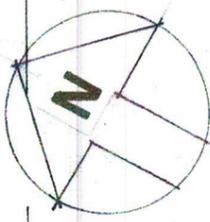


# PROPOSED NEW DWELLING & POOL

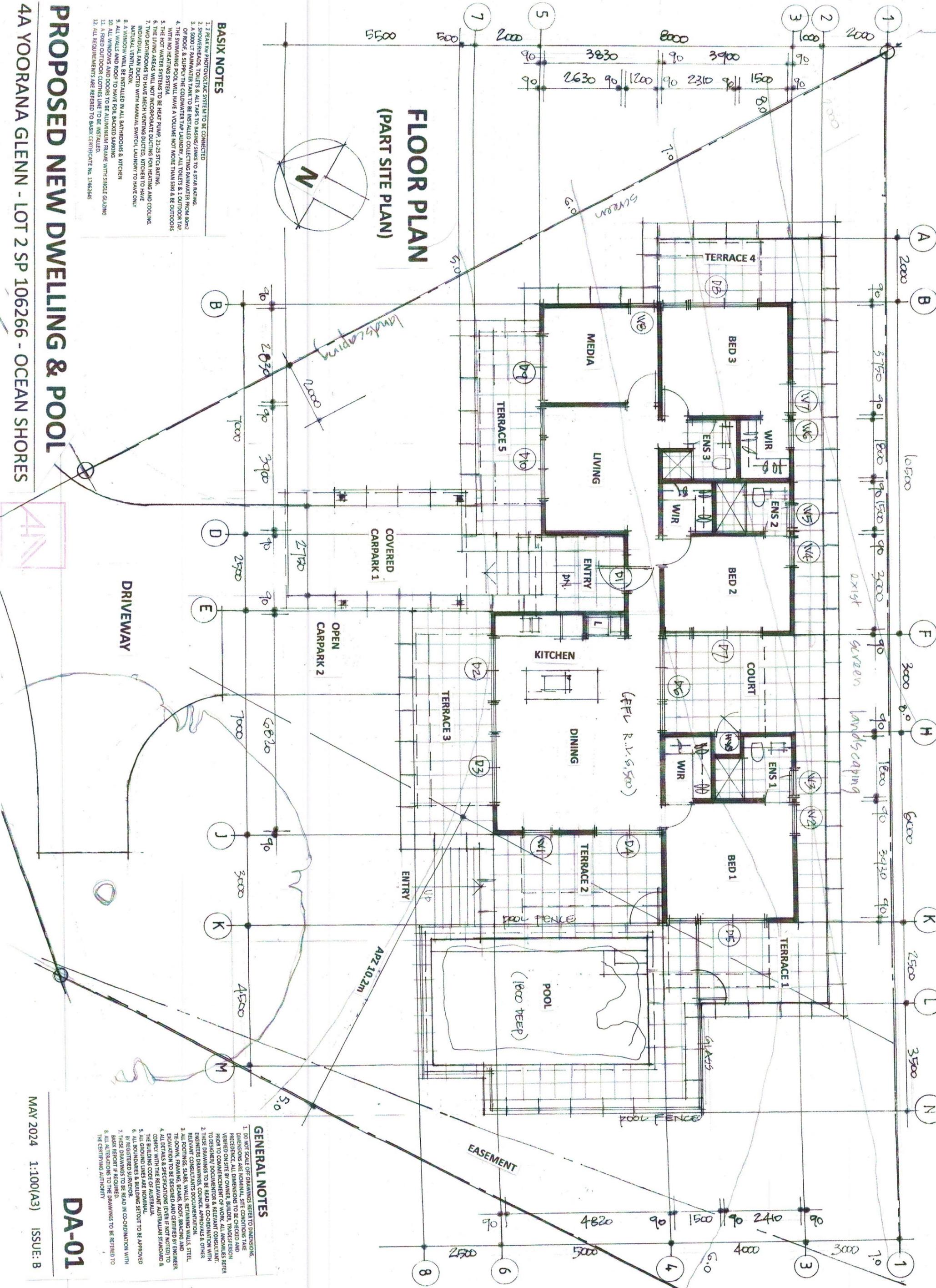
## BASIX NOTES

1. 7 REAR PHOTOVOLTAIC SYSTEM TO BE CONNECTED
2. SPOUTS, TUBS, TOILETS & ALL TAPS TO BASIX/SINKS TO 4 STAR RATING.
3. A 5000 LITRAINWATER TANK TO BE INSTALLED COLLECTING RAINWATER FROM 80% OF ROOF, & SUPPLY THE COLDWATER TAP LAUNDRY. ALL TOILETS & 1 OUTDOOR TAP WITH NO HEATING SYSTEM.
4. THE SWIMMING POOL WILL HAVE A VOLUME NOT MORE THAN 50M<sup>3</sup> & BE OUTDOORS.
5. THE HOT WATER SYSTEMS TO BE HEAT PUMP, 2:25 STG RATING.
6. THE LIVING AREAS WILL NOT INCORPORATE DUCTING FOR HEATING AND COOLING.
7. TWO BATHROOMS TO HAVE MECH VENTING DUCTED, KITCHEN TO HAVE NATURAL VENTILATION.
8. A WINDOW WILL BE INSTALLED IN ALL BATHROOMS & KITCHEN.
9. ALL WALLS AND ROOF TO HAVE POLY BAKED SANDING.
10. ALL WINDOWS AND DOORS TO BE ALUMINIUM FRAME WITH SINGLE GLAZING.
11. A FIXED OUTDOOR CLOTHES LINE TO BE INSTALLED.
12. ALL REQUIREMENTS ARE REFERRED TO BASIX CERTIFICATE NO. 17463645

