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Senica
consultancy group



ENERGY EFFICIENCY REPORT

Thermal Comfort Simulation Assessment

Site Address

158 Skinners Shoot Road, SKINNERS SHOOT

Lot and DP

199//755695

Client

Perry Homes

Assessment Date

22/04/2024

File Reference

24040300

Project Certification Summary

Building and Modelling Software Information

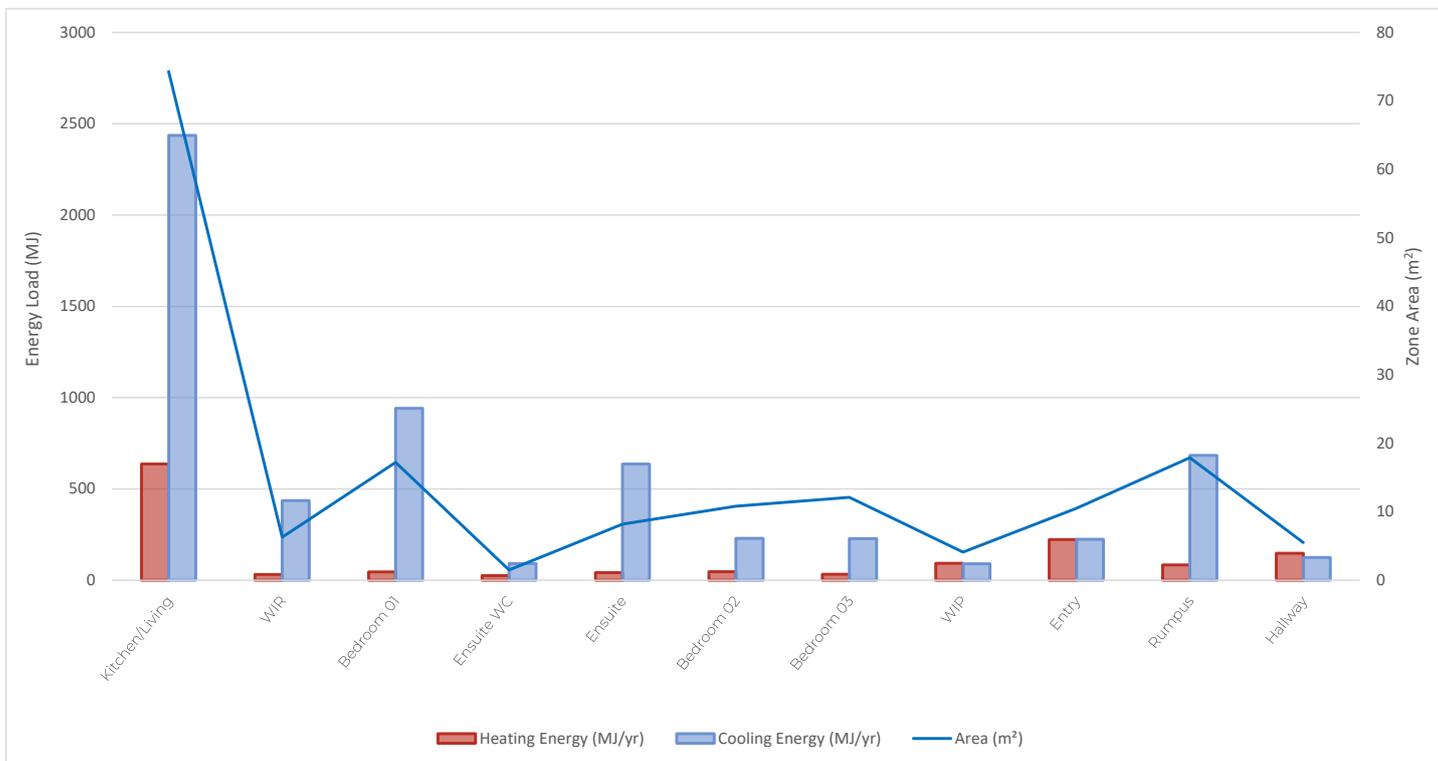
Street Address	158 Skinners Shoot Road	NatHERS Climate Zone	10 - Brisbane AMO
Locality	SKINNERS SHOOT	ABCB Climate Zone:	2
Post Code	2481	NatHERS Zone Longitude / Latitude	Lat: -28.7 , Long: 153.6
Lot / Section / DP	199//755695	Building Classification	Class 1a New House
Site Exposure	Exposed	NatHERS Profile	NatHERS (2022)
Engaged by	Perry Homes	NatHERS Regulatory Mode	TRUE
Plan Name	Aria 28 Classic LH	Client	M. McGrane
Conditioned Area	168.2 m ²	Concrete Slab on Ground	184.4 m ²
Unconditioned Area	16.2 m ²	Suspended Floor (Open)	0.0 m ²
Garage Area	36.0 m ²	Suspended Floor (Enclosed)	0.0 m ²
Total Floor Area	220.4 m ²	Above Garage	0.0 m ²
		Above Habitable Floor	0.0 m ²

Thermal Comfort Modelling Results

Target	(MJ/yr)	(MJ/m ² /yr)	Result	(MJ/yr)	(MJ/m ² /yr)	Pass/Fail	Improvement over Target
Star Rating		n/a	Star Rating		7	n/a	Star Rating
Heating	2019	12	Heating	1377	8.2	Pass	Heating 31.80%
Cooling	9337	55.5	Cooling	5982	35.6	Pass	Cooling 35.93%
TOTAL	n/a	n/a	TOTAL	7359	43.7	n/a	TOTAL n/a

Building Performance Modelling Results

Building Temperature	Temperature Range	Hours in Range (Annually)	Percentage	Degree-Discomfort Hours	Degree-discomfort hours is a measure of the temperature differential between the actual temperature and the hot or cold threshold temperatures. For example if a room had an actual temperature of 32.5 degrees C, and the Hot Threshold was set to 27 degrees C, then the Degree-Discomfort
Hot	27	610	7.0%	845	
Comfortable		7777	88.7%		
Cold	18	372	4.3%	352	
	Peak	Peak Sensible (W)	Peak Latent (W)	Ceiling Fan Electricity	
	(W) (W/m ²)	(W) (W/m ²)	(W) (W/m ²)	(kWh/yr)	
Heating	5900 35				
Cooling	17900 106	11800 70	6100 36	0	



Building Specification

These are the specifications upon which the certified NatHERS assessment is based. Any deviation from these specifications will invalidate the NatHERS certificate and therefore voids compliance of the development with the NCC and the NSW BASIX Protocol. In case of any variation from these specifications contact Senica Consultancy Group to obtain updated NatHERS and BASIX certificates and an updated copy of these specifications.

External and Internal Walls

Construction Type	Insulation	Frame	Colour (Solar Absorptance)
Brick Veneer Stud Wall with Reflective Sarking	R2.50 Fibreglass	TIMB-90x45-600	Medium
Brick Veneer Stud Wall with Reflective Sarking	90mm Refl Air (ϵ 0.05)	TIMB-90x45-600	Medium
Double Brick - 110mm/110mm Exposed	No Insulation	None	Medium

External and Internal Walls

Construction Type	Insulation	Frame	Adjacency
Internal Plasterboard Stud Wall	90mm Non-Refl Air (ϵ 0.82)	TIMB-90x45-600	Internal
Internal Plasterboard Stud Wall	R2.00 Fibreglass	TIMB-90x45-600	Garage

Windows and Skylights

Glazing Type	Frame and Glazing Description	U-Value	SHGC	Frame Colour
Sliding	Aluminium B SG Clear	6.70	0.70	Medium
Sliding Door	Aluminium B SG Clear	6.70	0.70	Medium

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Note that the NatHERS Technical Notes 2019 allows only a 5% tolerance for the SHGC value however this is overridden by BASIX Thermal Comfort Protocol 2017 to be 10%.

