
BUSH FIRE ASSESSMENT REPORT

Development Application to formalise the use of
an existing building as a dwelling and construct alterations
and additions to that dwelling and a new swimming pool

Lot 2 DP 1007622
No. 72 Lawlers Lane, Bangalow

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TOWN PLANNING STUDIO

REVISION A
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Annexures

A Bush Fire Assessment Plans

1.0 Introduction

This Bush Fire Assessment Report has been prepared having regards to the provisions of Clause 45 of the Rural Fires Regulation 2022 in support of a Development Application to Byron Shire Council to formalise the use of an existing dwelling and carry out alterations/additions to that dwelling within the site.

The following sections of this report relate to the matters summarised below:

Section 2 – provides a description of the development site.

Section 3 – provides a summary of the proposed development.

Section 4 – provides details of bush fire hazard mapping.

Section 5 – provides a vegetation and slope assessment.

Section 6 – provides consideration of environmental and Aboriginal heritage.

Section 7 – provides a bush fire assessment of the proposed development having regards to the requirements of Clause 45(2)(g) of the Rural Fires Regulation 2022.

Section 8 – provides consideration of prescribed information.

Section 9 – provides a conclusion to this report.

In addition to these sections, Figures are included throughout the document to provide details of the development and the development site.

Note on the use of this document

This document has been prepared for use by Byron Shire Council and NSW Rural Fire Service for determining a Development Application for carrying out development on the site. The document is to be used to assist in the assessment of a Development Application and is not intended to be used for any other purpose. The information provided within this report cannot and does not guarantee complete protection of the subject property and residents from bush fire activity. The author is not liable for any injury, loss of property or loss of life arising from a bush fire at the subject property. The information provided is based on NSW Planning for Bush Fire Protection 2019. This document is protected by copyright.

2.0 Description of the site

General

The proposed development relates to a single allotment of land that is formally described as Lot 2 in Deposited Plan 1007622. The property is located at No. 72 Lawlers Lane, Bangalow. The allotment has a land area of 36.07 hectares.

The subject lot is irregular in shape with frontage of over 200 metres to Lawlers Lane. The topography of the land falls from the entry at Lawlers Lane towards the centre of the allotment, with the slope also rising to the western boundary.

The site would once have supported grazing, however subsequent camphor laurel infestation and harvesting in 2015 have resulted in weed regrowth dominated by camphor laurel and privet.

Refer to Figures 1 & 2 below showing an extract of the Site Plan for the development. Refer to Figure 3 for a Locality Plan and to Figure 4 for an Aerial Photograph of the Site and Surrounds.

Surrounding Land Uses

The subject land is surrounded by a combination of agricultural, rural lifestyle, and hobby farming lots predominantly improved by residential dwellings. The lots immediately adjoining the development site to the north and west contain established plantations, whereas the numerous adjoining lots to the south and east are generally of a smaller scale more akin to rural lifestyle living.

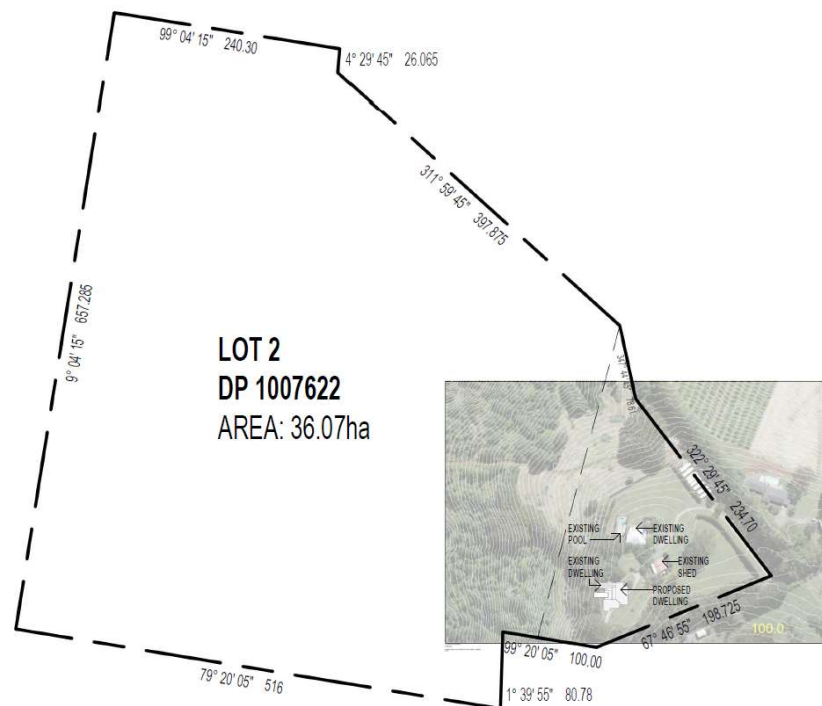


Figure 1 – Extract of Site Plan (Archimages Architecture)



Figure 2 – Extract of Site Plan (Archimagis Architecture)

Improvements and Land Uses

Planning approval was granted for the construction of the existing dwelling and farm shed within the site (Development Consent No. 10.2000.61.1). A Complying Development Certificate was issued for a swimming pool (16.2003.81.1). Construction of these structures within the south-eastern corner of the site has been completed. An existing driveway provides access from Lawlers Lane to existing buildings and the centre of the allotment.

Development Application No. 10.2022.36.1 was granted consent on 8 June 2023 for a Tourist and Visitor Accommodation development comprising of 6 Holiday Cabins and Associated Works. This consent is yet to be commenced.

