPROVAL REQUIREMENTS (INCLUDING ORDERS FOR SUSPENSION OF WORKS ETC) SHOULD BE COMMUNICATED TO WESTERA PARTNERS AND ALL OTHER RELEVANT DESIGNERS TO ALLOW ASSESSMENT OF POTENTIAL RISKS AND ENSURE DESIGN AND SAFETY COMPLIANCE.
- G2 ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LOCAL AUTHORITIES STANDARD DRAWINGS & SPECIFICATIONS AND COMPLETED TO THE SATISFACTION OF THE SUPERINTENDENT AND LOCAL AUTHORITY.
- G3 UNLESS SPECIFIED OTHERWISE ALL MATERIALS AND WORK SHALL COMPLY WITH THE RELEVANT AUSTRALIAN STANDARDS.
- G4 PRIOR TO THE COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR MUST LOCATE ALL EXISTING SERVICES AND PROMPTLY PROVIDE THE LOCATION DATA TO THE DESIGN ENGINEER TO ASSESS IMPACTS ON THE DESIGN.
- G5 ALL CONNECTIONS TO EXISTING SEWERS AND WATER MAINS ARE TO BE CONSTRUCTED BY THE LOCAL AUTHORITY OR AN APPROVED CONTRACTOR. THE CONTRACTOR IS TO ALLOW IN HIS CONTRACT SUM FOR THE COST OF ANY PROPOSED CONNECTIONS.
- G6 ALL SEWERS ARE TO BE 150MM DIA. U.P.V.C. CLASS SN8 RUBBER RING JOINTED AND PROPERTY CONNECTIONS ARE TO BE 100MM DIA. U.P.V.C CLASS SN6 UNLESS NOTED OTHERWISE
- G7 THE PAVEMENT DEPTHS SHOWN ARE PRELIMINARY ONLY AND ARE TO BE VERIFIED FOLLOWING SUB-SOIL TESTS OF THE SUB-GRADE MATERIAL.
- G8 ALL ROOFWATER CONNECTIONS FROM KERB ADAPTERS ARE TO BE 100MM DIA CLASS SN10 AT A MIN GRADE OF 1.0% UNLESS SHOWN OTHERWISE. ROOFWATER CONNECTIONS FROM FIELD INLETS OR GULLY PITS ARE TO BE 150MM DIA CLASS SN8 AT A MIN GRADE OF 1.0% UNLESS NOTED OTHERWISE.
- G9 ALL U.P.V.C. STORMWATER DRAINAGE PIPES ARE TO BE CLASS SN8 AND ALL R.C. AND F.R.C. PIPES ARE TO BE CLASS 3 RUBBER RING JOINTED UP TO AND INCLUDING 600 DIA. PIPES OVER 600 DIA. ARE TO BE CLASS 3 AND ARE TO HAVE AN EXTERNAL RUBBER BAND JOINT GROUTED INTERNALLY.
- G10 WATER PIPES SHALL BE;
 - P.V.C.-M WATER PIPES ARE TO BE SERIES 2 PN16 SN10 R.R.J.
 - D.I.C.L. WATER PIPES ARE TO BE PN35 WITH ALL FITTINGS TO BE FUSION BONDED POLYMERIC COATED.
 - PE WATER PIPES ARE TO BE PN16 SDR11 PE100. DN25 AND DN32 WATER SERVICES SHALL BE PE80B.
- G11 ALL "AS CONSTRUCTED" INFORMATION IS TO BE RECORDED AS REQUIRED BY THE LOCAL AUTHORITY AND SUBMITTED TO THE SUPERINTENDENT IMMEDIATELY AFTER COMPLETION OF THE WORKS.
- G12 ALL ALLOTMENTS ARE TO BE GRADED AT A MINIMUM GRADE OF 1 IN 200.

LEGEND

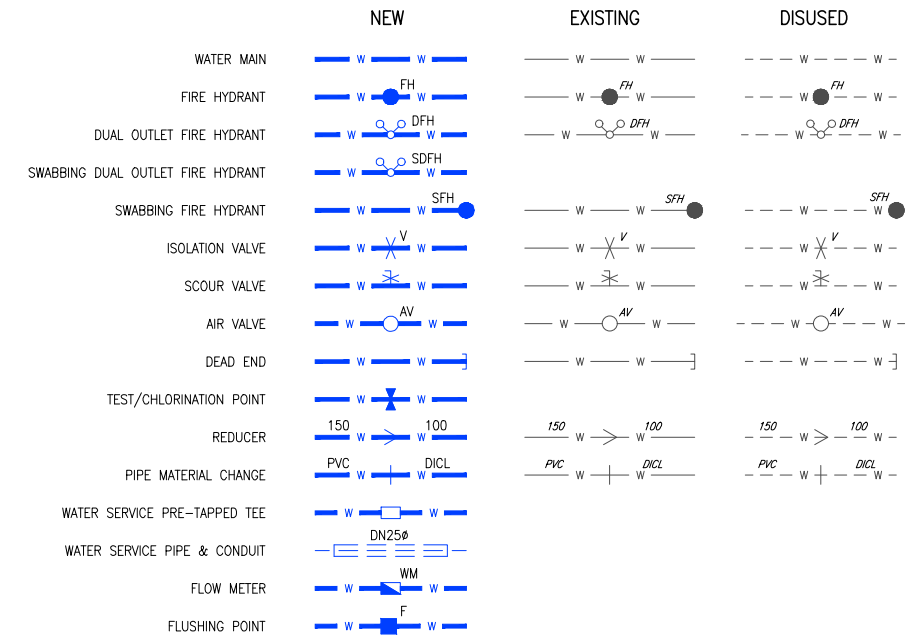
GENERAL



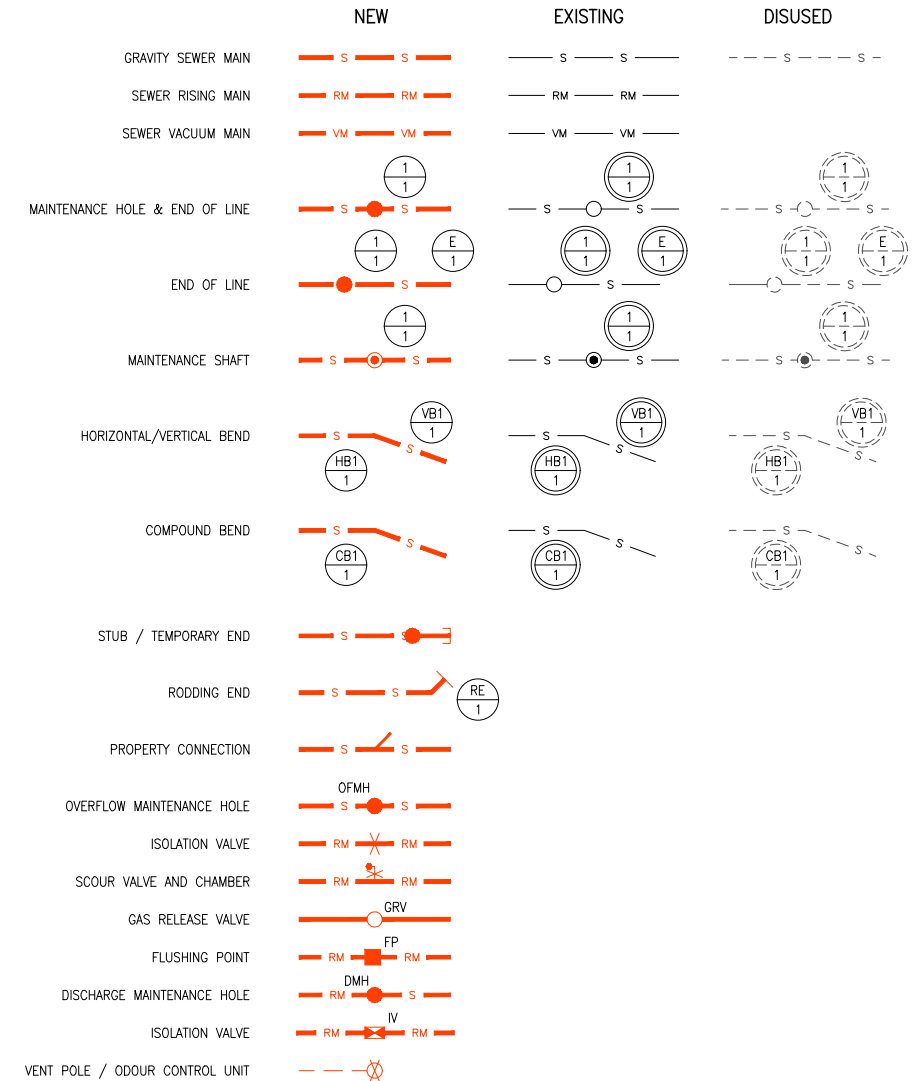
STORMWATER DRAINAGE



WATER



SEWERAGE



No.	DATE	REVISIONS	DES	DRN	CHK	APD	DOCUMENT CONTROL	APPROVED

DESIGNED	M.J.W
DRAWN	S.M
CHECKED	M.J.W
APPROVED	T.J.M
DATE	OCTOBER 2022

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SUNSHINE COAST T 07 5391 3777
E sunshinecoast@westerapartners.com.au

NORTHERN NSW T 02 6674 8047
E nsw@westerapartners.com.au

SURVEYOR
RCS GROUP
PHONE 02 6622 2112

DATUM A.H.D.
SSM 90396
R.L. 5.498m

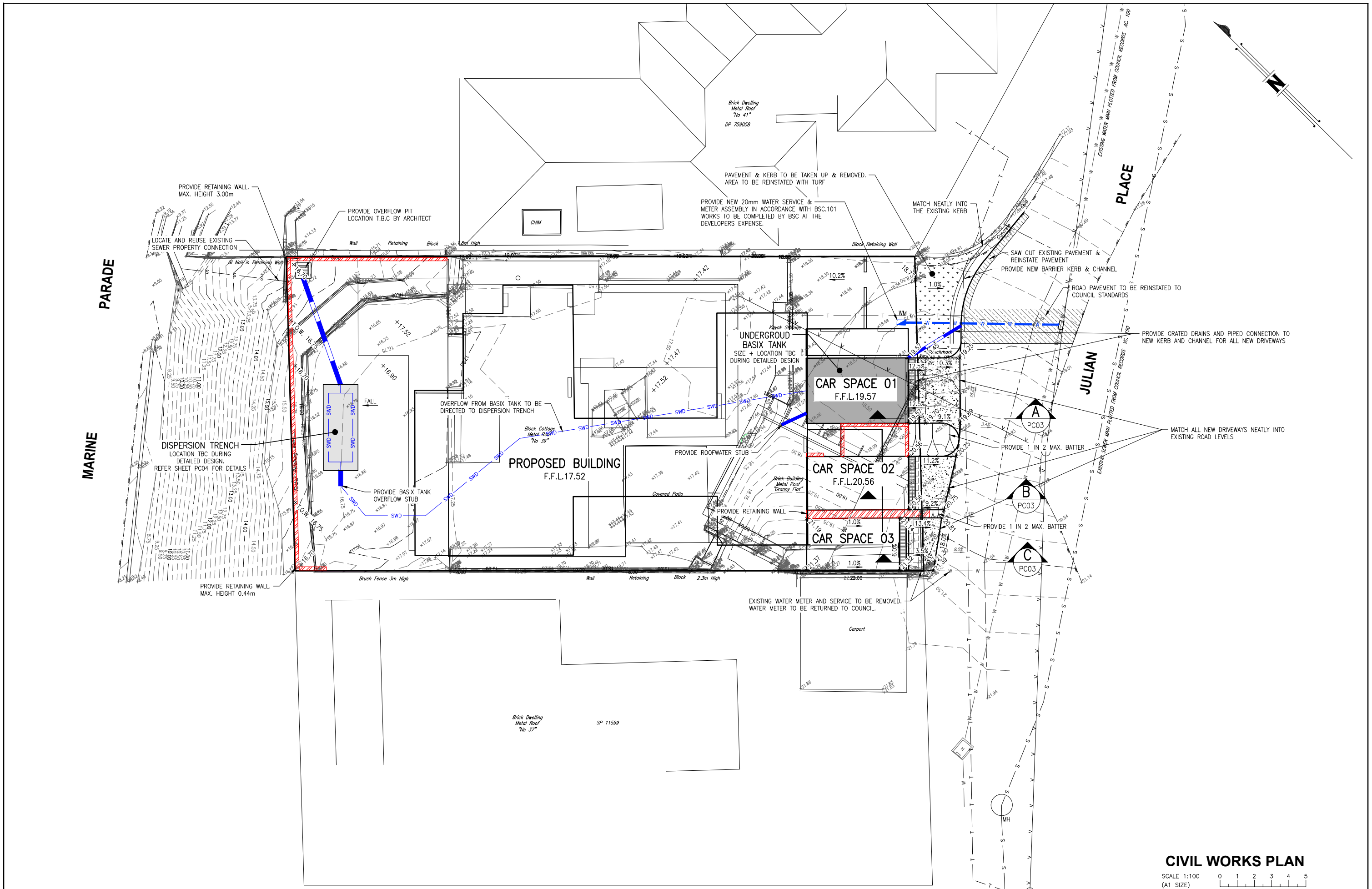
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. IF A DISCREPANCY ARISES CHECK WITH THE PROJECT ENGINEER AND/OR SUPERVISING AUTHORITY. DO NOT WORK FROM REDUCED SCALE DRAWINGS (A1-A3 SIZE PAPER). COPYRIGHT OF ALL DRAWINGS & WORKS EXECUTED FROM THEM IS VESTED IN WESTERA PARTNERS AND USE OF THERE FORE WITHOUT PERMISSION IS STRICTLY PROHIBITED IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL WORKS ARE CARRIED OUT WITH DUE CARE AND DILIGENCE TO COMPLY WITH THE CONTRACT DOCUMENTS.