## FLOOR PLAN (PART SITE PLAN)



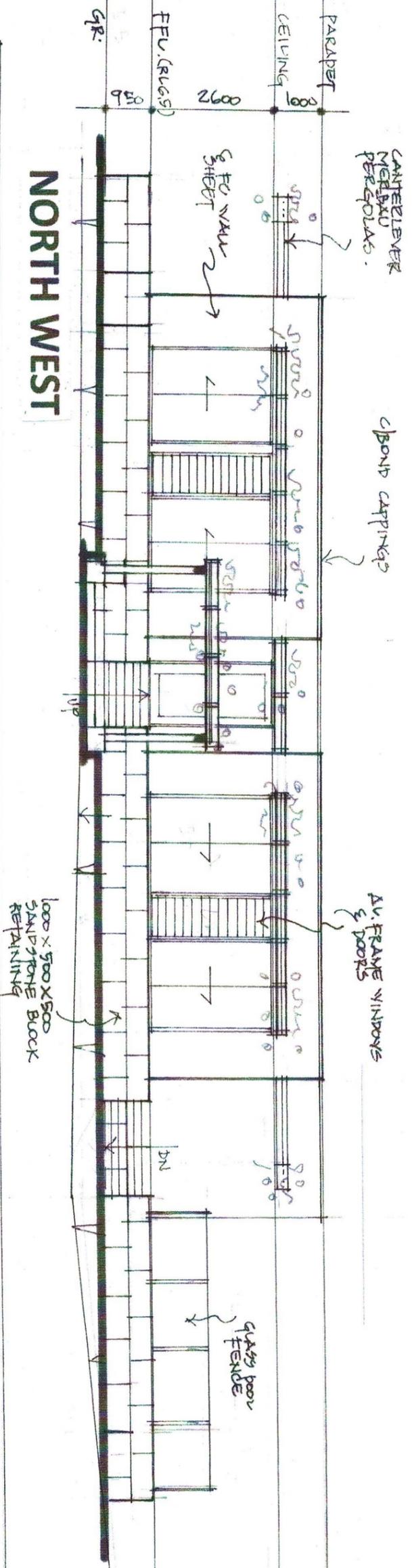
DRIVEWAY



## GENERAL NOTES

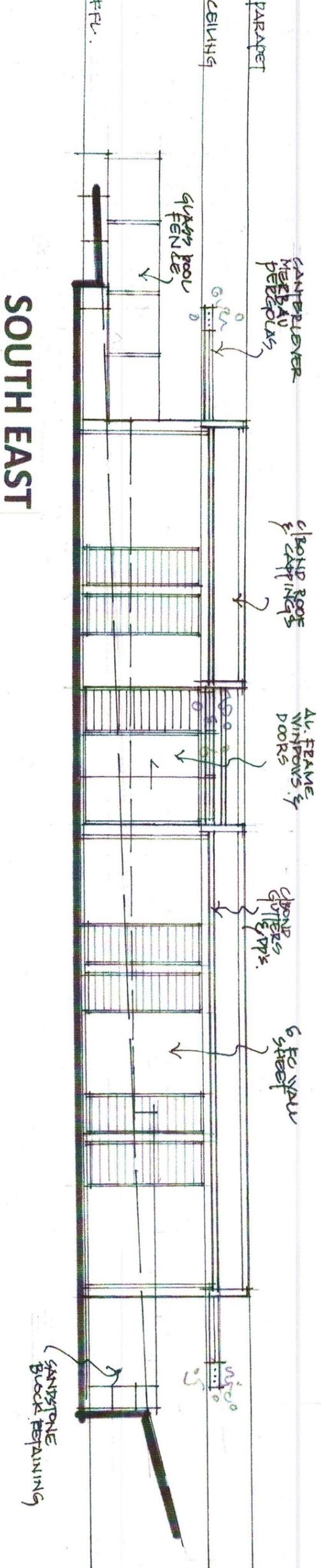
1. DO NOT SCALE OFF DRAWINGS REFER TO DIMENSIONS.
2. DIMENSIONS ARE NOMINAL. SITE CONDITIONS TAKE PRECEDENCE. ALL DIMENSIONS TO BE CHECKED BY THE OWNER PRIOR TO COMMENCEMENT OF WORK. ALL DIMENSIONS REFER TO DESIGNER/DOCUMENTOR & COORDINATION WITH ENGINEER CONSULTANTS COORDINATION.
3. THESE DRAWINGS TO BE READ IN COORDINATION WITH RELEVANT REGULATIONS, COORDINATION WITH ENGINEER CONSULTANTS, RETAINING WALLS, STEEL, ALL FOOTINGS, SLOES, ROOF BRACING AND TIE-DOWN, FRAMING, ROOF BRACING AND TIE-DOWN TO BE DESIGNED AND CERTIFIED BY ENGINEER.
4. ALL DETAILS & SHEET RELEVANT AUSTRALIAN STANDARDS & COMPLY WITH CODE OF AUSTRALIA.
5. THE BUILDING LIVES ARE NOMINAL.
6. ALL FOUNDATIONS & BUILDING SETOUT TO BE APPROVED BY REGISTERED SURVEYOR.
7. THESE DRAWINGS TO BE READ IN COORDINATION WITH THE CERTIFYING AUTHORITY.
8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.