Portions of the eastern side of the property have been cleared of vegetation and the landowner is systematically removing established Camphor Laurel trees from the site. Notwithstanding, some regrowth vegetation and remnant native species are spread throughout the remaining western half of the property.

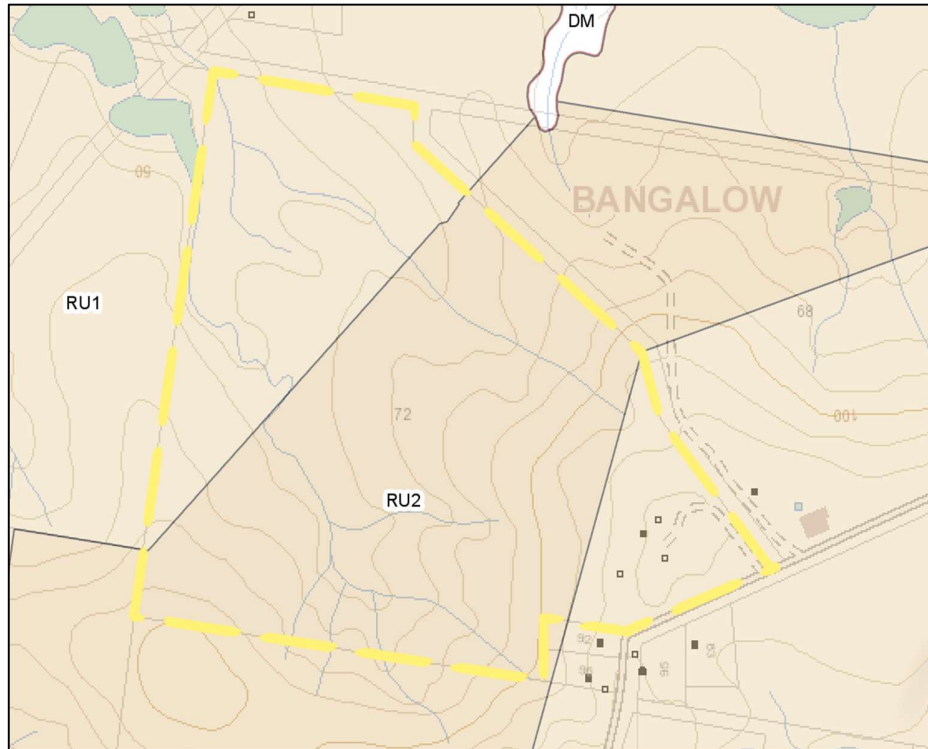
Services

The allotment has access to the following services:

- Water Supply – the property is supplied by tank water and has access to small intermittent streams.
- Sewerage Connection – an on-site effluent disposal system services the existing dwellings within the property.
- Telecommunications – provided to the allotment via NBN/Telstra infrastructure.
- Electricity – accessible from overhead transmission lines administered by Essential Energy.
- Stormwater drainage – all stormwater is dealt with within the site using tanks and the existing drainage lines.
- Waste and Recyclables Collection – available with roadside collection.

Zoning

Approximately half of the subject allotment, including the location of the existing dwellings, is located within the RU1 Primary Production Zone under Byron Local Environmental Plan 2014. The remainder of the property is within the RU2 Rural Landscape zone under Byron Local Environmental Plan 2014.



Constraints

Mapping by NSW Planning and Environment indicates that the property contains bush fire constraints. The land also contains gentle to steep slopes.

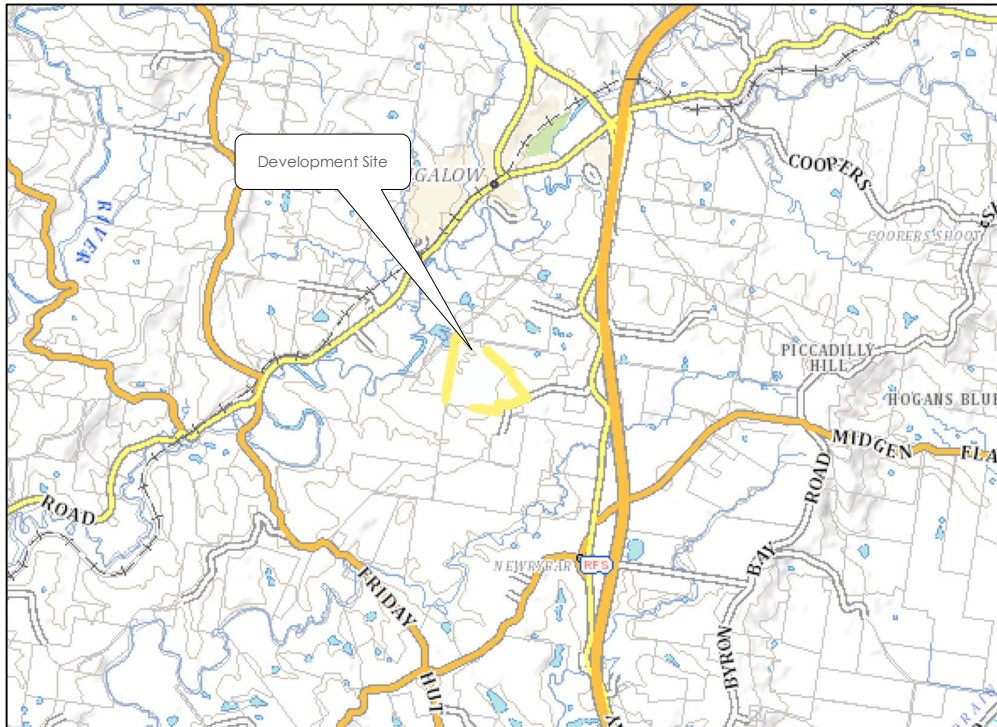


Figure 3 – Locality Plan (NSW LPI)



