

DEVELOPMENT APPLICATION

FOR

PROPOSED ALTERATIONS AND ADDITIONS TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY

177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/ DP1092892)

OWNER: LUTZ BENDIG (BUILDER TBC)

DRG. No.	DRG. DESCRIPTION
LB-00	COVER PAGE
LB-0.1	SITE VISUAL
LB-1.0	SITE PLAN & STORM WATER PLAN
LB-1.1	SHADOW DIAGRAMS
LB-1.2	MAIN HOUSE BASIX REPORT
LB-1.3	DUAL OCCUPANCY BASIX REPORT
LB-2.0	EXISTING LOWER FLOOR PLAN
LB-2.1	EXISTING UPPER FLOOR PLAN
LB-3.0	PROPOSED LOWER PLANS
LB-3.1	PROPOSED BUILDING WORKS NOTES & DOOR/WINDOW SCHEDULES
LB-4.0	PROPOSED UPPER PLANS
LB-4.1	PROPOSED UPPER FLOOR – STRUCTURAL PLAN
LB-5.0	PROPOSED SECTION A
LB-5.1	PROPOSED SECTION B TO D
LB-5.2	PROPOSED SECTION E & ISOMETRIC VIEW
LB-6.0	PROPOSED ELEVATIONS 1
LB-6.1	PROPOSED ELEVATIONS 2
LB-7.0	PROPOSED ISOMETRIC VIEWS 1
LB-7.1	PROPOSED ISOMETRIC VIEWS 2

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:	1:100 U.N.O.
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	Designed:	DCDS
			Drafted:	DC
			Date:	NOV 2022
			PAGE SIZE:	A3

Sheet: COVER SHEET
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	00
Job No.	Sheet No.
	DA
	Revision



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)

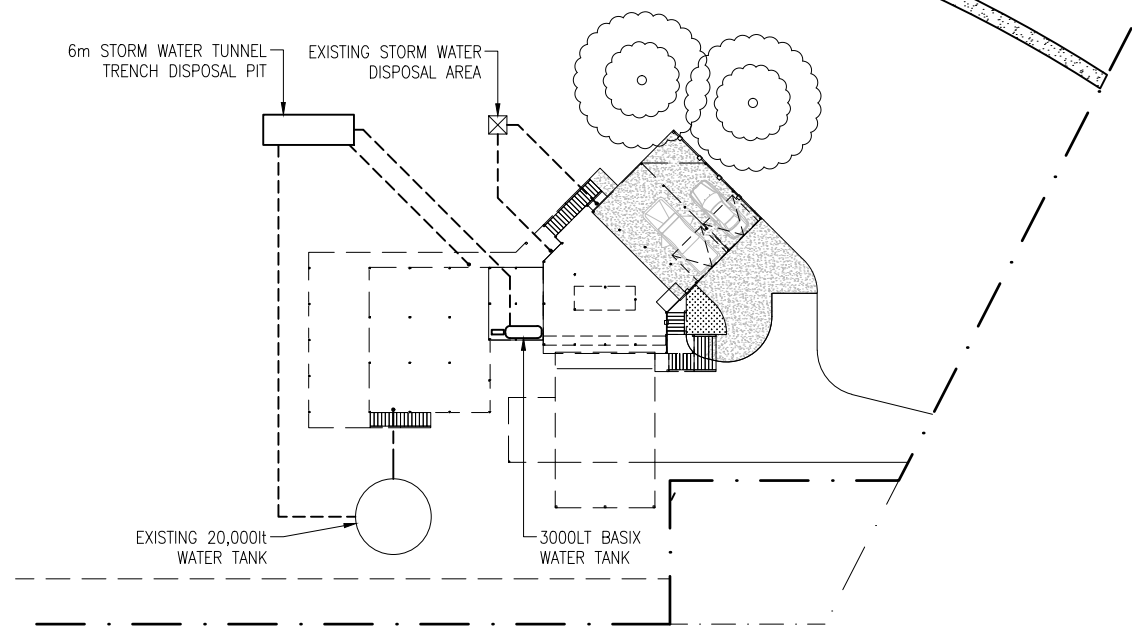
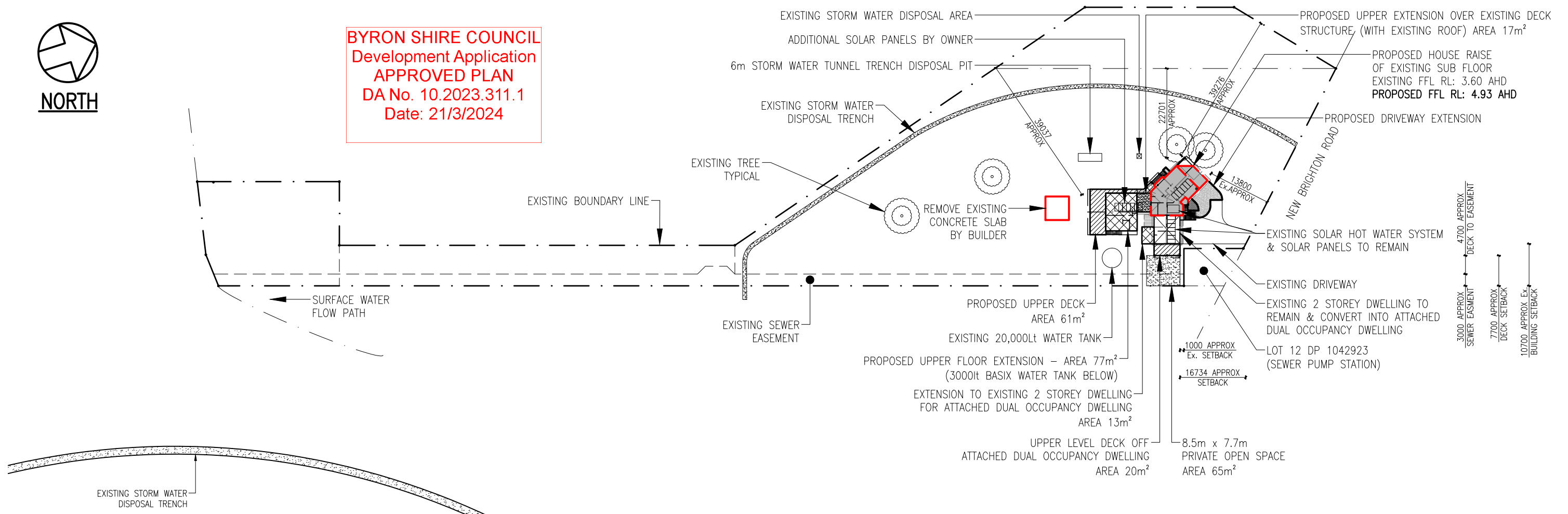
Scale:	1:100 U.N.O.
Designed:	DCDS
Drafted:	DC
Date:	NOV 2022
PAGE SIZE:	A3

Sheet: SITE VISUAL
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	0.1
Job No.	Sheet No.
	DA
	Revision



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024



PROPOSED STORM WATER PLAN
SCALE 1:500

PROPERTY INFORMATION
LOT Number:- LOT 101/DP 1092892
Land Area: 8901m²

EXISTING PROPERTY AREAS
SUB FLOOR (TO BE RAISED) = 101m²
UPPER FLOOR = 45m²
GARAGE = 45m²
LAUNDRY = 8m²
DECKS = 33m²

PROPOSED PROPERTY AREAS
UPPER FLOOR HABITABLE AREA = 191m²
UPPER FLOOR DECK AREA = 88m²
(AFTER HOUSE RAISE & EXTENSION)
EXISTING UPPER FLOOR = 45m²
EXISTING GARAGE = 45m²
EXISTING LAUNDRY = 8m²

SITE PLAN
SCALE 1:1000

HOUSE RAISE NOTES
FINAL AERIAL POSITION TO BE AS PER EXISTING PLAN (SIDE, FRONT & REAR BOUNDARY OFFSETS TO REMAIN)

RAISE:-
1330mm TO ACHIEVE UPPER FLOOR RL. 4.93 AHD
DEMOLITION (PRIOR TO THE ABOVE):-
- ALL EXISTING STAIRS TO BE DEMOLISHED
- ALL EXISTING WALLS/SLABS/COLUMNS ETC. BELOW EXISTING HOUSE TO BE DEMOLISHED
UNLESS NOTED OTHERWISE - REFER PLAN

BUILDER/OWNER NOTES:-
- WATER METER TO BE UPGRADED
- ELECTRIC METER TO BE UPGRADED
- NEW HOT WATER SYSTEM FOR EXTENSION TO BE INSTALLED (LOCATION TO BE CONFIRMED BY BUILDER/CONTRACTOR)
- 5000L WATER TANK TO BE INSTALLED (LOCATION TO BE CONFIRMED BY BUILDER/CONTRACTOR)
- ALL INTERNAL WALL LININGS TO BE 10mm PLASTER BOARD WITH SQUARE SET FINISH
- ALL INTERNAL SKIRTING BOARDS & ARCHITRAVES TO MATCH EXISTING
- ALL MATERIALS FOR BAL RATING 29
- ALL EXTERNAL CLADDING TO MATCH EXISTING (or BAL RATING 29 EQUIVALENT)
- ALL EXPOSED STEELWORK TO BE H.D.G.

