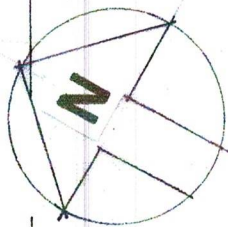


# PROPOSED NEW DWELLING & POOL

- BASIX NOTES**
1. 1 REAR PHOTOVOLTAIC SYSTEM TO BE CONNECTED
  2. SHOWERHEADS, TOILETS & ALL TAPS TO BASINS/SINKS TO 4 STAR RATING.
  3. A 5000 LITRE RAINWATER TANK TO BE INSTALLED COLLECTING RAINWATER FROM 20% OF ROOF & SUPPLY THE COLDWATER TAP LAUNDRY, ALL TOILETS & 1 OUTDOOR TAP WITH NO HEATING SYSTEM.
  4. THE SWIMMING POOL WILL HAVE A VOLUME NOT MORE THAN 50M<sup>3</sup> & BE OUTDOORS
  5. THE HOT WATER SYSTEMS TO BE HEAT PUMP, 2.5 STCS RATING.
  6. THE LIVING AREAS WILL NOT INCORPORATE DUCTING FOR HEATING AND COOLING.
  7. TWO BATHROOMS TO HAVE MECH VENTING DUCTED, KITCHEN TO HAVE NATURAL VENTILATION.
  8. A WINDOW WILL BE INSTALLED IN ALL BATHROOMS & KITCHEN
  9. ALL WALLS AND ROOF TO HAVE FOIL BACKED SANKING
  10. ALL WINDOWS AND DOORS TO BE ALUMINIUM FRAME WITH SINGLE GLAZING
  11. A FIXED OUTDOOR CLOTHES LINE TO BE INSTALLED.
  12. ALL REQUIREMENTS ARE REFERRED TO BASIX CERTIFICATE NO. 17463645