Figure 4 – Aerial Photograph of Site & Surrounds (Metromap)

3.0 Description of the proposal

Development consent is sought to formalise the use of an existing building within the site as a dwelling and to construct alterations and additions to that dwelling. Evidence has been provided that the existing building is a lawful structure. However, Byron Shire Council's Compliance Department advised that Development Consent was required for its use as a dwelling. Given the resources required to prepare and submit a Development Application to Byron Shire Council, alterations and additions to the existing building and a swimming pool are also proposed.

The proposed development is located within the east of the property, approximately 45 metres to the south of the main dwelling that was approved under Development Consent No. 10.10.2000.61.1. It comprises an existing single level building containing kitchen, bathroom, bedroom, living and laundry facilities. The new additions are proposed over a single level and contain a new kitchen/living/dining area, 3 x bedrooms, 2 x bathrooms and a laundry. Deck areas are proposed on the eastern and western sides of the dwelling. A swimming pool is proposed on the western side of the building site.

Refer to the Annexures of this Town Planning Report for a full set of plans prepared by Archimages Architecture. These show the dwelling constructed over a post and bearer floor with timber framed walls and a pitched roof. A mix of materials are proposed as detailed within the accompanying BASIX Certificate.

The Development Application is supported by a Bush Fire Assessment. An on-site wastewater feasibility assessment for the property has been prepared by Greg Alderson & Associates and is provided within the Annexures of this Town Planning Report. Note that this feasibility assessment was prepared to accommodate 12 x holiday cabins within the site. However, only 6 x holiday cabins were granted consent by Byron Shire Council. Therefore, sufficient capacity is provided for the proposed dwelling to connect. A separate application will be submitted under Section 68 of the Local Government Act 1993 for a detailed effluent disposal design that accommodates the proposed dwelling and 6 x holiday cabins.



Your 10/50 search result

You have conducted a search of the 10/50 online tool for the land identified in the map above. This search result is valid for the date the search was conducted.

Please retain a copy of this search result for your records as evidence the 10/50 rules were applicable to your clearing on the day you undertook the clearing.



The parcel of land you have selected is located in a designated 10/50 vegetation entitlement clearing area. You must read the [10/50 Code of Practice](#) carefully to ensure that you are only clearing in accordance with the 10/50 Code. For more information see our [frequently asked questions](#).

You may only clear vegetation in accordance with the 10/50 Code, including (but not limited to the following conditions):

- › You may not remove trees (or prune more than 25% of the original canopy) on slopes greater than 18 degrees except in accordance with conditions identified in a Geotechnical Engineer Assessment Report undertaken for that purpose.
- › Mangroves and salt marsh may not be cleared. For more information refer to the Department of Primary Industries fact sheets on [Mangroves](#) and [Coastal saltmarsh](#).
- › The clearing of vegetation including trees is not allowed within 10 metres of a river that is 2 metres or more in width between the highest opposite banks, or within 10 metres of a lake. Lake and river are as defined in the 10/50 Code.
- › Clearing under this 10/50 Code cannot be inconsistent with any of the legal obligations identified under Clause 7.8 of the 10/50 Code.
- › Herbicides may only be used in accordance with the conditions under Clause 7.4 of the 10/50 Code.
- › Landowners have a duty of care to avoid cruelty and harm to native, introduced or domestic animals when clearing trees and vegetation in accordance with the 10/50 Code. It is important that landowners are aware that clearing of trees and vegetation under the 10/50 Code can result in harm to native animals and loss of their natural habitat. Landowners who clear trees and vegetation under the 10/50 Code are not exempt from prosecution under the [National Parks and Wildlife Act 1974](#) for harm to protected fauna, or for deliberate cruelty to animals under the [Prevention of Cruelty to Animals Act 1979](#). Operating in accordance with the 10/50 Code does not absolve the landowner from their responsibility for avoiding harm to protected fauna or deliberate cruelty to animals. Note: 'protected fauna' is as defined in the [National Parks and Wildlife Act 1974](#).
- › If you witness any displaced, orphaned or injured wildlife you should contact the Office of Environment and Heritage, or licensed fauna rehabilitation group for assistance. Visit the [Office of Environment and Heritage](#) for further advice and the full list of licensed providers.
- › Landowners have a duty of care in the appropriate management of soil erosion and landslip risks when clearing trees and vegetation under the 10/50 Code. Landowners who clear trees and vegetation under the 10/50 Code are not exempt from liability. For example, action may be pursued by a party that suffers as a result of a landslip due to actions taken on your land. It is the responsibility of landowners to seek expert advice in relation to these matters. The conditions below have been put in place to assist landowners in the management of vegetation but operating in accordance with these conditions does not absolve the landowner from their responsibility for landslip and erosion issues. To manage soil erosion and landslip risks:
 - › there is to be no disturbance of the soil,
 - › vegetation must not be removed below the soil surface
 - › all topsoil must remain on the soil surface,
 - › retain a protective ground cover on the soil surface, and
 - › the use of graders, ploughs, bulldozers (or other types of heavy machinery that are designed to break the soil surface such as excavators) to clear land under this 10/50 Code is not permitted.

