

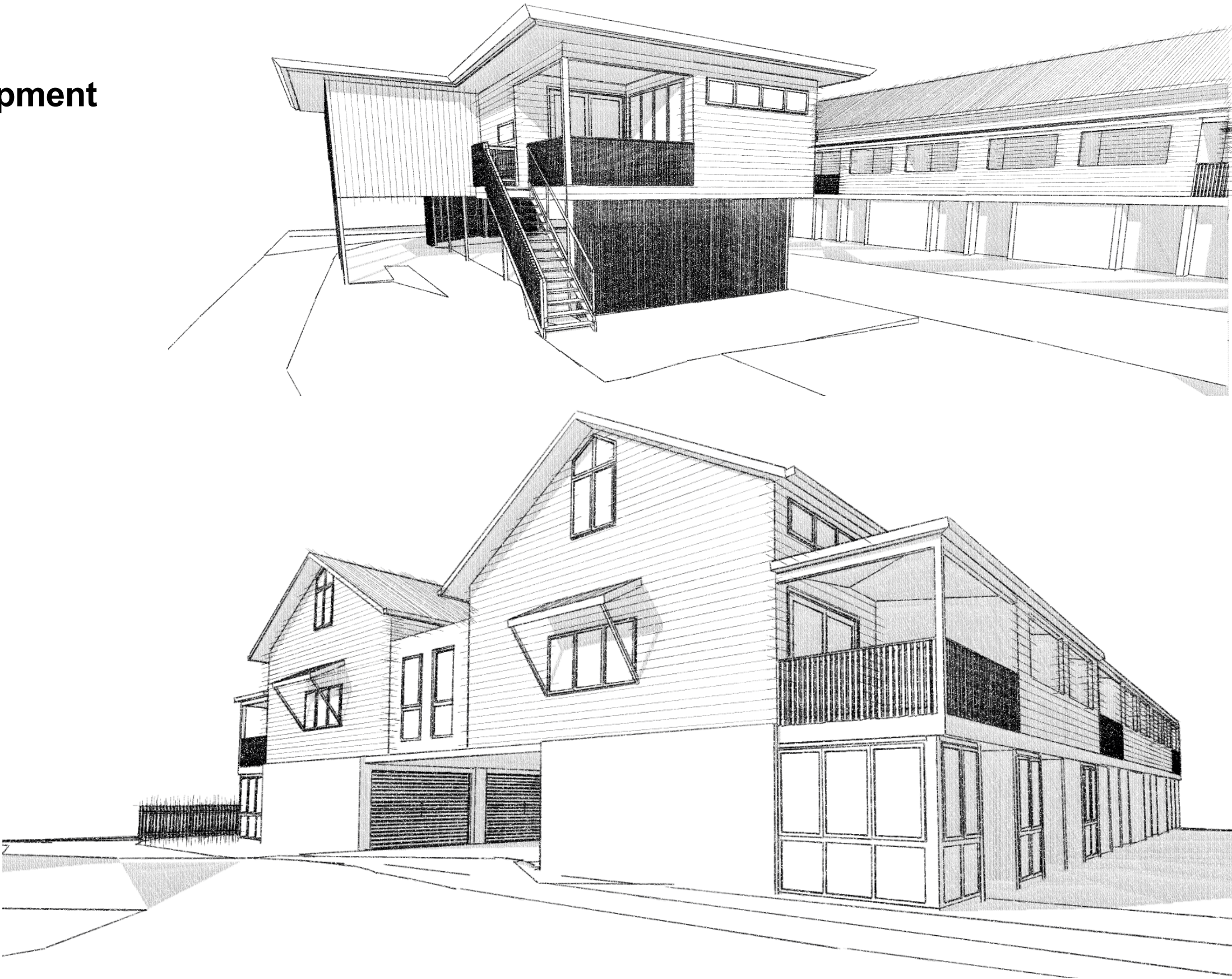
client:

The Kollektive Pty Ltd

project:

Residential Development
1 Kendall Street
Byron Bay NSW
2481

Page No	Layout Name
100	COVER PAGE
101	EXISTING SURVEY
102	MATERIALS & COLOUR IMAGES
103	BASIX
104	SUN STUDY
105	ZONING PLAN
106	PROPOSED SITE PLAN CANOPY 1:500
107	PROPOSED SITE PLAN 1:500
200	OVERALL GROUND FLOOR PLAN
201	GROUND FLOOR PLAN UNITS 13-18
202	GROUND FLOOR PLAN UNITS 19-20
203	OVERALL FIRST FLOOR PLAN
204	FIRST FLOOR PLAN UNITS 13-18
205	FIRST FLOOR PLAN UNITS 19-20
206	OVERALL SECOND FLOOR PLAN
207	SECOND FLOOR PLAN UNITS 13-18
208	ROOF PLAN
209	STREET VIEWS
210	ELEVATIONS 01 - UNIT 20
211	ELEVATIONS 02 - UNITS 19 & 20
212	ELEVATIONS 03 - UNITS 15,16, & 19
213	ELEVATION 04 - UNITS 13-15
214	ELEVATION 5 & 6 - UNITS 16-20
215	SECTION A
216	SECTION B & SECTION C
217	WASTE MANAGEMENT PLAN
218	TURNING TEMPLATE PLAN
219	ADAPTABLE PLAN UNIT 19



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	100	5/03/2024
project	scale	issue	drawing name
Residential Development		H	COVER PAGE
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	

NOTES

Survey Intent

This detail survey was undertaken to locate the visible site features, including the topography & improvements thereon. It is not a "Land Survey" as defined by the Surveying and Spatial Information Act, 2002. As such, no boundary fixation was undertaken to accurately determine the parcel boundaries, the available land area or it's dimensions. The dimensions shown have been derived from the relevant registered plans held by the Land Titles Office. No work was undertaken to verify these dimensions. Should accurate boundary locations be required such as in work relying on critical setbacks from the street or boundaries, further survey work would need to be undertaken to accurately locate the boundaries, which may include the registration of a survey redefining the property. The Certificate of Title has not been investigated. Encumbrances may exist which are not identified on this plan, and therefore, a full investigation should be undertaken to assess any possible implications.

Underground Services

The location of the services shown hereon have been derived from a combination of field survey of visible components and records obtained from the appropriate authority. The exact location of these services, and any others may therefore vary and should be verified with the relevant authorities and or the "Dial before you Dig" service prior to any works being undertaken. Should any work be undertaken on or adjacent to the site to which this survey refers it is the responsibility of the person doing the work to locate any service that may be affected by that work. Numerous services including optic fibre cable may exist in the area and not all services may have been shown in our plan. Whilst due care was used in compiling this information, no responsibility can be accepted or taken by Ardill Payne & Partners for any inaccuracies or omissions shown or not shown hereon.

Level Datum

Level Datum: AHD Origin: PM30302 (RL 1.508 AHD) Contour Interval: 0.1m
Do not Scale Heights

NOTE: For Surveyed Points, Including Tree Details, refer to Autocad Layers: "X-MARK" "X-CODE" & "X-RL"

Accuracy

The accuracy of the features shown may not be suitable for purposes beyond the intent of the survey. The intended user must determine whether the required accuracy is adequate prior to use. Do not scale off this plan. relationships of improvements to boundaries are diagrammatic only. This plan has been created at a scale of 1:600 and may not be satisfactory for other purposes. The accuracy of any enlargement or other reproduction may be less than that of the original. No responsibility will be accepted by Ardill Payne & Partners for use contrary to these terms.

Trees

Only trees deemed substantial have been located. This generally includes those with trunks over 100mm in diameter when measured 1m from the ground. Tree spread and trunk diameters shown are diagrammatic only & may not be symmetrical. Tree heights are estimated. An attempt has been made to identify tree species where possible, the intended user must verify species with a qualified professional before using any tree species outside of the intent of the survey.

Autocad codes are expressed as follows:
TR/SPECIES/TRUNK/HEIGHT/SPREAD where:
SPECIES = Tree species (if known)
TRUNK = Approx. Trunk Diameter in mm
HEIGHT = Approx Height in Metres
SPREAD = Approx Foliage Diameter in Metres

Any permitted downloading, electronic storage, display, print, copy or reproduction of this survey should contain no alteration or addition to the survey.

The title block and these notes are an integral part of this drawing and are not to be removed.

ZONING and BIODIVERSITY VALUE boundaries have been derived from the NSW Department of Planning and Environment Planning Portal mapping (<https://www.planningportal.nsw.gov.au/spatialviewer/#/find-a-property/address>).

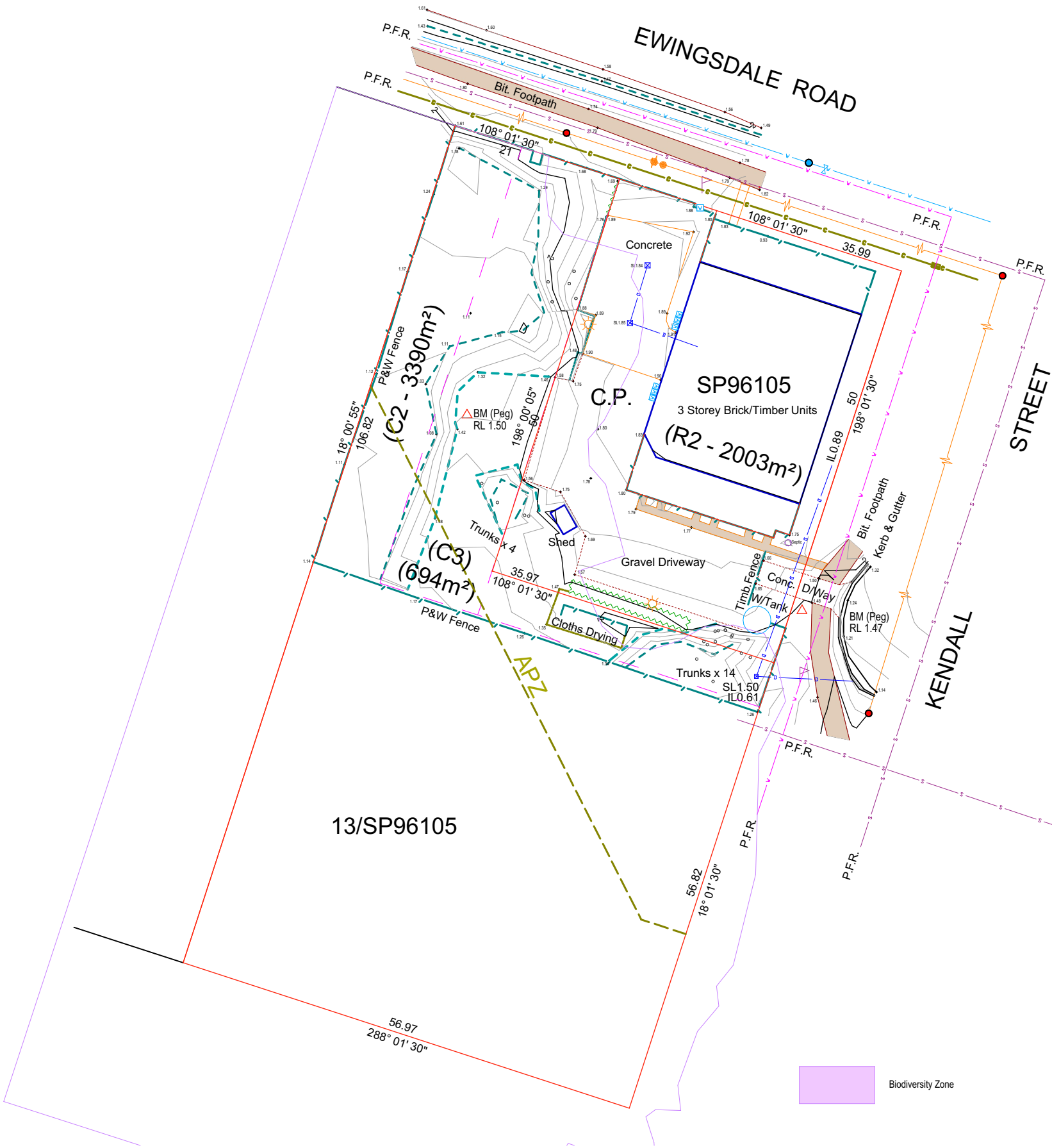
SYMBOLS

- WATER METER
- WATER TAP
- WATER VALVE
- WATER FIRE HYDRANT
- STORMWATER GRATE
- ELECTRICITY POLE
- LIGHT POLE (SOLAR)
- STAY WIRE
- ELECTRICITY PIT
- COMMS PIT
- BENCH MARK
- SIGN
- TREE (Spread approx. to scale)
- TREE TRUNK

LEGEND

LINE TYPES

- WATER RETIC
- WATER NP RETIC
- SEWER MAIN
- ELECTRICITY OVER HEAD
- COMMS
- BANK TOP
- BANK BOTTOM
- ROADS BITUMEN EDGE
- FENCE
- BOUNDARY SUBJECT
- BOUNDARY OTHER
- PAVING
- DRIVEWAY
- EAVE
- STORMWATER RETIC
- GARDEN
- ZONE BOUNDARY
- VEGETATION DRIP LINE



Project: 1 Kendall St, Byron Bay
Strata Plan 96105

Do not scale drawing. Use written dimensions only
This plan is copyright © All rights reserved.