PROJECT LOCATION
PROPOSED RESIDENCE
DP 111263
39 MARINE PAREDE, BYRON BAY

TITLE
PRELIMINARY CIVIL NOTES AND LEGEND

CLIENT
AMANDA WALTON & GRANT CROTHERS

DRAWING STATUS	PRELIMINARY N.F.C.
DRAWING NUMBER	N21-086-PC01
SHEET NUMBER	01 OF 04



CIVIL WORKS PLAN

SCALE 1:100 (A1 SIZE)

No.	DATE	REVISIONS
A	25/01/2023	STORMWATER OVERFLOW PIT RE-LOCATED

DESIGNED	M.J.W
DRAWN	S.M
CHECKED	M.J.W
APPROVED	T.J.M
DATE	OCTOBER 2022
DOCUMENT CONTROL	APPROVED

WESTERA PARTNERS
 STRUCTURAL-CIVIL-ENVIRONMENTAL ENGINEERS
 www.westerapartners.com.au | ABN 52 097 417 975

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SUNSHINE COAST T 07 5391 3777
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NORTHERN NSW T 02 6674 8047
 E nsw@westerapartners.com.au

SURVEYOR
RCS GROUP
 PHONE 02 6622 2112

DATUM A.H.D.
 SSM 90396
 R.L. 5.498m

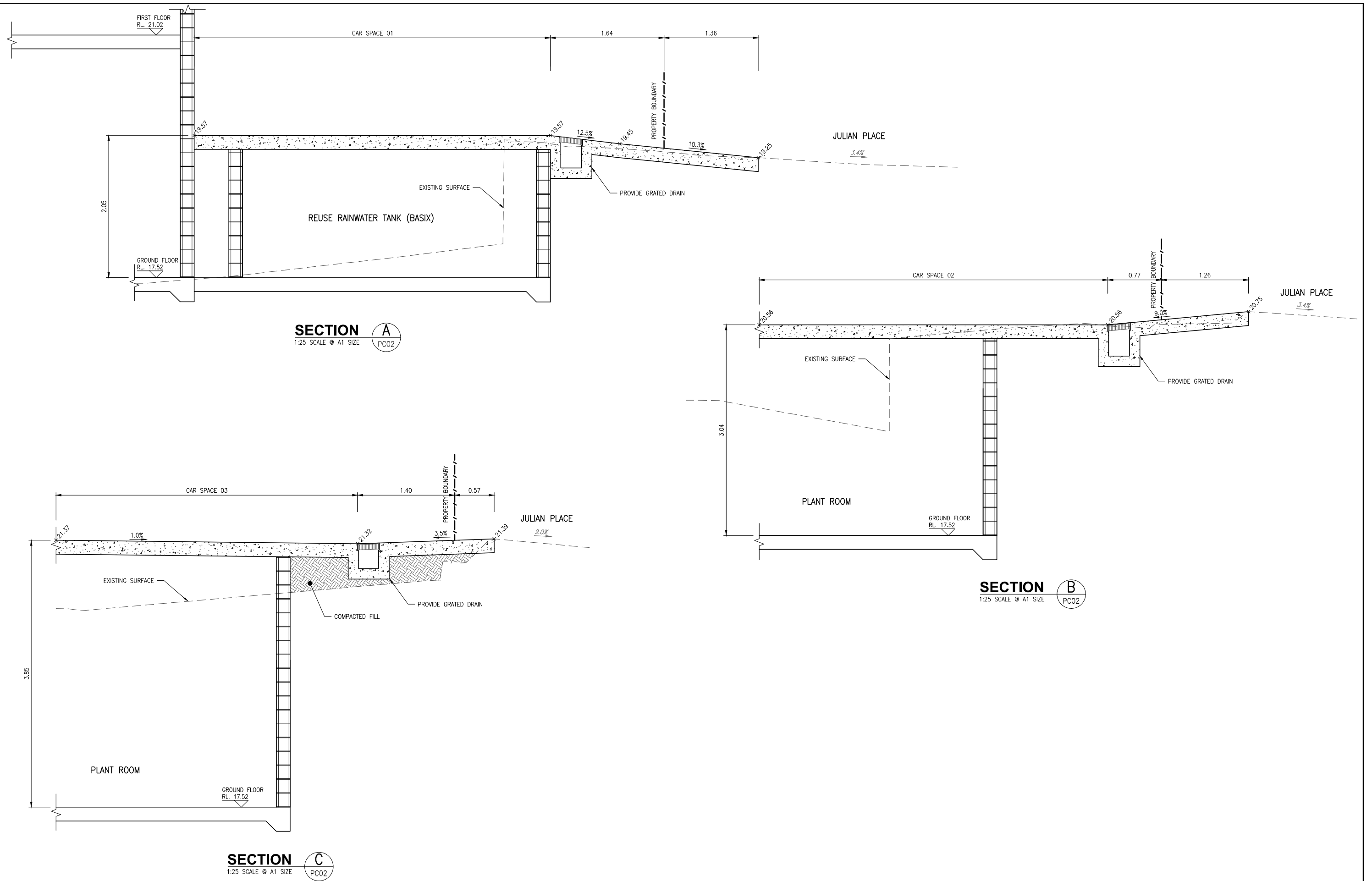
USE FIGURED DIMENSIONS ONLY. DO NOT SCALE. IF A DISCREPANCY ARISES CHECK WITH THE PROJECT ENGINEER AND/OR SUPERVISING AUTHORITY. DO NOT WORK FROM REDUCED SCALE DRAWINGS (A1-A3 SIZE PAPER). COPYRIGHT OF ALL DRAWINGS & WORKS EXECUTED FROM THEM IS VESTED IN WESTERA PARTNERS AND USE OF THERE FORE WITHOUT PERMISSION IS STRICTLY PROHIBITED IT IS THE BUILDERS RESPONSIBILITY TO ENSURE ALL WORKS ARE CARRIED OUT WITH DUE CARE AND DILIGENCE TO COMPLY WITH THE CONTRACT DOCUMENTS.

PROJECT **PROPOSED RESIDENCE**
 DP 111263
 LOCATION **39 MARINE PAREDE, BYRON BAY**

TITLE **PRELIMINARY CIVIL WORKS PLAN**

CLIENT **AMANDA WALTON & GRANT CROTHERS**

DRAWING STATUS	
PRELIMINARY N.F.C.	
DRAWING NUMBER	
N21-086-PC02	
SHEET NUMBER	REVISION
02 of 04	A



SECTION A
1:25 SCALE @ A1 SIZE
PC02

SECTION B
1:25 SCALE @ A1 SIZE
PC02

SECTION C
1:25 SCALE @ A1 SIZE
PC02

DESIGNED	M.J.W
DRAWN	S.M
CHECKED	M.J.W
APPROVED	T.J.M
DATE	OCTOBER 2022
DOCUMENT CONTROL	APPROVED

For and on behalf of
WESTERA PARTNERS PTY. LTD.