REFER SHEET 3.1 FOR PROPOSED BUILDING WORKS NOTES & DOOR/WINDOW SCHEDULES

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet: **SITE PLAN & STORM WATER PLAN**
Project: **ALTERATION AND ADDITIONS**
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Location: **177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)**
Client: **LUTZ BENDIG**

LB	1.0
Job No.	Sheet No.
	DA
	Revision

Alterations and Additions

Certificate number: A507641

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Alterations and Additions Definitions" dated 06/10/2017 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 11, September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Description of project

Project address	
Project name	177 New Brighton Road_02
Street address	177 New Brighton Road Ocean Shores 2483
Local Government Area	Byron Shire Council
Plan type and number	Deposited Plan 1092892
Lot number	101
Section number	
Project type	
Dwelling type	Attached dwelling house
Type of alteration and addition	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).

Certificate Prepared by <small>(please complete before submitting to Council or PCA)</small>	
Name / Company Name:	Coastal Planning & Energy Services
ABN (if applicable):	84279678110

Fixtures and systems	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Lighting			
The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures			
The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating.		✓	✓
The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating.		✓	✓
The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	

Construction	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check														
Insulation requirements																	
The applicant must construct the new or altered construction (floor(s), walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that a) additional insulation is not required where the area of new construction is less than 2m2, b) insulation specified is not required for parts of altered construction where insulation already exists.		✓	✓														
<table><tr><th>Construction</th><th>Additional insulation required (R-value)</th><th>Other specifications</th></tr><tr><td>suspended floor with open subfloor: framed (R0.7).</td><td>nil</td><td></td></tr><tr><td>suspended floor with enclosed subfloor: framed (R0.7).</td><td>nil</td><td></td></tr><tr><td>external wall: framed (weatherboard, fibro, metal clad)</td><td>R1.00 (or R1.40 including construction)</td><td></td></tr><tr><td>raked ceiling, pitched/skillion roof: framed</td><td>ceiling: R1.76 (down), roof: foil backed blanket (55 mm)</td><td>medium (solar absorptance 0.475 - 0.70)</td></tr></table>		Construction	Additional insulation required (R-value)	Other specifications	suspended floor with open subfloor: framed (R0.7).	nil		suspended floor with enclosed subfloor: framed (R0.7).	nil		external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)		raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (down), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)	✓
Construction	Additional insulation required (R-value)	Other specifications															
suspended floor with open subfloor: framed (R0.7).	nil																
suspended floor with enclosed subfloor: framed (R0.7).	nil																
external wall: framed (weatherboard, fibro, metal clad)	R1.00 (or R1.40 including construction)																
raked ceiling, pitched/skillion roof: framed	ceiling: R1.76 (down), roof: foil backed blanket (55 mm)	medium (solar absorptance 0.475 - 0.70)															

Glazing requirements	Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check			
Windows and glazed doors						
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓			
The following requirements must also be satisfied in relation to each window and glazed door:		✓	✓			
Each window or glazed door with standard aluminium or timber frames and single clear or toned glass may either match the description, or, have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.		✓	✓			
For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓			
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.		✓	✓			
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between battens must not be more than 50 mm.		✓	✓			
Windows and glazed doors glazing requirements						
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m)	Distance (m)	Shading device	Frame and glass type
W4	E	1.08	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W5	E	1.89	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
W1	S	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
d10	S	6.48	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)
w2	S	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)

Glazing requirements						Show on DA Plans	Show on CC/CDC Plans & specs	Certifier Check
Window / door no.	Orientation	Area of glass inc. frame (m2)	Overshadowing Height (m) Distance (m)		Shading device	Frame and glass type		
d9	S	8.64	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W2	S	1.8	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	W	5.76	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W1	W	2.16	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	W	5.76	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
d4	SW	1.72	0	0	eave/verandah/pergola/balcony >=900 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a "✓" in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a "✓" in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a "✓" in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:	1:100 U.N.O.
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	Designed:	DCDS
			Drafted:	DC
			Date:	NOV 2022
			PAGE SIZE:	A3

Sheet:

Project:

Location:

Client:

MAIN HOUSE BASIX REPORT
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB		1.2
Job No.		Sheet No.
		DA
		Revision

Single Dwelling

Certificate number: 1420442S

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Monday, 11 September 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	177 New Brighton Road	
Street address	177 New Brighton Road Ocean Shores 2483	
Local Government Area	Byron Shire Council	
Plan type and plan number	deposited 1092892	
Lot no.	101	
Section no.	-	
Project type	attached dwelling house	
No. of bedrooms	2	
Project score		
Water	✔ 45	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Certificate Prepared by		
Name / Company Name: Coastal Planning & Energy Services		
Note ABN (if applicable): 84279678110		

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m² year)	n/a	
Area adjusted heating load (MJ/m² year)	n/a	
Ceiling fan in at least one bedroom	n/a	
Ceiling fan in at least one living room or other conditioned area	n/a	
Project score		
Water	✔ 45	Target 40
Thermal Comfort	✔ Pass	Target Pass
Energy	✔ 50	Target 50

Project address	
Project name	177 New Brighton Road
Street address	177 New Brighton Road Ocean Shores 2483
Local Government Area	Byron Shire Council
Plan type and plan number	Deposited Plan 1092892
Lot no.	101
Section no.	-
Project type	
Project type	attached dwelling house
No. of bedrooms	2
Site details	
Site area (m²)	6695
Roof area (m²)	60
Conditioned floor area (m2)	49.0
Unconditioned floor area (m2)	17.0
Total area of garden and lawn (m2)	100

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Fixtures			
The applicant must install showerheads with a minimum rating of 3 star (> 7.5 but <= 9 L/min) in all showers in the development.		✔	✔
The applicant must install a toilet flushing system with a minimum rating of 3 star in each toilet in the development.		✔	✔
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✔	
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✔	
Alternative water			
Rainwater tank			
The applicant must install a rainwater tank of at least 3000 litres on the site. This rainwater tank must meet, and be installed in accordance with, the requirements of all applicable regulatory authorities.	✔	✔	✔
The applicant must configure the rainwater tank to collect rain runoff from at least 80 square metres of the roof area of the development (excluding the area of the roof which drains to any stormwater tank or private dam).		✔	✔
The applicant must connect the rainwater tank to:			
• all toilets in the development		✔	✔
• the cold water tap that supplies each clothes washer in the development		✔	✔
• at least one outdoor tap in the development (Note: NSW Health does not recommend that rainwater be used for human consumption in areas with potable water supply.)		✔	✔

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
General features			
The dwelling must not have more than 2 storeys.	✔	✔	✔
The conditioned floor area of the dwelling must not exceed 300 square metres.	✔	✔	✔
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✔	✔	✔
The dwelling must not contain third level habitable attic room.	✔	✔	✔
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✔	✔	✔

Construction	Additional insulation required (R-Value)	Other specifications
floor - concrete slab on ground, 8 square metres	nil	
floor - suspended floor above enclosed subfloor, 46 square metres, framed	nil	
floor - suspended floor above open subfloor, 12 square metres, framed	nil	
floor - suspended floor above garage, framed	nil	
external wall - framed (weatherboard, fibre cement, metal clad)	1.80 (or 2.20 including construction)	
ceiling and roof - raked ceiling / pitched or skillion roof, framed	ceiling: 3.5 (down), roof: foil backed blanket (55 mm)	framed; medium (solar absorptance 0.475-0.70)

Note	• Insulation specified in this Certificate must be installed in accordance with Part 3.12.1.1 of the Building Code of Australia.
Note	• In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.

Thermal Comfort Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Windows, glazed doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✔	✔	✔
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✔	✔	✔
The following requirements must also be satisfied in relation to each window and glazed door:	✔	✔	✔
• For the following glass and frame types, the certifier check can be performed by visual inspection.			✔
• Aluminium single clear			
• Aluminium double (air) clear			
• Timber/uPVC/fibreglass single clear			
• Timber/uPVC/fibreglass double (air) clear			
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✔	✔	✔

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
North facing					
D12	2100	920	aluminium, single, clear	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
EX W	1200	1800	aluminium, single, clear	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
EX W	1200	1200	aluminium, single, clear	eave 600 mm, 200 mm above head of window or glazed door	not overshadowed
East facing					
D13	2100	2100	aluminium, single, clear	eave 3000 mm, 200 mm above head of window or glazed door	not overshadowed
D14	2100	1800	aluminium, single, clear	eave 3000 mm, 200 mm above head of window or glazed door	not overshadowed

Window/glazed door no.	Maximum height (mm)	Maximum width (mm)	Type	Shading Device (Dimension within 10%)	Overshadowing
EX W	1200	900	aluminium, single, clear	eave 3000 mm, 200 mm above head of window or glazed door	not overshadowed
EX W	1200	900	aluminium, single, clear	eave 3000 mm, 200 mm above head of window or glazed door	not overshadowed
South facing					
ex w	1200	1800	aluminium, single, clear	none	not overshadowed
ex w	1200	1200	aluminium, single, clear	eave 600 mm, 200 mm above head of window or glazed door	2-4 m high, 2-5 m away

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✔	✔	✔
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: ceiling fans; Energy rating: n/a		✔	✔
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: ceiling fans; Energy rating: n/a		✔	✔
Heating system			
The living areas must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔
The bedrooms must not incorporate any heating system, or any ducting which is designed to accommodate a heating system.		✔	✔

Ventilation			
The applicant must install the following exhaust systems in the development.			
At least 1 Bathroom: no mechanical ventilation (ie. natural); Operation control: n/a		✔	✔
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✔	✔
Laundry: natural ventilation only, or no laundry; Operation control: n/a		✔	✔
Artificial lighting			
The applicant must ensure that the "primary type of artificial lighting" is fluorescent or light emitting diode (LED) lighting in each of the following rooms, and where the word "dedicated" appears, the fittings for those lights must only be capable of accepting fluorescent or light emitting diode (LED) lamps:			
• at least 2 of the bedrooms / study; dedicated		✔	✔
• at least 1 of the living / dining rooms; dedicated		✔	✔
• the kitchen; dedicated		✔	✔

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
• all bathrooms/toilets; dedicated		✔	✔
• the laundry; dedicated		✔	✔
• all hallways; dedicated		✔	✔
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✔	✔	✔
The applicant must install a window and/or skylight in 1 bathroom(s)/toilet(s) in the development for natural lighting.	✔	✔	✔
Other			
The applicant must install a gas cooktop & electric oven in the kitchen of the dwelling.		✔	
The applicant must construct each refrigerator space in the development so that it is "well ventilated", as defined in the BASIX definitions.		✔	
The applicant must install a fixed outdoor clothes drying line as part of the development.		✔	

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✔ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✔ in the "Show on CC/CDC plans and specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.
Commitments identified with a ✔ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate(either interim or final) for the development may be issued.