Client: Kollektive Kendall

Title: Contour & Detail Survey

ARDILL PAYNE
& ENGINEERS PLANNERS SURVEYORS
ENVIRONMENTAL PROJECT MANAGEMENT

BALLINA 45 River Street Ph. 02 6686 3280
A.B.N. 51 808 558 977 e-mail: info@ardillpayne.com.au



Surveyed	PE	Scale at A3	1:600
Drawn	RJJ	Datum	A.H.D.
Date	30/10/23	Acad File	11620S01
Checked	RJJ	Approved	
Job No.	11620	Dwg No.	S01
		Issue	G



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	102	5/03/2024
project	scale	issue	
Residential Development		H	
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	
drawing name	MATERIALS & COLOUR IMAGES		



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

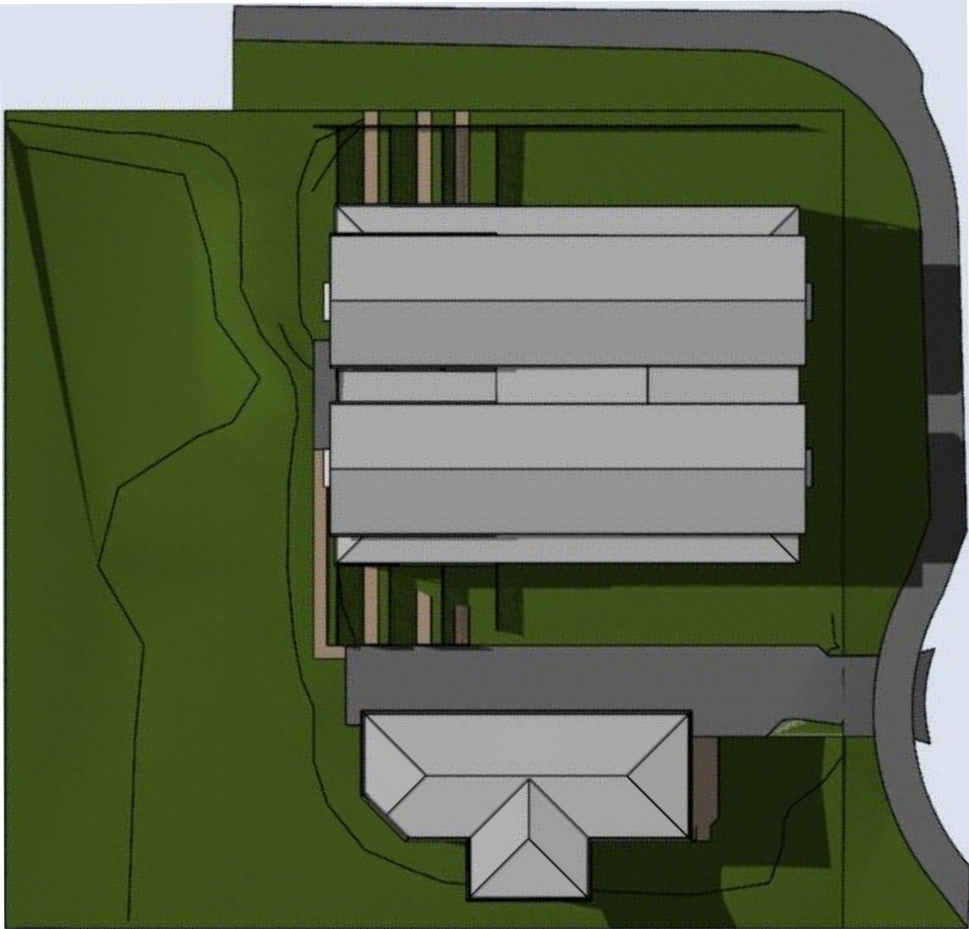
Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initl.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

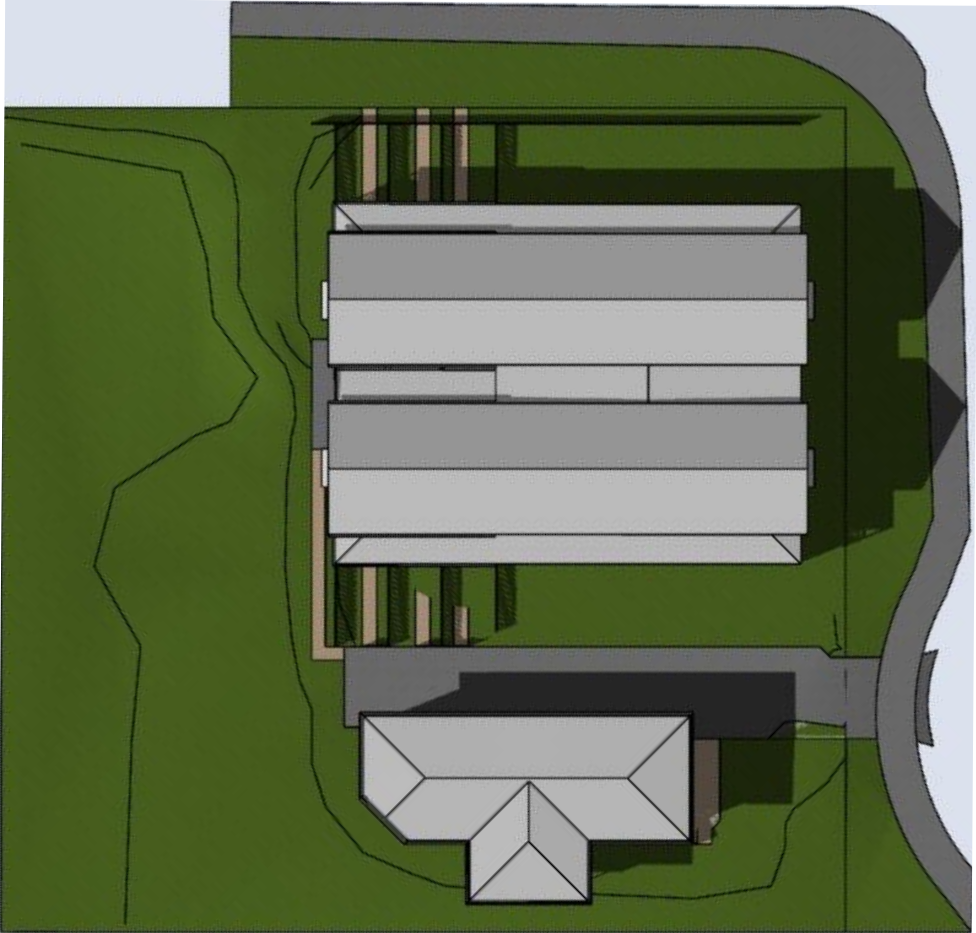
rev.	date	description	initl.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initl.

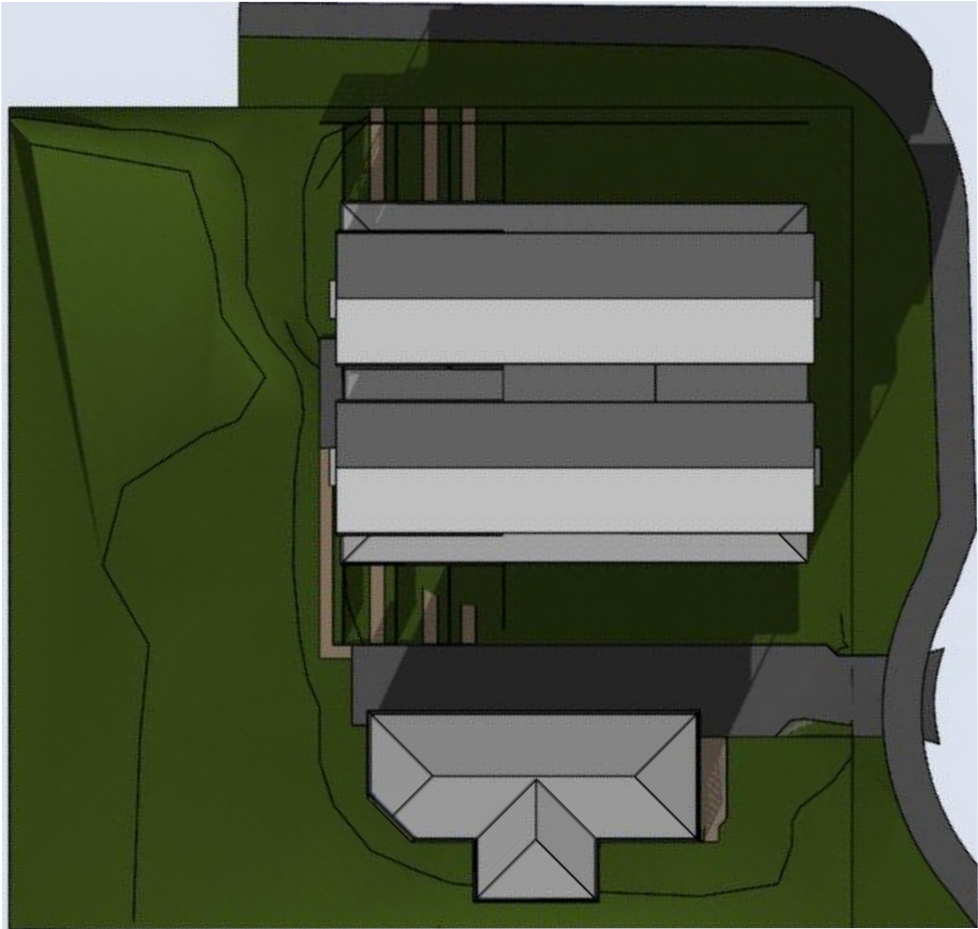
client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	103	5/03/2024
project	scale	issue	drawing name
Residential Development		H	
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	BASIX



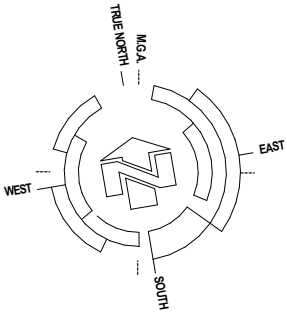
JUNE 21st - 10 AM



JUNE 21st - 12 PM



JUNE 21st - 3 PM



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

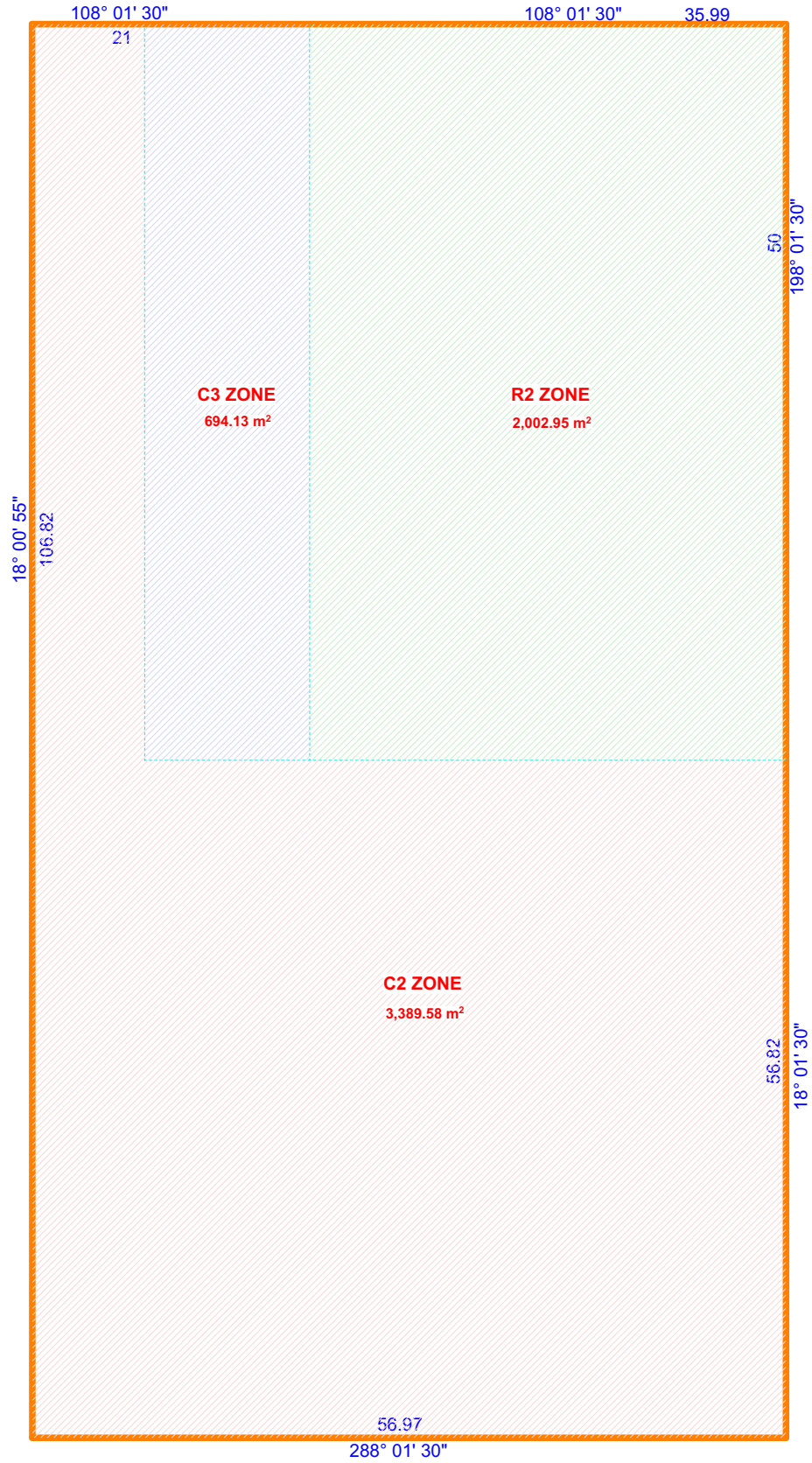
Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	104	5/03/2024
project	scale	issue	drawing name
Residential Development		H	SUN STUDY
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

SITE NOTES

GROUND SURFACE WATER

FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING

THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:

- (A) 150mm ABOVE FINISHED GROUND LEVEL
(B) 100mm ABOVE SANDY WELL DRAINED AREAS
(C) 50mm ABOVE PAVED OR CONCRETE AREAS WITH FALL AWAY FROM BUILDING

ROOF DRAINAGE

FACE GUTTERS TO HAVE A MIN. FALL OF 1:500
BOX GUTTERS TOM HAVE A MIN. FALL OF 1:100

CATCHMENT AREA GUTTER

30m²	115mm D GUTTER
40m²	125mm D GUTTER
50m²	150mm D GUTTER
60m²	150mm D GUTTER

DOWNPIPES

MIN. SIZE 90mm DIAMETER

MAX. SPACING OF DOWNPIPES IS 12m

DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS REQUIRED.