## FLOOR PLAN (PART SITE PLAN)



DRIVEWAY

COVERED  
CARPARK 1

OPEN  
CARPARK 2

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

TERRACE 4

BED 3

BED 2

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TERRACE 1

KITCHEN  
DINING

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TERRACE 4

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BED 3

BED 2

BED 1

COURT

TERRACE 1

KITCHEN  
DINING

MEDIA

LIVING

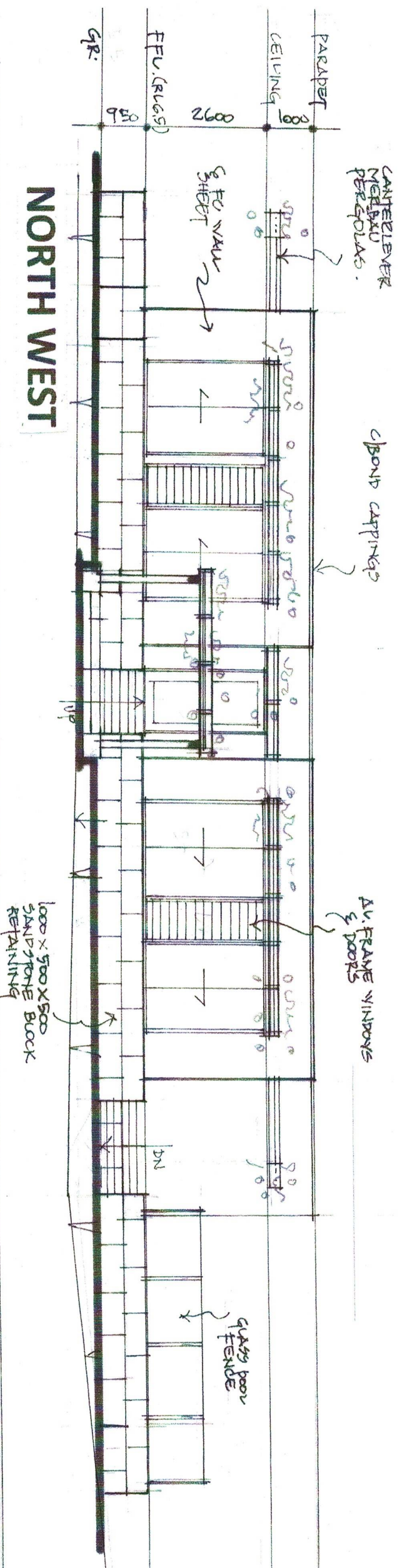
TERRACE 4

BED 3

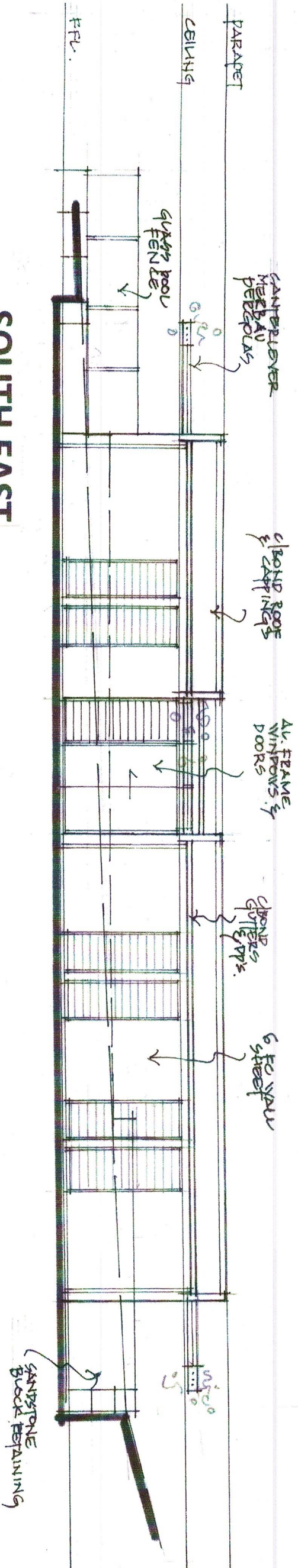
BED 2

BED 1





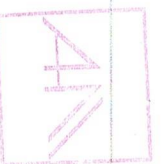
- # BASIX NOTES
1. 2" PEAK LOW PHOTOVOLTAIC SYSTEM TO BE CONNECTED
  2. SHOWERS/HEADS, TOILETS & ALL TAPS TO BASIX, SINKS TO 4.5 GPM RATING.
  3. A 5000 LITRE RAINWATER TANK TO BE INSTALLED COLLECTING RAINWATER FROM ROOF.
  4. THE SWIMMING POOL, WILL HAVE A VOLUME NOT MORE THAN 50M<sup>3</sup> & 1 OUTDOOR TAP OF FLOOR.
  5. THE HOT WATER SYSTEMS TO BE HEAT PUMP 21.25 STG RATING.
  6. THE LIVING AREAS WILL NOT INCORPORATE BURNING FOR HEATING AND COOLING.
  7. TWO BATHROOMS TO HAVE MECH VENTILATING DUCTED, KITCHEN TO HAVE INDIVIDUAL FAN DUCTED WITH MANUAL SWITCH, LAUNDRY TO HAVE ONLY NATURAL VENTILATION.
  8. A WINDOW TO BE INSTALLED IN ALL BATHROOMS & KITCHEN
  9. ALL WALLS AND ROOF TO HAVE POLY BACKED SIKKING
  10. ALL WINDOWS AND DOORS TO BE ALUMINIUM FRAME WITH SINGLE GLAZING
  11. ALL FRESH OUTDOOR CLOTHES LINE TO BE INSTALLED.
- ALL REQUIREMENTS ARE REFERRED TO BASIX CERTIFICATE No. 17462845



- # GENERAL NOTES
1. DO NOT SCALE OFF DRAWINGS SET TO DIMENSIONS. LINE DIMENSIONS ARE INDICATED. SITE CONDITIONS ARE PRECEDENCE. ALL DIMENSIONS TO BE CHECKED AND VERIFIED ON-SITE BEFORE CONSTRUCTION.
  2. PERSONS RESPONSIBLE FOR THE DESIGN OF THE PROJECT ARE REQUIRED TO CO-ORDINATE THE DESIGN OF WORK. ALL ANOMALIES REFER TO DESIGNER/CONSULTANT OR A RELEVANT CONSULTANT.
  3. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH THE DESIGN DRAWINGS, COUNCIL APPROVALS & OTHER RELEVANT DOCUMENTATION.
  4. ALL JOINTS, JOISTS, WALLS, RETAINING WALLS, STEEL, ALUMINIUM, FRAMING, BEAMS, ROOF, BRACING AND EXHAUSTION TO BE DESIGNED AND CERTIFIED BY ENGINEER.
  5. ALL DETAILS & SPECIFICATIONS (EVEN IF NOT NOTED) TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA.
  6. ALL GROUND LINES ARE NOMINAL.
  7. ALL FOUNDATIONS & BUILDING STROUT TO BE APPROVED BY REGISTERED SURVEYOR.
  8. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASTY REPORT IF REQUIRED.
  9. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY.