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet:

Project:

Location:

Client:

DUAL OCCUPANCY BASIX REPORT
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	1.3
Job No.	Sheet No.
	DA
	Revision



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

— = EXISTING TO REMAIN
— = EXISTING TO BE DEMOLISHED

ELECTRICAL WORKS
ALL ELECTRICAL WORKS TO BE
CARRIED OUT BY LICENSED
CONTRACTOR
OWNERS TO OBTAIN DESIGN &
QUOTE FROM CONTRACTOR

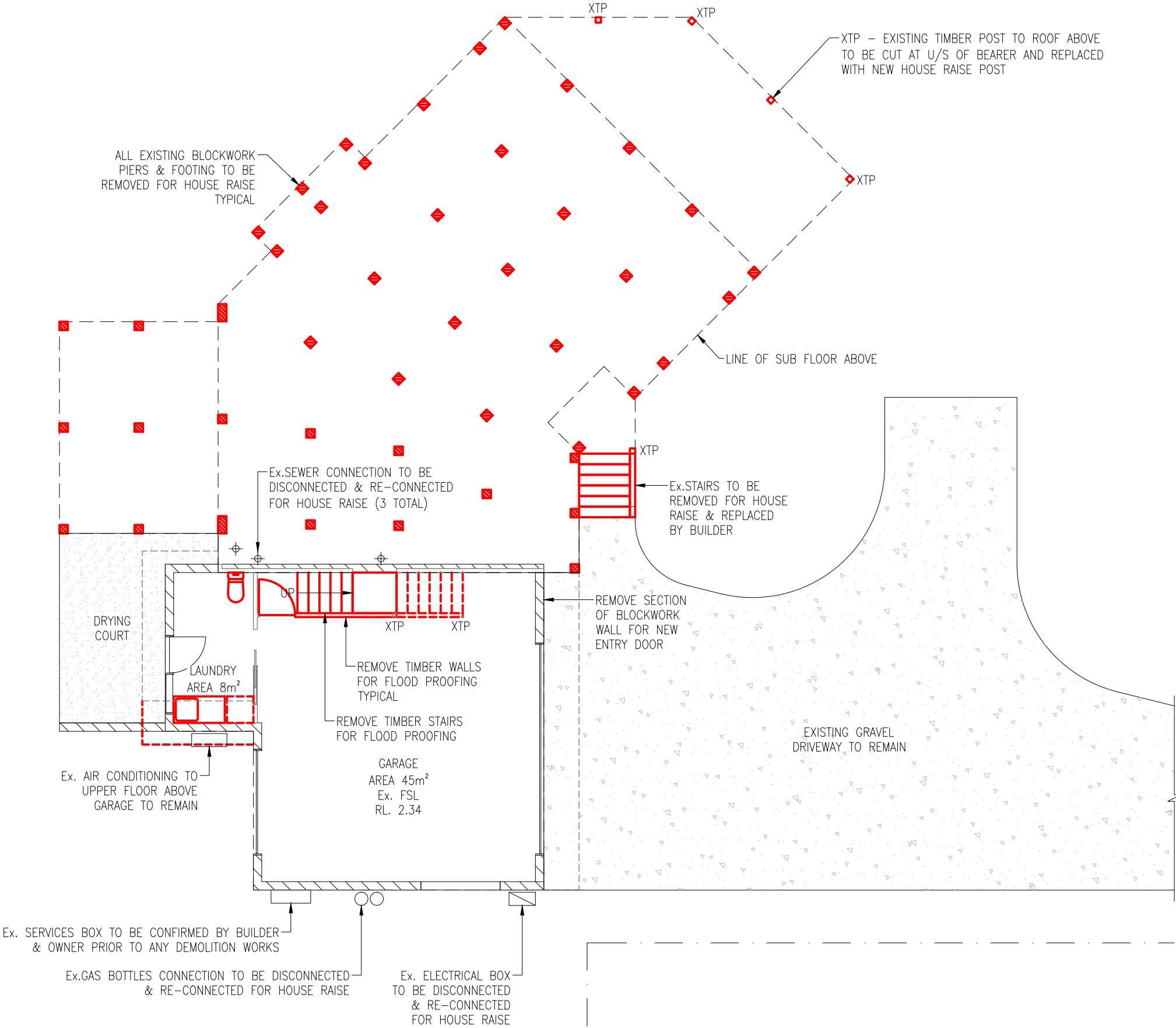
PLUMBING WORKS
ALL PLUMBING WORKS TO BE
CARRIED OUT BY LICENSED
CONTRACTOR
OWNERS TO OBTAIN DESIGN &
QUOTE FROM CONTRACTOR

AIR CONDITIONING
OWNERS TO RECONNECT
& LOCATED EXISTING AIR
CONDITIONING SYSTEMS

NOTE
EXISTING WATER SUPPLY & METER NOT
FOUND AT TIME OF INSPECTION BUILDER TO
CONFIRM LOCATION PRIOR TO DEMOLITION

EXISTING GROUND FLOOR PLAN

SCALE 1:100

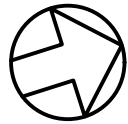


No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)

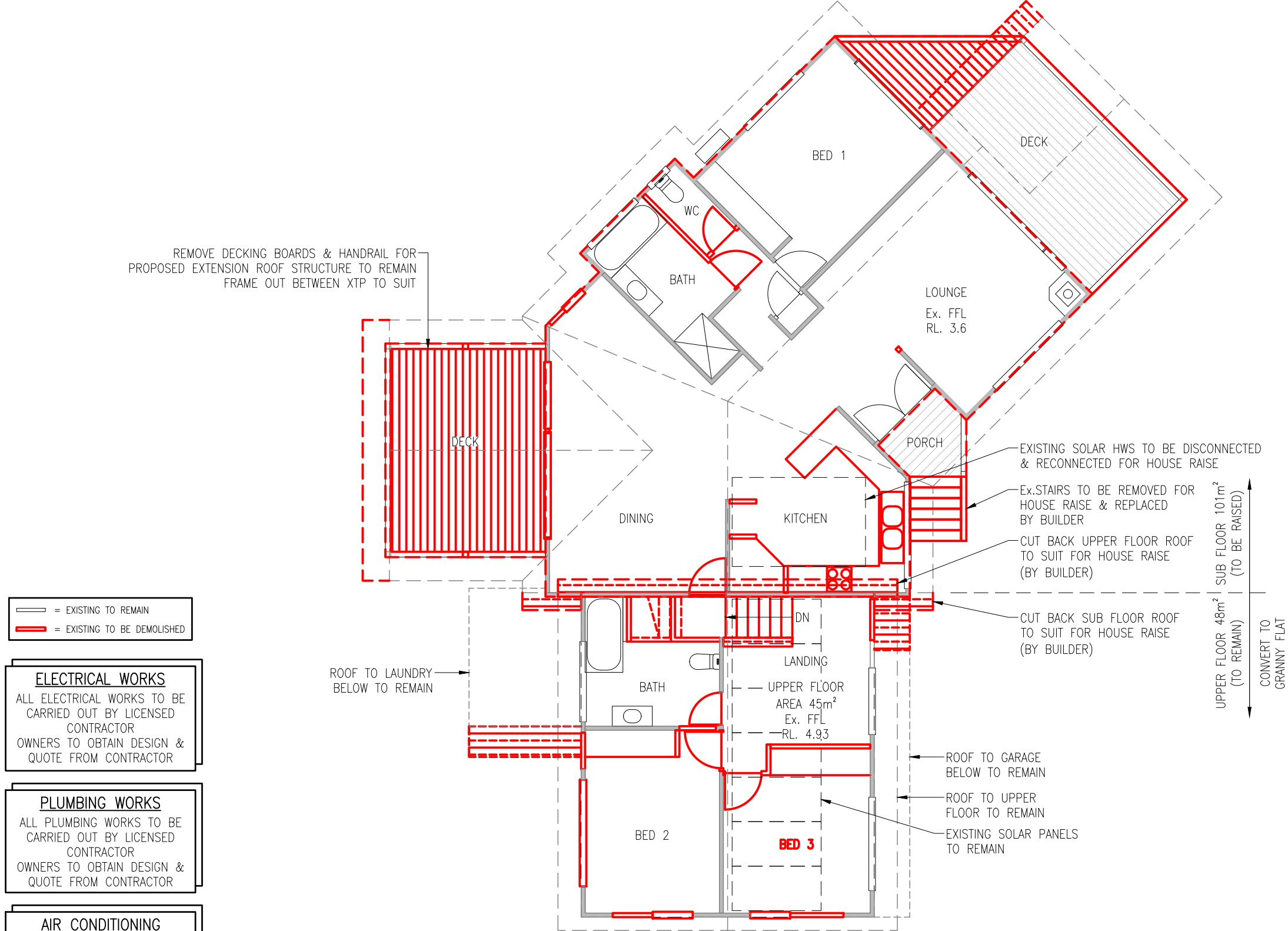
Scale:	1:100 U.N.O.
Designed:	DCDS
Drafted:	DC
Date:	NOV 2022
PAGE SIZE:	A3