Floors

Construction Type	Insulation	Structure	Adjacency	Covering
Concrete Waffle Pod Slab on Ground (110mm)	R0.62 - 300 mm Waffle Pod Insulation	None	Ground	

Ceilings and Roof

Description	Ceiling Insulation	Roof Insulation	Framing	Colour (Solar Absorptance)
Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	R5.00 Fibreglass	20mm Non-Refl Air (ϵ 0.82) + 90mm Refl Air (ϵ 0.05)	TIM-140x45-600	Medium
Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	No Insulation	20mm Non-Refl Air (ϵ 0.82) + 90mm Refl Air (ϵ 0.05)		Medium

Electrical Notes

Description	Diameter (mm)	Location	Sealed	Notes
Downlights	100	As per plans	NA	IC Rated
Ceiling Fans	1200	Nil	NA	Nil
Exhaust Fans	250	As per plans	Yes	Nil

Qualifications and Accreditation

Certificate IV in NatHERS Assessment
Residential Building Thermal Performance Course
Diploma in Building Surveying
Accredited Assessor with Design Matters National

Limitations of Report

This report was prepared for the purposes and exclusive use of the stated client to accompany an application to the relevant Council for the specified development application and is not to be used for any other purpose or by any other person or corporation.

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Lighting / Ceiling Penetration Calculations

Artificial Lighting Calculation Allowances

Internal Area of Dwelling House	236.32 m ²	Area Allowance	5.0 W/m ²
		Total	1181.6 Watts
Internal Area of Garage	36.00 m ²	Area Allowance	3.0 W/m ²
		Total	108.0 Watts
External Living Area	15.90 m ²	Area Allowance	4.0 W/m ²
		Total	63.6 Watts

Ceiling Penetration Allowance

Total Insulated Ceiling Area	236.32 m ²	0.5% of insulated ceiling area	1.182 m ²
Total Penetration Area	0.000 m ²		

Clearance required around downlights creates a significant area of uninsulated ceiling, which therefore increases heat loss/gain through the ceiling. Insulation Contact rated downlights help to minimise the area of ceiling penetration and can greatly improve thermal performance of the proposed dwelling house.

Nationwide House Energy Rating Scheme® NatHERS® Certificate No. #HR-GZ6GJS-01

Thermal performance
star rating

Generated on 22 Apr 2024 using Hero 4.0 (Chenath v3.23)

Property

Address 158 Skinners Shoot Road, SKINNERS SHOOT, NSW, 2481
Lot/DP 199//755695
NCC Class* 1a
Floor/all Floors 1 of 1 floors
Type New

Plans

Main Plan Aria 28 Classic LH
Prepared by Perry Homes

Construction and environment

Assessed floor area (m²)*		Exposure Type
Conditioned*	168.2	Exposed
Unconditioned*	16.2	NatHERS climate zone
Total	220.4	10 - Brisbane AMO
Garage	36.0	



Accredited assessor

Name Duncan Hope
Business name Senica Consultancy Group
Email duncan@senica.com.au
Phone +61 280067784
Accreditation No. DMN/14/1658
Assessor Accrediting Organisation DMN
Declaration of interest No Conflict of Interest

NCC Requirements

BCA provisions Volume 2
State/Territory variation Yes

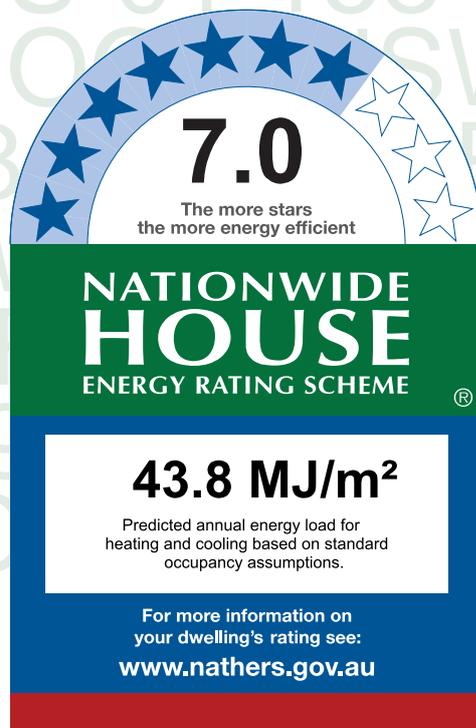
National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J2D2(2)(a) and (3) of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.



Thermal performance (MJ/m²)

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	8.2	35.6
Load limits	12	56

Features determining load limits

Floor type
(lowest conditioned area) CSOG
NCC climate zone 1 or 2 Y
Outdoor living area N
Outdoor living area ceiling fan N

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate.

Verification

To verify this certificate, scan the QR code or visit

<http://www.hero-software.com.au/pdf/HR-GZ6GJS-01>.

When using either link, ensure you are visiting <http://www.hero-software.com.au>



* Refer to glossary.



About the ratings

Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating and Cooling Load Limits

Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABCB Standard: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

Setting options:

Floor type:

- CSOG - Concrete Slab on Ground
- SF - Suspended Floor (or a mixture of CSOG and SF)
- NA - Not Applicable

NCC climate Zone 1 or 2:

- Yes
- No
- NA - Not Applicable

Outdoor living area:

- Yes
- No
- NA - Not Applicable

Outdoor living area ceiling fan:

- Yes
- No
- NA - Not Applicable

Predicted Whole of Home annual impact by appliance

Shows the contribution each appliance has on the home's annual energy use, greenhouse gas emissions and cost without solar.

Energy use:



Greenhouse gas emissions:



Cost:



Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

* Refer to glossary.



Certificate check

The checklist covers important items impacting the dwelling's ratings.

It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and who should check each item.

It is not mandatory to complete this checklist.

Approval stage		Construction stage			
Assessor checked	Consent authority/surveyor checked	Builder checked	Consent authority/surveyor checked	Occupancy/other	

Genuine certificate check

Does this Certificate match the one available at the web address or QR code verification link on the front page?	<input type="checkbox"/>				
Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?	<input type="checkbox"/>				

Thermal performance check

Windows and glazed doors

Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?	<input type="checkbox"/>				
Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?			<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

External walls

Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'External wall type table' on this Certificate?	<input type="checkbox"/>				
Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?	<input type="checkbox"/>				

Floor

Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?	<input type="checkbox"/>				
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Ceiling penetrations*

Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?	<input type="checkbox"/>				
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Ceiling

Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?	<input type="checkbox"/>				
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Roof

Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?	<input type="checkbox"/>				
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Apartment entrance doors (NCC Class 2 assessments only)

Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
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Exposure*

Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".	<input type="checkbox"/>	<input type="checkbox"/>		<input type="checkbox"/>	<input type="checkbox"/>
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Heating and cooling load limits*

Do the load limits settings (shown on page 1) match what is shown on the NatHERS-stamped plans?	<input type="checkbox"/>				
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* Refer to glossary.



Certificate check

Continued

Approval stage		Construction stage		
Assessor checked	Consent authority/surveyor checked	Builder checked	Consent authority/surveyor checked	Occupancy/other

Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

Thermal bridging

Does the dwelling meet the NCC requirement for thermal bridging?

Insulation installation method

Has the insulation been installed according to the NCC requirements?

Building sealing

Does the dwelling meet the NCC requirements for Building Sealing?

Whole of Home performance check (not applicable if a Whole of Home assessment is not conducted)

Appliances

Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate?

Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate?

Additional NCC Requirements for Services (not included in the NatHERS assessment)

Does the lighting meet the artificial lighting requirements specified in the NCC?

Does the hot water system meet the additional requirements specified in the NCC?

Provisional values* check

Have provisional values* been used in the assessment and, if so, are they noted in 'Additional notes' table below?

Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

* Refer to glossary.

Room schedule

Room	Zone Type	Area (m ²)
Kitchen/Living	Kitchen/Living	74.28
WIR	Night Time	6.32
Bedroom 01	Bedroom	17.16
Ensuite WC	Night Time	1.54
Ensuite	Night Time	8.17
Bedroom 02	Bedroom	10.80
Bathroom	Unconditioned	5.40
WC	Unconditioned	1.57
Bedroom 03	Bedroom	12.06
Laundry	Unconditioned	5.32
Garage	Garage	36.01
WIP	Day Time	4.06
Entry	Day Time	10.53
Powder	Unconditioned	3.90
Rumpus	Living	17.85
Hallway	Day Time	5.45

Window and glazed door type and performance

Default* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
ALM-002-01 A	Aluminium B SG Clear	6.70	0.70	0.66	0.73

Custom* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit

* Refer to glossary.



Custom* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
Bathroom	ALM-002-01 A	15.15s	1800	1500	Sliding	45	S	None
Bedroom 01	ALM-002-01 A	21.24s	1800	2400	Sliding	28	W	None
Bedroom 02	ALM-002-01 A	21.12s	1800	1200	Sliding	30	S	None
Bedroom 03	ALM-002-01 A	21.12s	1800	1200	Sliding	30	S	None
Ensuite	ALM-002-01 A	21.18s	1800	1800	Sliding	30	W	None
Ensuite WC	ALM-002-01 A	21.06s	1800	600	Sliding	30	S	None
Kitchen/Living	ALM-002-01 A	24.6228ssd	1800	6228	Sliding Door	30	N	None
Kitchen/Living	ALM-002-01 A	24.3129ssd	1800	3129	Sliding Door	30	W	None
Laundry	ALM-002-01 A	24.1450sd	1800	1450	Sliding Door	45	S	None
Powder	ALM-002-01 A	06.12s	1800	1200	Sliding	45	N	None
Rumpus	ALM-002-01 A	06.18s	600	1800	Sliding	45	E	None
Rumpus	ALM-002-01 A	06.18s	600	1800	Sliding	45	E	None
WC	ALM-002-01 A	12.06s	1800	600	Sliding	45	S	None
WIR	ALM-002-01 A	21.07s	1800	700	Sliding	30	W	None

Roof window type and performance value

Default* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Custom* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit

* Refer to glossary.



Custom* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
None								

Skylight type and performance

Skylight ID	Skylight description
None	

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m ²)	Orientation	Outdoor shade	Diffuser	Shaft Reflectance
None								

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
Entry	2040	1200	90	E
Garage	2400	4840	0	E

External wall type

Wall ID	Wall Type	Solar absorptance	Wall Colour	Bulk insulation (R-value)	Reflective wall wrap*
BV-REFL-CAV-A	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	2.50	Yes
BV-REFL-CAV-B	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	0.00	Yes
DBL-BRICK-110-110-EXP	Double Brick - 110mm/110mm Exposed	0.50	Medium	0.00	No

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
Bathroom	BV-REFL-CAV-A	2730	1801	S	698	No
Bedroom 01	BV-REFL-CAV-A	2730	3631	W	698	Yes
Bedroom 02	BV-REFL-CAV-A	2730	3600	S	698	No

* Refer to glossary.

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
Bedroom 03	BV-REFL-CAV-A	2730	3000	S	698	No
Ensuite	BV-REFL-CAV-A	2730	1608	S	736	No
Ensuite	BV-REFL-CAV-A	2730	3007	W	705	Yes
Ensuite WC	BV-REFL-CAV-A	2730	1624	S	697	No
Entry	BV-REFL-CAV-A	2730	1895	E	3600	Yes
Garage	BV-REFL-CAV-B	2730	6001	S	718	No
Garage	DBL-BRICK-110-110-EXP	2730	6001	E	2560	Yes
Garage	BV-REFL-CAV-B	2730	1080	N	6368	Yes
Kitchen/Living	BV-REFL-CAV-A	2730	10481	N	3701	Yes
Kitchen/Living	BV-REFL-CAV-A	2730	3480	W	5259	Yes
Laundry	BV-REFL-CAV-A	2730	1555	S	698	No
Powder	BV-REFL-CAV-A	2730	1501	N	3701	Yes
Rumpus	BV-REFL-CAV-A	2730	2080	S	8729	Yes
Rumpus	BV-REFL-CAV-A	2730	4930	N	3701	Yes
Rumpus	BV-REFL-CAV-A	2730	3620	E	1520	Yes
WC	BV-REFL-CAV-A	2730	950	S	698	No
WIR	BV-REFL-CAV-A	2730	1408	W	698	Yes
WIR	BV-REFL-CAV-A	2730	4491	N	7181	Yes

Internal wall type

Wall ID	Wall Type	Area (m ²)	Bulk insulation
INT-PB	Internal Plasterboard Stud Wall	151.4	0.00
INT-PB	Internal Plasterboard Stud Wall	28.2	2.00

Floor type

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
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Floor type

Location	Construction	Area (m ²)	Sub-floor ventilation	Added insulation (R-value)	Covering
Bathroom	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	5.4	N/A	0.62	Tile (8mm)
Bedroom 01	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	17.2	N/A	0.62	Carpet
Bedroom 02	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	10.8	N/A	0.62	Carpet
Bedroom 03	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	12.1	N/A	0.62	Carpet
Ensuite	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	8.2	N/A	0.62	Tile (8mm)
Ensuite WC	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	1.5	N/A	0.62	Tile (8mm)
Entry	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	10.5	N/A	0.62	Vinyl
Garage	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	36.0	N/A	0.62	Exposed
Hallway	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	5.5	N/A	0.62	Vinyl
Kitchen/Living	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	74.3	N/A	0.62	Vinyl
Laundry	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	5.3	N/A	0.62	Tile (8mm)
Powder	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	3.9	N/A	0.62	Tile (8mm)
Rumpus	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	17.8	N/A	0.62	Vinyl
WC	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	1.6	N/A	0.62	Tile (8mm)
WIP	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	4.1	N/A	0.62	Vinyl
WIR	WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm)	6.3	N/A	0.62	Carpet

Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
Bathroom	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Bedroom 01	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Bedroom 02	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Bedroom 03	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Ensuite	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes

* Refer to glossary.

Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
Ensuite WC	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Entry	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Garage	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	0.00	Yes
Hallway	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Kitchen/Living	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Laundry	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Powder	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
Rumpus	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
WC	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
WIP	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes
WIR	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	5.00	Yes

Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
Bathroom	1	Downlight	200	Sealed
Bedroom 01	2	Downlight	200	Sealed
Bedroom 02	1	Downlight	200	Sealed
Bedroom 03	1	Downlight	200	Sealed
Ensuite	2	Downlight	200	Sealed
Ensuite WC	1	Downlight	200	Sealed
Entry	1	Downlight	200	Sealed
Hallway	2	Downlight	200	Sealed
Kitchen/Living	9	Downlight	200	Sealed
Kitchen/Living	1	Exhaust Fan	350	Sealed
Laundry	1	Downlight	200	Sealed

* Refer to glossary.



Ceiling penetrations*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
Powder	1	Downlight	200	Sealed
Rumpus	2	Downlight	200	Sealed
WC	1	Downlight	200	Sealed
WIP	1	Downlight	200	Sealed
WIR	2	Downlight	200	Sealed

Ceiling fans

Location	Quantity	Diameter (mm)
None		

Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof Colour
ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	0.00	0.50	Medium

Thermal bridging schedule for steel frame elements

Building element	Steel section dimensions (height x width, mm)	Frame spacing (mm)	Steel thickness (BMT mm)	Thermal Break (R-value)
None				

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Cooling system

Type	Location	Fuel Type	Minimum efficiency / performance	Recommended capacity
No Whole of Home Data				

Heating system

Type	Location	Fuel Type	Minimum efficiency / performance	Recommended capacity
No Whole of Home Data				

Hot water system

Type	Fuel type	Hot Water CER Zone	Minimum efficiency / STC	Assessed daily load [litres]
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* Refer to glossary.