DA-01



**BASIX NOTES**

1. 2 PEAK kW PHOTOVOLTAIC SYSTEM TO BE CONNECTED
2. SHOWERHEADS, TOILETS & ALL TAPS TO BASINS/ SINKS TO 4 STAR RATING.
3. A 5000 LT RAINWATER TANK TO BE INSTALLED COLLECTING RAINWATER FROM 80%2 OF ROOF; & SUPPLY THE COLDWATER TAP LAUNDRY, ALL TOILETS & 1 OUTDOOR TAP.
4. THE SWIMMING POOL WILL HAVE A VOLUME NOT MORE THAN 50M<sup>3</sup> & BE OUTDOORS WITH NO HEATING SYSTEM.
5. THE HOT WATER SYSTEMS TO BE HEAT PUMP, 21.25 STG RATING.
6. THE LIVING AREAS WILL NOT INCORPORATE DUCTING FOR HEATING AND COOLING
7. TWO BATHROOMS TO HAVE MECH VENTING DUCTED, KITCHEN TO HAVE INDIVIDUAL FAN DUCTED WITH MANUAL SWITCH, LAUNDRY TO HAVE ONLY NATURAL VENTILATION.
8. A WINDOW WILL BE INSTALLED IN ALL BATHROOMS & KITCHEN
9. ALL WALLS AND ROOF TO HAVE FOIL BACKED SARKING
10. ALL WINDOWS AND DOORS TO BE ALUMINIUM FRAME WITH SINGLE GLAZING
11. A FIXED OUTDOOR CLOTHES LINE TO BE INSTALLED.
12. ALL REQUIREMENTS ARE REFERRED TO BASIX CERTIFICATE NO. 17462645