Sheet: EXISTING GROUND FLOOR PLAN
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	2.0
Job No.	Sheet No.
	DA
	Revision



NORTH



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

EXISTING UPPER FLOOR PLAN

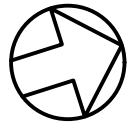
SCALE 1:100

No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)

Scale:	1:100 U.N.O.
Designed:	DCDS
Drafted:	DC
Date:	NOV 2022
PAGE SIZE:	A3

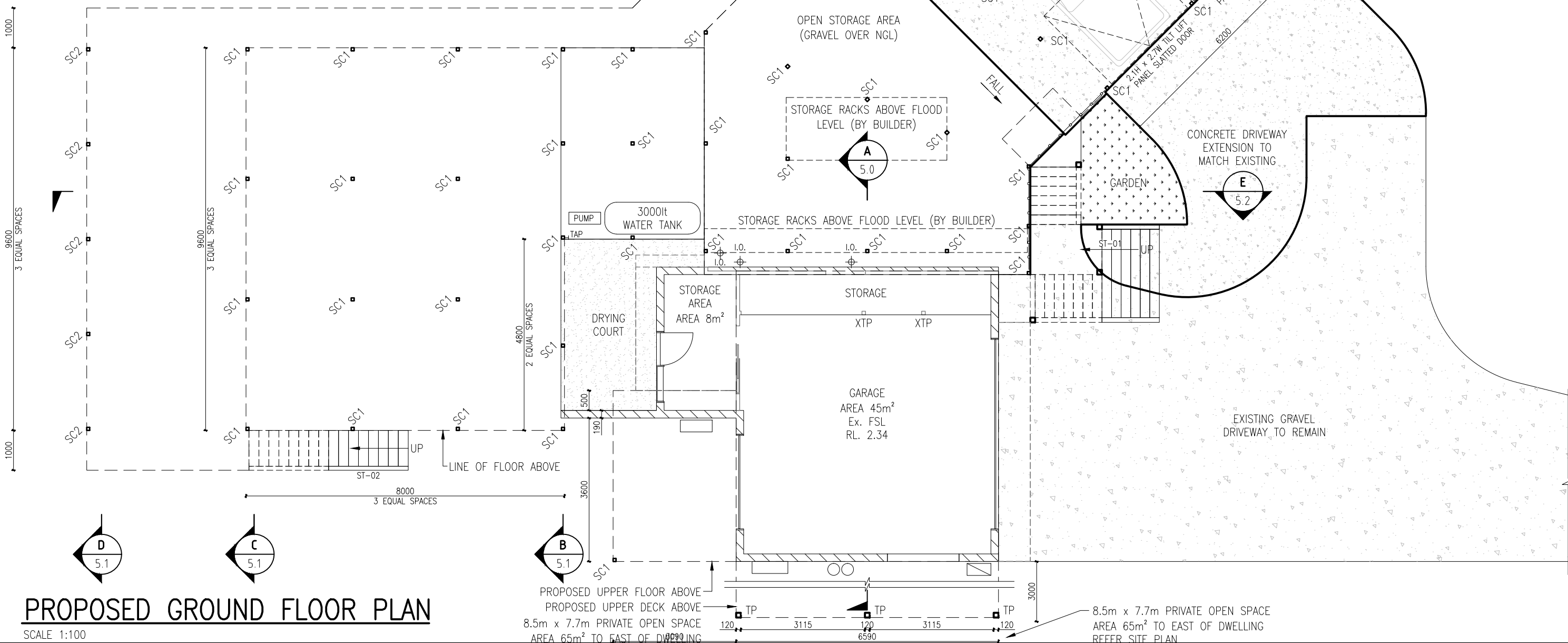
Sheet: EXISTING UPPER FLOOR PLAN
Project: ALTERATION AND ADDITIONS
Location: TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
Client: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	2.1
Job No.	Sheet No.
	DA
	Revision



NORTH

ABBREVIATIONS LEGEND	
PRE.	DESCRIPTION
XTP	EXISTING TIMBER POST (TO REMAIN)
SC1	NEW STEEL 75 SHS COLUMN (TO ENG. DETAIL)
SC2	NEW STEEL 89 SHS COLUMN (TO ENG. DETAIL)
TP	120 SQ. HARDWOOD TIMBER POST (TO ENG. DETAIL)
ST-01	HARDWOOD TIMBER STAIR STRINGERS, TREADS AND HANDRAIL TO MATCH EXISTING CHARACTER ENTRY
ST-02	STEEL STRINGERS, HARDWOOD TIMBER TREADS AND HANDRAIL, BALUSTRADE TO MATCH EXISTING
ST-03	INTERNAL TIMBER STAIRS TO SUIT HOUSE RAISE
I.O.	RELOCATED SEWER INSPECTION OPENING
REFER SHEET 3.1 FOR DOOR & WINDOW SCHEDULE	
REFER SHEET 1.0 FOR BUILDER/OWNER NOTES	



PROPOSED GROUND FLOOR PLAN

SCALE 1:100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)

Scale: 1:100 U.N.O.
Designed: DCDS
Drafted: DC
Date: NOV 2022
PAGE SIZE: A3

Sheet:
Project:
Location:
Client:

**PROPOSED GROUND FLOOR PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG**

LB	3.0
Job No.	Sheet No.
	DA
	Revision

ALL PROPOSED BUILDING WORKS TO BE CARRIED OUT IN ACCORDANCE WITH BUILDING CODE OF AUSTRALIA COMPLIANCE.

1. DRAINAGE IS TO COMPLY WITH AS/NZS 3500.3–2021.
2. EARTH RETAINING STRUCTURES: BCA 2022 PART H1D3.
3. FOOTINGS AND SLABS ARE TO COMPLY WITH AS 2870–2011.
4. SUB–FLOOR VENTILATION IS TO COMPLY WITH BCA 2022 PART H2D5.
5. STEEL FRAMING TO COMPLY WITH:
- a) STEEL STRUCTURES: AS 4100–2020,
- b) COLD FORMED STEEL STRUCTURES: AS/NZS 4600–2018, OR
6. RESIDENTIAL & LOW–RISE STEEL FRAMING: NASH STANDARD 'RESIDENTIAL & LOW–RISE STEEL FRAMING' PART 1–2005 AMDT A, B & C PART 2–2014 AMDT A.
7. STEEL STRUCTURES: AS 4100–2020,
8. COLD FORMED STEEL STRUCTURES: AS/NZS 4600–2018.
9. ROOF CLADDING IS TO COMPLY WITH:
- a) METAL ROOFING: AS1562.1–2018,
10. GUTTERS AND DOWNPIPES TO COMPLY WITH AS/NZS 3500.3–2021.
11. SMOKE ALARMS ARE TO COMPLY WITH BCA 2022 PART H3D6 AND AS 3786– 2014 AMDT 1 & 2.
12. BUILDING ELEMENTS IN WET AREAS MUST BE WATERPROOF OR WATER RESISTANT IN ACCORDANCE WITH BCA 2022 TABLE 10.2.2 TO 10.2.5 & COMPLY WITH AS 3740–2021.
13. ROOM HEIGHTS ARE TO COMPLY WITH BCA 2022 PART H4D4
14. CONSTRUCTION OF SANITARY COMPARTMENTS IS TO COMPLY WITH BCA 2022 PART 10.4.2.
15. NATURAL LIGHTING IS TO COMPLY WITH BCA 2022 PART 10.5.1.
16. ARTIFICIAL LIGHTING IS TO COMPLY WITH AS/NZS 1680.0–2009.
17. MECHANICAL VENTILATION IS TO COMPLY WITH AS 1668.2–2012 AMDT 1 & 2.
18. AN EXHAUST FAN FROM A SANITARY COMPARTMENT, LAUNDRY OR BATHROOM MUST COMPLY WITH BCA 2022 PART 10.6.2(C).
19. NATURAL VENTILATION IS TO COMPLY WITH BCA 2022 PART 10.6.2.
20. LOCATION OF SANITARY COMPARTMENTS IS TO COMPLY WITH BCA 2022 PART 10.6.3.
21. STAIR CONSTRUCTION IS TO COMPLY WITH BCA 2022 PART H5D2 & 11.2.
22. BARRIERS AND HANDRAILS ARE TO COMPLY WITH BCA 2022 PART H5D3 & 11.3.
23. PROTECTION OF OPENABLE WINDOWS IS TO COMPLY WITH BCA 2022 PART 11.3.7 & 11.3.8.
24. CONSTRUCTION OF BUILDINGS IN FLOOD HAZARD AREAS IS TO COMPLY WITH ABCB STANDARD FOR CONSTRUCTION IN FLOOD HAZARD AREAS, VERSION 2012.3.
25. ENERGY EFFICIENCY MEASURES IN ACCORDANCE WITH BASIX REPORT A490341 DATED 22/03/2023
26. EXHAUST FANS ARE TO BE FITTED WITH A SEALING DEVICE SUCH AS A SELF–CLOSING DAMPER, FILTER OR THE LIKE AS REQUIRED BY BCA 2022 PART 13.4.5,
27. A HEATED HOT WATER SUPPLY SYSTEM IS TO COMPLY WITH PART B2 OF NCC 2023 VOLUME THREE – PLUMBING CODE AUSTRALIA.
28. INSULATION OF SERVICES: BCA 2022 PART 13.7.2 & AS/NZS 4859.1–2018