STORMWATER

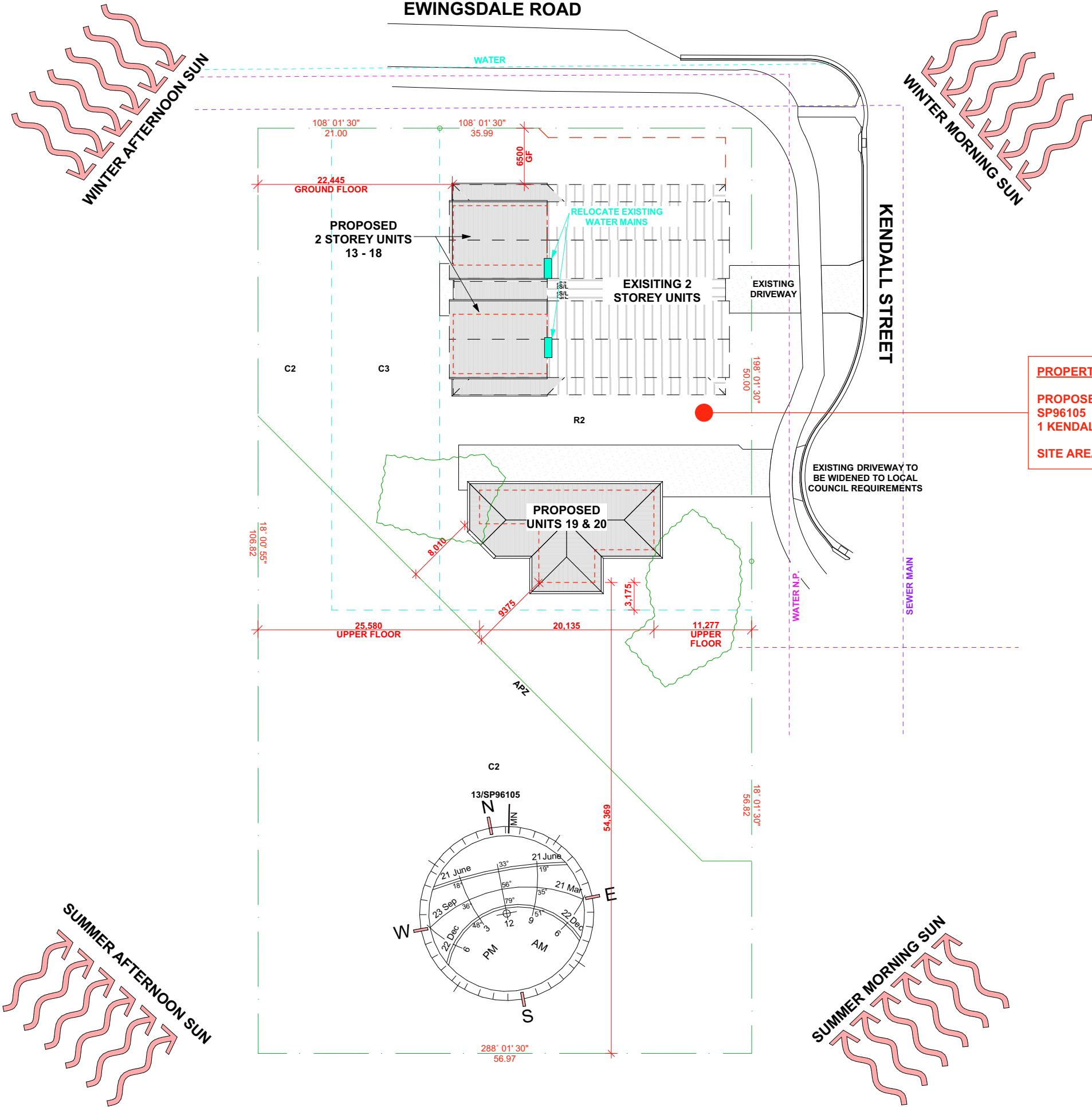
STORMWATER TO LEGAL POINT OF DISCHARGE

STORMWATER LINES FOR 2 OR MORE DOWNPIPES TO BE 100mm DIA. WITH ALL BRANCHES TO BE 90mm DIA.

STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.

100mm COVER TO STORMWATER DRAINAGE.
STORMWATER & SEWER TO HYDRAULIC CONSULTANT'S INSTRUCTIONS.

DA DRAWINGS



PROPERTY DESCRIPTION

PROPOSED UNIT DEVELOPMENT
SP96105
1 KENDALL ST, BYRON BAY, NSW.

SITE AREA = 6,086.66 m²

STORY

STORY DESIGN COLLECTIVE

www.storydesign.com.au

info@storydesign.com.au

0415 484 738

QBCC Lic # 1135254

SURFERS PARADISE

BANORA POINT

Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client

The Kollektive Pty Ltd

project

Residential Development

1 Kendall St,
Byron Bay, NSW

scale

1:500 @A3

drawn

JB

issue

J

checked

Sam Ray

project number

23001

drawing number

106

drawing print date

5/03/2024

drawing name

PROPOSED SITE PLAN CANOPY 1:500

SITE NOTES

GROUND SURFACE WATER

FALL GROUND 50mm MIN IN FIRST 1000mm FROM BUILDING

THE HEIGHT OF SLAB ABOVE EXTERNAL FINISHED SURFACE TO BE NOT LESS THAN:

- (A) 150mm ABOVE FINISHED GROUND LEVEL
(B) 100mm ABOVE SANDY WELL DRAINED AREAS
(C) 50mm ABOVE PAVED OR CONCRETE AREAS WITH FALL AWAY FROM BUILDING

ROOF DRAINAGE

FACE GUTTERS TO HAVE A MIN. FALL OF 1:500
BOX GUTTERS TOM HAVE A MIN. FALL OF 1:100

CATCHMENT AREA GUTTER

30m²	115mm D GUTTER
40m²	125mm D GUTTER
50m²	150mm D GUTTER
60m²	150mm D GUTTER

DOWNPIPES

MIN. SIZE 90mm DIAMETER

MAX. SPACING OF DOWNPIPES IS 12m

DOWNPIPES TO BE FIXED AS CLOSE AS POSSIBLE TO VALLEY GUTTERS & IF MORE THAN 1.2m FROM THE VALLEY PROVISION FOR AN OVERFLOW IS REQUIRED.

STORMWATER

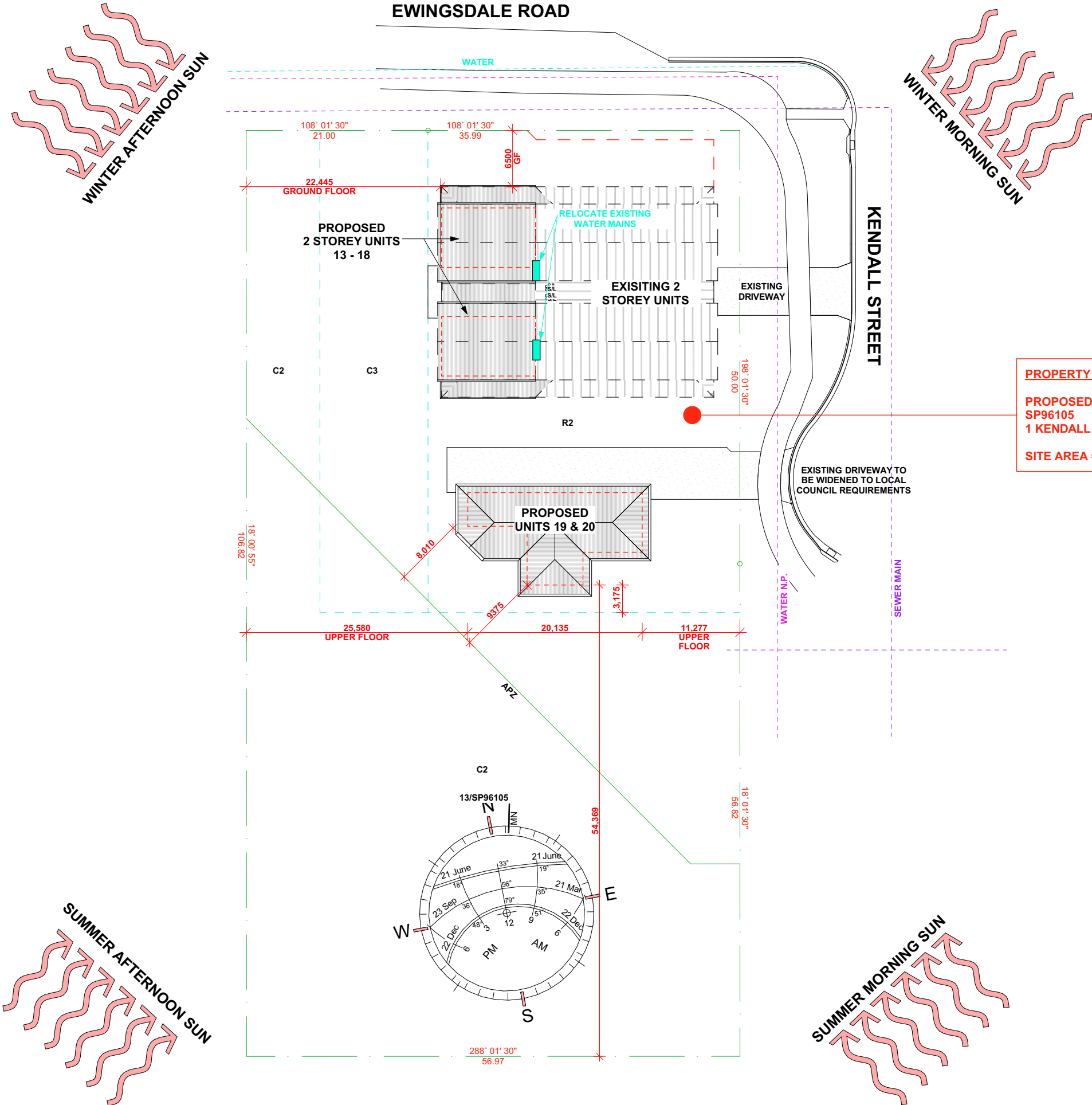
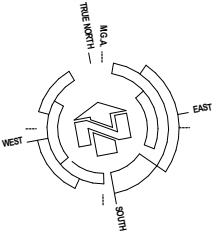
STORMWATER TO LEGAL POINT OF DISCHARGE

STORMWATER LINES FOR 2 OR MORE DOWNPIPES TO BE 100mm DIA. WITH ALL BRANCHES TO BE 90mm DIA.

STORMWATER LINES SHALL BE TO A MIN. FALL OF 1:60 & WHERE POSSIBLE PLACED AS SHOWN.

100mm COVER TO STORMWATER DRAINAGE.
STORMWATER & SEWER TO HYDRAULIC CONSULTANT'S INSTRUCTIONS.

DA DRAWINGS



PROPERTY DESCRIPTION

PROPOSED UNIT DEVELOPMENT
SP96105
1 KENDALL ST, BYRON BAY, NSW.