Figure 7 – Results from 10/50 entitlement clearing area search

4.0 Bush fire hazard mapping

Figure 8 below shows the Bush Fire Hazard Mapping that applied to the site when the Development Application for holiday cabins was submitted to Byron Shire Council on 14 February 2022. Byron Shire Council issued an updated Bush Fire Hazard Map in mid 2022. The new mapping is shown in Figure 9 below.

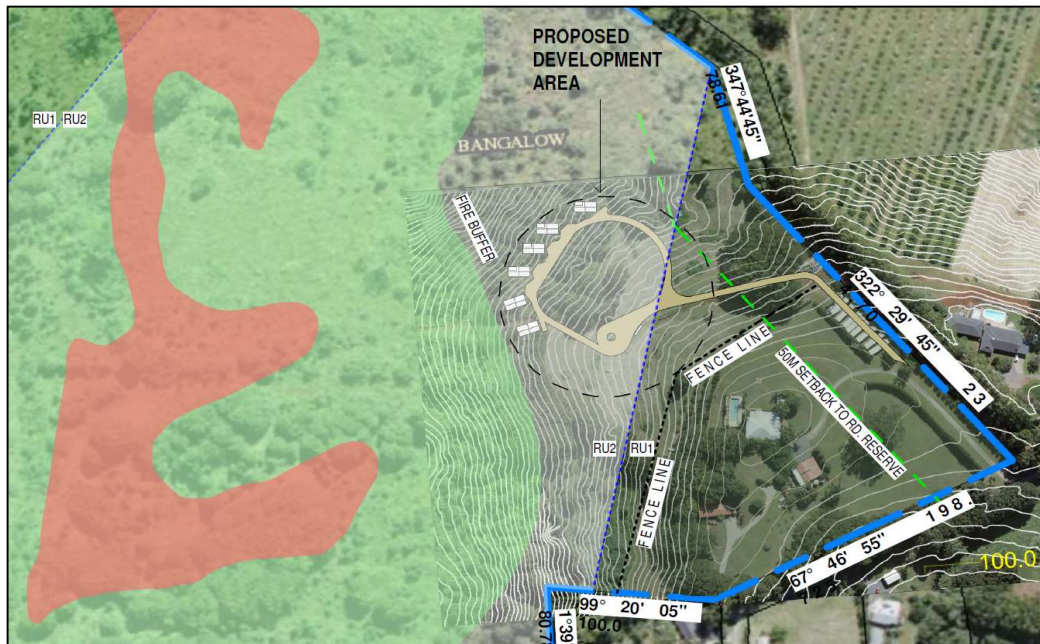


Figure 8 – Original Bush Fire Hazard Mapping (Archimages & NSW Planning).

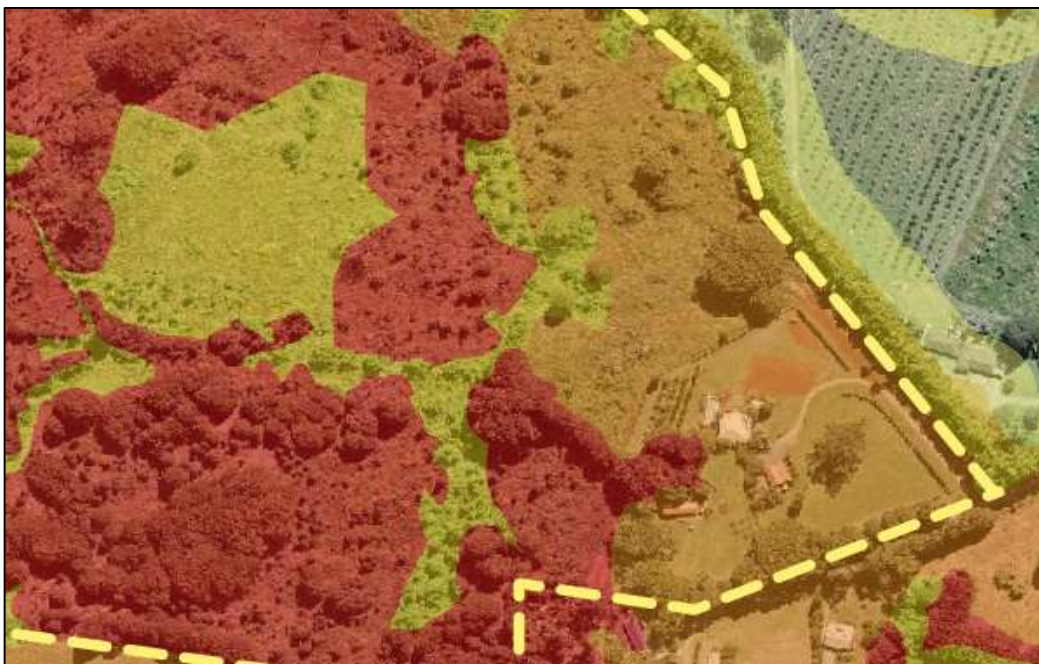


Figure 9 – Revised Bush Fire Hazard Mapping (NSW Planning & Environment).

5.0 Vegetation, slope and BAL assessment

An inspection of the site and surrounding area was carried out on 24 May 2024. Vegetation and hazard assessment plans are provided within Annexure A of this Report. The information collected on these plans are summarised in Table A below. This table provides an assessment of the vegetation surrounding the property and the effective slope of such vegetation.

Note that the vegetation was assessed in accordance with the system for classification of vegetation contained in Planning for Bush Fire Protection 2019.