UPPER FLOOR NOTES:–

EXTERNAL:–
ALL EXTERNAL WALL CLADDING, SOFFITS, FIXTURES, FITTINGS, DECK MATERIALS, SUPPORTING STRUCTURAL POST TO MATCH EXISTING WHERE POSSIBLE.
BUILDER TO ENSURE EXISTING BUILDING MATERIALS MEET BAL 29 FIRE RATING STIPULATED IN THE BUSH FIRE REPORT
ALL INSULATION REQUIREMENTS TO MEET BASIX CERTIFICATES, REFER SHEET 1.2

INTERNAL:–
ALL CEILINGS TO BE LINED WITH PLASTERBOARD
ALL WALLS TO BE LINED WITH PLASTERBOARD
CORNICE TO MATCH EXISTING
FLOORING TO MATCH EXISTING (HWD FLOOR BOARDS, TILES TO BATHROOMS & LAUNDRY)
ALL INSULATION REQUIREMENTS TO MEET BASIX CERTIFICATES, REFER SHEET 1.2

LOWER FLOOR NOTES:–

PRIVACY SCREENING:–
ALL VERTICAL SCREENING TO BE 100mm WIDE x 10mm THK. PAILINGS SPACED WITH 50mm GAPS or TO OWNERS SELECTION (MUST BE 50% PERMEABLE)
ALL HORIZONTALS TO BE 100mm WIDE x 50mm THK. RAILINGS SPACED AT TOP, BOTTOM & MID SPAN or TO OWNERS SELECTION
BUILDER TO ENSURE ALL MATERIALS MEET BAL 29 FIRE RATING STIPULATED IN THE BUSH FIRE REPORT

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

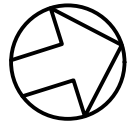
PROPOSED UPPER FLOOR PLAN (SHEET 4.0)

DOOR & WINDOW SCHEDULE		
ITEM	DISCRIPTION	QTY.
D03	2100H x 820W HOLLOW CORE SWING SET (INTERNAL)	2
D04	2100H x 820W SOLID HWD SWING SET WITH GLASS PANEL (EXTERNAL)	1
D05	2100H x 820W HOLLOW CORE CAVITY SLIDING SET (INTERNAL)	1
D06	2100H x 720W HOLLOW CORE CAVITY SLIDING SET (INTERNAL)	1
D07	2400H x 820W HOLLOW CORE CAVITY SLIDING SET (INTERNAL)	1
D08	2400H x 820W HOLLOW CORE SWING SET (INTERNAL)	2
D09	2400H x 3600W ALUMINIUM STACKER SLIDING SET (EXTERNAL)	1
D10	2400H x 2700W ALUMINIUM STACKER SLIDING SET (EXTERNAL)	1
D11	2100H x 1800W FROSTED GLASS ALUMINIUM STACKER SLIDING SET (INTERNAL)	1
D12	2100H x 920W SOLID HWD SWING SET WITH GLASS PANEL (EXTERNAL)	1
D13	2100H x 2100W ALUMINIUM STACKER SLIDING SET (EXTERNAL)	1
D14	2100H x 1800W ALUMINIUM STACKER SLIDING SET (EXTERNAL)	1
W01	2400H x 900W ALUMINIUM LOUVRE SET WINDOW	2
W02	2400H x 750W ALUMINIUM LOUVRE SET WINDOW	2
W03	2400H x 2400W ALUMINIUM WINDOWS 2400H x 1200W FIX PANEL (LEFT) 2400H x 1200W FIX PANEL (RIGHT)	2
W04	900H x 1200W ALUMINIUM SLIDING SET (FROSTED)	1
W05	900H x 2100W ALUMINIUM SLIDING SET (HIGH LEVEL)	1
ALL EXISTING DOORS & WINDOWS TO REMAIN U.N.O.		

PROPOSED GROUND FLOOR PLAN (SHEET 3.0)

DOOR & WINDOW SCHEDULE		
ITEM	DISCRIPTION	QTY.
D01	2100H x 900W SOLID HWD SWING SET (EXTERNAL)	1
D02	2100H x 820W HOLLOW CORE BARN SLIDING SET (INTERNAL)	1
ALL EXISTING DOORS & WINDOWS TO REMAIN U.N.O.		

	No.		Date	Issue	Scale:	1:100 U.N.O.	Sheet: Project: Location: Client:	PROPOSED GROUND FLOOR PLAN ALTERATION AND ADDITIONS TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892) LUTZ BENDIG	LB	3.1
	DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)		Designed:	DCDS			Job No.	Sheet No.
					Drafted:	DC				DA
					Date:	NOV 2022				
					PAGE SIZE:	A3				

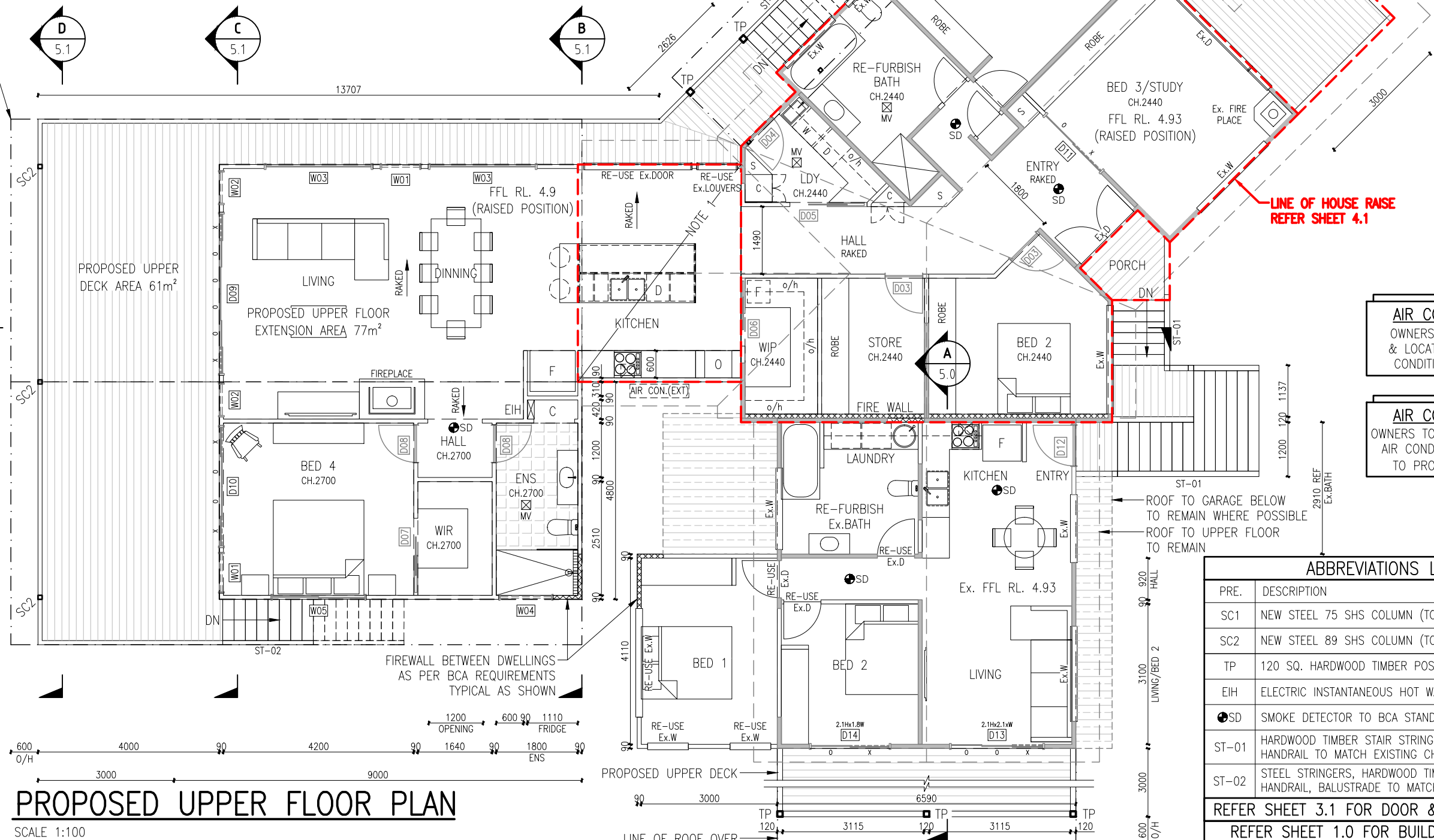
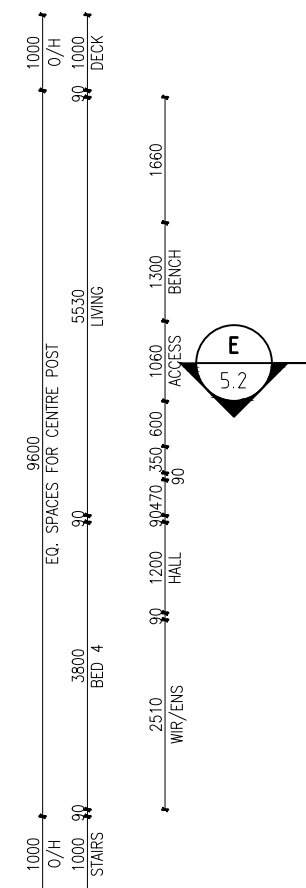