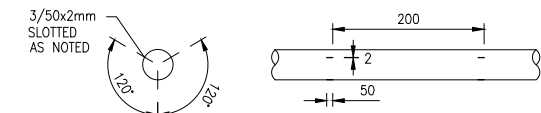
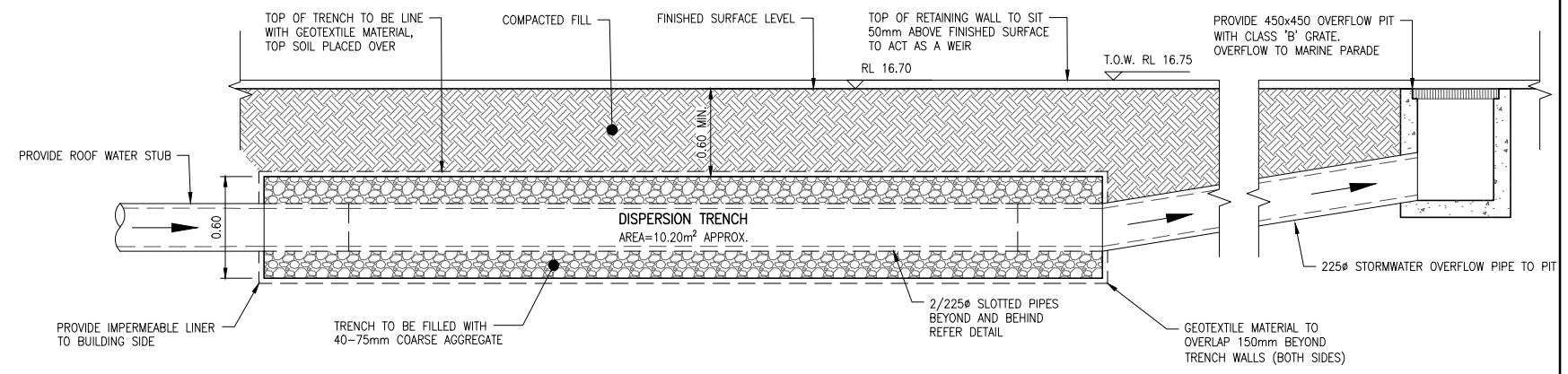
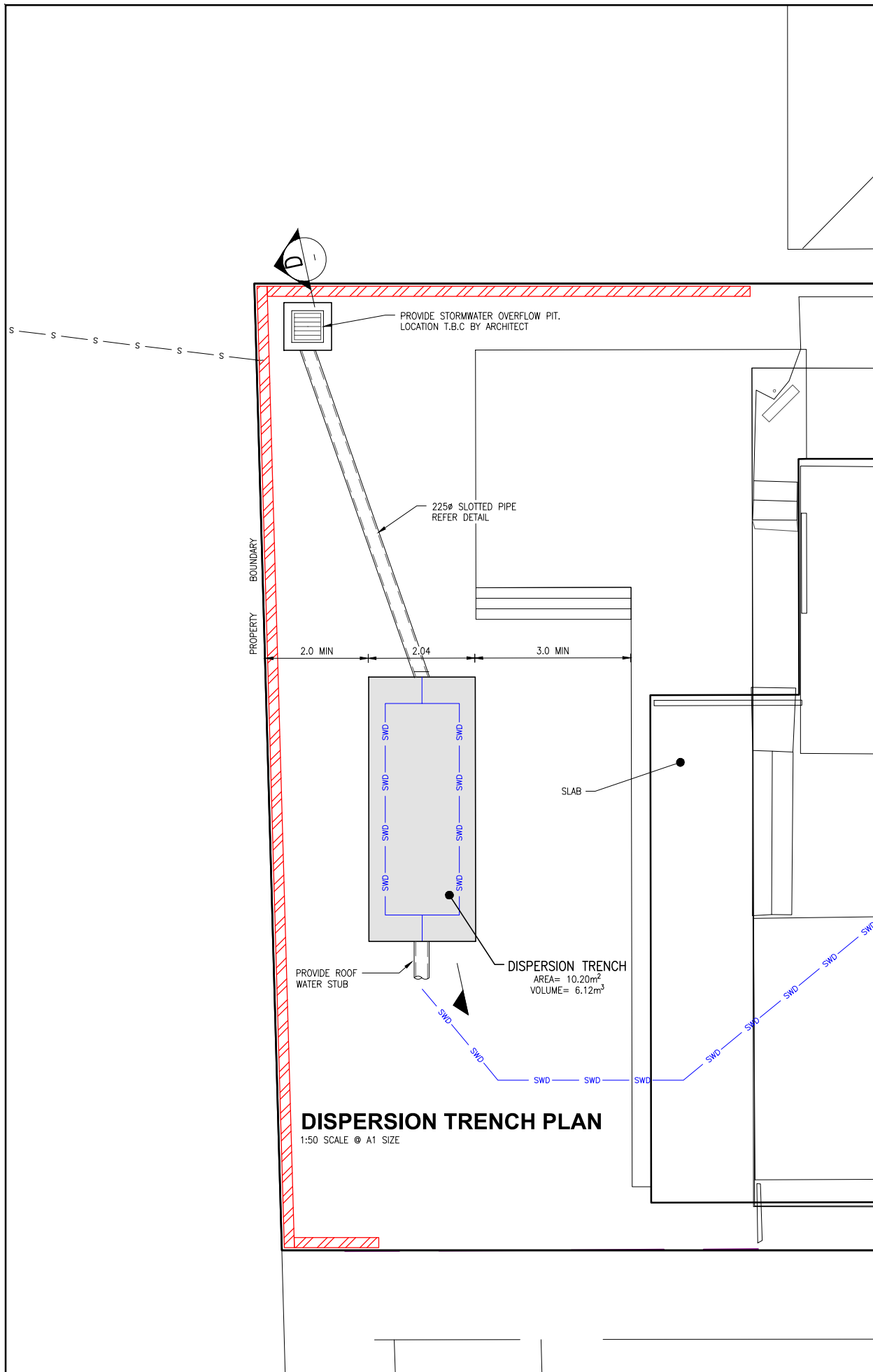
SURVEYOR
RCS GROUP
PHONE 02 6622 2112

DATUM A.H.D.
SSM 90396
R.L. 5.498m

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PROJECT PROPOSED RESIDENCE
LOCATION DP 111263
39 MARINE PAREDE, BYRON BAY
TITLE PRELIMINARY DRIVEWAY SECTIONS
CLIENT AMANDA WALTON & GRANT CROTHERS

DRAWING STATUS PRELIMINARY N.F.C.	
DRAWING NUMBER N21-086-PC03	
SHEET NUMBER 03 of 04	REVISION A



No.	DATE	REVISIONS
A	25/01/2023	STORMWATER OVERFLOW PIT RE-LOCATED

DESIGNED	M.J.W
DRAWN	S.M
CHECKED	M.J.W
APPROVED	T.J.M
DATE	OCTOBER 2022
DOCUMENT CONTROL	APPROVED

WESTERA PARTNERS
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NORTHERN NSW T 02 6674 8047
E nsw@westerapartners.com.au

SURVEYOR
RCS GROUP
PHONE 02 6622 2112

DATUM A.H.D.
SSM 90396
R.L. 5.498m

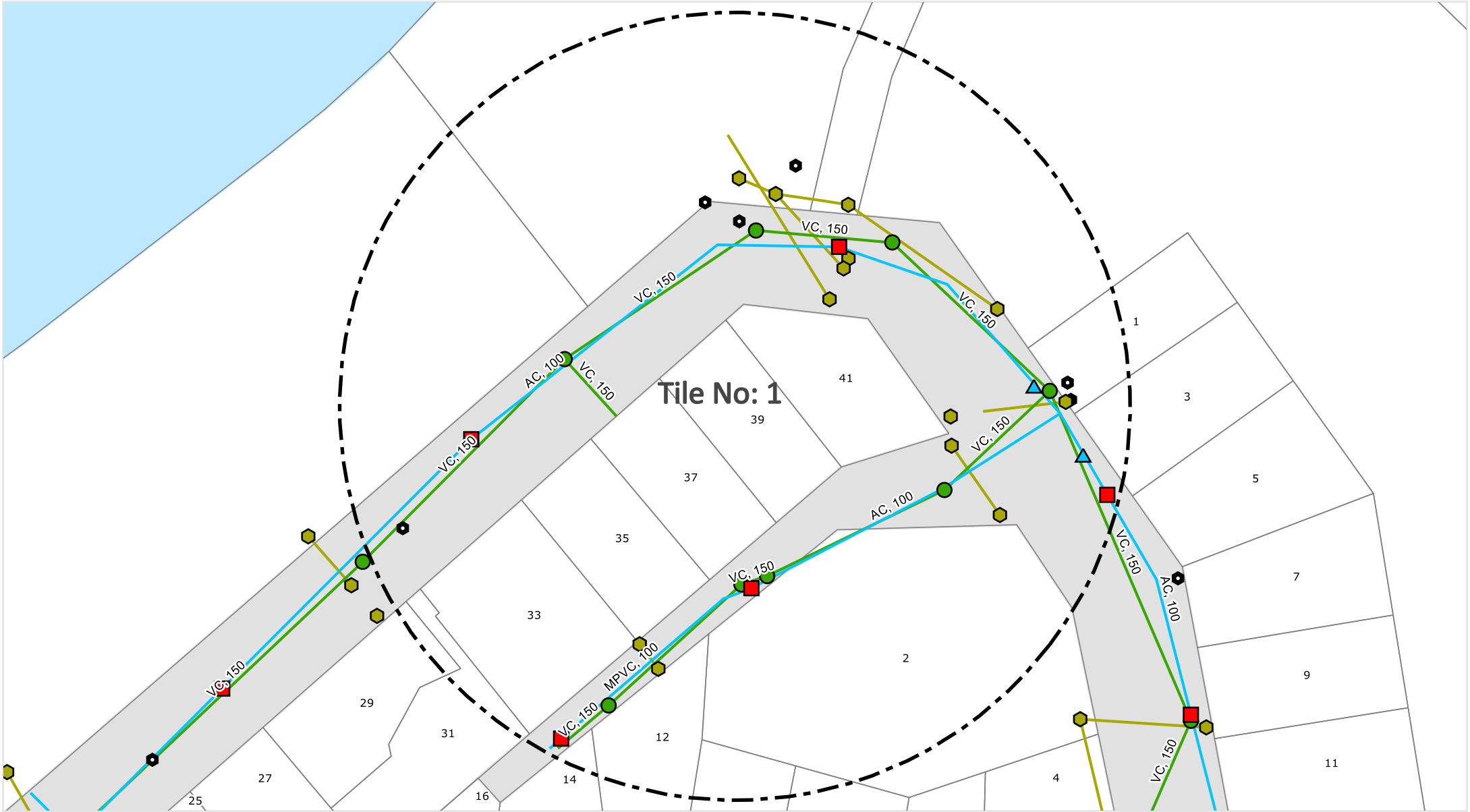
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PROJECT
LOCATION
TITLE
CLIENT

PROPOSED RESIDENCE
DP 111263
39 MARINE PAREDE, BYRON BAY
PRELIMINARY STORMWATER SECTION AND DETAIL
AMANDA WALTON & GRANT CROTHERS

DRAWING STATUS	PRELIMINARY N.F.C.
DRAWING NUMBER	N21-086-PC04
SHEET NUMBER	04 of 04
REVISION	A

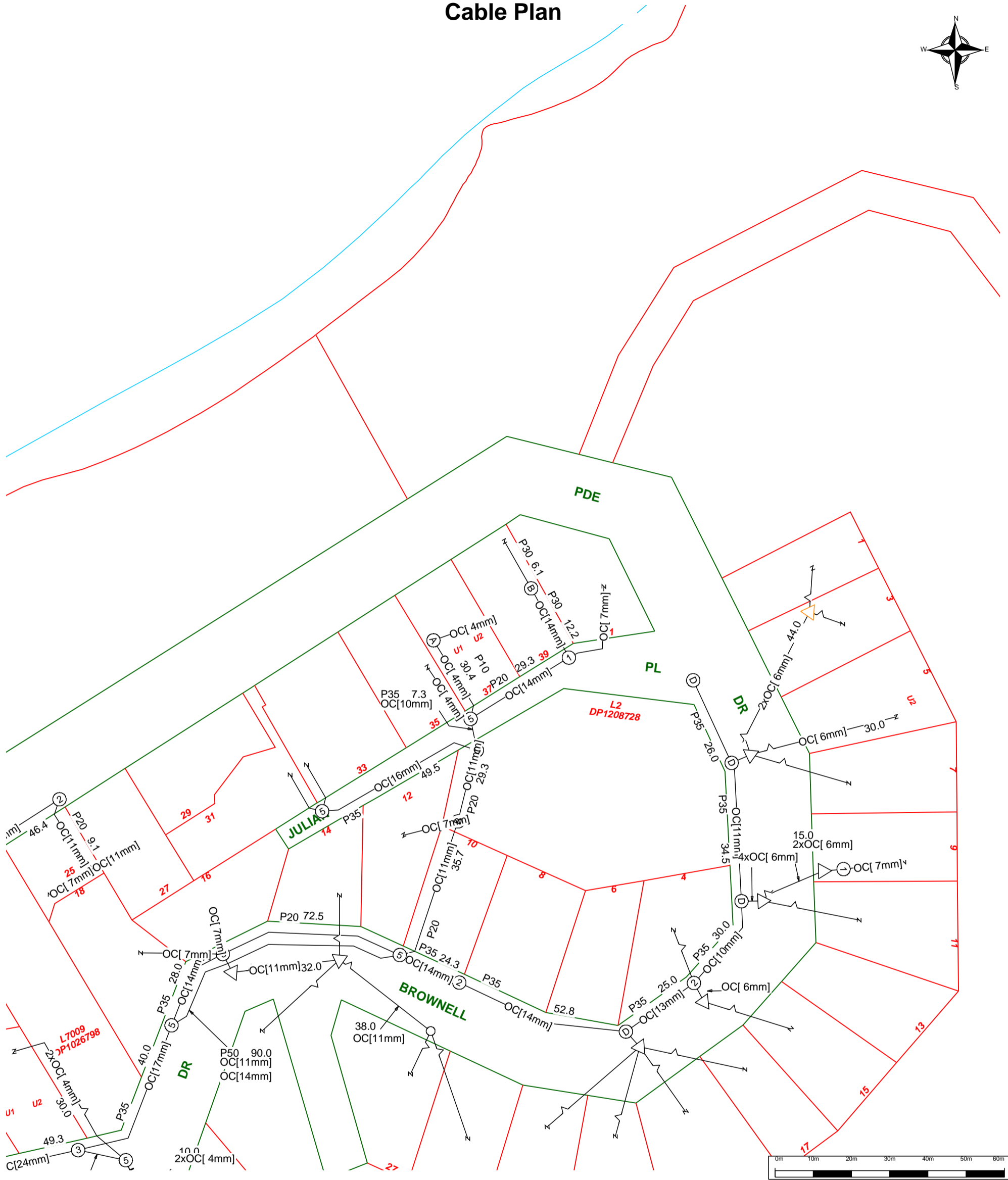
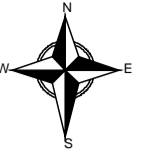
Attachment B – Dial Before You Dig Information