Hot water system

Type	Fuel type	Hot Water CER Zone	Minimum efficiency / STC	Assessed daily load [litres]
No Whole of Home Data				

Pool / spa equipment

Type	Fuel type	Minimum efficiency / performance	Recommended capacity
No Whole of Home Data			

Onsite Renewable Energy *schedule*

Type	Orientatation	Generation Capacity [kW]
No Whole of Home Data		

Battery *schedule*

Type	Storage Capacity [kWh]
No Whole of Home Data	

* Refer to glossary.



Explanatory Notes

About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the homes energy value*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

Glossary

Annual energy load	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
AFRC	Australian Fenestration Rating Council
Assessed floor area	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
Ceiling penetrations	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
Conditioned	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
COP	Coefficient of performance
Custom windows	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
Default windows	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
EER	Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input
Energy use	This is your homes rating without solar or batteries.
Energy value	The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard).
Entrance door	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
Exposure	see exposure categories below
Exposure category - exposed	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
Exposure category - open	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
Exposure category - suburban	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
Exposure category - protected	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
Horizontal shading feature	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
National Construction Code (NCC) Class	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au .
Net zero home	a home that achieves a net zero energy value*.
Opening percentage	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
Provisional value	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au
Recommended capacity	this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person.
Reflective wrap (also known as foil)	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
Roof window	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
Shading features	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
Solar heat gain coefficient (SHGC)	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
Skylight (also known as roof lights)	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
STCs	Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulatory
Thermal breaks	are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick, continuous thermal breaks such as polystyrene insulation sheeting, plastic strips or furring channels.
U-value	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
Unconditioned	a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions
Vertical shading features	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).
Window shading device	a device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies)

* Refer to glossary.

ACOUSTIC TREATMENT REQUIRED - N/A
BUSH FIRE TREATMENT REQUIRED - BAL 12.5

GENERAL NOTES:

- BUILDER/CONTRACTOR NOTE, CHECK AND VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MM. ALL LEVELS ARE TO BE VERIFIED ON SITE.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE NCC VOL. 2-2022, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANT DRAWINGS.
- ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660.1-2014. DURABILITY NOTICE TO BE PLACED IN METER BOX INDICATING TYPE OF BARRIER AND REQ'D PERIODICAL INSPECTIONS AND MAINTENANCE.
- BUILDER/CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE STABILITY OF EXIST. AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL SITE INFORMATION INCLUDING SERVICES AND LEVELS HAVE BEEN TAKEN FROM DISCLOSURE PLAN INFORMATION ONLY AND MUST BE CONFIRMED WITH AN UP-TO-DATE SURVEY AND CHECKED ON SITE PRIOR TO CONSTRUCTION.
- CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT, CONFIRM WITH THE RELEVANT CONSULTANT.
- KEEP NON WALL MOUNTED HWS 100 CLEAR OF WALL.

SPECIFICATION:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

PLUMBING AND DRAINAGE:

- ALL PLUMBING WORKS TO BE CONCEALED.
- ALL PLUMBING WORKS TO COMPLY WITH RELEVANT WATER SAVING TARGETS
- KEEP NON-WALL MOUNTED HWS 100 CLEAR OF WALLS

FOOTINGS AND SLAB:

- FOOTINGS AND SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DETAILS, REFER ENGINEER'S DETAILS FOR SOIL CLASSIFICATION.

BRICK VENEER:

- BRICKWORK SHALL BE STRAIGHT, PLUMB AND LEVEL (AS PER AUSTRALIAN STANDARDS)
- MASONRY WEEPHOLES AT 900 CRS. AS PER NCC VOL. 2-2022 CL. 5.7.5
- BRICK VENEER WALLS TO BE CONSTRUCTED WITH MEDIUM DUTY WALL TIES.
- PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 5.6.5 ABCB OF THE NCC VOL.2-2022.

FRAMING:

- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 6 OF THE NCC VOL.2-2022 AND AS1170.2-2021/AS1684-2021.
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO WALL FRAME.
- FOR ALL CAVITY SLIDING DOORS PROVIDE 90mm TIMBER WALL FRAMES U.N.O.
- NOGGINGS AT 1350mm cts MAXIMUM VERTICALLY

WALL LININGS:

- EXTERIOR LININGS AS NOTED ON DRAWINGS
- INTERIOR LININGS, 10mm FLUSH PLASTERBOARD LININGS TO WALLS AND CEILINGS, WALLS TO WET AREAS TO BE 6mm VILLABOARD (U.N.O.)

WINDOWS AND GLAZING:

- GLASS INSTALLATION TO COMPLY WITH NCC VOL.2-2022 PART 8 AND AS1288-2021/AS2047-2014.
- ALL WINDOWS AND SLIDING DOORS TO BE POWDERCOATED ALUMINIUM UNLESS OTHERWISE NOTED AND FIXED TO MANUFACTURER'S DETAILS AND SPECIFICATIONS
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES
 - (1) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
 - (2) ALL BATHROOMS & ENSUITES
 - (3) FULLY GLAZED DOORS
 - (4) WITHIN 300mm OF A DOOR AND MORE THAN 1200mm ABOVE FLOOR

ROOF FRAMING:

- ROOF PITCH AS INDICATED ON DRAWINGS
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO ROOF TRUSSES.
- PREFABRICATED TIMBER ROOF TRUSSES TO AS4440-2004 SUPPLIED AND FIXED TO MANUFACTURER'S DETAILS AT 600 CRS.
- CEILING BINDERS EVENLY SPACED THROUGHOUT CEILING SPACE
- NO ANTICON UNDER METAL ROOF SHEETING U.N.O.
- MANHOLE POSITION APPROX. ONLY, DETERMINE ON SITE

WATERPROOFING IN WET AREAS:

- WET AREA FLOOR & SHOWER WASTES TO COMPLY WITH THE PROVISIONS OF PART 10.2 H4D2 ABCB OF THE NCC VOL.2-2022 AND AS3740-2021.
- WET AREA FLOOR FALLS TO COMPLY TO HP 10.2.12 PART H4D2 OF THE NCC VOL.2-2022.

ROOF CLADDING:

- SELECTED COLORBOND SHEET ROOF FIXED TO MANUF'S SPECIFICATIONS
- CONCRETE TILE ROOF: ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- COLORBOND FASCIA AND GUTTER SYSTEM, 90 DIA. PVC DOWNPIPES U.N.O.

M:\1080365\Drawings\1080365 DESIGN SIZE RH FACADE CLIENT COUNCIL\1080365 PRELIMINARY PLANS - JHB.jrh

Perry Homes
 49 Mirringal Drive, Tweed Heads South NSW 2486
 ph: 07 5569 9400 fax: 07 5523 2884
 e: admin@perryhomes.com.au
 w: www.perryhomes.com.au
 ABN: 53 090 866 630 NSW Lic. No. 110970C

*THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
 *THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF PERRY HOMES (AUST) P/L.
 *BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.

IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
 Signature: _____ Date: _____
 Signature: _____ Date: _____

M. McGrane
 Lot 199 (No. 158) Skinners Shoot Road
 Skinners Shoot, NSW. 2481
 client details:

Aria 28 Classic LH
 Cover Sheet
 drawing title

issue	date	amendment description	by
A	19.04.24	AMENDED AS PER CHECK	JHB
-	08.04.24	PRELIMINARY ISSUE-AD	QL

PRELIMINARY
 plan issue type
 designed: JD drawn: QL checked: -

10683
 contract number
 issued: 19/04/2024
 printed date:
 as shown
 dwg scale @ A3
1 of 15
 sheets in set

PROPOSED NEW RESIDENCE

at

Lot 199 (No. 158) Skinners Shoot Road Skinners Shoot, NSW. 2481

Aria 28 Classic

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



Artist's impression

Certificate No. #HR-GZ6GJS-01
 Scan QR code or follow website link for rating details.
 Assessor name: Duncan Hope
 Accreditation No.: DMN141658
 Property Address: 158 Skinners Shoot Road, SKINNERS SHOOT, NSW, 2481
 http://www.heri-software.com.au/pdf/HR-GZ6GJS-01

Drawing Index

Dwg #	Drawing Name
1	Cover Sheet
2	Locality Plan
3	Existing Conditions
4	Site Plan
5	Floor Plan
6	Elevations
7	Elevations
8	Electrical Plan
9	Internal Elevations 1
10	Internal Elevations 2
11	Internal Elevations 3
12	Slab Layout Plan
13	Section & Details
14	Cladding Details
15	Tie-Down/Const. Details

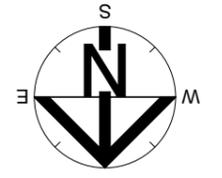
ABBREVIATIONS

A/C	AIR CONDITIONING UNIT
ACT	AL. COVER TRIM BY WINDOW MANUF.
AFL	ABOVE FLOOR LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
B	BATH (AS SPECIFIED)
B'BAR	BREAKFAST BAR OVERHANG
BE	BEAM TO ENG'S DETAIL
BR	BROOM CUPBOARD
CBD	CUPBOARD
CD	CLOTHES DRYER
CH	CEILING HEIGHT
COL	STEEL COLUMN TO ENG'S DETAIL
CONC	CONCRETE
CSD	CAVITY SLIDING DOOR
CT	COOK TOP
DN	DOWN
DP	DOWN PIPE
DR	DRAWERS
DW	DISHWASHER SPACE
ENS	ENSUITE
FC	FIBRE CEMENT
FHT	FULL HEIGHT TILING
FOW	FACE OF WALL SLIDING DOOR
FW	FLOOR WASTE (NOM. TO SUIT REQ'S)
GAS CYL	REPLACEABLE GAS CYLINDERS
H	TILED HOB 150mm ABOVE BATH
HSR	HUME SMARTROBE DOOR SYSTEM
HWS	HOT WATER SYSTEM
LOB	LINE OF BULKHEAD
LOH	LIFT OFF HINGES
MB	METER BOX
MH	MANHOLE ROOF ACCESS
MHF	METAL HEAD FLASHING
MSD	MIRROR SLIDING DOOR
MVSD	1/2 MIRROR & 1/2 VINYL SIDOOR
MW	SPACE FOR MICROWAVE OVEN
NBN	NATIONAL BROADBAND NETWORK
OBS	OBSCURE GLASS
OHC	OVERHEAD CUPBOARDS
PTY	PANTRY
RK	ROBE HOOK
ROBE	WARDROBE
RH	RANGE HOOD
REF	REFRIGERATOR SPACE
RHS	RECT. HOLLOW SECT. STEEL POST
S	SINK
SD	SLIDING GLASS DOOR
S/S	STAINLESS STEEL
SH	SHELVES
SHR	SHOWER
SHS	SQ. HOLLOW SECTION STEEL POST
SHT	SHUTTER
SL	DOOR GLASS SIDE LIGHT
SPR	SPREADER
SR	SOAP RECESS 415Hx415W U.N.O.
T	LAUNDRY TUB
TR	TOWEL RAIL
TRG	TOWEL RING
TSH	TIMBER SHUTTER
UBO	UNDER BENCH OVEN
V	BATHROOM VANITY UNIT
VSD	VINYL SLIDING DOOR
WO	WALL OVEN
WM	WASHING MACHINE SPACE
WIL	WALK-IN LINEN CLOSET
WIR	WALK-IN ROBE
XO	GLASS SLIDING (X), GLASS FIXED (O)
☉	DENOTES WIRED SMOKE DETECTOR

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



IF IN DOUBT - ASK



SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

SEE SHEET 4 FOR 1:200 DETAILS

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

Mark Buckman & Co
Consulting Surveyors
47 Pearl Street
PO BOX 1393
Kingscliff, 2487.
Ph . 02 66 741 891
Mob 0418 665 832
email : mbuckman@bigpond.net.au



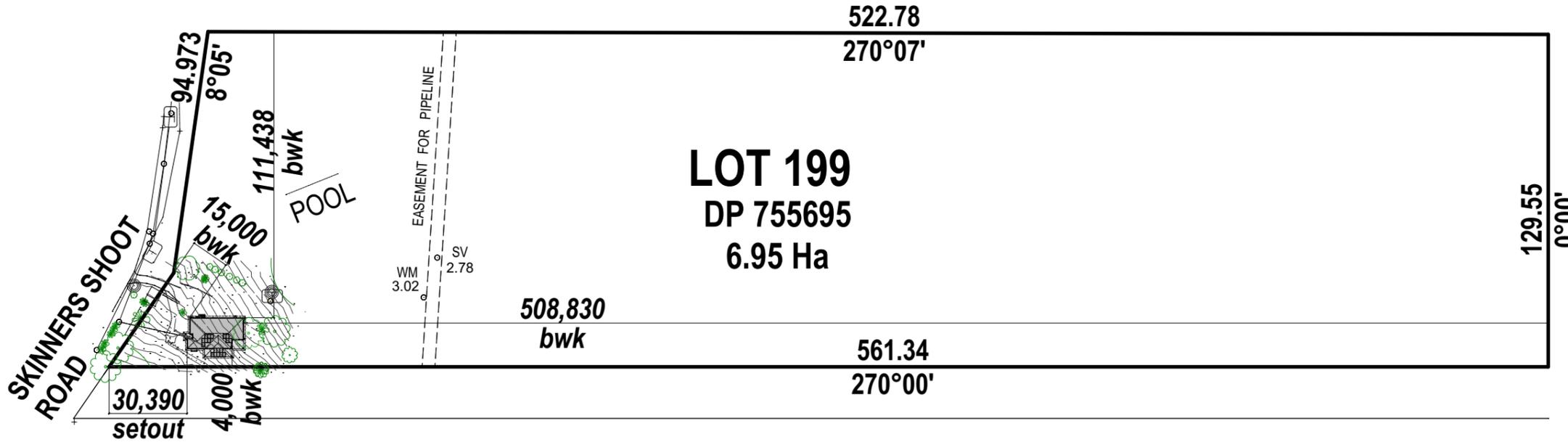
EXISTING TREE TO REMAIN



EXISTING TREE TO BE REMOVED BY OWNER

PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%



LEGEND

	STREET LIGHT		GRATE
	WATER CONNECTION		ELEC PIT
	SEWER CONNECTION		TELSTRA
	STORM WATER CONNECTION		MANHOLE
	STOP VALVE		POWER POLE
	WATER METER		TREE/SHRUB

SERVICES LEGEND

	FIELD GULLY PIT CONNECTED TO STORMWATER LINE APPROX. 6m APART MAX. (7 OFF)
	SEWER LINE
	RAINWATER LINE
	UNDERGROUND ELECTRICAL CONDUIT & SERVICE PILLAR
	EXISTING OVERHEAD ELECTRICAL CABLE & POLE
	WATER RETICULATION LINE & WATER METER
	GAS RETICULATION LINE
	TELSTRA LINE
	SPOON DRAIN
	EARTH BERM
	SEDIMENT FENCE (ON FALL SIDE ONLY)
	LEVEL BUILDING PLATFORM
	RETAINING WALL