NORTH

ALL STEELWORK/TIMBER & FOOTING SIZES
TO BE DESIGNED & CERTIFIED BY A
REGISTERED STRUCTURAL ENGINEER
(DO NOT CONSTRUCT OFF THIS DRAWING SET)

NOTE 1:- PROPOSED UPPER
EXTENSION OVER EXISTING DECK
STRUCTURE (WITH EXISTING ROOF)
AREA 17m²

COLORBOND CUSTOM ORB
ROOF SHEETING (SURF MIST)
COLORBOND FASCIA &
GUTTERS TO MATCH EXISTING



PROPOSED UPPER FLOOR PLAN

SCALE 1:100

AIR CONDITIONING

OWNERS TO RECONNECT
& LOCATED EXISTING AIR
CONDITIONING SYSTEMS

AIR CONDITIONING

OWNERS TO PROVIDE DUCTED
AIR CONDITIONING SYSTEM
TO PROPOSED AREA'S

ABBREVIATIONS LEGEND

PRE.	DESCRIPTION
SC1	NEW STEEL 75 SHS COLUMN (TO ENG. DETAIL)
SC2	NEW STEEL 89 SHS COLUMN (TO ENG. DETAIL)
TP	120 SQ. HARDWOOD TIMBER POST (TO ENG. DETAIL)
EIH	ELECTRIC INSTANTANEOUS HOT WATER SYSTEM
SD	SMOKE DETECTOR TO BCA STANDARDS
ST-01	HARDWOOD TIMBER STAIR STRINGERS, TREADS AND HANDRAIL TO MATCH EXISTING CHARACTER ENTRY
ST-02	STEEL STRINGERS, HARDWOOD TIMBER TREADS AND HANDRAIL, BALUSTRADE TO MATCH EXISTING

REFER SHEET 3.1 FOR DOOR & WINDOW SCHEDULE
REFER SHEET 1.0 FOR BUILDER/OWNER NOTES

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DAI)

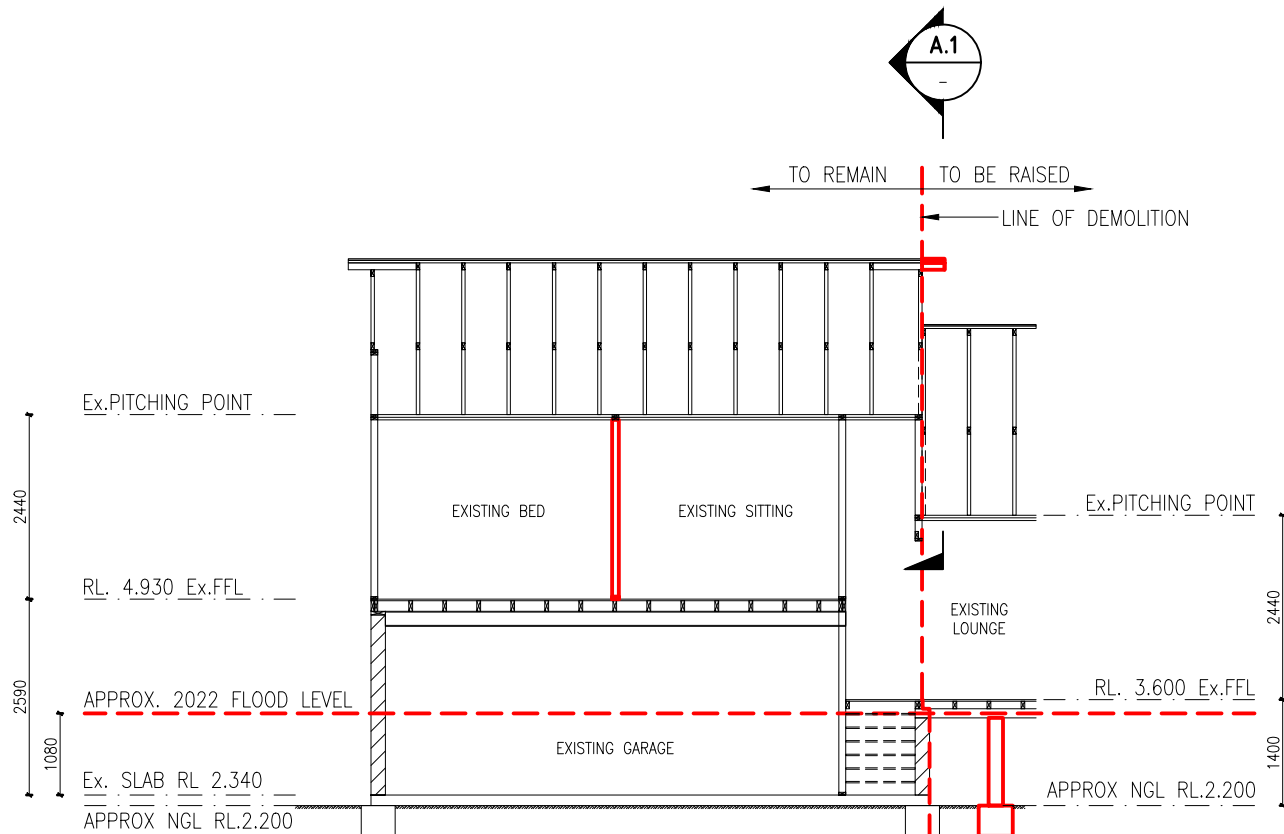
Scale: 1:100 U.N.O.
Designed: DCDS
Drafted: DC
Date: NOV 2022
PAGE SIZE: A3

Sheet:
Project:
Location:
Client:

**PROPOSED UPPER FLOOR PLAN
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG**

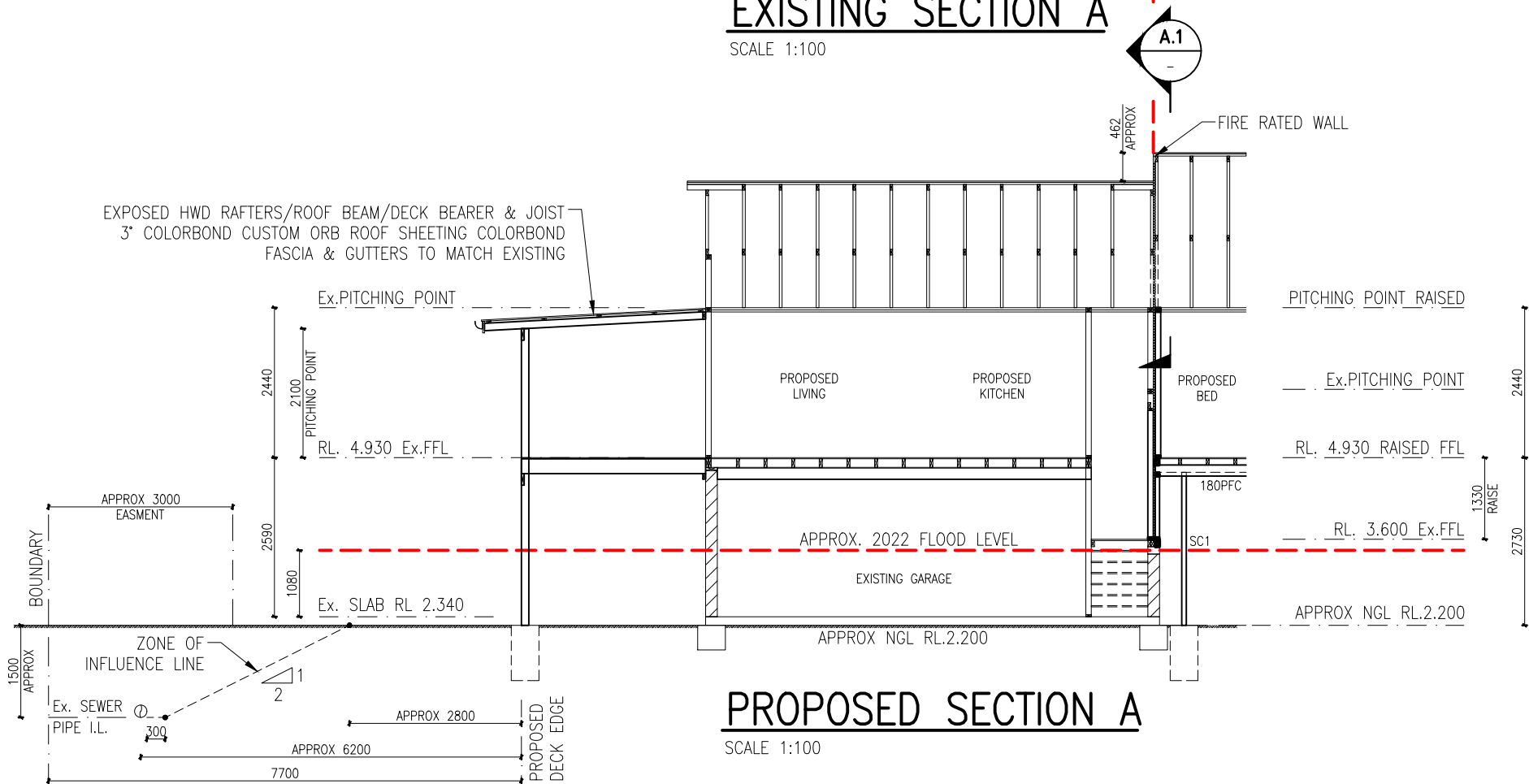
LB	4.0
Job No.	Sheet No.
	DA
	Revision

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024



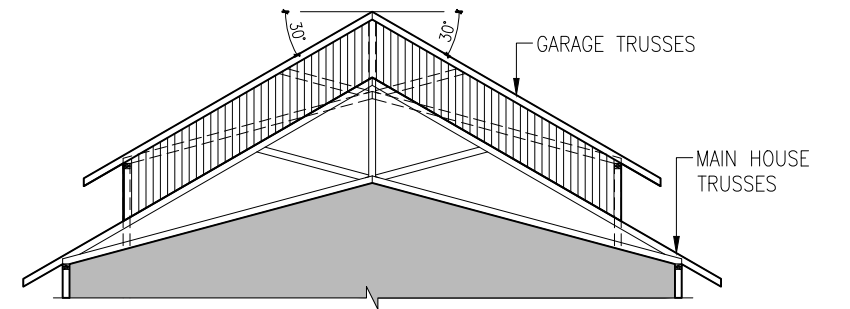
EXISTING SECTION A

SCALE 1:100



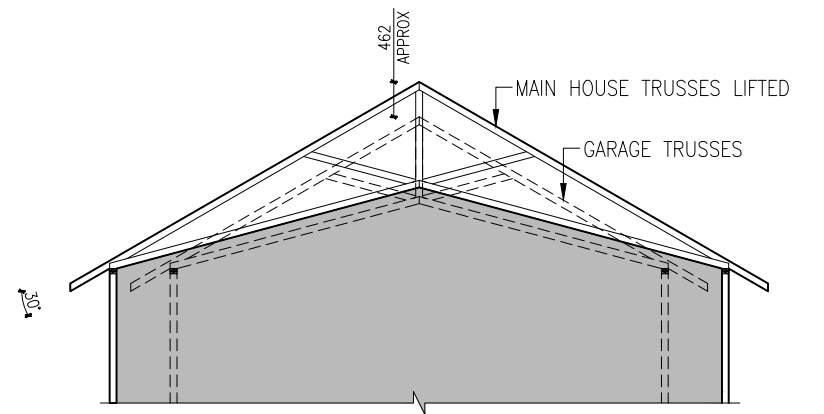
PROPOSED SECTION A

SCALE 1:100



EXISTING SECTION A.1

SCALE 1:100



PROPOSED SECTION A.1

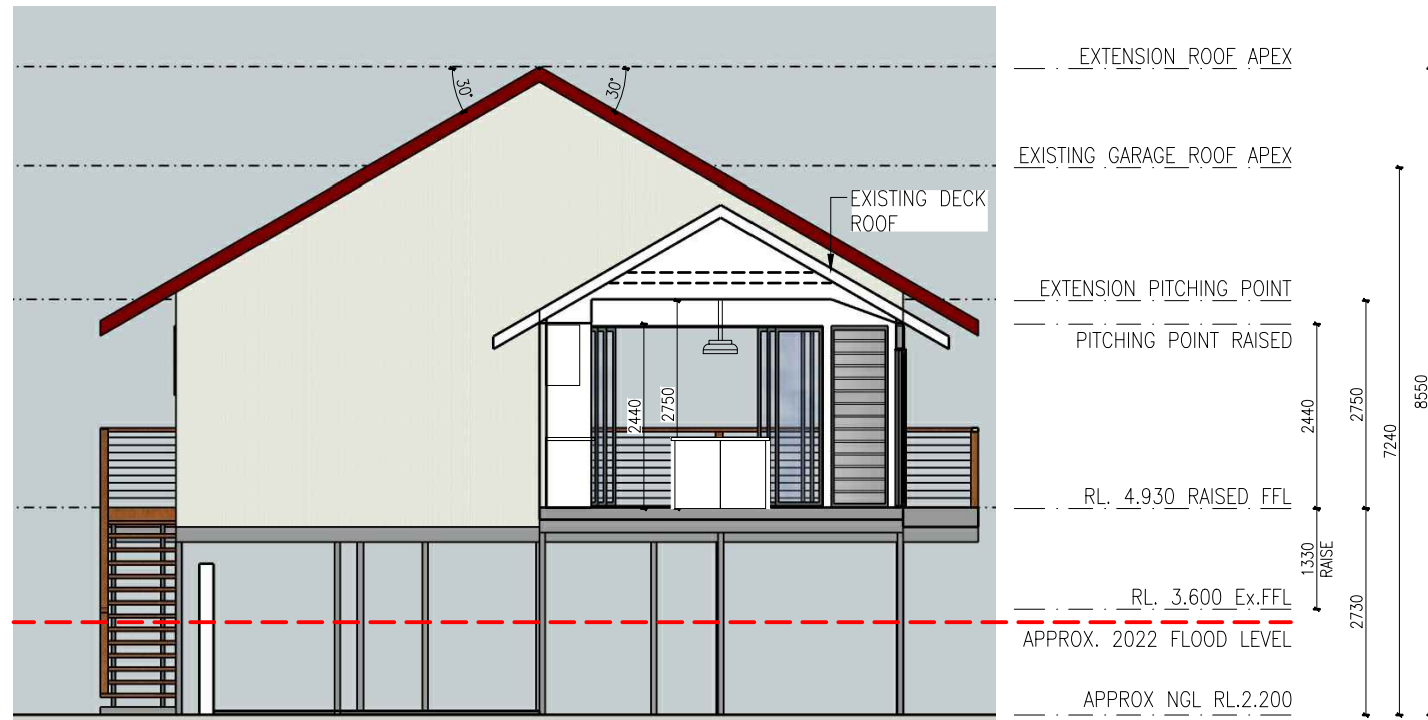
SCALE 1:100

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet:
Project:
Location:
Client:

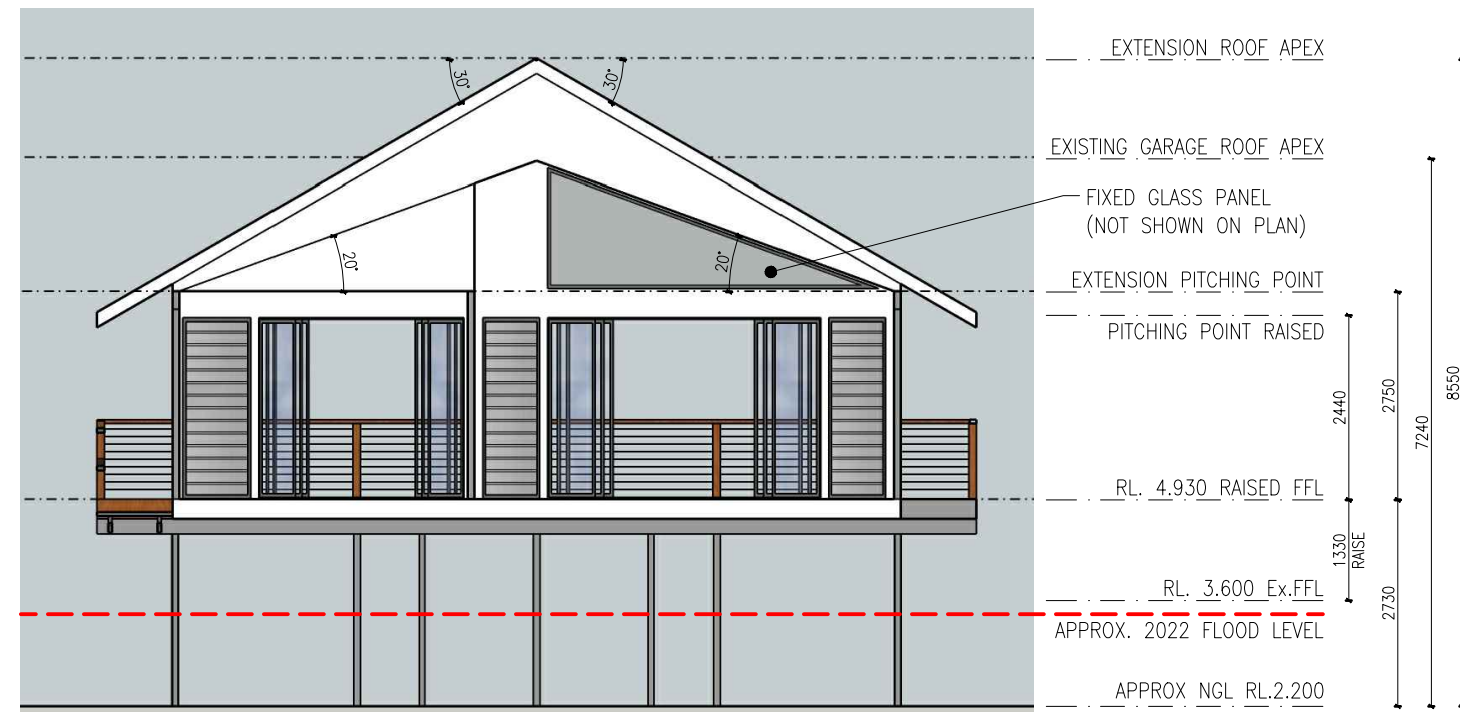
SECTION A
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	5.0
Job No.	Sheet No.
	DA
	Revision