The BAL for the development has been determined using Table A1.12.6 of Planning for Bush Fire Protection 2019.

Direction	Distance	Effective Slope	Category	FDI	BAL
North	0m – 100m	0 – 5° Down Slope	Managed Land	80	Nil
East	0m – 100m	0 – 5° Down Slope	Managed Land	80	Nil
South	0m – 100m	Upslope	Managed Land	80	Nil
West	0m – 35m	10 – 15° Down Slope	Managed Land	80	Nil
West	35m – 75m	10 – 15° Down Slope	Grassland	80	12.5
West	75m – 100m	10 – 15° Down Slope	Rainforest (camphor)	80	12.5

6.0 Environmental and Aboriginal heritage assessment

6.1 Significant environmental features on the property

The site comprises a rural allotment. The property is within a designated 10/50 clearing entitlement area. The property is not mapped as containing littoral rainforest or coastal wetland vegetation. It is not proposed to impact any significant environmental features as part of the Development Application.

6.2 Threatened species, population or ecological community

The site has previously been cleared for rural and residential uses. The property does not contain any known threatened species, population or ecological community under the Threatened Species Conservation Act 1995.

6.3 Aboriginal heritage

A search through the Aboriginal Heritage Information Management System found that no Aboriginal sites and no Aboriginal places are located within or near the site.

7.0 Bush fire assessment considerations

7.1 Setbacks and asset protection zones

Table A this report provide a summary of the setbacks of surrounding bush fire hazards and managed land to the development site. The information contained in Table A was compiled following an inspection of the site and a review of aerial photography. In this case, managed land is considered to be an asset protection zone for the proposed development. Table A1.12.1 of Planning for Bush Fire Protection 2019 includes the following minimum distances for Asset Protection Zones for Special Fire Protection Purpose developments:

Table A1.12.3

Minimum distances for APZs – residential development, FFDI 80 areas ($\leq 29\text{kW/m}^2$, 1090K)

KEITH VEGETATION FORMATION	EFFECTIVE SLOPE				
	Up slopes and flat	>0°-5°	>5°-10°	>10°-15°	>15°-20°
	Distance (m) from the asset to the predominant vegetation formation				
Rainforest	9	12	15	20	25
Forest (wet and dry sclerophyll) including Coastal Swamp Forest, Pine Plantations and Sub-Alpine Woodland	20	25	31	39	48
Grassy and Semi-Arid Woodland (including Mallee)	11	13	17	21	27
Forested Wetland (excluding Coastal Swamp Forest)	8	10	13	17	22
Tall Heath	16	18	20	22	25
Short Heath	9	10	12	13	15
Arid-Shrublands (acacia and chenopod)	6	7	8	9	10
Freshwater Wetlands	5	6	6	7	8
Grassland	10	11	12	14	16

The proposed dwelling is positioned within the property to generally achieve the minimum Asset Protection Zone distances prescribed above. It is recommended that some minor camphor laurel pruning and removal works are undertaken in order to meet these minimum setbacks.

7.2 Siting and adequacy of water supplies for fire fighting

The subject property is not connected to a reticulated water supply. Dedicated water tanks are proposed to be provided for firefighting purposes. A total of 20,000 litres is required for the proposed dwelling. Refer to the attached plans for siting details.

7.3 Capacity of public roads in the vicinity to handle increased volumes of traffic in the event of a bush fire emergency

An inspection of the site confirmed that the carriageway width of Lawlers Lane is at least 4 metres. Lawlers Lane provides for two-way traffic with sufficient overhead clearance. The rural road network provides sufficient road widths to handle increased traffic volumes in the event of a bush fire emergency.

7.4 Details on whether or not public roads in the vicinity that link with the fire trail network have two-way access

All surrounding public roads have two-way access. No fire trails are located within the vicinity of the site.

7.5 Adequacy of arrangements for access to and egress from the development site for the purposes of an emergency response

The property has direct access to Lawlers Lane which links to Hinterland Way. The existing driveway will be extended to allow fire fighting personnel to access the site. The dwelling is not located more than 200 metres from a public road. Recommendations are provided within the conclusion of this document to specify the requirements for internal driveway construction to meet Planning for Bush Fire Protection 2019.

7.6 Adequacy of bush fire maintenance plans and fire emergency procedures for the development site

It is anticipated that as a condition of approval the landowner will be required to prepare a bush fire maintenance plan and fire emergency procedures in accordance with the requirements of NSW Rural Fire Service.

7.7 Construction standards to be used for building elements in the development

Table A of this report indicate that construction standards under AS 3959 of BAL 12.5 are applicable to the proposed development.

7.8 Adequacy of sprinkler systems and other fire protection measures to be incorporated into the development

The proposal does not require sprinkler systems or additional fire protection measures other than those discussed above.

7.9 Assessment of the extent to which the proposed development conforms with or deviates from the standards, specific objectives and performance criteria set out within Performance Based Controls of Planning for Bush Fire Protection

The proposed development is considered to be infill development under Planning for Bush Fire Protection 2019.

The principles and criteria associated with infill development in bush fire prone areas is set out within Chapter 7 of Planning for Bush Fire Protection 2019. The Performance Criteria and Acceptable Solutions from Chapter 7 that are applicable to the proposed development are considered in Table B below.