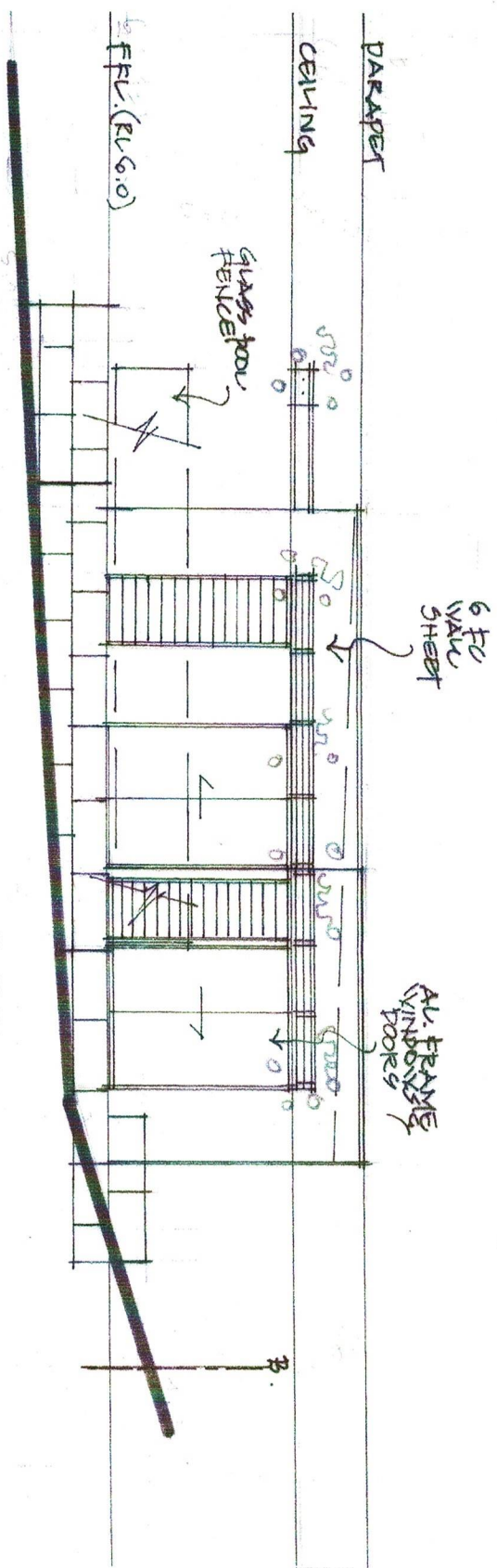
## PROPOSED NEW DWELLING & POOL

4A YOORANA GLENN - LOT 2 SP 106266 - OCEAN SHORES