SITE AREA = 6,086.66 m²

AREA CALCULATIONS

SITE AREA = 6,086.66 m²

EXISTING AREAS
R2 SITE AREA = 1,100.00m²
EXISTING GFA = 564.00 m²

EXISTING FSR = 0.51:1

PROPOSED AREAS
R2 SITE AREA = 902.95 m²
PROPOSED GFA = 437.58 m²
PROPOSED FSR = 0.48:1

COMBINED AREAS
R2 SITE AREA = 2,002.95m²
COMBINED GFA = 1,001.58 m²
COMBINED FSR = 0.50:1

CARPARKING CALCULATIONS
EXISTING CARSPACES = 12
EXISTING VISITOR = 4

PROPOSED CARSPACES = 8
VISITOR CARSPACES = 1

COMBINED CARSPACES = 20
COMBINED VISITOR = 5
TOTAL CARSPACES = 25

STORY

STORY DESIGN COLLECTIVE

www.storydesign.com.au

info@storydesign.com.au

0415 484 738

QBCC Lic # 1135254

SURFERS PARADISE

BANORA POINT

Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client

The Kollektive Pty Ltd

project

Residential Development

1 Kendall St,
Byron Bay, NSW

scale

1:500 @A3

drawn

JB

issue

J

checked

Sam Ray

project number

23001

drawing number

107

drawing print date

5/03/2024

drawing name

PROPOSED SITE PLAN 1:500



Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

OVERALL GROUND FLOOR PLAN

UNIT 13-17 AREA CALCULATIONS:		
GROUND FLOOR		
FOYER -	8.82m ²	
GARAGE -	18.79m ²	
FIRST FLOOR		
LIVING -	28.56m ²	
BALCONY -	8.12m ²	
SECOND FLOOR		
LIVING -	13.20m ²	
TOTAL AREA =	77.49m ²	

UNIT 18 AREA CALCULATIONS:		
GROUND FLOOR		
FOYER -	8.82m ²	
FIRST FLOOR		
LIVING -	28.56m ²	
BALCONY -	8.12m ²	
SECOND FLOOR		
LIVING -	13.20m ²	
TOTAL AREA =	58.70m ²	

STORY

STORY DESIGN COLLECTIVE

www.storydesign.com.au

info@storydesign.com.au

0415 484 738

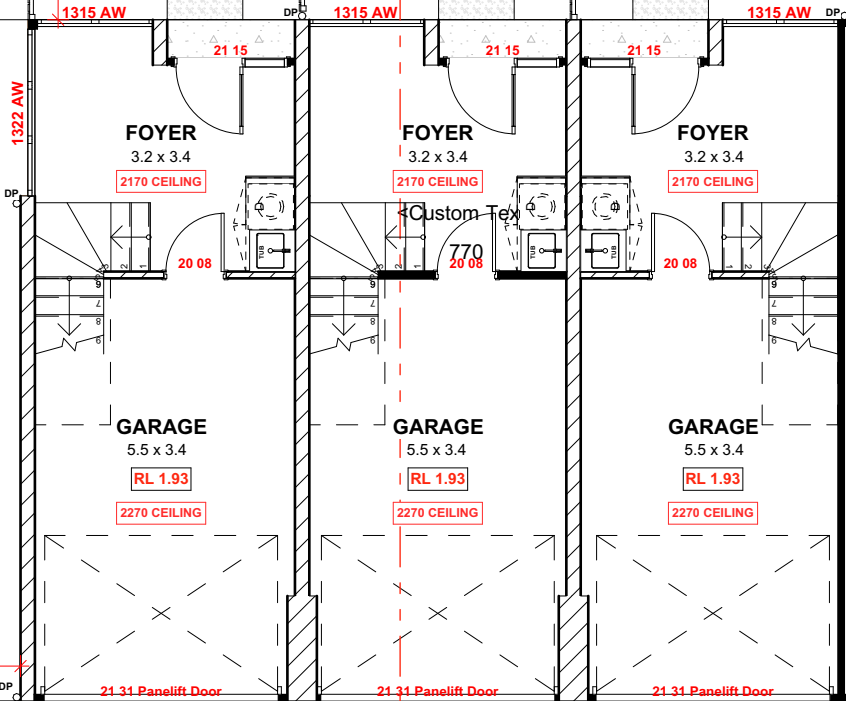
QBCC Lic # 1135254

SURFERS PARADISE

BANORA POINT

Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

UNIT 15UNIT 14UNIT 13



EXISTING UNITS 1-6

EXISTING UNITS 7-12

UNIT 18UNIT 17UNIT 16

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEMENT	SR								

client

The Kollektive Pty Ltd

project

Residential Development

1 Kendall St,
Byron Bay, NSW

scale

1:100 on A3

drawn

JB

issue

H

checked

Sam Ray

project number

23001

drawing number

201

drawing name

GROUND FLOOR PLAN UNITS 13-18

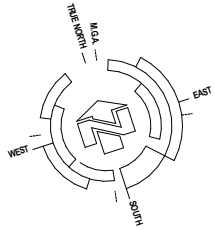
drawing print date

5/03/2024



client		project number	drawing number	drawing print date
The Collective Pty Ltd		23001	202	5/03/2024
project	scale	issue	drawing name	
Residential Development	1:100 on A3	H	GROUND FLOOR PLAN UNITS 19-20	
1 Kendall St, Byron Bay, NSW	drawn	checked		
	JB	Sam Ray		

GROUND FLOOR PLAN UNITS 19-20



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

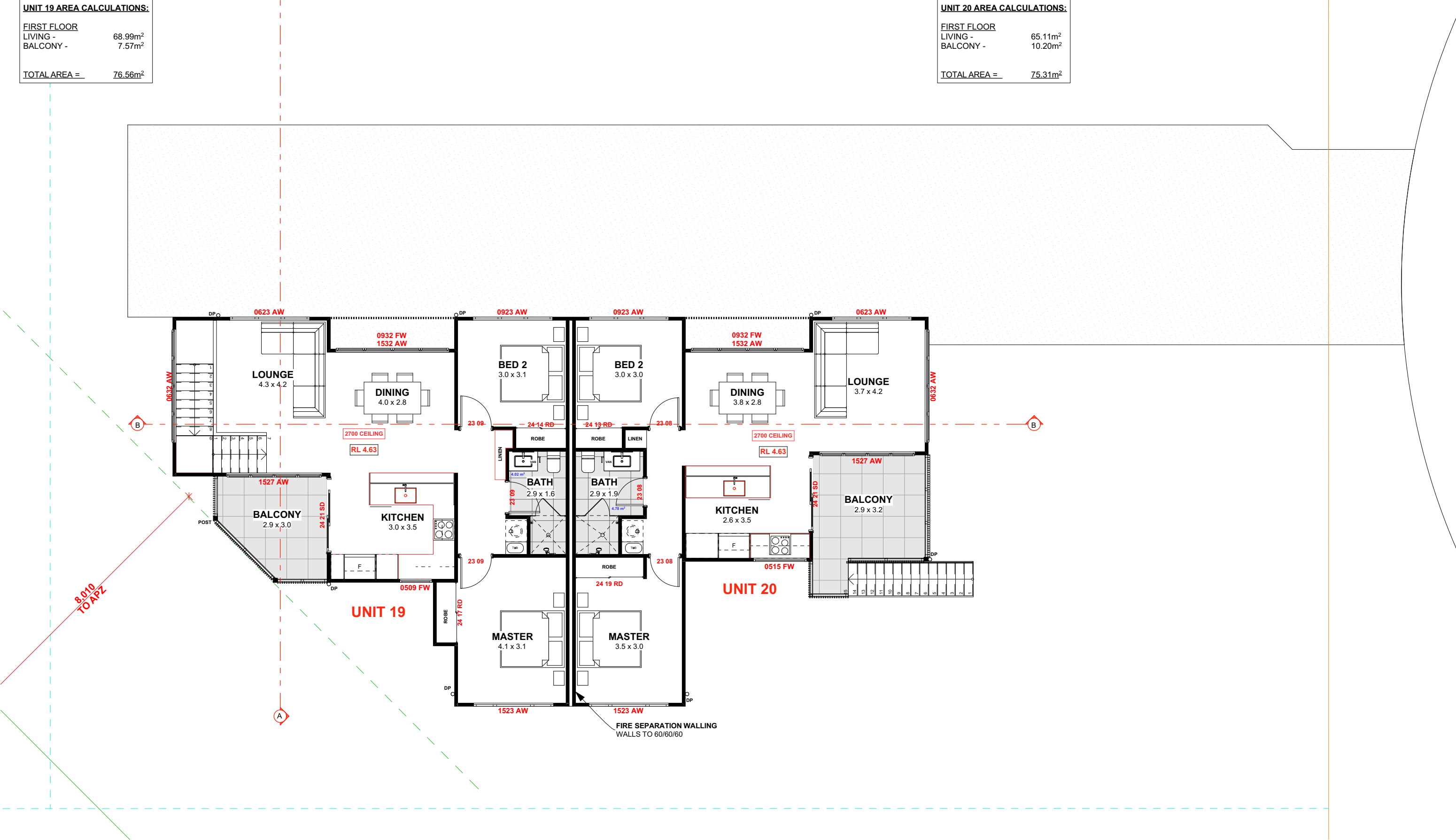
client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	203	5/03/2024
project	scale	issue	drawing name
Residential Development	1:200 on A3	H	OVERALL FIRST FLOOR PLAN
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	

client		project number	drawing number	drawing print date
The Collective Pty Ltd		23001	204	5/03/2024
project	scale	issue	drawing name	
Residential Development	1:100 on A3	H	FIRST FLOOR PLAN UNITS 13-18	
1 Kendall St,	drawn	checked		
Byron Bay, NSW	JB	Sam Ray		

FIRST FLOOR PLAN UNITS 13-18

UNIT 19 AREA CALCULATIONS:	
FIRST FLOOR	
LIVING -	68.99m ²
BALCONY -	7.57m ²
TOTAL AREA =	
76.56m ²	

UNIT 20 AREA CALCULATIONS:	
FIRST FLOOR	
LIVING -	65.11m ²
BALCONY -	10.20m ²
TOTAL AREA =	
75.31m ²	



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

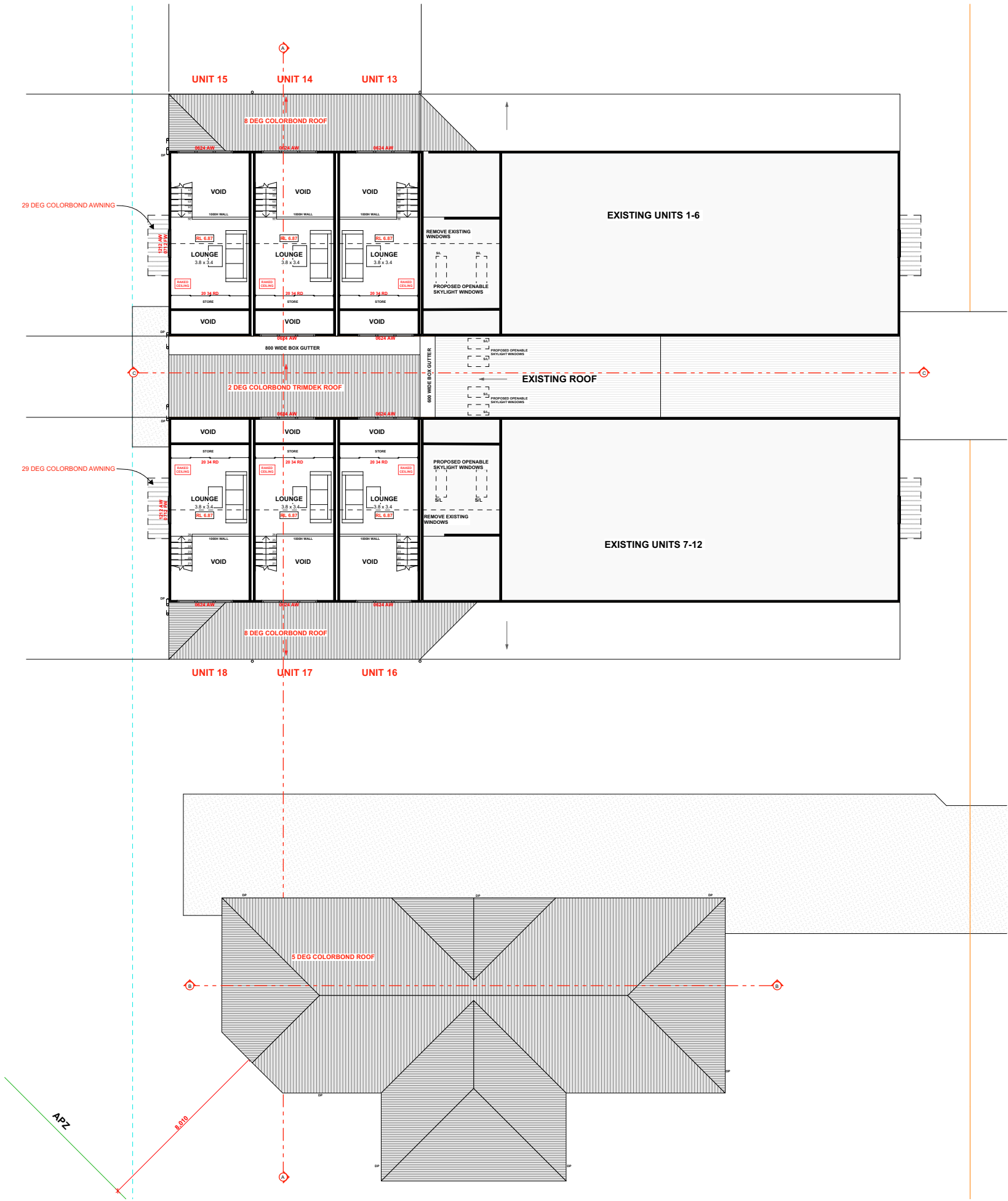
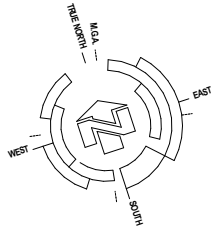
Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	init.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGE	SR

rev.	date	description	init.
G	11/05/23	PRE-LODGE REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	init.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	205	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 on A3	H	FIRST FLOOR PLAN UNITS 19-20
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	