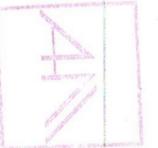


**GENERAL NOTES**

1. DO NOT SCALE OFF DRAWINGS REFER TO DIMENSIONS. DIMENSIONS ARE NOMINAL. SITE CONDITIONS TAKE PRECEDENCE. ALL DIMENSIONS TO BE CHECKED AGAIN VERIFIED ON SITE BY OWNER, BUILDER, TRADESMAN PRIOR TO COMMENCEMENT OF WORK. ALL CONSULTANTS TO DESIGNER, DOCUMENTATION & RECOMMENDATION WITH ENGINEERS DRAWINGS. CONSULTANTS & OTHER RELEVANT CONSULTANTS TO RETAIN WALLS STEEL.
2. ALL FOOTINGS, SLABS, BEAMS, ROOF BRACING AND TIE-DOWN, FRAMING, ASSIGNED AND CERTIFIED BY ENGINEER EXAMINATION TO SPECIFICATIONS (EVEN IF NOT NOTED) TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA.
3. ALL FOUNDATIONS & BUILDING SETOUT TO BE APPROVED BY REGISTERED SURVEYOR.
4. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIX REPORT IF REQUIRED.
5. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY

**PROPOSED NEW DWELLING & POOL**

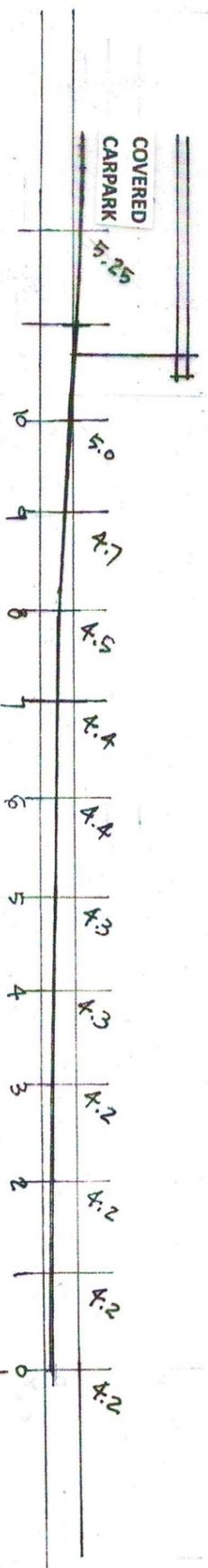
4A YOORANA GLENN - LOT 2 SP 106266 - OCEAN SHORES