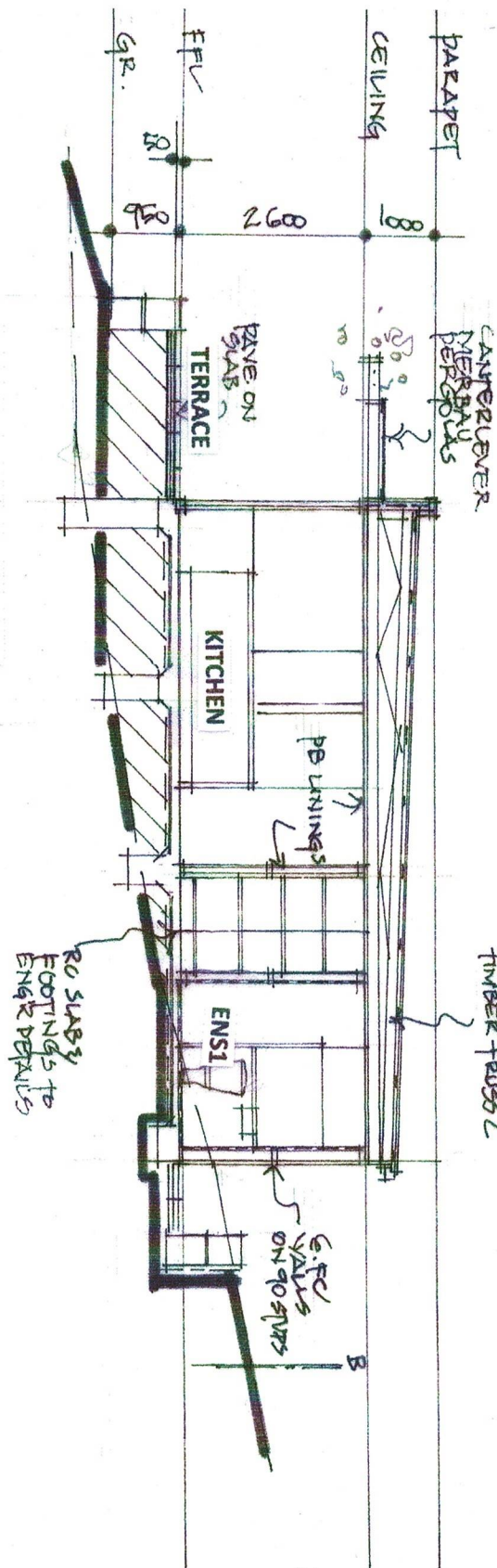


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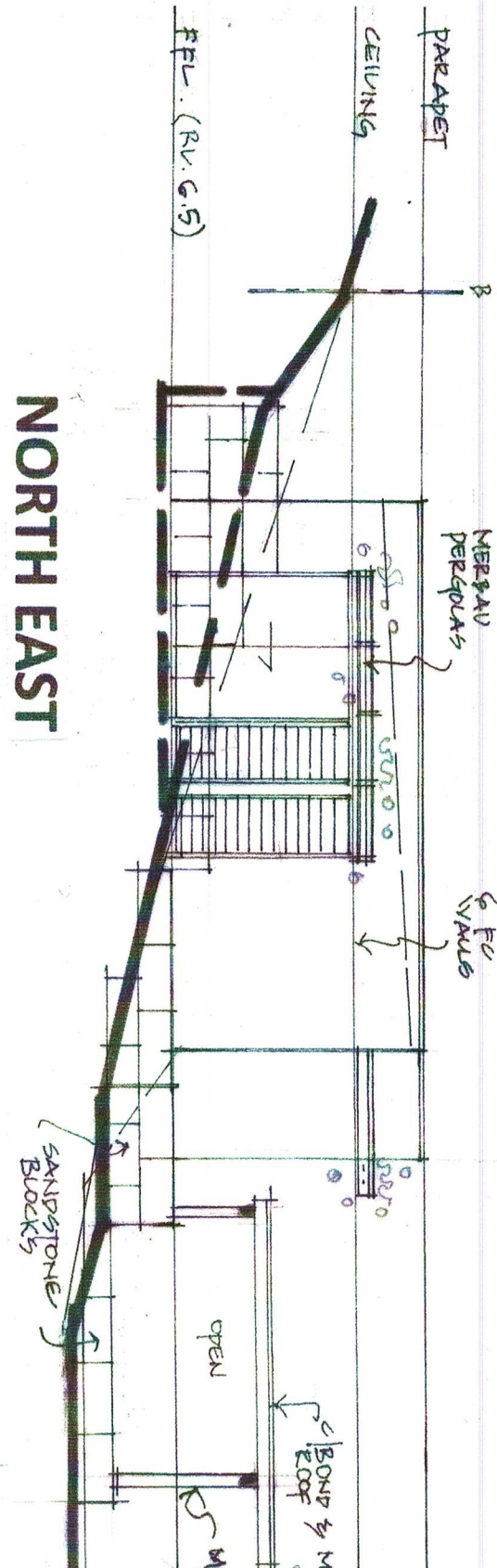