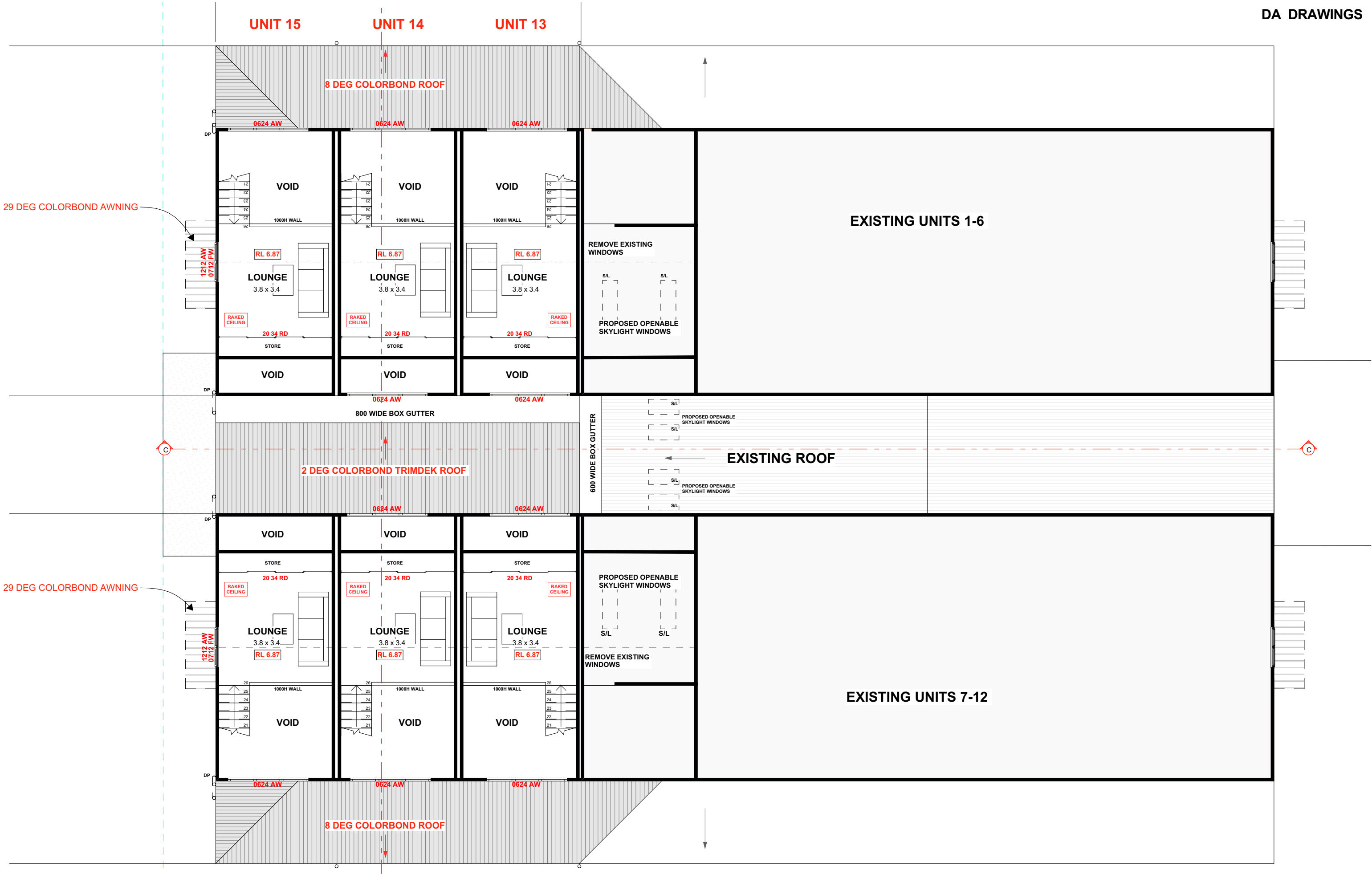


STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	206	5/03/2024
project	scale	issue	drawing name
Residential Development	1:200 on A3	H	OVERALL SECOND FLOOR PLAN
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	

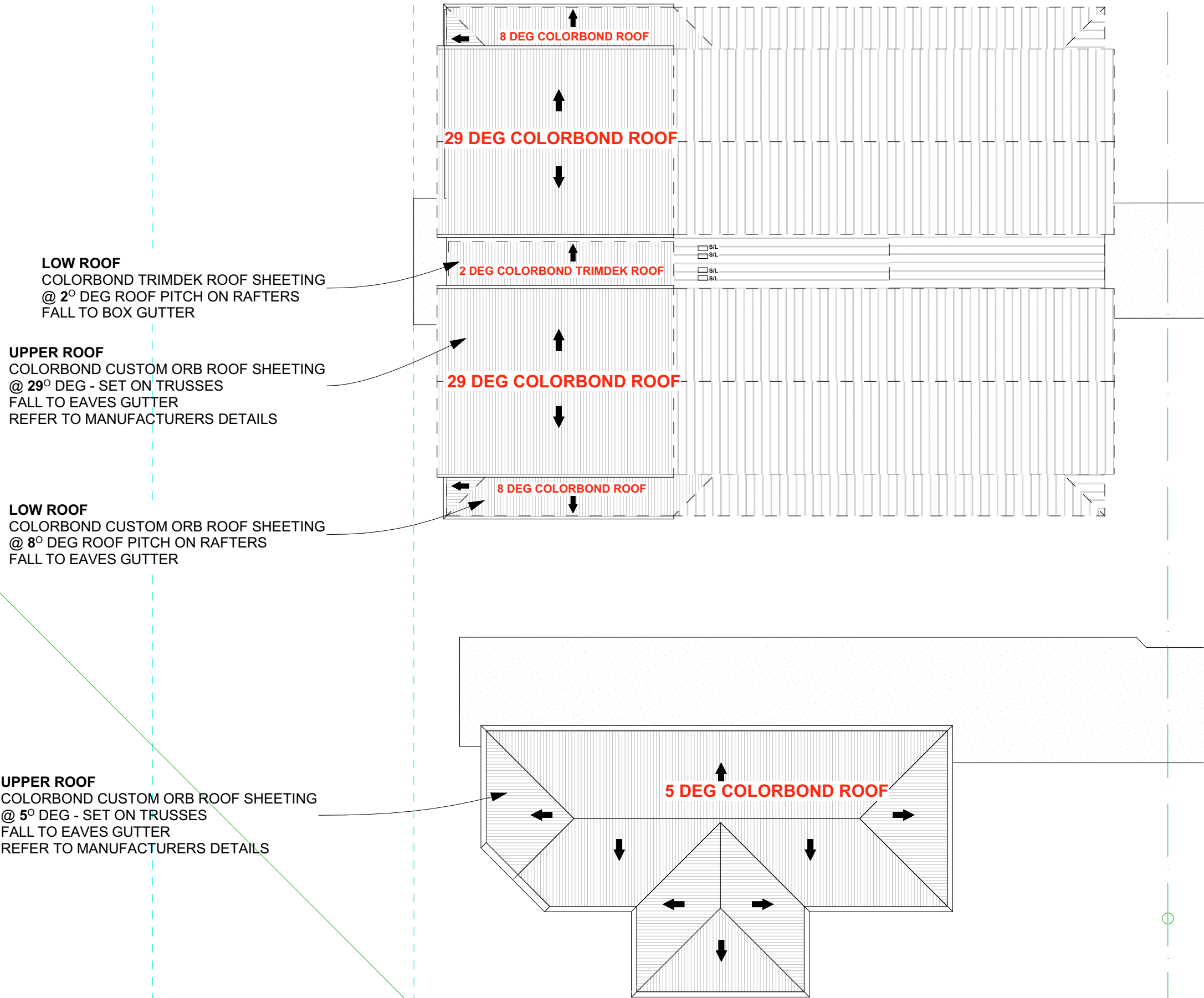


STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	init.	rev.	date	description	init.	rev.	date	description	init.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	207	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 on A3	H	SECOND FLOOR PLAN UNITS 13-18
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

client
The Kollektive Pty Ltd
project
Residential Development
1 Kendall St,
Byron Bay, NSW

scale
1:200 @A3
drawn
JB

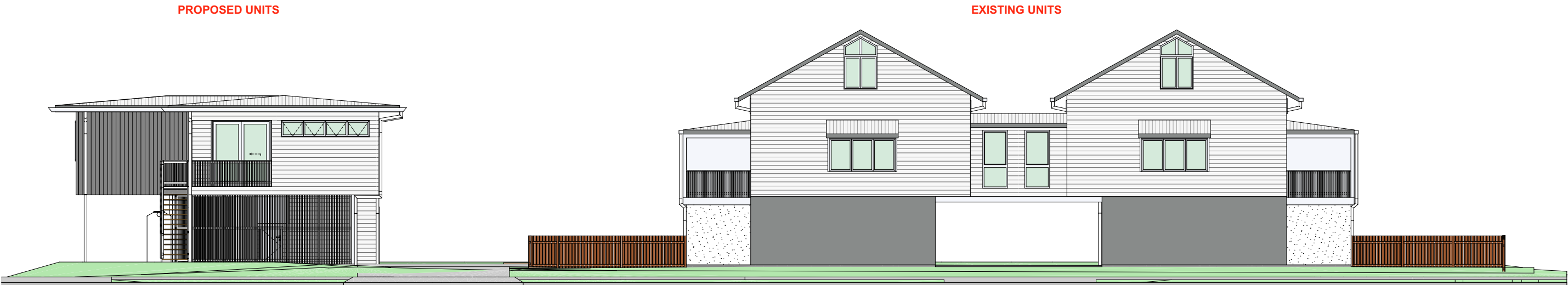
issue
J
checked
Sam Ray

project number
23001

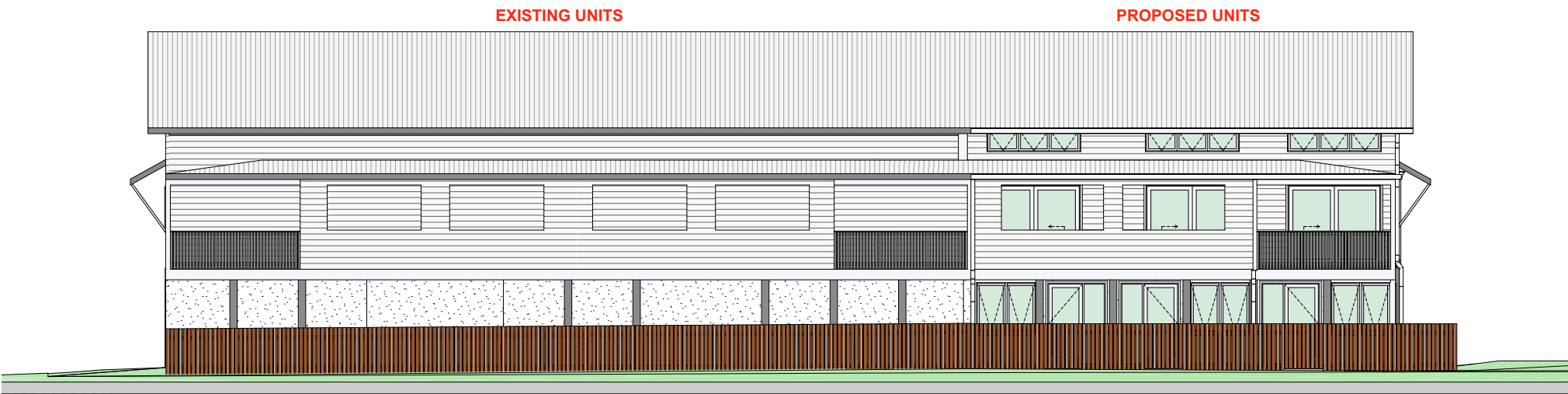
drawing number
208

drawing print date
5/03/2024

drawing name
ROOF PLAN



KENDAL STREET VIEW



EWINGSDALE STREET VIEW



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

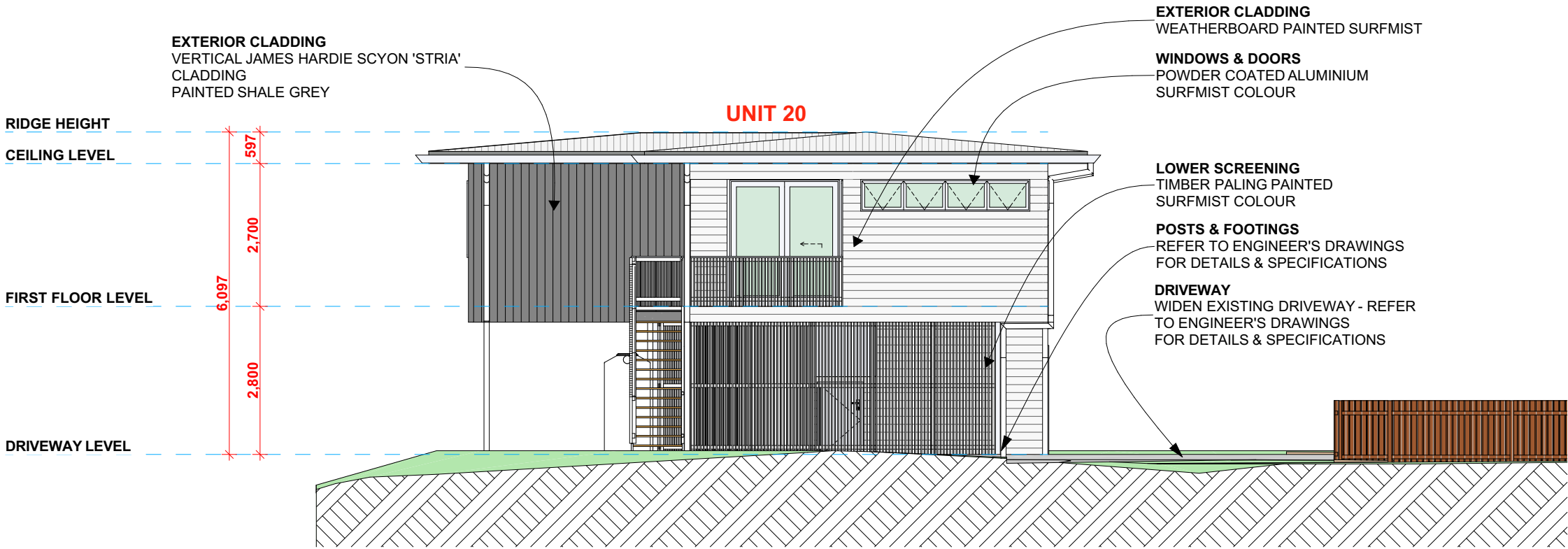
Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initl.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

rev.	date	description	initl.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initl.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	209	5/03/2024
project	scale	issue	drawing name
Residential Development	1:150 @A3	J	STREET VIEWS
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