- | | | | | | |
|----------------------|--------------------------|---------------------------|----------------------------|----------------------|--------|
| Water Main Drinking | Water Hydrants | Wastewater Manhole | Wastewater Vacuum Pods | Stormwater Culvert | Rivers |
| Water Main Abandoned | Water Main Recycled | Wastewater Rising Main | SCIMS Survey Control Point | No Digging Permitted | |
| Water Meter Pipe | Water Valves Recycled | Wastewater Valve | Incomplete Data | Property Boundary | |
| Water Valves | Wastewater Gravity Main | Wastewater Pressure Valve | Stormwater Pit | Road Reserve | |
| | Wastewater Vacuum Main | Stormwater Main | | | |
| | Wastewater Vacuum Valves | Stormwater Pit | | | |

DISCLAIMER: While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Byron Shire Council or PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

Cable Plan



For all Telstra DBYD plan enquiries -
 email - Telstra.Plans@team.telstra.com
 For urgent onsite contact only - ph 1800 653 935 (bus hrs)

Sequence Number: 109332921

Please read Duty of Care prior to any excavating

TELSTRA CORPORATION LIMITED A.C.N. 051 775 556

Generated On 04/05/2021 15:47:38

WARNING - Due to the nature of Telstra underground plant and the age of some cables and records, it is impossible to ascertain the precise location of all Telstra plant from Telstra's plans. The accuracy and/or completeness of the information supplied can not be guaranteed as property boundaries, depths and other natural landscape features may change over time, and accordingly the plans are indicative only. Telstra does not warrant or hold out that its plans are accurate and accepts no responsibility for any inaccuracy shown on the plans.

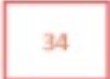




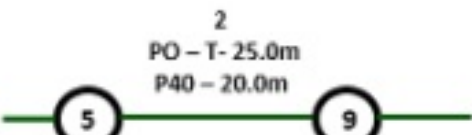
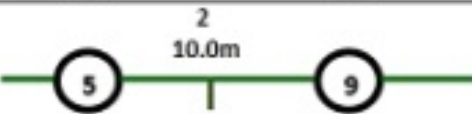





It is your responsibility to locate Telstra's underground plant by careful hand pot-holing prior to any excavation in the vicinity and to exercise due care during that excavation.

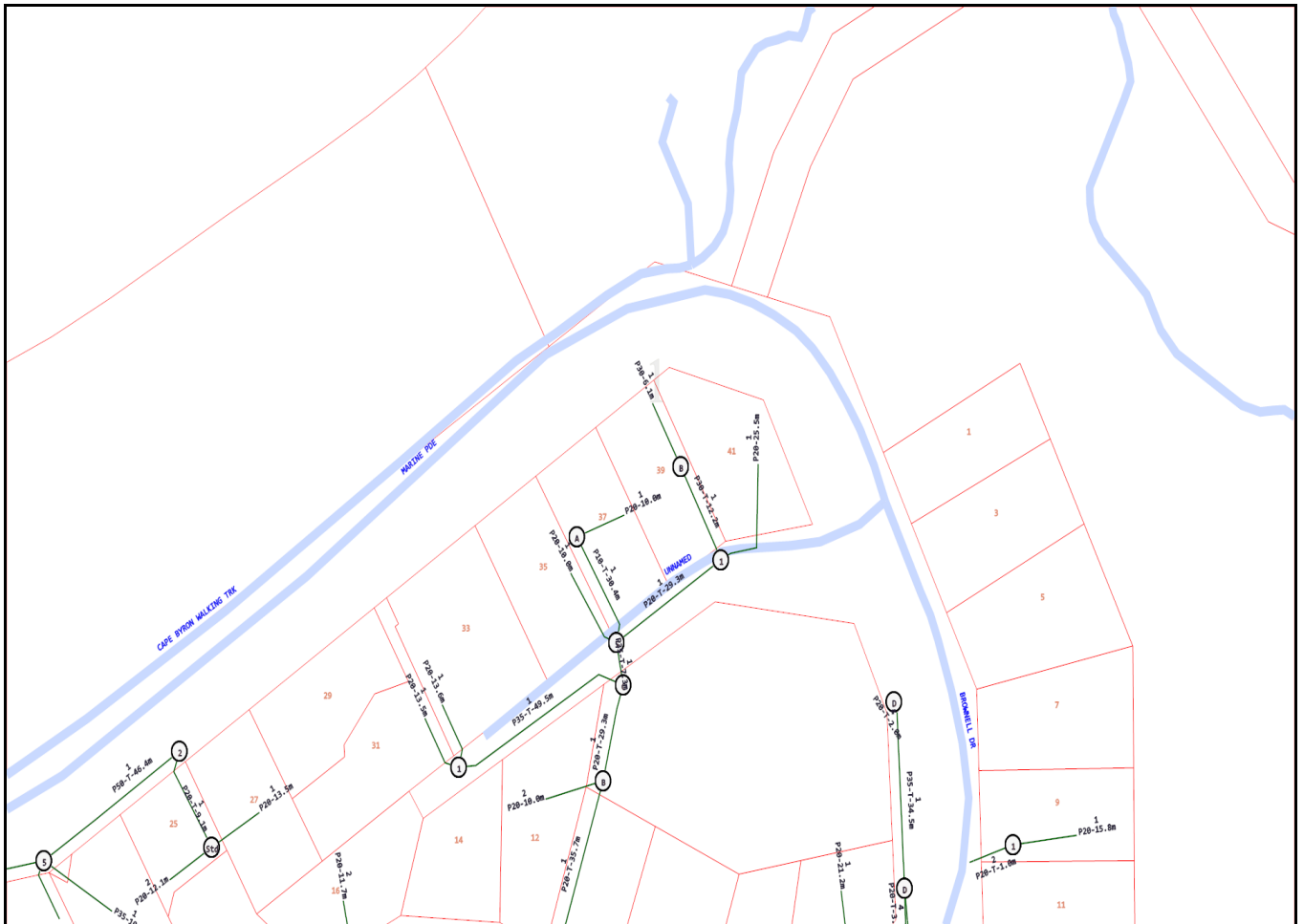
Please read and understand the information supplied in the duty of care statement attached with the Telstra plans. TELSTRA WILL SEEK COMPENSATION FOR LOSS CAUSED BY DAMAGE TO ITS PLANT.

Telstra plans and information supplied are valid for 60 days from the date of issue. If this timeframe has elapsed, please reapply for plans.



LEGEND

	Parcel and the location
	Pit with size "5"
	Power Pit with size "2E". Valid PIT Size: e.g. 2E, 5E, 6E, 8E, 9E, E, null.
	Manhole
	Pillar
	Cable count of trench is 2. One "Other size" PVC conduit (PO) owned by Telstra (-T-), between pits of sizes, "5" and "9" are 25.0m apart. One 40mm PVC conduit (P40) owned by NBN, between pits of sizes, "5" and "9" are 20.0m apart.
	2 Direct buried cables between pits of sizes, "5" and "9" are 10.0m apart.
	Trench containing any INSERVICE/CONSTRUCTED (Copper/RF/Fibre) cables.
	Trench containing only DESIGNED/PLANNED (Copper/RF/Fibre/Power) cables.
	Trench containing any INSERVICE/CONSTRUCTED (Power) cables.
	Road and the street name "Broadway ST"
<p data-bbox="363 1861 443 1895">Scale</p>	<p data-bbox="679 1816 1139 1850">0 20 40 60 Meters</p> <p data-bbox="1091 1861 1187 1895">1:2000</p> <p data-bbox="1023 1895 1257 1928">1 cm equals 20 m</p> 



Emergency Contacts

You must immediately report any damage to the **nbn**TM network that you are/become aware of. Notification may be by telephone - 1800 626 329.



Overhead wires not shown
LOOK UP & LIVE!

LEGEND

- - - LV Underground Cable
- - - HV Underground Cable
- - - Underground Pipe
- ★ Underground Earth or Wires
- ▲ Ground Substation
- Pole
- Cubicle
- Pit
- Area of Interest

Critical Assets

- Contact Essential Energy on 13 23 91
- Zone Substation
- - - Underground Cable
- - - Underground Fibre

Proposed Works

- Area of proposed works

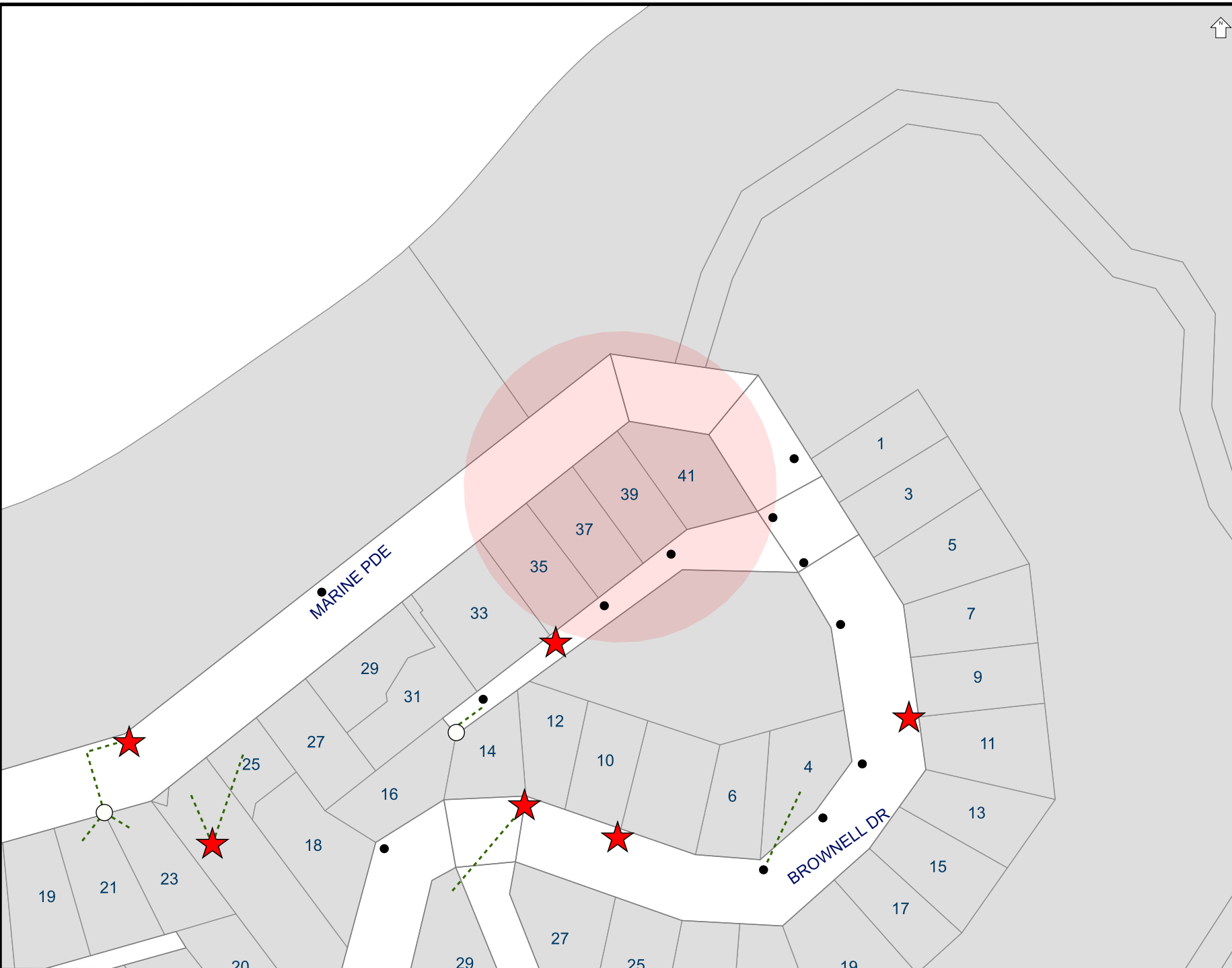
Proposed assets are shown as orange symbols