SOUTH WEST



SECTION A-A



NORTH EAST

PROPOSED NEW DWELLING & POOL

4A YOORANA GLENN - LOT 2 SP 106266 - OCEAN SHORES

WINDOW/DOOR SCHEDULE

ISSUE: A

NO	HEIGHT	WIDTH	DESCRIPTION	ORT.	ROOM
W1	2600	800	AL GL LOUVRE	SW	DINING
W2	2600	800	AL GL LOUVRE	SE	BED 1
W3	2600	800	AL GL LOUVRE	SE	ENS 1
W4	2600	800	AL GL LOUVRE	SE	BED 2
W5	2600	800	AL GL LOUVRE	SE	ENS 2
W6	2600	800	AL GL LOUVRE	SE	WIR 3
W7	2600	800	AL GL LOUVRE	SE	BED 3
W8	2600	800	AL GL LOUVRE	NE	MEDIA
D1	2600	1200	AL FR GL PIVOT	NW	ENTRY
D2	2600	2000	AL FR GL SLIDING	NW	KITCHEN
D3	2600	3000	GL LV + AL GL SLIDING	NW	DINING
D4	2600	2000	AL FR GL SLIDING	SW	DINING
D5	2600	3000	GL LV + AL GL SLIDING	SW	BED 1
D6	2600	3000	GL LV + AL GL SLIDING	SE	KITCHEN
D7	2600	3000	GL LV + AL GL SLIDING	SW	BED 2
D8	2600	3000	AL GL SLIDING + GL LV	NW	BED 3
D9	2600	2000	AL FR GL SLIDING	NW	MEDIA
D10	2600	3000	GL LV + AL GL SLIDING	NW	LIVING

NOTE: ALL EXTERNAL OPENINGS TO HAVE INSECT SCREENS. ALL EXTERNAL WINDOWS ARE POWDERCOAT ALUMINIUM FRAME. ALL DOORS TO COMPLY WITH AUSTRALIAN STANDARDS. BAL 29 & BASIC CERTIFICATE CUPD DOORS AS SELECTED. ALL DIMENSIONS & SPECIFICATIONS ARE NOMINAL, ON-SITE DIMENSION TO TAKE PRECEDENCE.

BASIC NOTES

1. 2 REAR KITCHEN PHOTOVOLTAIC SYSTEM TO BE CONNECTED
2. SHOWERHEADS, TOILETS & ALL TAPS TO BE INSTALLED TO A STAR RATING
3. A 5000 LITRE RAINWATER TANK TO BE INSTALLED COLLECTING RAINWATER FROM 80M<sup>2</sup> OF ROOF, & SUPPLY THE COLDWATER TAP, LAUNDRY, ALL TOILETS & 1 OUTDOOR TAP
4. THE SWIMMING POOL WILL HAVE A VOLUME NOT MORE THAN 50M<sup>3</sup> & BE OUTDOORS WITH NO HEATING SYSTEM
5. THE HOT WATER SYSTEMS TO BE HEAT PUMP, 21-25 STC RATING
6. THE LIVING AREAS WILL NOT INCORPORATE DUCTED FOR HEATING AND COOLING
7. TWO BATHROOMS TO HAVE MECH VENTING DUCTED, KITCHEN TO HAVE INDIVIDUAL FAN DUCTED WITH MANUAL SWITCH, LAUNDRY TO HAVE ONLY NATURAL VENTILATION
8. A WINDOW WILL BE INSTALLED IN ALL BATHROOMS & KITCHEN
9. ALL WALLS AND ROOF TO HAVE FOIL BACKED SARKING
10. ALL WINDOWS AND DOORS TO BE ALUMINIUM FRAME WITH SINGLE GLAZING
11. A FIXED OUTDOOR CLOTHES LINE TO BE INSTALLED
12. ALL REQUIREMENTS ARE REFERRED TO BASIC CERTIFICATE NO. 17462645

GENERAL NOTES

1. DO NOT SCALE OFF DRAWINGS REFER TO DIMENSIONS
2. DIMENSIONS ARE NOMINAL, TO BE CHECKED AND PRECEDENCE, ALL DIMENSIONS UNDER TRADESPERSON VERIFIED ON SITE BY OWNER OR WORK, ALL AMENDMENTS REFER TO DESIGNER/DOCUMENTED & RELEVANT CONSULTANT
3. ALL DRAWINGS TO BE CO-ORDINATED WITH RELEVANT CONSULTANTS DOCUMENTATION
4. ALL FOUNDATION BEAMS, ROOF BRACING AND EXISTING TO BE DESIGNED AND CERTIFIED BY ENGINEER
5. ALL OFFSHOTS & SPECIFICATIONS (EVEN IF NOT NOTED TO COMPLY WITH THE RELEVANT AUSTRALIAN STANDARD & THE BUILDING CODE OF AUSTRALIA)
6. ALL BOUNDARIES & BUILDING SETOUT TO BE APPROVED BY REGISTERED SURVEYOR
7. THESE DRAWINGS TO BE READ IN CO-ORDINATION WITH BASIC REPORT IF REQUIRED
8. ALL ALTERATIONS TO THE DRAWINGS TO BE REFERRED TO THE CERTIFYING AUTHORITY

DA-03