Scale 1:200 @A3
2.0 0.0 2.0 4.0 6.0 8.0 10.0

	DENOTES CUT BATTER 1 IN 1.5 TYP.		DENOTES FILL BATTER 1 IN 2 TYP.
--	----------------------------------	--	---------------------------------

Locality Plan

Scale 1:2000

Building Specification			
These are the specifications upon which the certified NatHERS assessment is based. Any deviation from these specifications will invalidate the NatHERS certificate and therefore voids compliance of the development with the NCC and the NSW BASIX Protocol. In case of any variation from these specifications contact Senica Consultancy Group to obtain updated NatHERS and BASIX certificates and an updated copy of these specifications.			
External and Internal Walls			
Construction Type	Insulation	Frame	Colour (Solar Absorbance)
Brick Veneer Stud Wall with Reflective Sarking	R2.50 Fibreglass	TIMB-90x45-600	Medium
Brick Veneer Stud Wall with Reflective Sarking	90mm Dett Air (x 0.05)	TIMB-90x45-600	Medium
Double Brick - 130mm/10mm Exposed	No Insulation	None	Medium
External and Internal Walls			
Construction Type	Insulation	Frame	Adjacency
Internal Plasterboard Stud Wall	90mm Non-Ref Air (x 0.82)	TIMB-90x45-600	Internal
Internal Plasterboard Stud Wall	R2.00 Fibreglass	TIMB-90x45-600	Garage
Windows and Skylights			
Glazing Type	Frame and Glazing Description	U-Value	SHGC
Sliding	Aluminium B SC Clear	6.70	0.70
Sliding Door	Aluminium B SC Clear	6.70	0.70
Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Note that the NatHERS Technical Notes 2019 allows only a 5% tolerance for the SHGC value however this is overridden by BASIX Thermal Comfort Protocol 2017 to be 10%.			
Floors			
Construction Type	Insulation	Structure	Adjacency
Concrete Slab on Formwork (100mm)	R0.62 - 300 mm Waffle Pod Insulation	None	Ground
Ceilings and Roof			
Description	Ceiling Insulation	Roof Insulation	Colour (Solar Absorbance)
VERIFIED R200 Metal Roof (Perry Homes) 1100 x 1100	R5.00 Fibreglass	25mm Non-Ref Air (x 0.05) - 90mm Dett Air (x 0.05)	Medium
Ceiling		25mm Non-Ref Air (x 0.05) - 90mm Dett Air (x 0.05)	Medium
Roofing / Attic Metal Roof (Perry Homes) 6 Flat 18	No Insulation	25mm Non-Ref Air (x 0.05) - 90mm Dett Air (x 0.05)	Medium
Electrical Notes			
Description	Diameter (mm)	Location	Sealed
Downlights	100	As per plans	NA
Ceiling Fans	1200	Nil	NA
Exhaust Fans	250	As per plans	Yes



M11080165 Drafting/01000 DESIGN SIZE/RH FACADE CLIENT/COUNCIL/10883 PRELIMINARY PLANS - JHB.jrh

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 HEAD OFFICE 49 Mirringal Drive, Tweed Heads South NSW 2486 ph: 07 5569 9400 fax: 07 5523 2884 e: admin@perryhomes.com.au w: www.perryhomes.com.au ABN: 53 090 866 630 NSW Lic. No. 110970C	*THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. *THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF PERRY HOMES (AUST) P/L. *BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.	I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT Signature: _____ Date: _____ Signature: _____ Date: _____	M. McGrane Lot 199 (No. 158) Skinners Shoot Road Skinners Shoot, NSW. 2481 client details:	Aria 28 Classic LH Locality Plan drawing title	<table border="1"> <tr> <td>issue</td> <td>date</td> <td>amendment description</td> <td>by</td> </tr> <tr> <td>A</td> <td>19.04.24</td> <td>AMENDED AS PER CHECK</td> <td>JHB</td> </tr> <tr> <td>-</td> <td>08.04.24</td> <td>PRELIMINARY ISSUE-AD</td> <td>QL</td> </tr> </table>	issue	date	amendment description	by	A	19.04.24	AMENDED AS PER CHECK	JHB	-	08.04.24	PRELIMINARY ISSUE-AD	QL	<p>PRELIMINARY</p> <p>plan issue type</p> <p>designed: JD drawn: QL checked: -</p>	<p>10683</p> <p>contract number</p>	<p>A</p> <p>as shown</p> <p>dwg scale @ A3</p>	<p>19/04/2024</p> <p>printed date:</p>	<p>2 of 15</p> <p>sheets in set</p>
	issue	date	amendment description	by																		
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N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

Mark Buckman & Co
Consulting Surveyors
47 Pearl Street
PO BOX 1393
Kingscliff, 2487.
Ph . 02 66 741 891
Mob 0418 665 832
email : mbuckman@bigpond.net.au

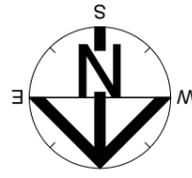
- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED BY OWNER

PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%

Existing Conditions

Scale 1:200

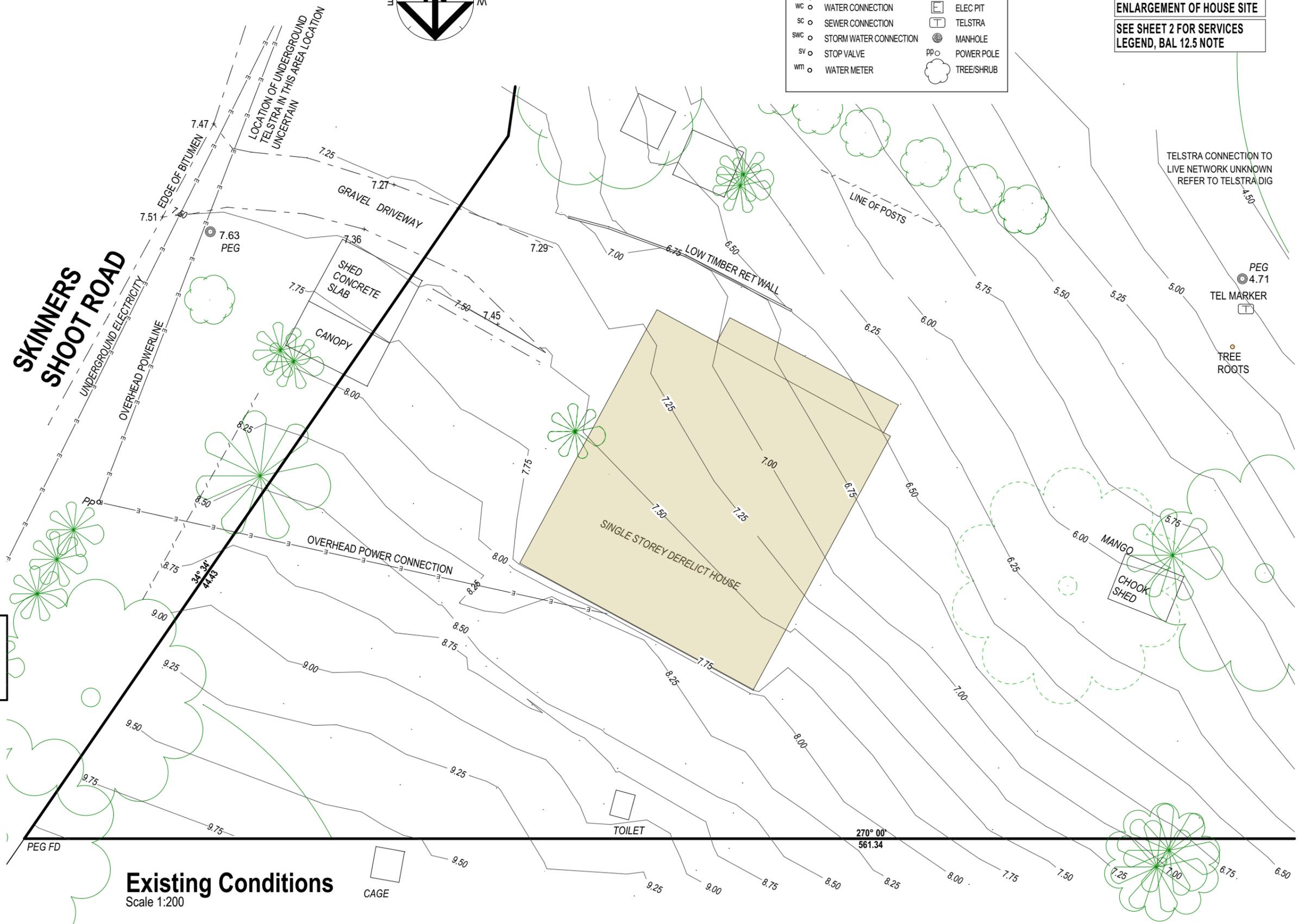


LEGEND

STREET LIGHT	GRATE
WC WATER CONNECTION	ELEC PIT
SC SEWER CONNECTION	TELSTRA
SWC STORM WATER CONNECTION	MANHOLE
SV STOP VALVE	PP POWER POLE
WM WATER METER	TREE/SHRUB

IF IN DOUBT - ASK

SEE SHEET 2 FOR ENLARGEMENT OF HOUSE SITE
SEE SHEET 2 FOR SERVICES LEGEND, BAL 12.5 NOTE



M:\10683\Drawings\10683 DESIGN SIZE RH FACADE CLIENT COUNCIL\10683 PRELIMINARY PLANS - JHB.jlb

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N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

SITE NOTES:

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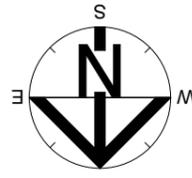
BAL 12.5
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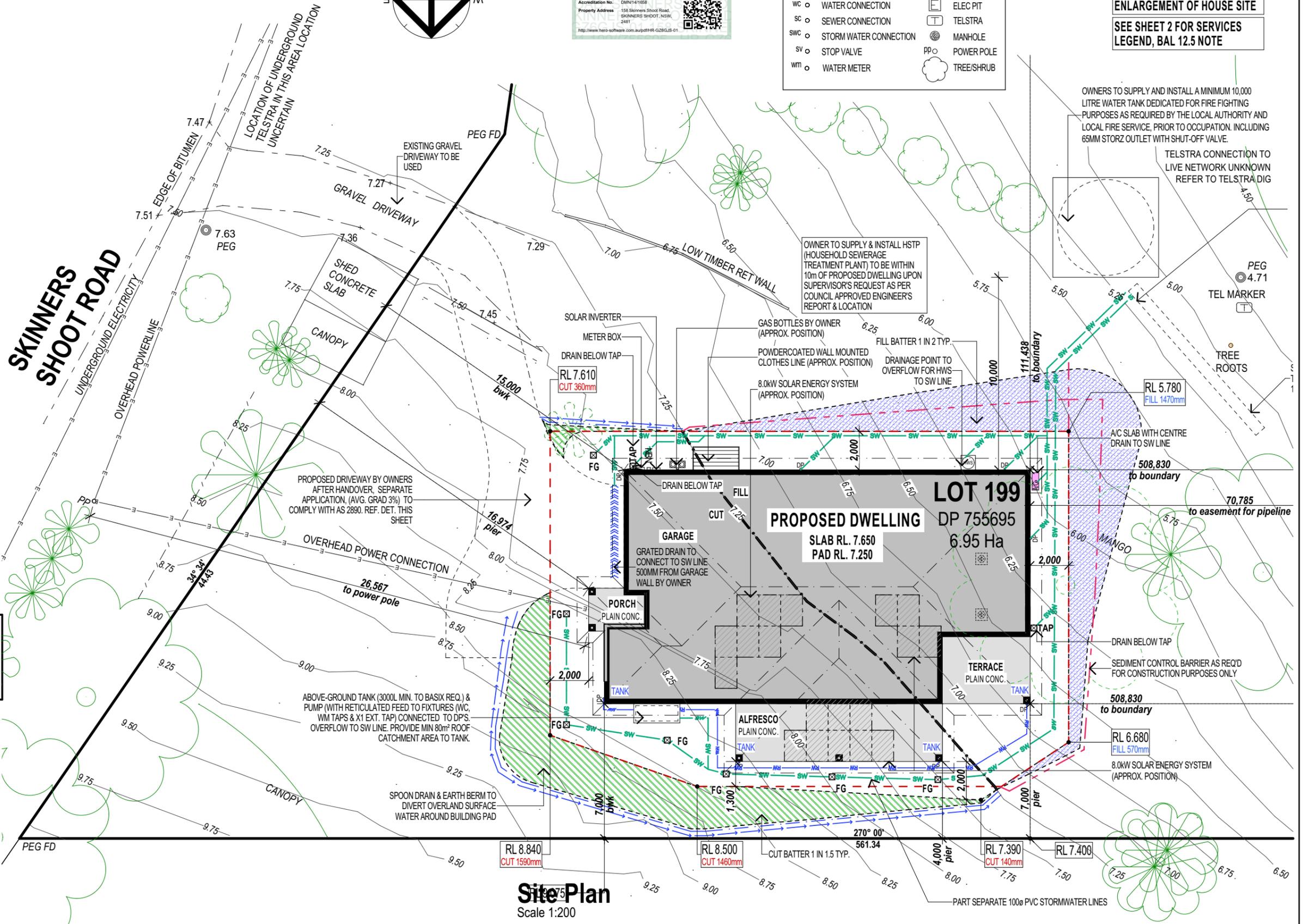


LEGEND

- STREET LIGHT
- WC WATER CONNECTION
- SC SEWER CONNECTION
- SWC STORM WATER CONNECTION
- SV STOP VALVE
- WM WATER METER
- GRATE
- ELEC PIT
- TELSTRA
- MANHOLE
- POWER POLE
- TREE/SHRUB

IF IN DOUBT - ASK

SEE SHEET 2 FOR ENLARGEMENT OF HOUSE SITE
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Site Plan
Scale 1:200

M:\1080065\Drawings\10800 DESIGN SIZE RH FACADE CLIENT COUNCIL\10800 PRELIMINARY PLANS - JHB.jdw

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IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skimmers Shoot Road
Skimmers Shoot, NSW. 2481
client details:

Aria 28 Classic LH
Site Plan
drawing title

issue	date	amendment description	by	designed	drawn	checked
A	19.04.24	AMENDED AS PER CHECK	JHB			
-	08.04.24	PRELIMINARY ISSUE-AD	QL			

plan issue type
designed: JD
drawn: QL
checked: -

PRELIMINARY 10683
A as shown
issue no. dwg scale @ A3
19/04/2024 4 of 15
printed date: sheets in set