Table B – Performance Criteria Chapter 7 of Planning for Bush Fire protection 2019		
Performance Criteria	Acceptable Solutions	Comment
ASSET PROTECTION ZONES		
Potential building footprints must not be exposed to radiant heat levels exceeding 29 kW/m ² on each proposed lot.	APZs are provided in accordance with Tables A1.12.2 and A1.12.3 based on the FFDI.	Table A provides details of managed land surrounding the site which acts as an asset protection zone in accordance with Table A1.12.3 of PfBFP.
APZs are managed and maintained to prevent the spread of a fire towards the building.	APZs are managed in accordance with the requirements of Appendix 4.	This requirement is recommended as a condition of consent.
The APZs is provided in perpetuity.	APZs are wholly within the	The proposed APZs meet this requirement with the exception of managed

	boundaries of the development site.	land on adjacent properties which are deemed to be an APZ.
APZ maintenance is practical, soil stability is not compromised and the potential for crown fires is minimised.	APZs are located on lands with a slope less than 18 degrees.	The proposed APZs meet this requirement.
ACCESS		
Firefighting vehicles are provided with safe, all-weather access to structures.	Property access roads are two-wheel drive, all-weather roads;	Lawlers Lane and the proposed internal access driveway satisfactorily meet this requirement.
The capacity of access roads is adequate for firefighting vehicles.	The capacity of perimeter and non-perimeter road surfaces and any bridges/causeways is sufficient to carry fully loaded firefighting vehicles (up to 23 tonnes); bridges/causeways are to clearly indicate load rating.	The existing public roadways and proposed access driveway meet this requirement.
There is appropriate access to water supply.	Hydrants are provided in accordance with the relevant clauses of AS 2419.1:2005; There is suitable access for a Category 1 fire appliance to within 4m of the static water supply where no reticulated supply is available.	The plans provided within the Annexures of this Bush Fire Assessment Report show the location of a proposed dedicated water supply.
Firefighting vehicles can access the dwelling and exit the property safely.	At least one alternative property access road is provided for individual dwellings	The proposed dwelling is not located more than 200 metres from a public road. A Type C Turning Bay will be required

	<p>or groups of dwellings that are located more than 200 metres from a public through road; There are no specific access requirements in an urban area where an unobstructed path (no greater than 70m) is provided between the most distant external part of the proposed dwelling and the nearest part of the public access road (where the road speed limit is not greater than 70kph) that supports the operational use of emergency firefighting vehicles. In circumstances where this cannot occur, the following requirements apply: minimum 4m carriageway width; in forest, woodland and heath situations, rural property roads have passing bays every 200m that are 20m long by 2m wide, making a minimum trafficable width of 6m, at the passing bay; a minimum vertical clearance of 4m to any overhanging obstructions, including tree branches; property access must</p>	<p>adjacent to the dwelling.</p> <p>Conditions of consent are recommended to meet these controls.</p>
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	<p>provide a suitable turning area in accordance with Appendix 3; curves have a minimum inner radius of 6m and are minimal in number to allow for rapid access and egress; the minimum distance between inner and outer curves is 6m; the crossfall is not more than 10 degrees; maximum grades for sealed roads do not exceed 15 degrees and not more than 10 degrees for unsealed roads; and a development comprising more than three dwellings has formalised access by dedication of a road and not by right of way.</p> <p>Note: Some short constrictions in the access may be accepted where they are not less than 3.5m wide, extend for no more than 30m and where the obstruction cannot be reasonably avoided or removed. The gradients applicable to public roads also apply to community style development</p>	
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	property access roads in addition to the above.	
WATER SUPPLIES		
Adequate water supplies are provided for firefighting purposes.	Reticulated water is to be provided to the development, where available; and a static water supply is provided where no reticulated water is available.	A static water supply is proposed within the site.
Water supplies are located at regular intervals; and the water supply is accessible and reliable for firefighting operations.	Fire hydrant spacing, design and sizing comply with the relevant clauses of AS 2419.1:2005; hydrants are not located within any road carriageway; and reticulated water supply to urban subdivisions uses a ring main system for areas with perimeter roads.	N/A
Flows and pressure are appropriate.	Fire hydrant flows and pressures comply with the relevant clauses of AS 2419.1:2005.	N/A
The integrity of the water supply is maintained.	All above-ground water service pipes external to the building are metal, including and up to any taps.	The integrity of the static supply will be maintained by the landowners.
A static water supply is provided for firefighting purposes in areas where reticulated water is not available.	Where no reticulated water supply is available, water for firefighting purposes is provided in	A condition of consent is recommended to meet these requirements.

	<p>accordance with Table 5.3d; a connection for firefighting purposes is located within the IPA or non-hazard side and away from the structure; 65mm Storz outlet with a ball valve is fitted to the outlet; ball valve and pipes are adequate for water flow and are metal; supply pipes from tank to ball valve have the same bore size to ensure flow volume; underground tanks have an access hole of 200mm to allow tankers to refill direct from the tank; a hardened ground surface for truck access is supplied within 4m; above-ground tanks are manufactured from concrete or metal; raised tanks have their stands constructed from non-combustible material or bush fire-resisting timber (see Appendix F of AS 3959); unobstructed access can be provided at all times; underground tanks are clearly marked; tanks on the hazard side of a building are provided with adequate shielding</p>	
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	for the protection of firefighters; all exposed water pipes external to the building are metal, including any fittings; where pumps are provided, they are a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack; any hose and reel for firefighting connected to the pump shall be 19mm internal diameter; and fire hose reels are constructed in accordance with AS/NZS 1221:1997, and installed in accordance with the relevant clauses of AS 2441:2005.	
ELECTRICITY SERVICES		
Location of electricity services limits the possibility of ignition of surrounding bush land or the fabric of buildings.	Where practicable, electrical transmission lines are underground; and where overhead, electrical transmission lines are proposed as follows: lines are installed with short pole spacing (30m), unless crossing gullies, gorges or riparian areas; and no part of a tree is closer to a power line than the distance set out in	The existing dwelling is serviced with an underground supply from an existing overhead line.