THE INFORMATION ON THIS MAP MAY NOT BE ACCURATE.
If details are incorrect, please notify
Essential Energy on 13 23 91
(or fax 1800 354 636)

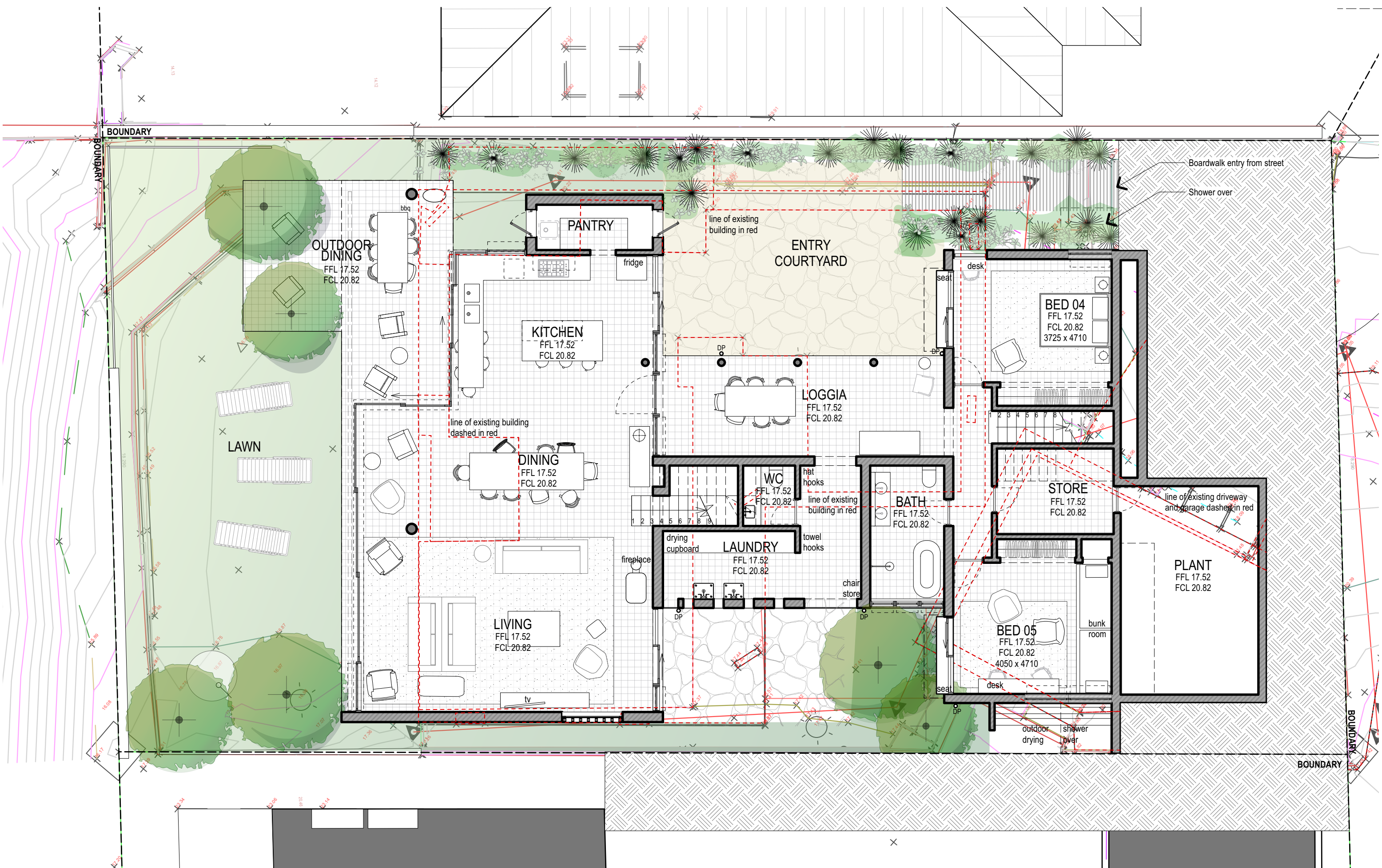
ISSUE DATE: 04/05/2021

You must resubmit your request if you have not started work within 4 weeks of the 'Issue Date' above

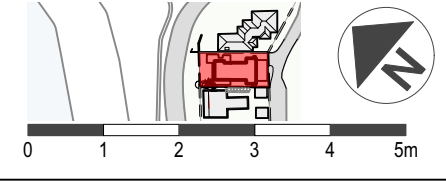
A4 SCALE: 1:1555



Attachment C –Architectural Plans



studio mcqualter
copyright ©
level 1 / 106 oxford street
paddington 2021
+61 2 9361 3029
info@studiomcqualter.com



NOTES

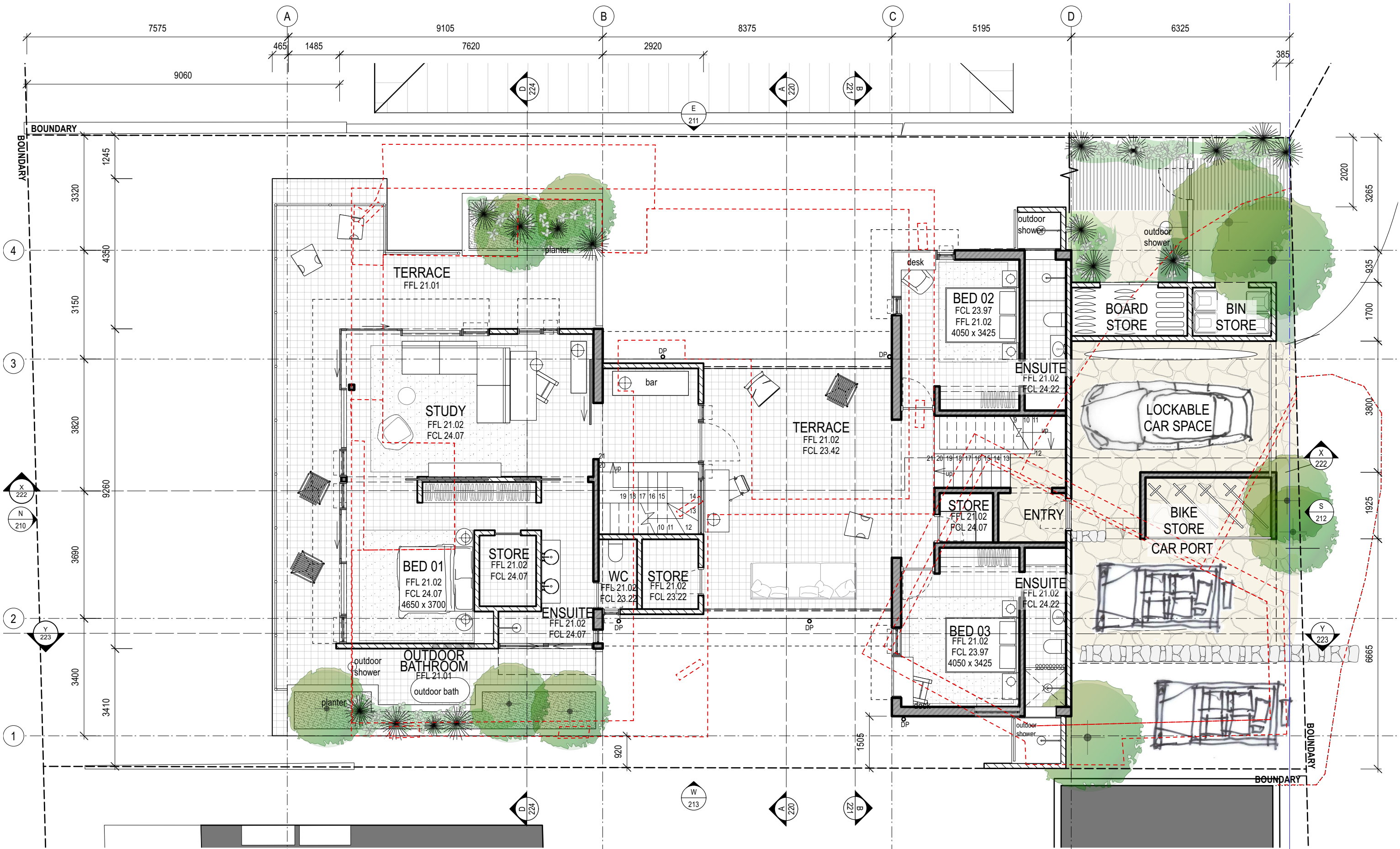
Notes

REVISION	DATE	REVISION NOTE	BY
A	1/6/21	PRELIMINARY DA - FOR REVIEW	JH
B	6/7/21	FOR CLIENT REVIEW	EF
C	16/9/21	FOR CLIENT REVIEW	JH
D	11/11/21	FOR PLANNER REVIEW	JH
E	22/2/22	FOR CLIENT REVIEW	JH
F	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL	OG

DRAWING
Plan - proposed ground floor
PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

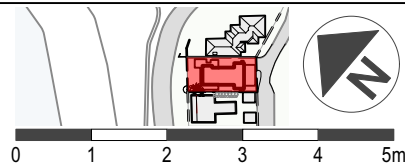
ISSUED FOR	REVISION	DRAWN BY	SHEET SIZE	SCALE
DEVELOPMENT APPLICATION		JH	A3	1:100 @ A3

FWG NO. DA.100



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A	1/6/21	PRELIMINARY DA - FOR REVIEW
B	6/7/21	FOR CLIENT REVIEW
C	16/9/21	FOR CLIENT REVIEW
D	11/11/21	FOR PLANNER REVIEW
E	22/2/22	FOR CLIENT REVIEW
F	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY

JH
EF
JH
JH
OG

DRAWING

Plan - proposed first floor

Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR

DEVELOPMENT APPLICATION

REVISION

DRAWN BY JH
SHEET SIZE A3
SCALE 1:100 @ A3

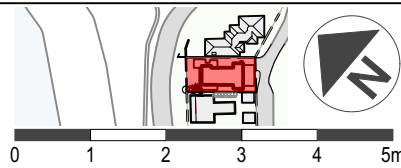
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DWG NO.