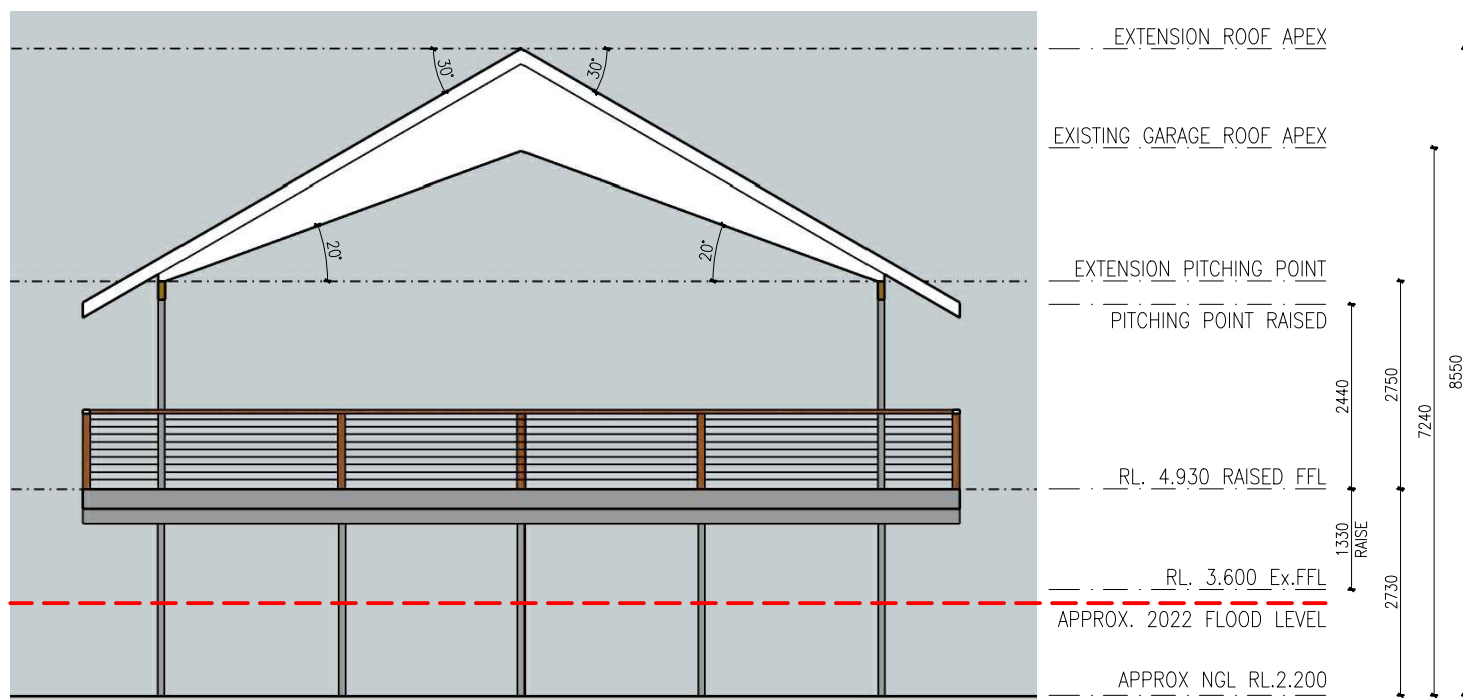
PROPOSED SECTION B

SCALE 1:100



PROPOSED SECTION C

SCALE 1:100



PROPOSED SECTION D

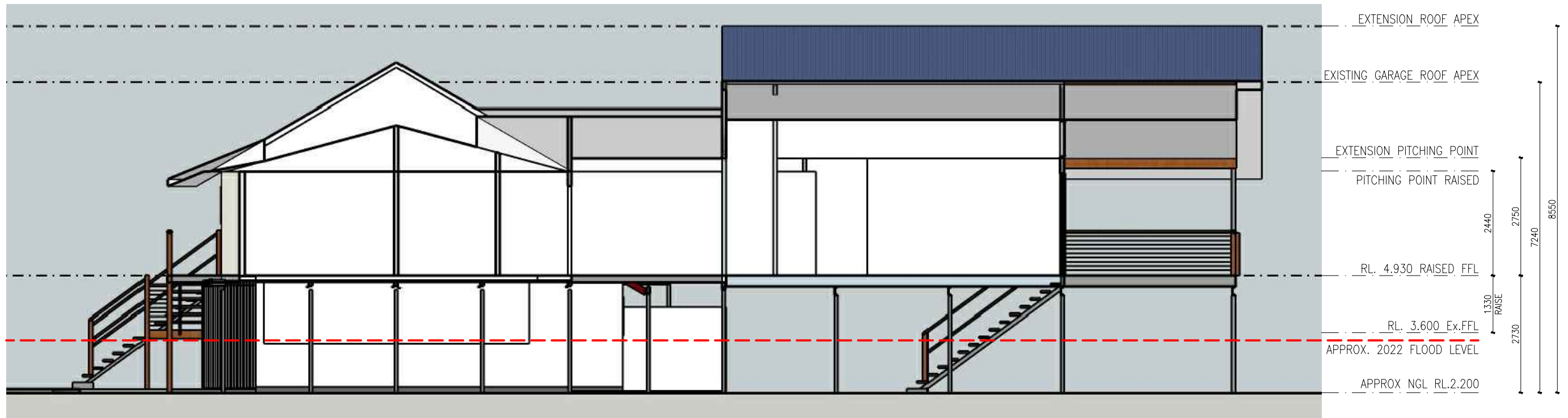
SCALE 1:100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DAI)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet: PROPOSED SECTIONS B - D
Project: ALTERATION AND ADDITIONS
Location: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
Client: LUTZ BENDIG

LB	5.1
Job No.	Sheet No.
	DA
	Revision



PROPOSED SECTION E

SCALE 1:100



PROPOSED SECTION E ISOMETRIC VIEW

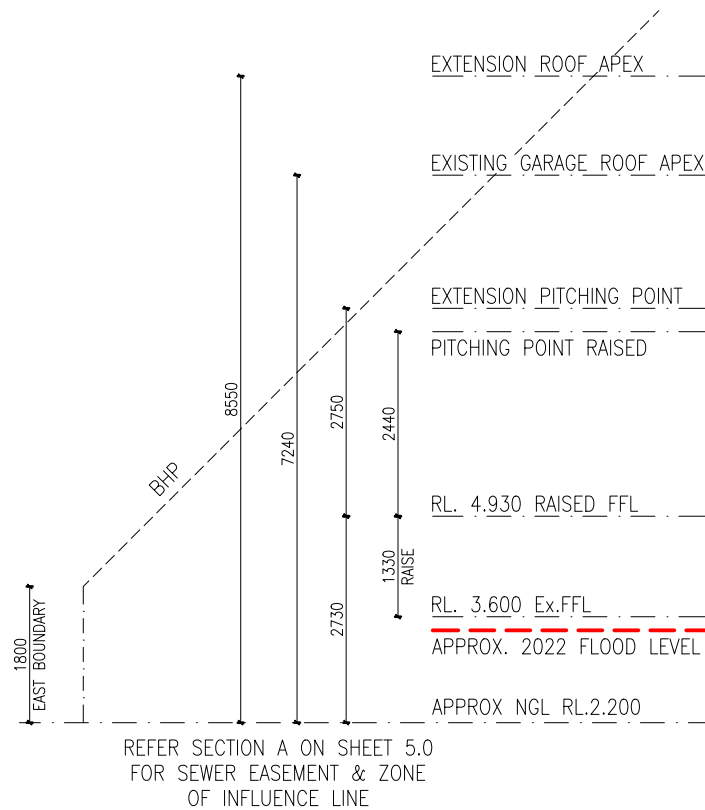
NOT TO SCALE

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet: PROPOSED SECTIONS E & ISOMETRIC VIEW
Project: ALTERATION AND ADDITIONS
Location: 177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
Client: LUTZ BENDIG

LB	5.2
Job No.	Sheet No.
	DA
	Revision



PROPOSED NORTH ELEVATION

SCALE 1:100



PROPOSED SOUTH ELEVATION

SCALE 1:100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue	Scale:
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)	1:100 U.N.O.
			Designed: DCDS
			Drafted: DC
			Date: NOV 2022
			PAGE SIZE: A3

Sheet:
Project:
Location:
Client:

ELEVATIONS 1
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	6.0
Job No.	Sheet No.
	DA
	Revision



PROPOSED NORTH ELEVATION

SCALE 1:100



PROPOSED SOUTH ELEVATION

SCALE 1:100

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2023.311.1
Date: 21/3/2024

No.	Date	Issue
DA	12.09.2023	DESIGN APPROVAL ISSUE (DA)

Scale:	1:100 U.N.O.
Designed:	DCDS
Drafted:	DC
Date:	NOV 2022
PAGE SIZE:	A3

Sheet:
Project:
Location:
Client:

ELEVATIONS 2
ALTERATION AND ADDITIONS
TO EXISTING DWELLING FOR AN ATTACHED DUAL OCCUPANCY
177 NEW BRIGHTON ROAD, OCEAN SHORES (LOT 101/DP 1092892)
LUTZ BENDIG

LB	6.1
Job No.	Sheet No.
	DA
	Revision