	accordance with the specifications in <i>ISSC3 Guideline for Managing Vegetation Near Power Lines</i> .	
GAS SERVICES		
Location and design of gas services will not lead to ignition of surrounding bushland or the fabric of buildings.	Reticulated or bottled gas is installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used; all fixed gas cylinders are kept clear of all flammable materials to a distance of 10m and shielded on the hazard side; connections to and from gas cylinders are metal; polymer-sheathed flexible gas supply lines are not used; and above-ground gas service pipes are metal, including and up to any outlets.	These requirements are recommended as a condition of consent.
CONSTRUCTION STANDARDS		
The proposed building can withstand bush fire attack in the form of embers, radiant heat and flame contact.	BAL is determined in accordance with Tables A1.12.5 to A1.12.7; and construction	Refer to Table A. It is recommended that the dwelling be constructed to BAL 12.5 under AS 3959.

	provided in accordance with the NCC and as modified by section 7.5 (please see advice on construction in the flame zone).	
Proposed fences and gates are designed to minimise the spread of bush fire.	Fencing and gates are constructed in accordance with section 7.6.	These requirements are recommended as a condition of consent.
Proposed Class 10a buildings are designed to minimise the spread of bush fire.	Class 10a buildings are constructed in accordance with section 8.3.2.	The positioning of the proposed structures do not facilitate the spread of bush fire.
LANDSCAPING		
Landscaping is designed and managed to minimise flame contact and radiant heat to buildings, and the potential for wind-driven embers to cause ignitions.	Landscaping is in accordance with Appendix 4; and Fencing is constructed in accordance with section 7.6.	These requirements are recommended as a condition of consent.

8.0 Prescribed information

An application for a bush fire safety authority must also be accompanied by the prescribed information if:

- (a) the proposed development is subdivision for the purposes of dwelling houses, dual occupancies or secondary dwellings on property that is in an urban release area, and
- (b) the application specifies that the applicant wishes the Commissioner, when determining the application, to consider whether it would be appropriate for the future erection of the dwelling houses, dual occupancies or secondary dwellings concerned to be excluded from the application of section 79BA of the Environmental Planning and Assessment Act 1979.

The proposal does not include strata subdivision or any Special Fire Protection Purposes. A Bush Fire Safety Authority under Section 100B of the Rural Fires Act 1997 is not required for the proposed development.

9.0 Conclusion & Required Actions

The vegetation mapping provided within the Annexures of this report confirm that the nearest bush fire vegetation is located to the south of the development site. This vegetation is identified as comprising a 'rainforest' classification under Planning for Bush Fire Protection 2019.

The separation distance between the hazard and the development site provides a sufficient asset protection zone to the proposed residential building. Table B of this report confirms that the proposed development can meet the acceptable solutions for each performance criteria outlined within Chapter 7 of Planning for Bush Fire Protection 2019.

In considering the parameters outlined above, the proposed residential development can be supported under Section 4.14 of the Environmental Planning and Assessment Act 1979, subject to the following Required Actions:

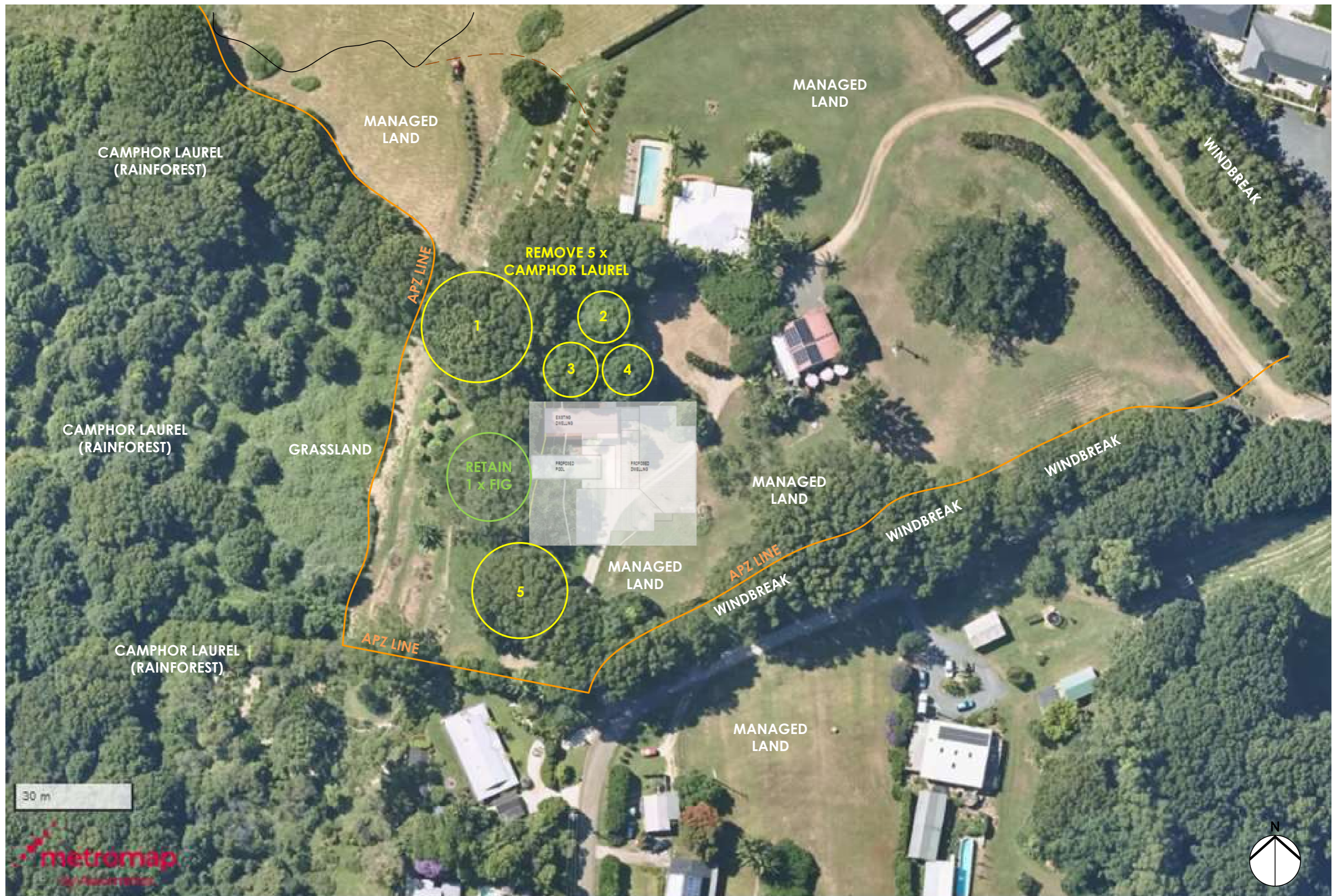
Table C – Required Actions	
Construction Standards applicable to the development	All new external construction works associated with the dwelling must be in accordance with the NCC and (as modified by section 7.5 of Planning for Bush Fire Protection 2019) and must meet Bush Fire Attack Level 12.5 / Sections 3 and 5 of AS 3959-2009.
Maintenance of Asset Protection Zones	All Asset Protection Zones are to be managed in accordance with the requirements of Appendix 4 of Planning for Bush Fire Protection 2019 (available at this link: https://www.rfs.nsw.gov.au/plan-and-

	<u>prepare/building-in-a-bush-fire-area/planning-for-bush-fire-protection</u>).
Reticulated Gas Bottle Storage	<p>Reticulated or bottled gas must be installed and maintained in accordance with AS/NZS 1596:2014 and the requirements of relevant authorities, and metal piping is used.</p> <p>All fixed gas cylinders must be kept clear of all flammable materials to a distance of 10m and shielded on the hazard side.</p> <p>Connections to and from gas cylinders must be metal.</p> <p>Polymer-sheathed flexible gas supply lines must not be used.</p> <p>Above-ground gas service pipes must be metal, including and up to any outlets.</p>
Static water supply	<p>A 20,000L water supply tank dedicated for firefighting purposes is to be provided adjacent to the access driveway.</p> <p>A connection for firefighting purposes is to be located within the IPA or non-hazard side and away from the structure.</p> <p>A 65mm Storz outlet with a ball valve is fitted to the outlet.</p> <p>Ball valve and pipes must be adequate for water flow and are to be of metal construction.</p> <p>Supply pipes from the tank to the ball valve must have the same bore size to ensure flow volume.</p> <p>Raised tanks must have their stands constructed from non-combustible material or bush fire-resisting timber (see Appendix F of AS 3959).</p> <p>Unobstructed access must be provided at all times.</p> <p>Tanks on the hazard side of a building must be provided with adequate shielding for the protection of firefighters.</p> <p>All exposed water pipes external to the building must be metal, including any fittings</p> <p>Where pumps are provided, they must be a minimum 5hp or 3kW petrol or diesel-powered pump, and are shielded against bush fire attack</p> <p>Any hose and reel for firefighting connected to the pump shall be 19mm internal diameter and fire hose reels must be constructed in accordance with AS/NZS 1221:1997, and installed in accordance with the relevant clauses of AS 2441:2005.</p>
Access	The internal driveway is to be maintained in accordance with Chapter A3.3 of Planning for Bush Fire Protection

	2019. A Type C turning bays is to be provided adjacent to the dwelling.
Fencing	Fencing and gates are constructed in accordance with Section 7.6 of Planning for Bush Fire Protection 2019 (available at this link: https://www.rfs.nsw.gov.au/plan-and-prepare/building-in-a-bush-fire-area/planning-for-bush-fire-protection).
Landscaping	Landscaping must be in accordance with Appendix 4 of Planning for Bush Fire Protection 2019 (available at this link: https://www.rfs.nsw.gov.au/plan-and-prepare/building-in-a-bush-fire-area/planning-for-bush-fire-protection).
Bush Fire Maintenance Plan and Fire Emergency Procedures	The landowner must prepare a bush fire maintenance plan and fire emergency procedures in accordance with the requirements of NSW Rural Fire Service (refer to this link: https://www.rfs.nsw.gov.au/plan-and-prepare).

Annexure A

Bush Fire Assessment Plans







KEY



Hazard Category 1



Hazard Category 2



Hazard Category 3



Buffer (100m)







Existing dwelling and adjacent camphor laurel to the north that is to be removed



Grassland and camphor laurel to the west of the dwelling



Managed land on the southern side of the existing dwelling



Managed land to the east of the existing dwelling and camphor laurel windbreak beyond