DA.101



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A	11/11/21	FOR PLANNER REVIEW
B	22/2/22	FOR CLIENT REVIEW
C	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY
JH
JH
OG

DRAWING

Plan - Proposed Roof

PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR DEVELOPMENT APPLICATION

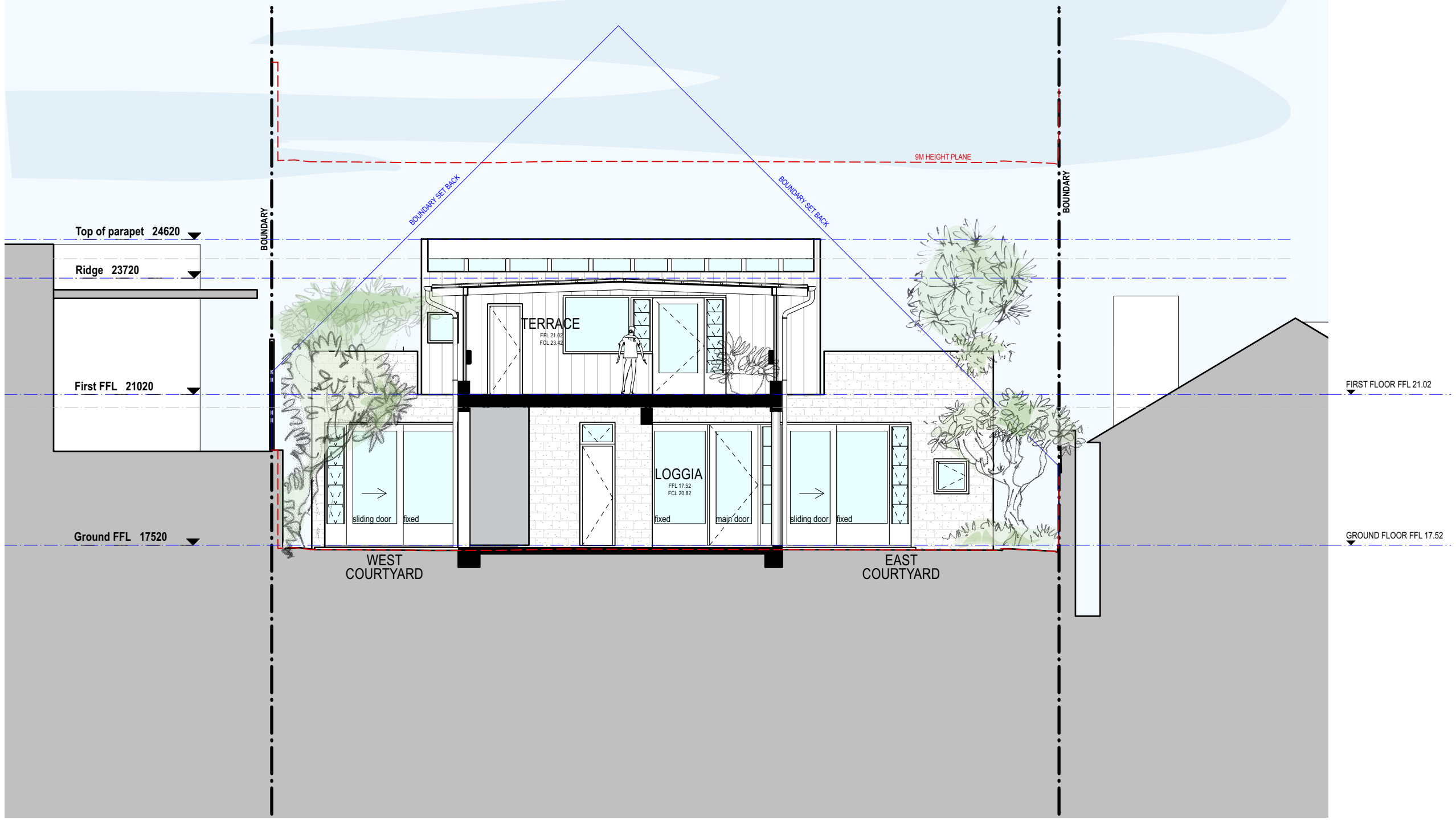
REVISION

DRAWN BY EF
SHEET SIZE A3
SCALE 1:100 @ A3

C

DWG NO.

DA.102



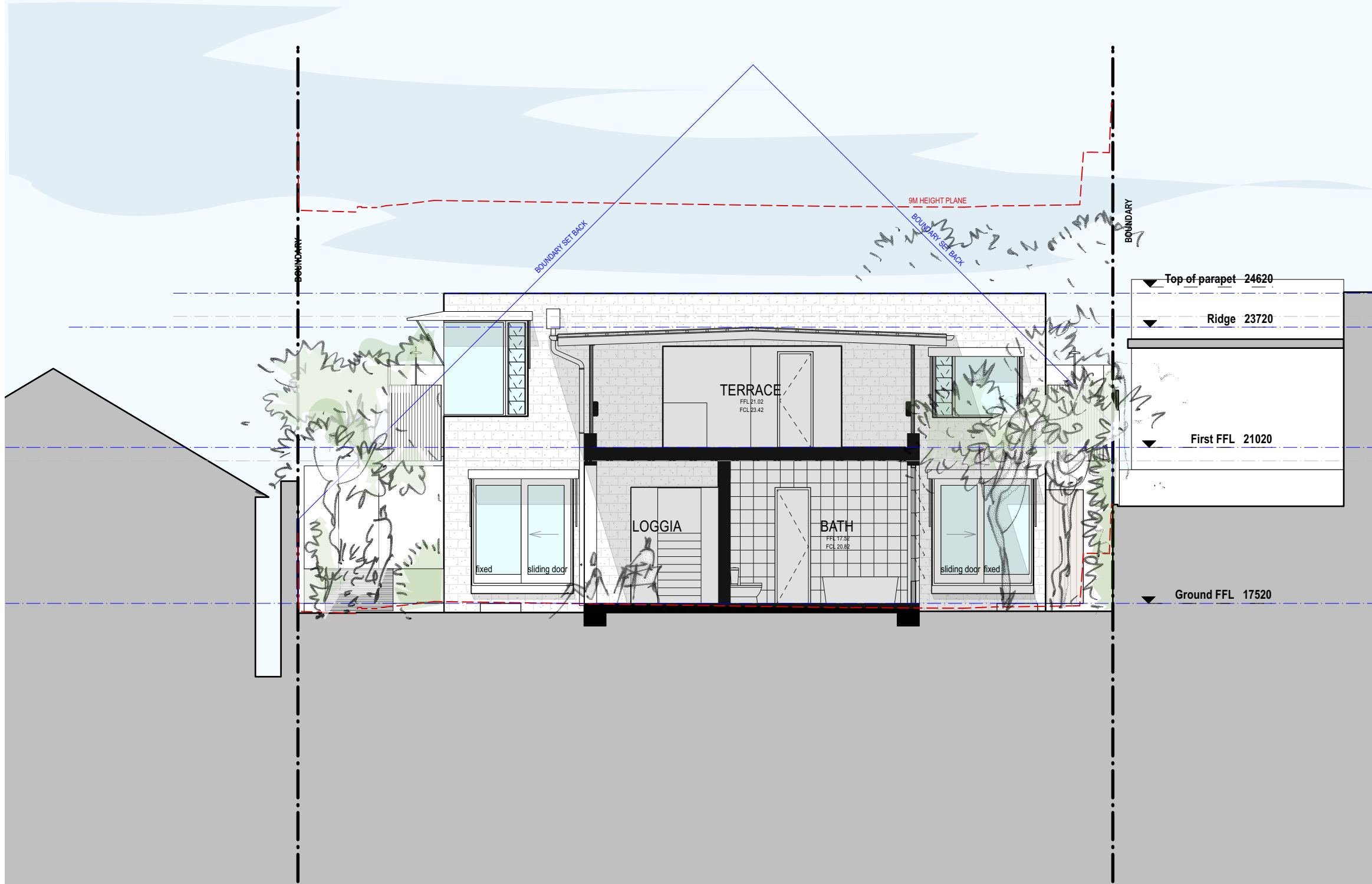
A section AA
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NOTES	REVISION	DATE	REVISION NOTE
Notes	A	1/6/21	PRELIMINARY DA - FOR REVIEW
	B	11/11/21	FOR PLANNER REVIEW
	C	22/2/22	FOR CLIENT REVIEW
	D	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY DRAWING
JH
JH
JH
OG
Section - AA
PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR **DEVELOPMENT APPLICATION**
REVISION **D**
DRAWN BY **JH**
SHEET SIZE **A3**
SCALE **1:100 @ A3**
DWG NO. **DA.200**



B section BB
Scale: 1:100

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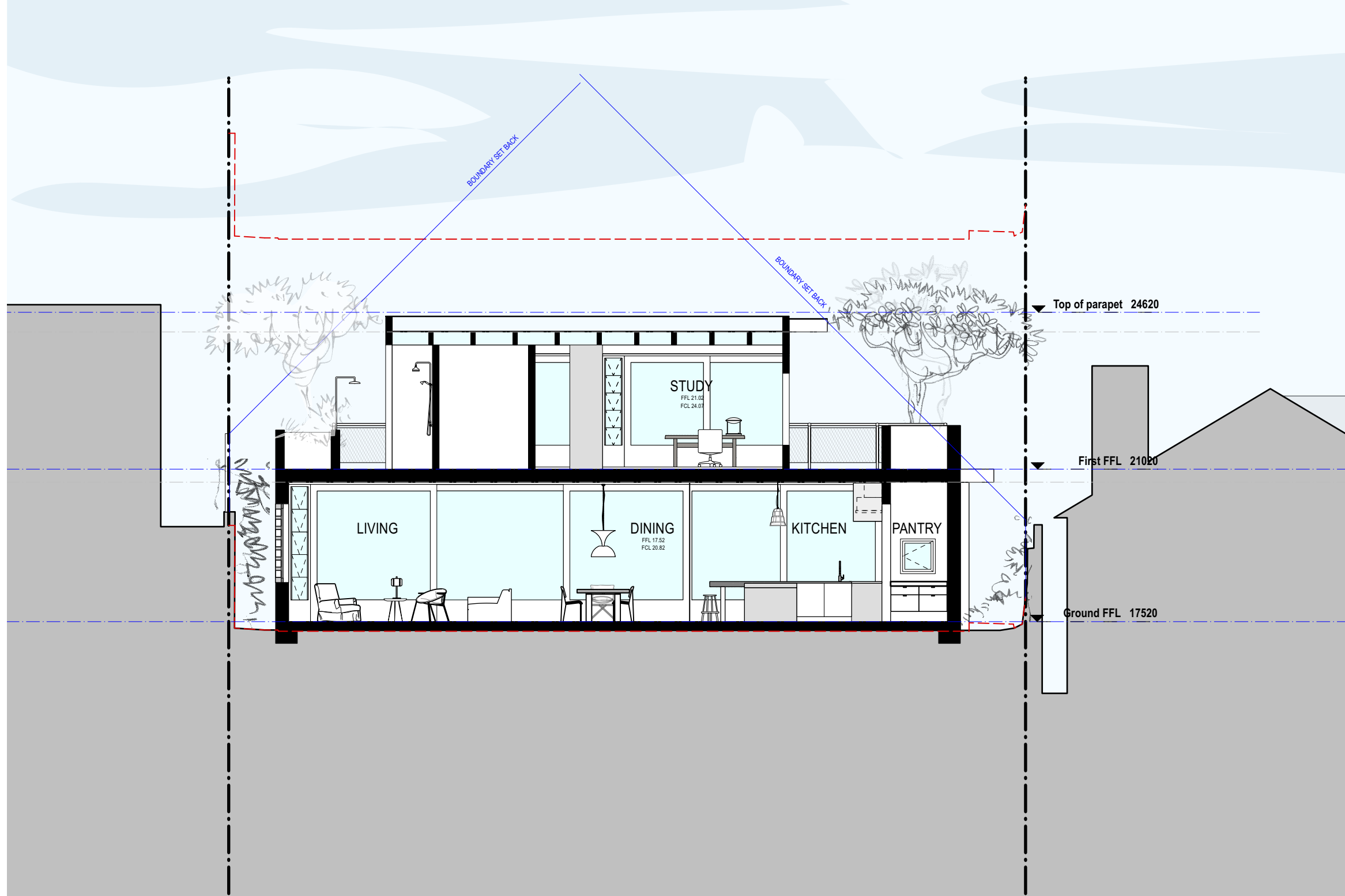


NOTES	REVISION	DATE	REVISION NOTE	BY
Notes	A	1/6/21	PRELIMINARY DA - FOR REVIEW	JH
	B	11/11/21	FOR PLANNER REVIEW	JH
	C	22/2/22	FOR CLIENT REVIEW	JH
	D	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL	OG

DRAWING
Section - BB
PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR	REVISION	DRAWN BY	SHEET SIZE	SCALE
DEVELOPMENT APPLICATION		JH	A3	1:100 @ A3
	D			

DA.201



1 section DD
Scale: 1:100

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REVISION
A
B

DATE
11/11/21
26/9/22

REVISION NOTE
FOR PLANNER REVIEWER REVIEW
ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY
JH
OG

DRAWING

Section - DD

PROJECT

Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR

DEVELOPMENT APPLICATION

REVISION

B

DRAWN BY

JH

DWG NO.