ELEVATION 01



ELEVATION 01



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

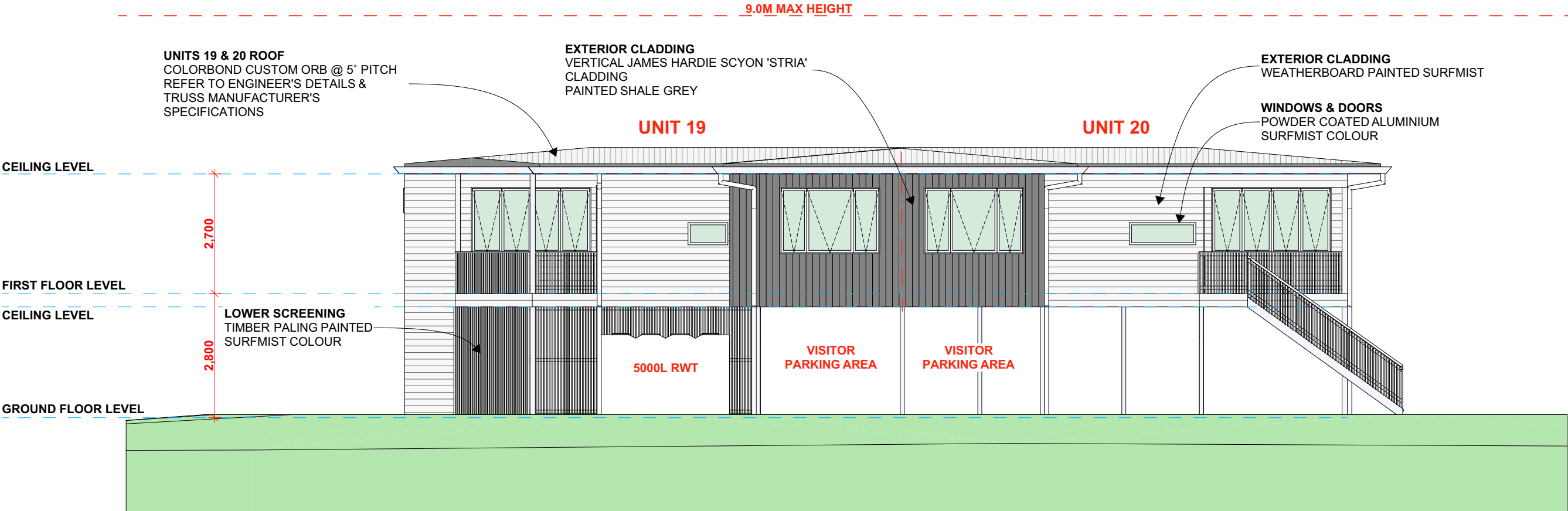
Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initl.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEEMENT	SR

rev.	date	description	initl.
G	11/05/23	PRE-LODGEEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initl.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	210	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	ELEVATIONS 01 - UNIT 20
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



ELEVATION 02



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

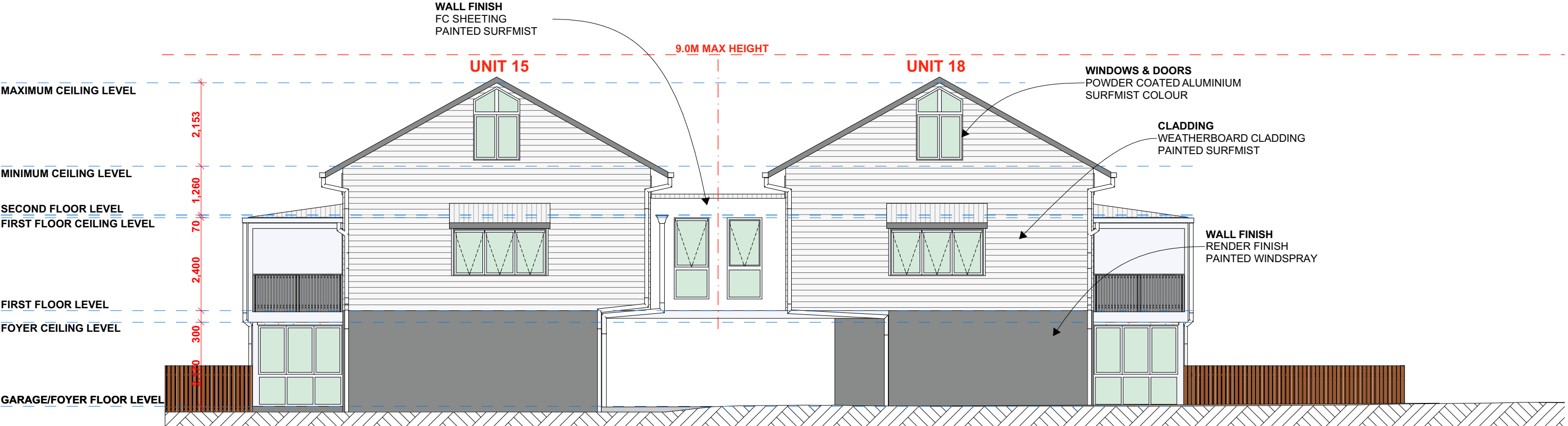
Copyright. This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initl.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

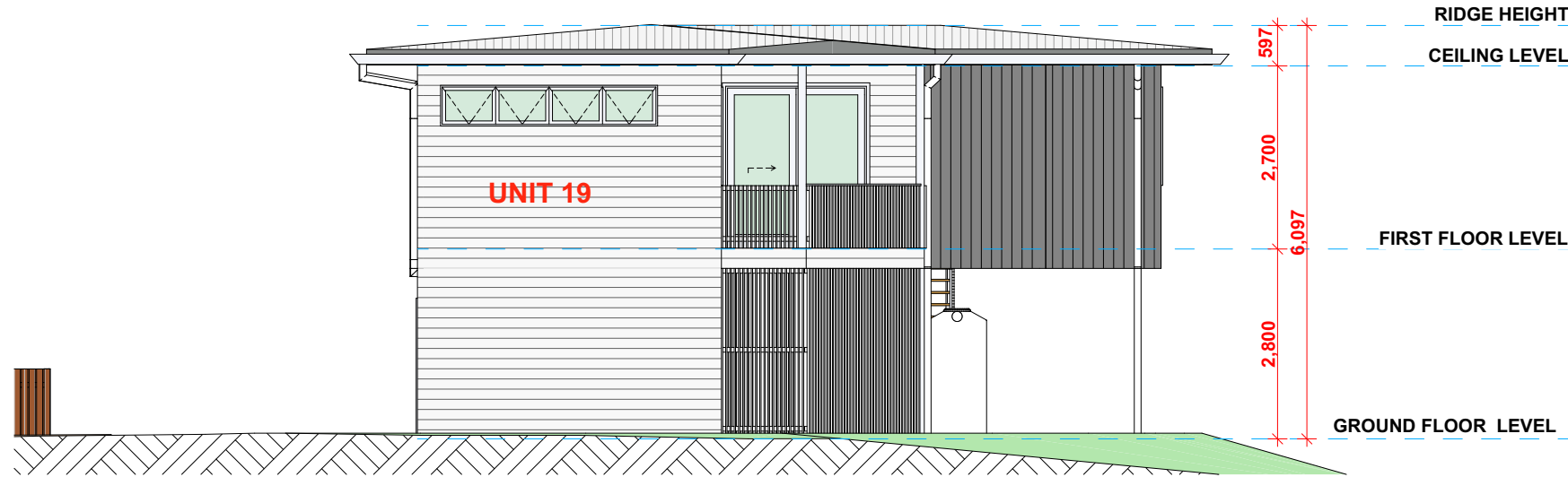
rev.	date	description	initl.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initl.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	211	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	ELEVATIONS 02 - UNITS 19 & 20
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



ELEVATION 03



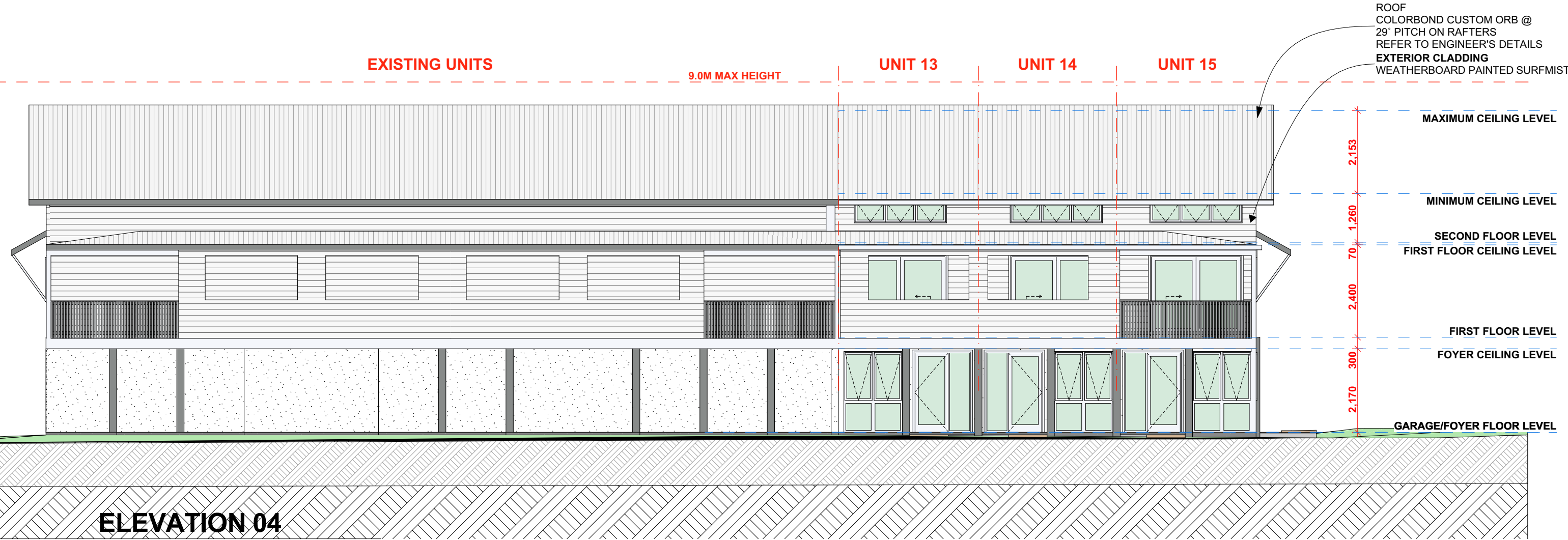
ELEVATION 03



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

rev.	date	description	init.	rev.	date	description	init.	rev.	date	description	init.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	212	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	ELEVATIONS 03 - UNITS 15,16, & 19
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

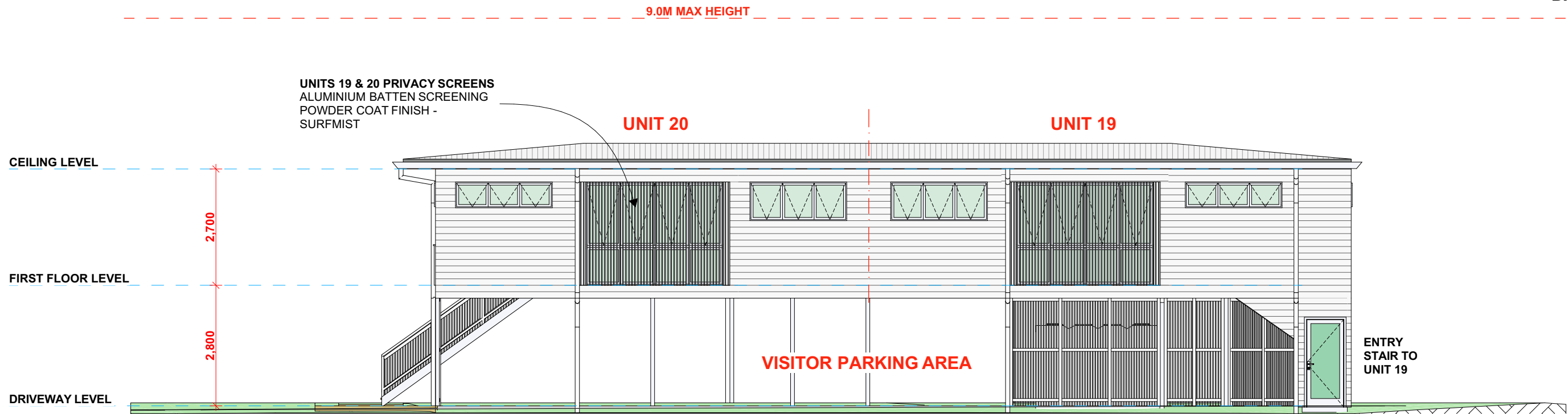
Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