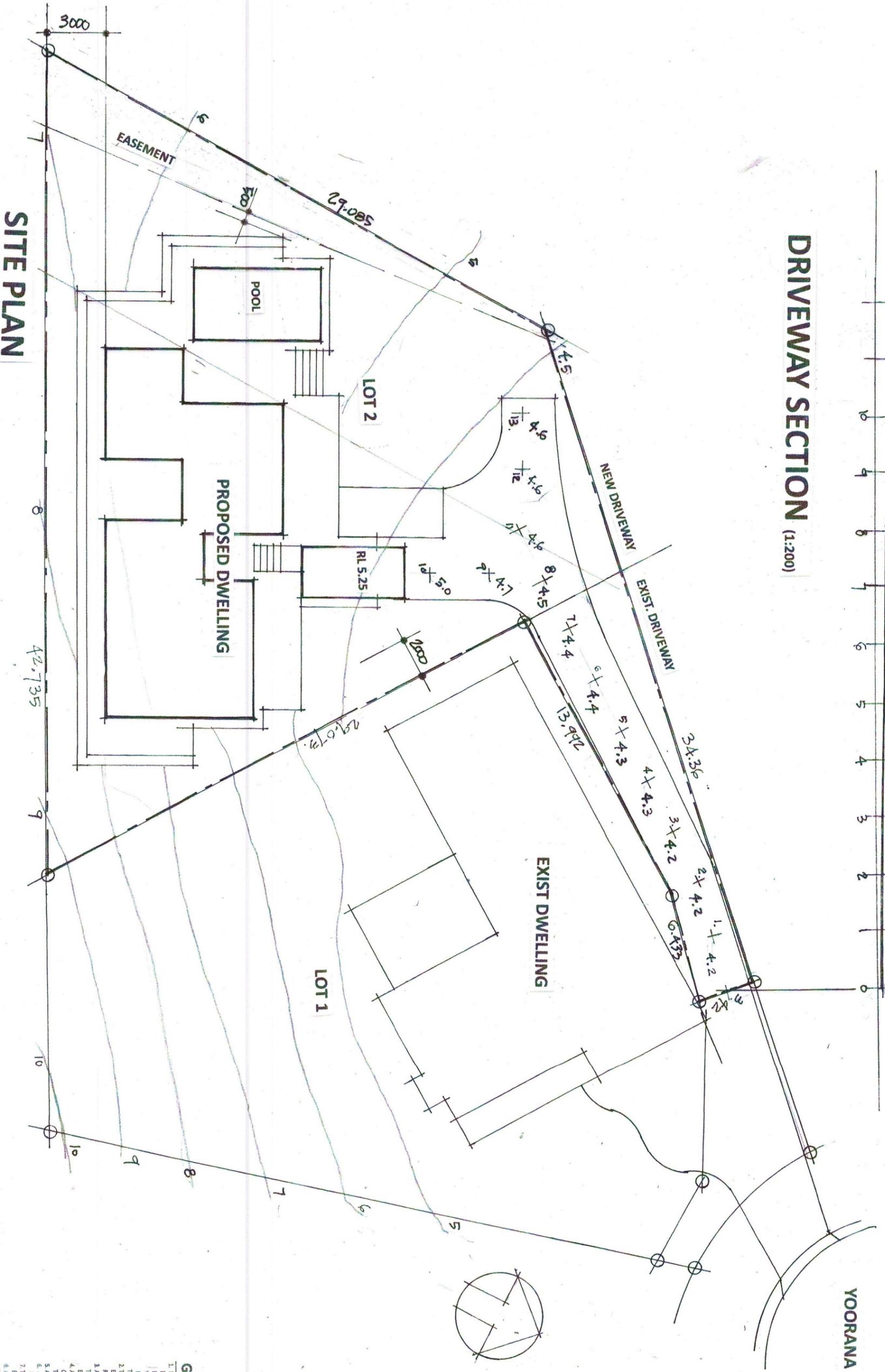
**DA-02**

MAY 2024 1:100(A3) ISSUE: B





**DRIVEWAY SECTION (1:1200)**



**SITE PLAN**

**PROPOSED NEW DWELLING & POOL**

4A YOORANA GLENN - LOT 2 SP 106266 - OCEAN SHORES



YOORANA GLENN

- GENERAL NOTES**
1. DO NOT SCALE OFF DRAWINGS REFER TO DIMENSIONS. DIMENSIONS ARE NOMINAL. SITE CONDITIONS TAKE PRECEDENCE. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON SITE BY OWNER, BUILDER, TRADESPERSON PRIOR TO COMMENCEMENT OF WORK. ALL ANNOTATIONS REFER TO DESIGNER/DOCUMENTOR & RELEVANT CONSULTANT.
  2. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH ENGINEERS DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT CONSULTANTS DOCUMENTATION.
  3. ALL FOOTINGS, SLABS, WALLS, RETAINING WALLS, STEEL, TIE-BAR, FRAMING, BEAMS, ROOF, BRACING AND ELEVATION TO BE DESIGNED AND CERTIFIED BY ENGINEER. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED) TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA.
  5. ALL GROUND LINES ARE NOMINAL.
  6. ALL FOUNDATIONS & BUILDING SETOUT TO BE APPROVED BY REGISTERED SURVEYOR.
  7. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIS REPORT IF REQUIRED.
  8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.

**DA-04**