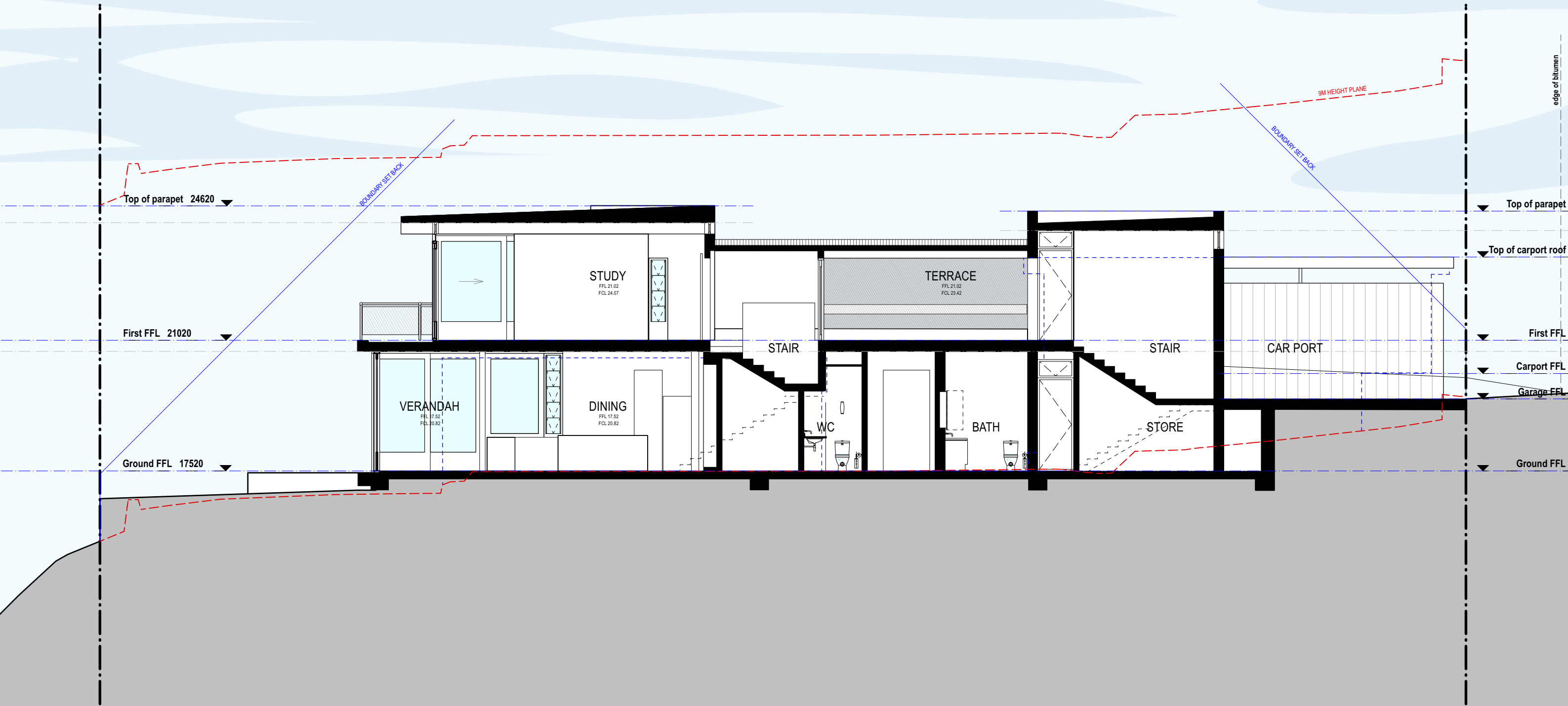
SHEET SIZE

A3

SCALE

1:100 @ A3

DA.202



X section XX
Scale: 1:100

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	B	11/11/21	FOR PLANNER REVIEW
	C	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY	DRAWING
JH	
JH	
OG	

Section - XX

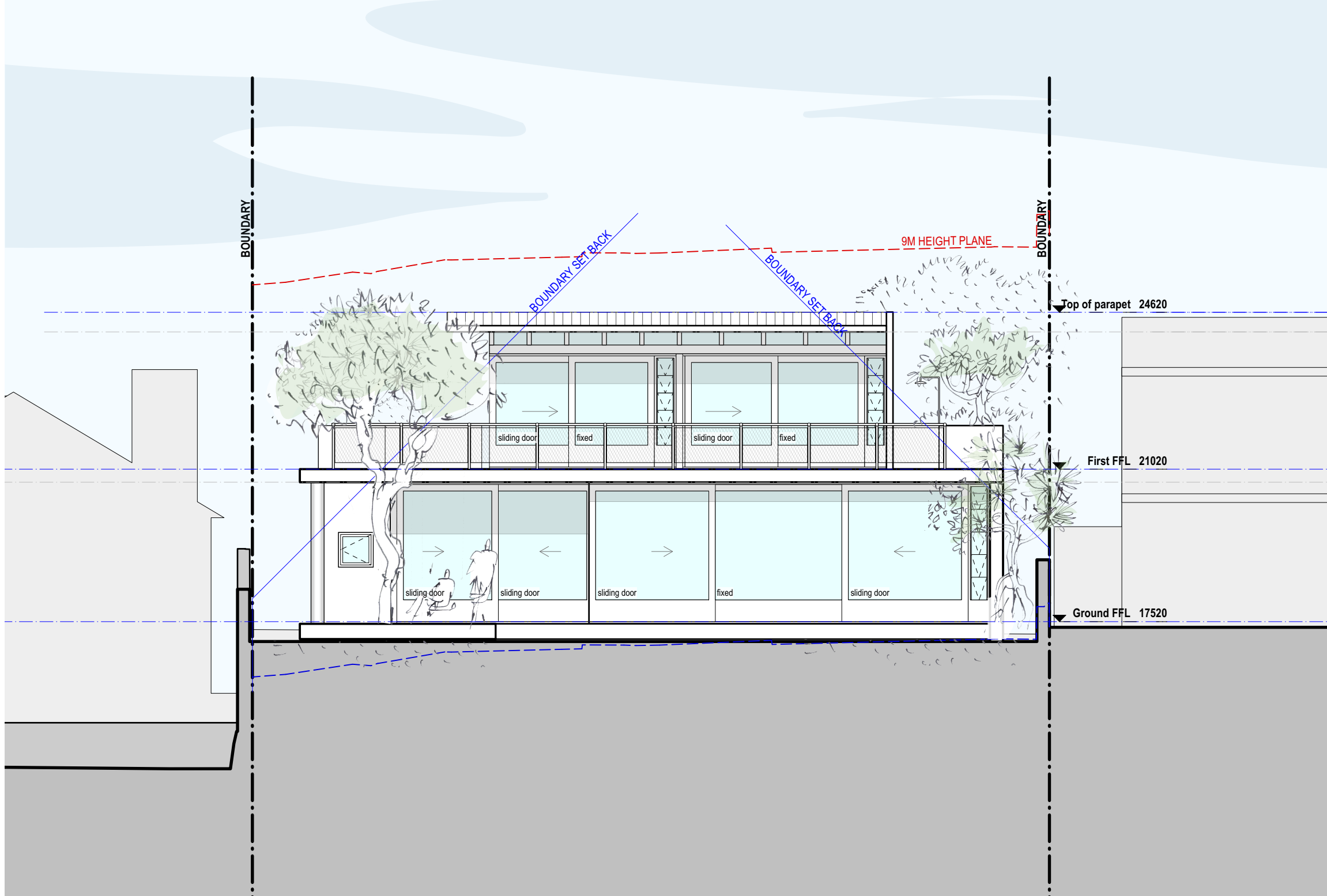
PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR DEVELOPMENT APPLICATION

REVISION C

DRAWN BY JH
SHEET SIZE A3
SCALE 1:100 @ A3

DA.203



○ north elevation - Marine Parade
Scale: 1:100

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B	16/9/21	FOR CLIENT REVIEW
C	11/11/21	FOR PLANNER REVIEW
D	22/2/22	FOR CLIENT REVIEW
E	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY
JH
JH
JH
OG