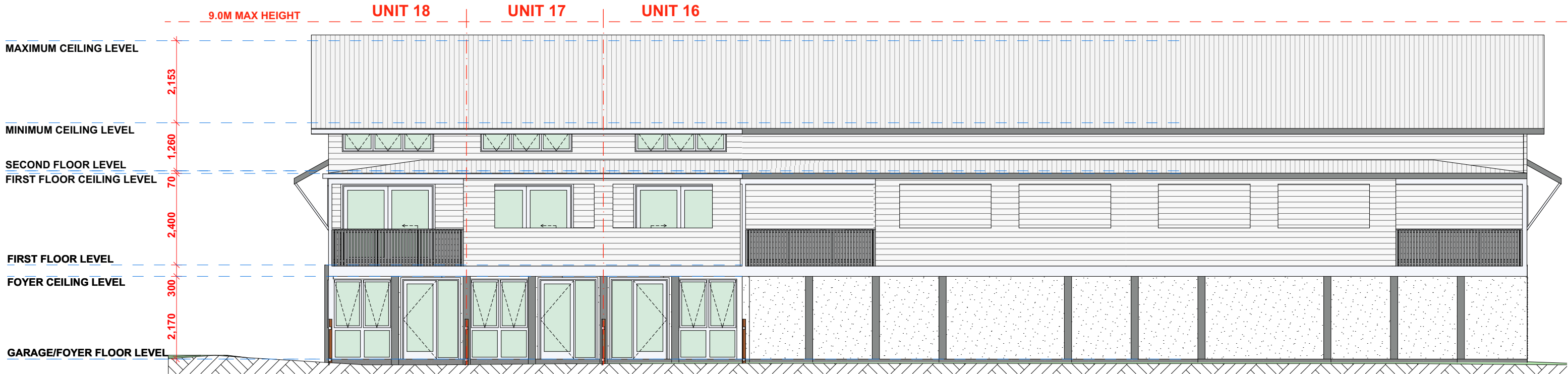
rev.	date	description	initi.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	213	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	ELEVATION 04 - UNITS 13-15
1 Kendall St, Byron Bay, NSW	drawn	checked	
	JB	Sam Ray	



ELEVATION 05



ELEVATION 06



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initl.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEEMENT	SR

rev.	date	description	initl.
G	11/05/23	PRE-LODGEEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initl.

client

The Kollektive Pty Ltd

project

Residential Development

1 Kendall St,
Byron Bay, NSW

scale

1:100 @A3

drawn

JB

issue

J

checked

Sam Ray

project number

23001

drawing number

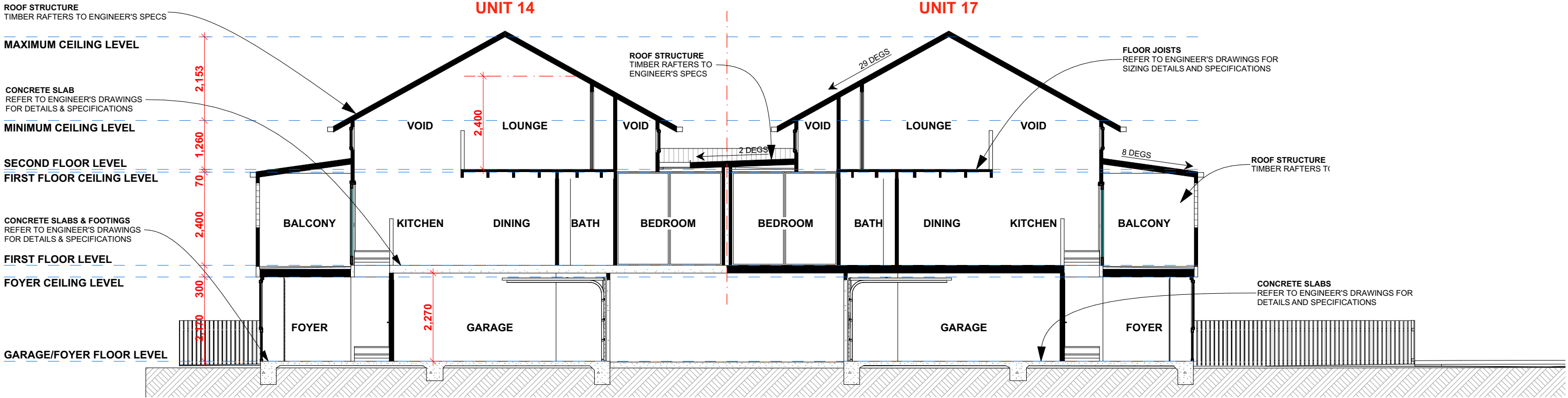
214

drawing print date

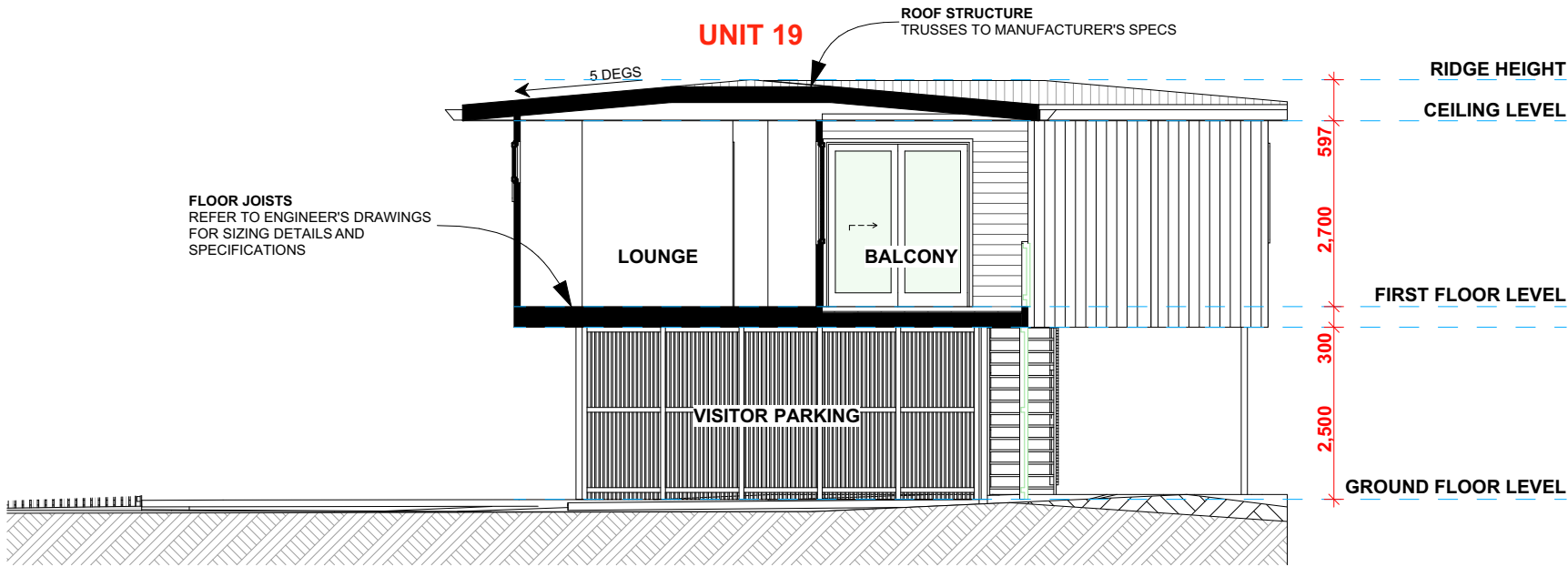
5/03/2024

drawing name

ELEVATION 5 & 6 - UNITS 16-20



SECTION A



SECTION A



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

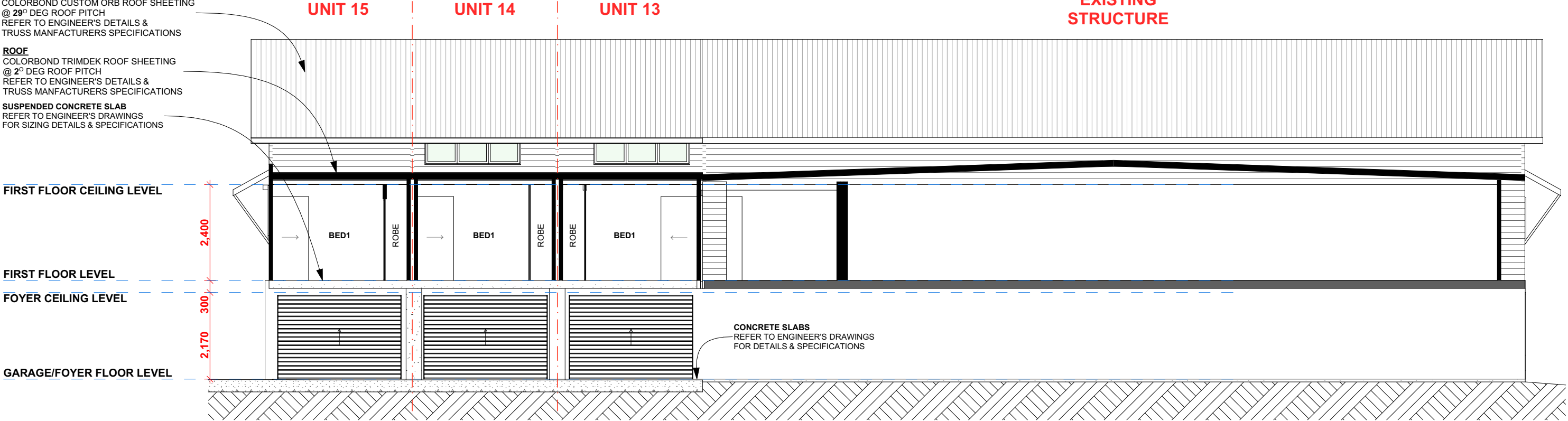
rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	215	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	SECTION A
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	

ROOF
COLORBOND CUSTOM ORB ROOF SHEETING
@ 29° DEG ROOF PITCH
REFER TO ENGINEER'S DETAILS &
TRUSS MANUFACTURERS SPECIFICATIONS

ROOF
COLORBOND TRIMDEK ROOF SHEETING
@ 2° DEG ROOF PITCH
REFER TO ENGINEER'S DETAILS &
TRUSS MANUFACTURERS SPECIFICATIONS

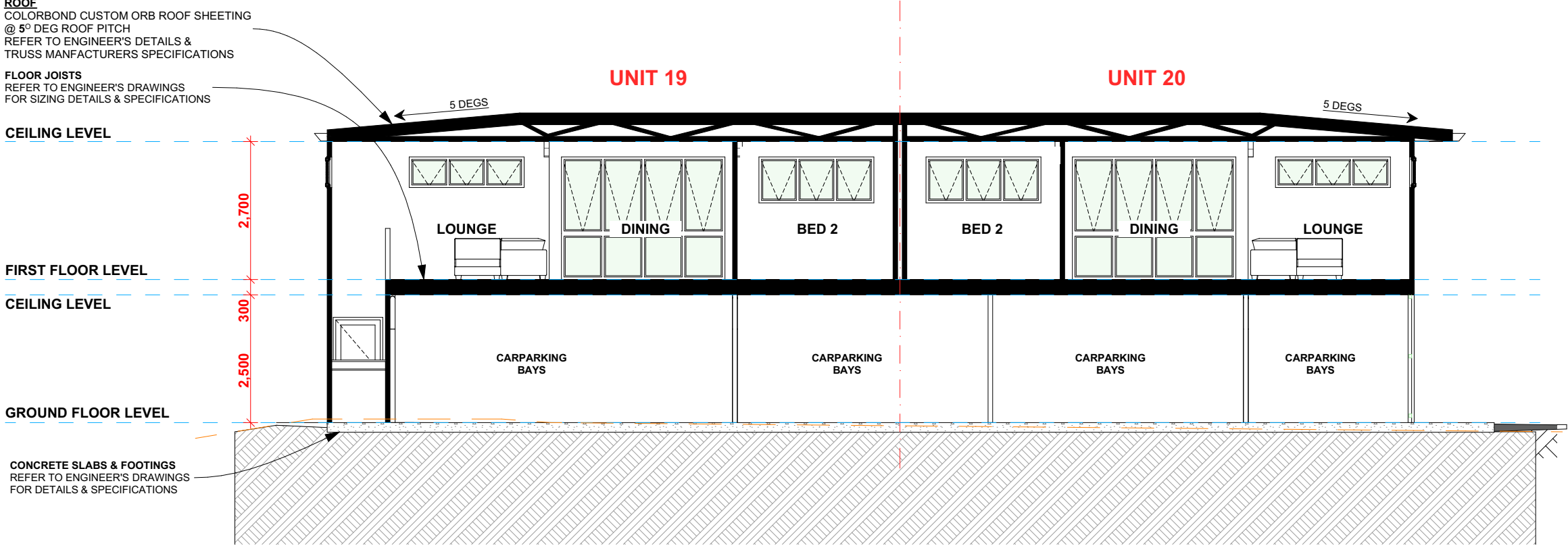
SUSPENDED CONCRETE SLAB
REFER TO ENGINEER'S DRAWINGS
FOR SIZING DETAILS & SPECIFICATIONS



SECTION C

ROOF
COLORBOND CUSTOM ORB ROOF SHEETING
@ 5° DEG ROOF PITCH
REFER TO ENGINEER'S DETAILS &
TRUSS MANUFACTURERS SPECIFICATIONS

FLOOR JOISTS
REFER TO ENGINEER'S DRAWINGS
FOR SIZING DETAILS & SPECIFICATIONS



SECTION B



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

Copyright: This document is the property of Story Design Collective and may not be used in whole or in part without permission. Legal Action will be taken against any person infringing the copyright.

rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR
B	14/02/23	FEASIBILITY REVISIONS	SR
C	14/03/23	PRELIM LAYOUT	SR
D	16/03/23	REVISED PRELIM LAYOUT	SR
E	22/03/23	REVISED PRELIM LAYOUT	SR
F	30/03/23	PRE-LODGEMENT	SR

rev.	date	description	initi.
G	11/05/23	PRE-LODGEMENT REVISIONS	SR
H	22/09/23	DA DOCUMENTATION	JB
I	06/11/23	SURVEY & CARPARKING REVISIONS	SR
J	17/11/23	DA COMPLETION PLANS	SR

rev.	date	description	initi.

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	216	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 @A3	J	SECTION B & SECTION C
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



rev.	date	description	init.	rev.	date	description	init.	rev.	date	description	init.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

client

The Kollektive Pty Ltd

project

Residential Development

1 Kendall St,
Byron Bay, NSW

scale

1:200 @A3

drawn

JB

issue

J

checked

Sam Ray

project number

23001

drawing number

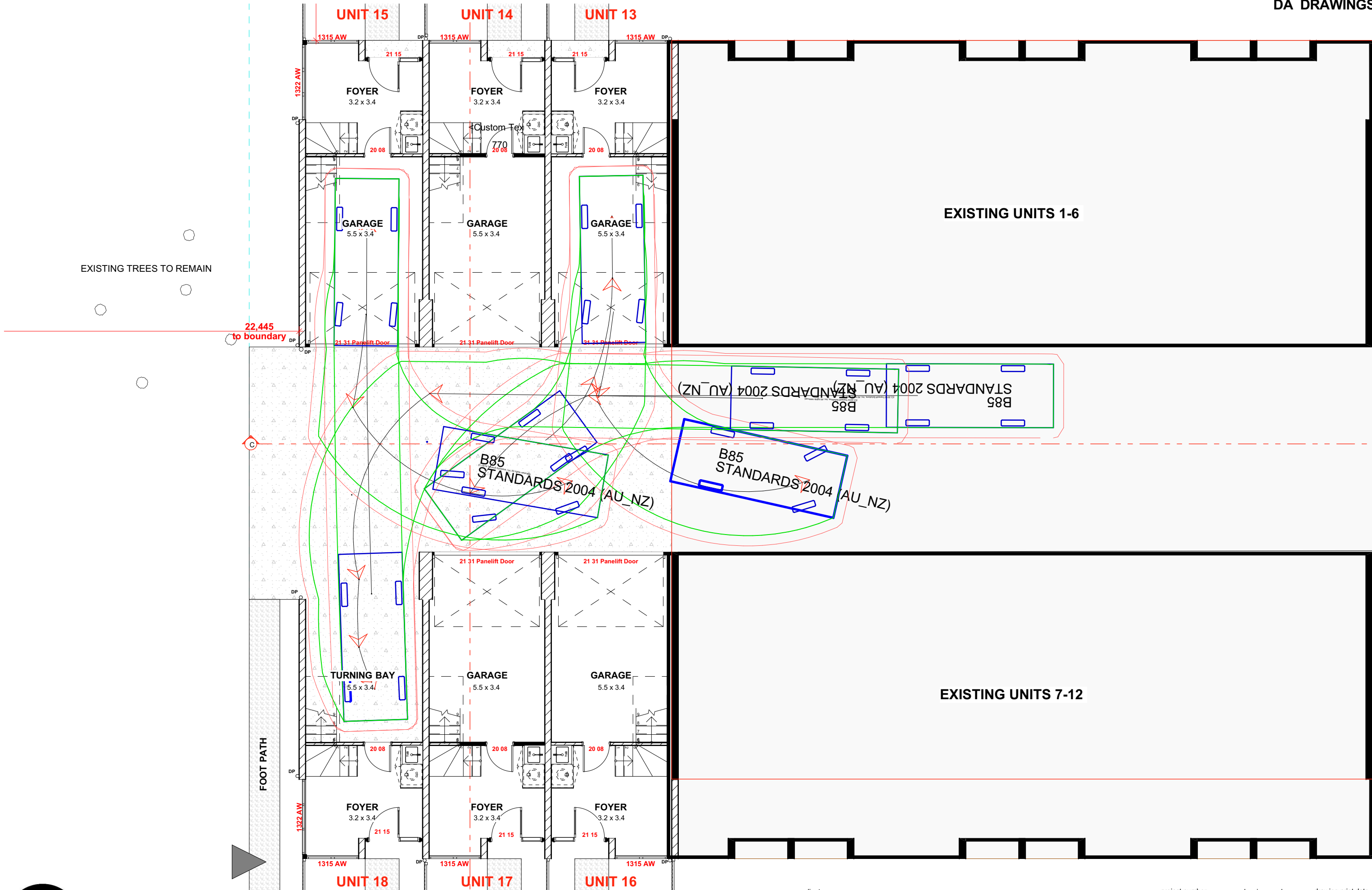
217

drawing name

WASTE MANAGEMENT PLAN

drawing print date

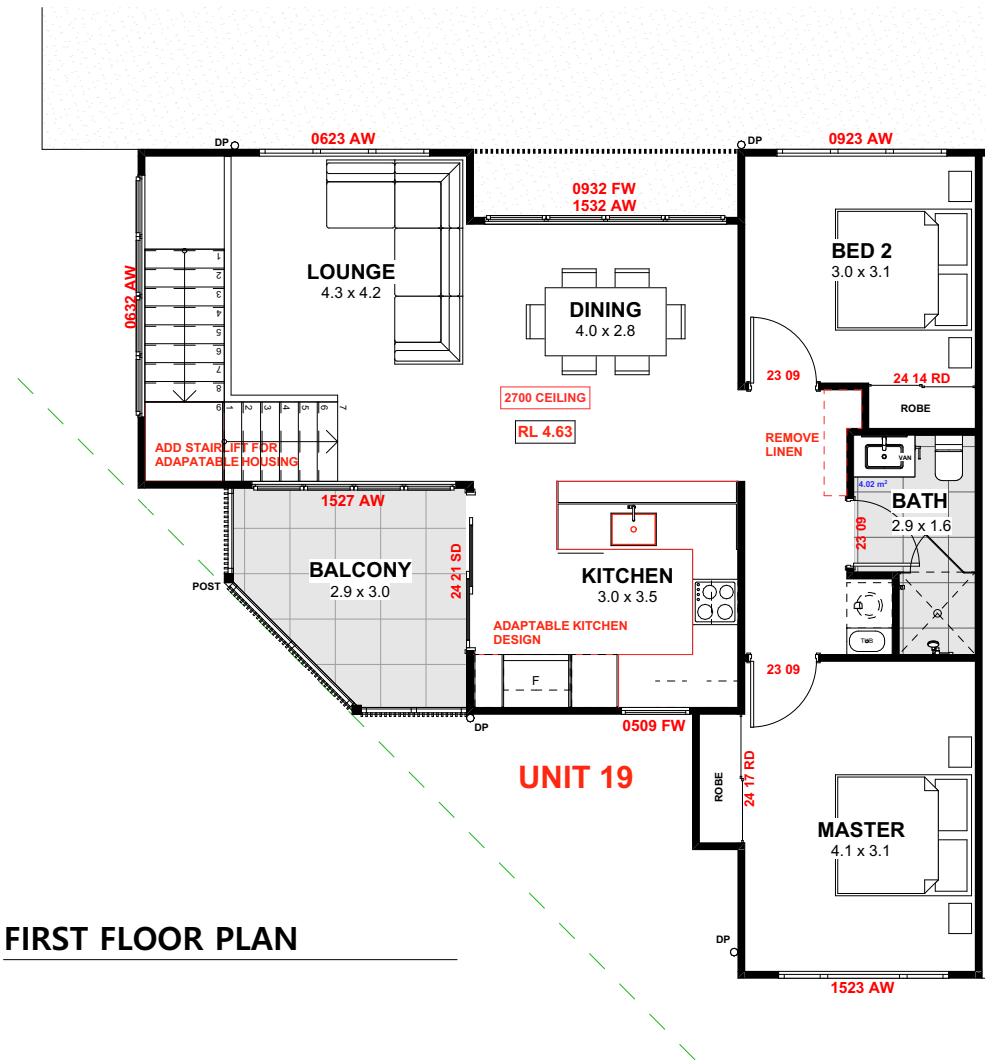
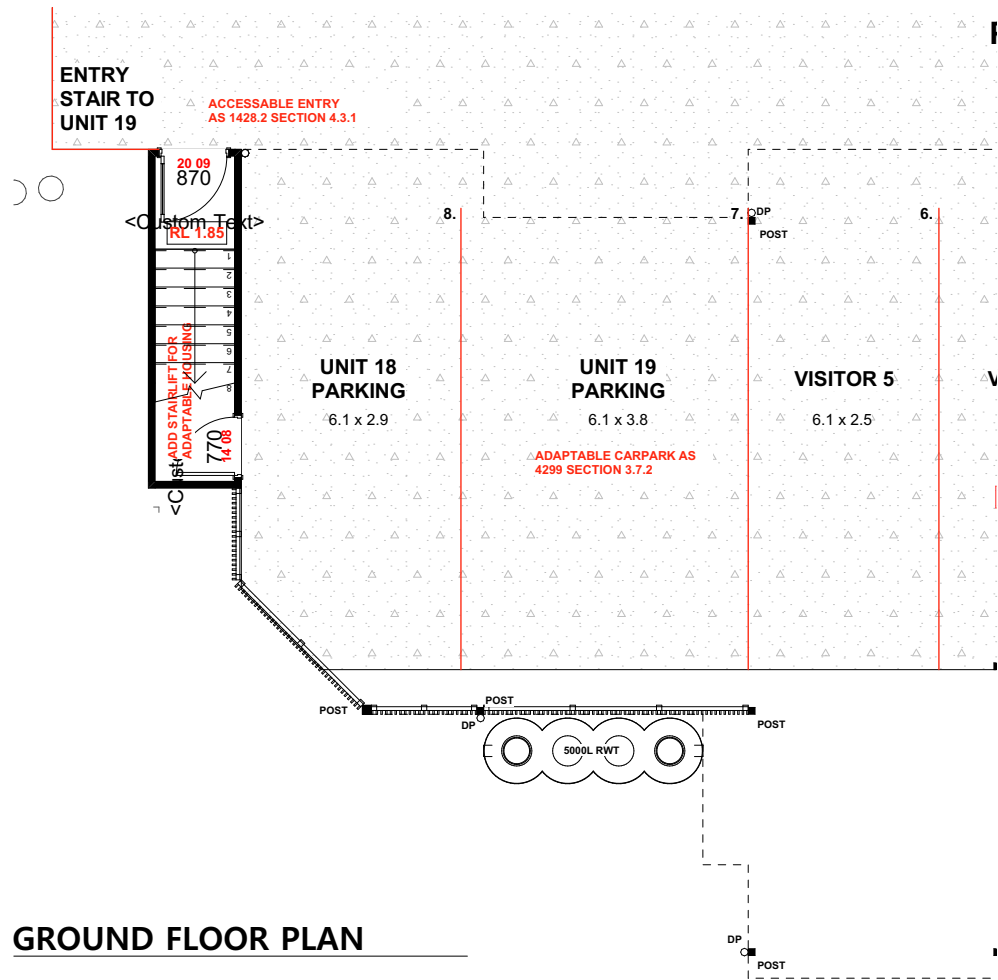
5/03/2024



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	218	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 on A3	H	TURNING TEMPLATE PLAN
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	



STORY DESIGN COLLECTIVE
www.storydesign.com.au info@storydesign.com.au
0415 484 738 QBCC Lic # 1135254
SURFERS PARADISE BANORA POINT

rev.	date	description	initi.	rev.	date	description	initi.	rev.	date	description	initi.
A	01/02/23	FEASIBILITY	SR	G	11/05/23	PRE-LODGEEMENT REVISIONS	SR				
B	14/02/23	FEASIBILITY REVISIONS	SR	H	22/09/23	DA DOCUMENTATION	JB				
C	14/03/23	PRELIM LAYOUT	SR	I	06/11/23	SURVEY & CARPARKING REVISIONS	SR				
D	16/03/23	REVISED PRELIM LAYOUT	SR	J	17/11/23	DA COMPLETION PLANS	SR				
E	22/03/23	REVISED PRELIM LAYOUT	SR								
F	30/03/23	PRE-LODGEEMENT	SR								

client	project number	drawing number	drawing print date
The Kollektive Pty Ltd	23001	219	5/03/2024
project	scale	issue	drawing name
Residential Development	1:100 on A3	H	ADAPTABLE PLAN UNIT 19
1 Kendall St, Byron Bay, NSW	drawn JB	checked Sam Ray	