DRAWING
Elevation - North

PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

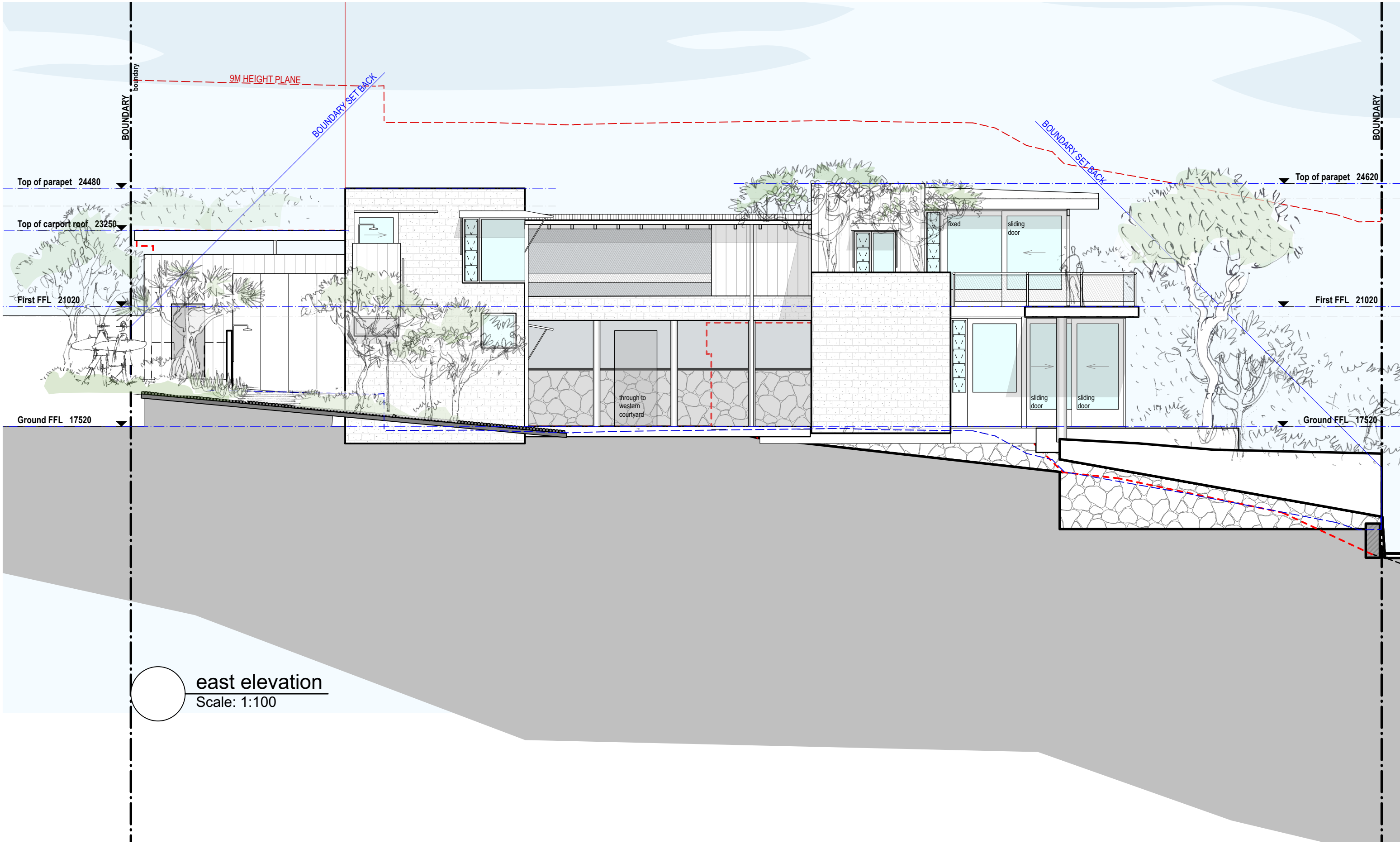
ISSUED FOR
DEVELOPMENT APPLICATION

REVISION
E

DRAWN BY
SHEET SIZE
SCALE

JH
A3
1:100 @ A3

DWG NO.
DA.300



east elevation
Scale: 1:100

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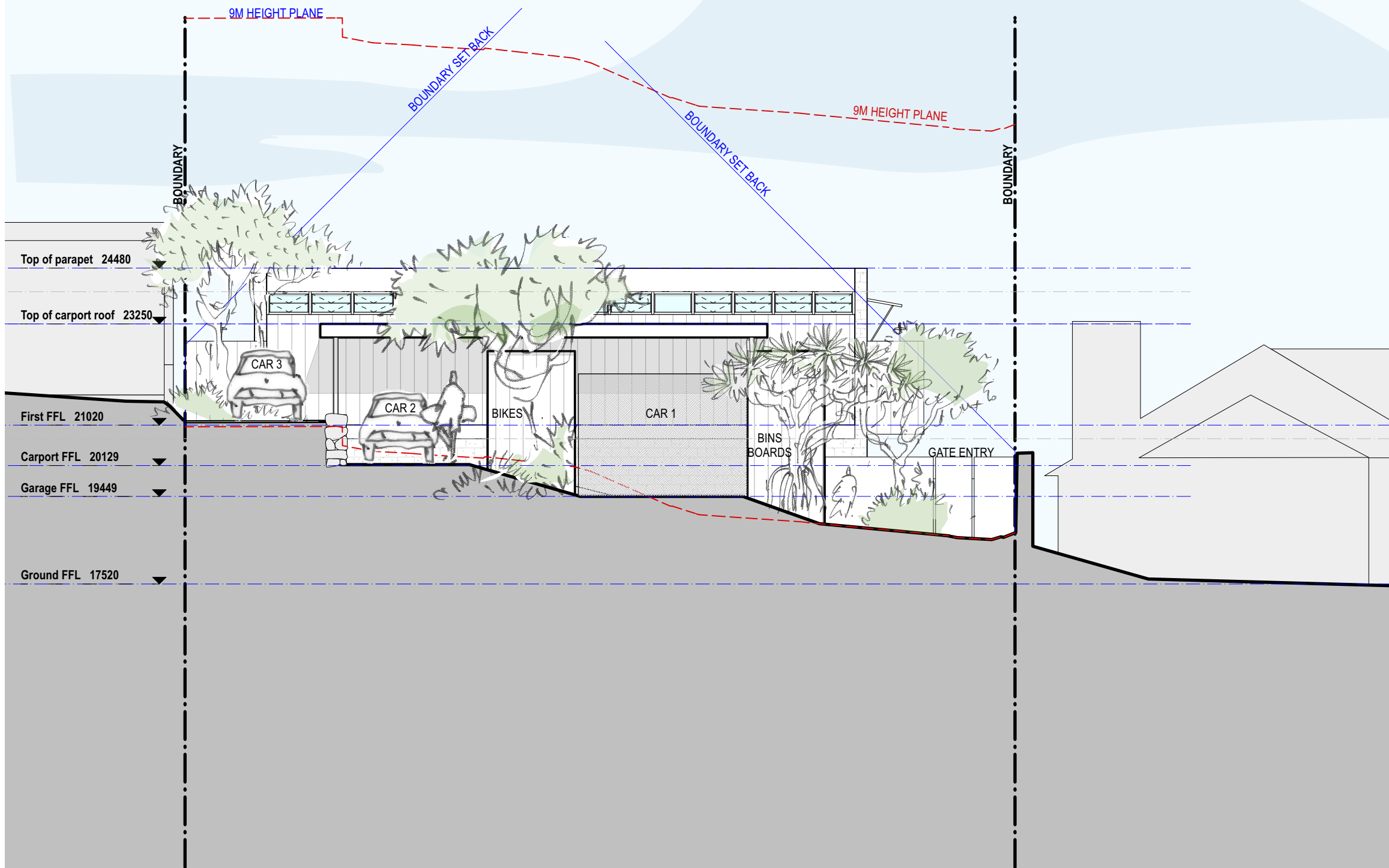
NOTES	REVISION	DATE	REVISION NOTE	BY
Notes	A	1/6/21	PRELIMINARY DA - FOR REVIEW	JH
	B	16/9/21	FOR CLIENT REVIEW	JH
	C	11/11/21	FOR PLANNER REVIEW	JH
	D	22/2/22	FOR CLIENT REVIEW	JH
	E	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL	OG

DRAWING
Elevation - East

PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR
DEVELOPMENT APPLICATION
REVISION
E

DRAWN BY
JH
SHEET SIZE
A3
SCALE
1:100 @ A3
DWG NO.
DA.301



1 south elevation - Julian Place
Scale: 1:100



NOTES	REVISION	DATE	REVISION NOTE	BY
Notes	A	1/6/21	PRELIMINARY DA - FOR REVIEW	JH
	B	16/9/21	FOR CLIENT REVIEW	JH
	C	11/11/21	FOR PLANNER REVIEW	JH
	D	22/2/22	FOR CLIENT REVIEW	JH
	E	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL	OG

DRAWING
Elevation - South

PROJECT
Walton Crothers - Byron Bay House
39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR
DEVELOPMENT APPLICATION

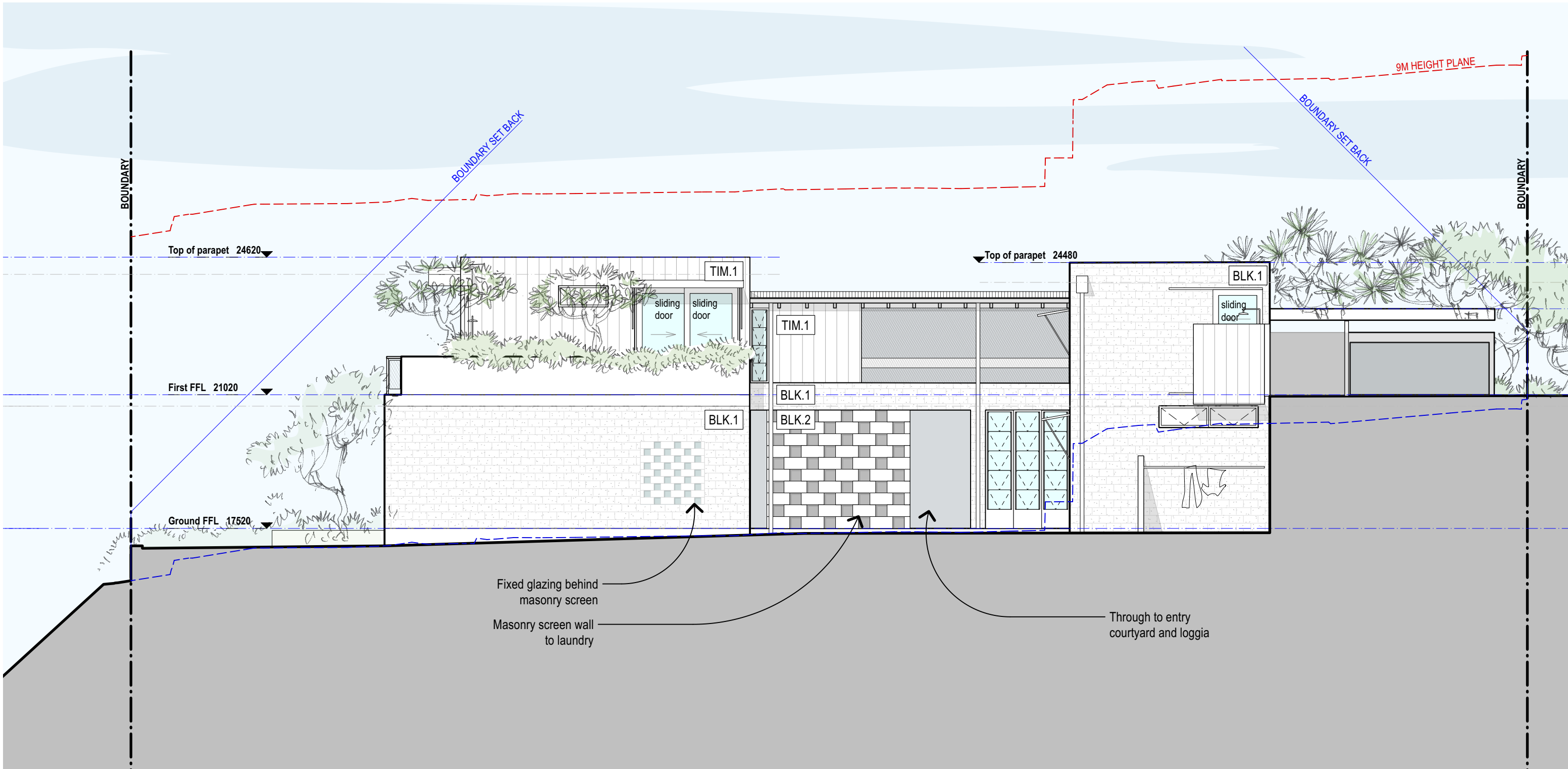
REVISION
E

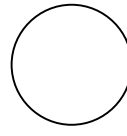
DRAWN BY
JH

SHEET SIZE
A3

SCALE
1:100 @ A3

DA.302




west elevation
 Scale: 1:100

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	B	16/9/21	FOR CLIENT REVIEW
	C	11/11/21	FOR PLANNER REVIEW
	D	22/2/22	FOR CLIENT REVIEW
	E	26/9/22	ISSUE TO BCA CONSULTANT FOR FEE PROPOSAL

BY: JH, JH, JH, JH, OG
 DRAWING: **Elevation - West**
 PROJECT: **Walton Crothers - Byron Bay House**
 39 Marine Parade, Byron Bay NSW 2481

ISSUED FOR: **DEVELOPMENT APPLICATION**
 REVISION: **E**
 DRAWN BY: **JH**
 SHEET SIZE: **A3**
 SCALE: **1:100 @ A3**
 DWG NO.: **DA.303**