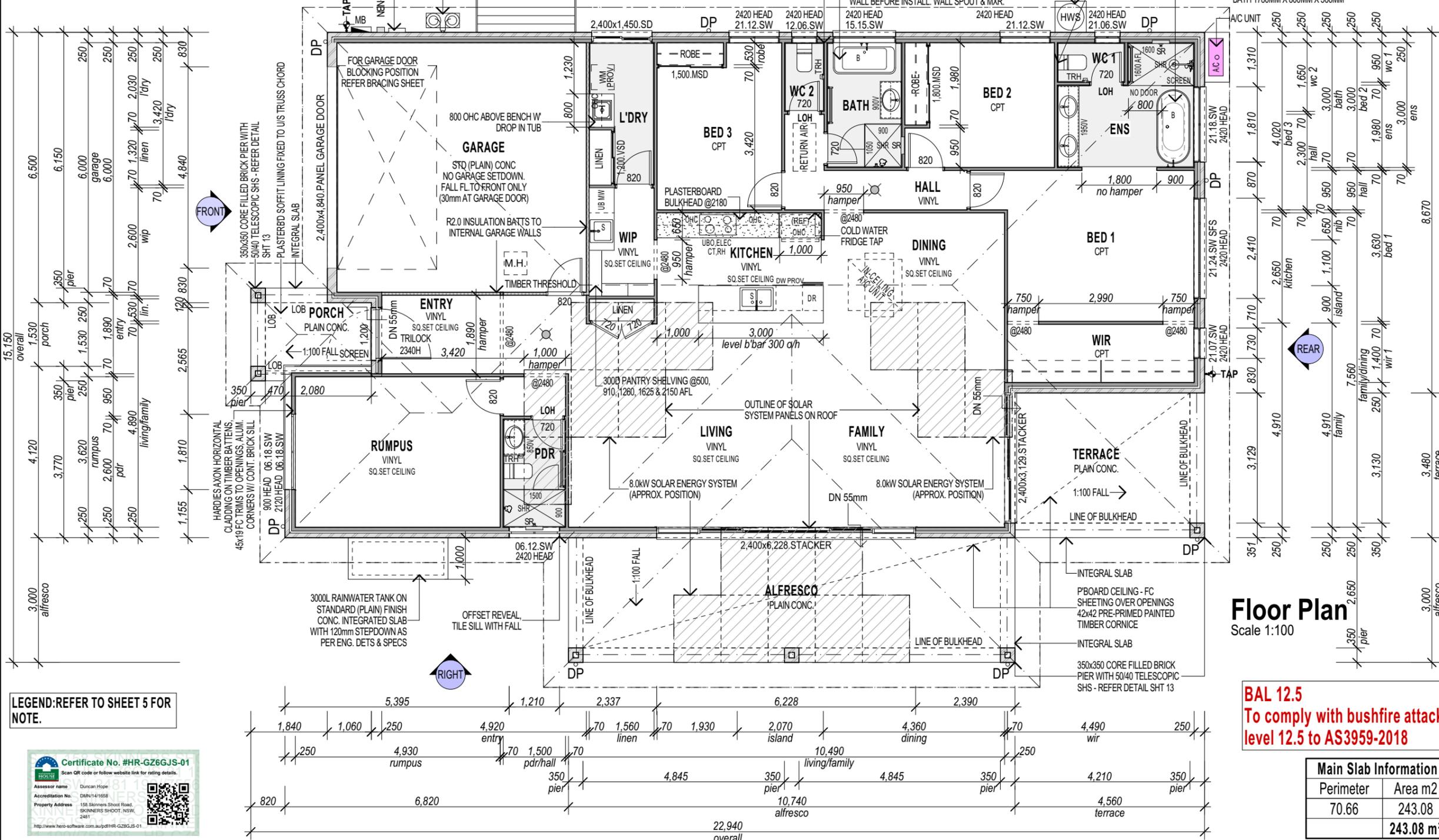
N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

- BASIS NOTES:**
- 3 STAR RATED TAPS TO KIT., BATHROOMS, SHOWER HEADS AND WC FLUSHING SYSTEM.
 - R2.5 INSULATION BATTS TO EXTERNAL WALLS (EXCLUDES GARAGE ONLY)
 - R5.0 INSULATION BATTS TO ENTIRE CEILING (EXCLUDES GARAGE ONLY)
 - SARKING TO ALL EXT. WALLS & ENTIRE ROOF AREA
 - 250 LITRE ELECTRIC STORAGE HWS (26-30 REC)
 - PROVIDE SINGLE PHASE DUCTED REVERSE CYCLE INVERTER AIR CONDITIONING SYSTEM (15.5/18kW)
 - 2x 300mm DIAMETER VENTILATOR BY INSTALLER TO SUIT ON SITE
 - ALL INTERNAL HINGED / SLIDING DOORS / ROBE SLIDING DOORS TO BE 2340mm HIGH

NOTE: SYNERGY - "NOM" SIZES FOR ALL. 2100H WINDOWS ARE 2055 ACTUAL HEIGHT INSIDE REVEALS WITH 2150 TO UNDERSIDE OF TRIMMER. 2400H WINDOWS ARE 2365 ACTUAL HEIGHT INSIDE REVEALS WITH 2450 TO UNDERSIDE OF TRIMMER

WHITE MELAMINE SHELVING TO ALL WARDROBES, LINEN & BROOM CUPBOARD

- ABBREVIATIONS**
- A/C AIR CONDITIONING UNIT
 - AL AL COVER TRIM BY WINDOW MANUF.
 - ABL ABOVE FLOOR LEVEL
 - AHD AUSTRALIAN HEIGHT DATUM
 - B BATH (AS SPECIFIED)
 - B/BAR BREAKFAST BAR OVERHANG
 - BE BEAM TO ENG'S DETAIL
 - BR BROOM CUPBOARD
 - CBD CUPBOARD
 - CD CLOTHES DRYER
 - CH CEILING HEIGHT
 - COL STEEL COLUMN TO ENG'S DETAIL
 - CONC CONCRETE
 - CSD CAVITY SLIDING DOOR
 - CT COOK TOP
 - DN DOWN
 - DP DOWN PIPE
 - DR DRAWERS
 - DW DISHWASHER SPACE
 - ENS ENSUITE
 - FHT FIBRE CEMENT
 - FC FULL HEIGHT TILING
 - FW FACE OF WALL SLIDING DOOR
 - FW FLOOR WASTE (NOM. TO SUIT REQ'S)
 - GAS CYL REPLACEABLE GAS CYLINDERS
 - H TILED HOB 150mm ABOVE BATH
 - HSR HUME SMARTROBE DOOR SYSTEM
 - HWS HOT WATER SYSTEM
 - LOB LINE OF BULKHEAD
 - LOH LIFT OFF HINGES
 - METER BOX
 - MH MANHOLE ROOF ACCESS
 - MHF METAL HEAD FLASHING
 - MSD MIRROR SLIDING DOOR
 - MVSD 1/2 MIRROR & 1/2 VINYL S/DOOR
 - MW SPACE FOR MICROWAVE OVEN
 - NBN NATIONAL BROADBAND NETWORK
 - OBS OBSCURE GLASS
 - OHC OVERHEAD CUPBOARDS
 - PTY PANTRY
 - RK ROBE HOOK
 - ROBE WARDROBE
 - RH RANGE HOOD
 - REF REFRIGERATOR SPACE
 - RHS RECT. HOLLOW SECT. STEEL POST
 - S SINK
 - SD SLIDING GLASS DOOR
 - S/S STAINLESS STEEL
 - SH SHELVES
 - SHR SHOWER
 - SHS SQ. HOLLOW SECTION STEEL POST
 - SL SHUTTER
 - SPR DOOR GLASS SIDE LIGHT
 - SR SPREADER
 - T SOAP RECESS 415Hx415W U.N.O.
 - TR LAUNDRY TUB
 - TRG TOWEL RAIL
 - TSH TOWEL RING
 - UBO UNDER BENCH OVEN
 - V BATHROOM VANITY UNIT
 - VSD VINYL SLIDING DOOR
 - WO WALL OVEN
 - WM WASHING MACHINE SPACE
 - WIL WALK-IN LINEN CLOSET
 - WIR WALK-IN ROBE
 - XO GLASS SLIDING (X), GLASS FIXED (O)
 - ⊗ DENOTES WIRED SMOKE DETECTOR



Floor Plan
Scale 1:100

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

Main Slab Information	
Perimeter	Area m ²
70.66	243.08
243.08 m²	

Area Summary	
Description	Area m ²
Alfresco	32.22
Garage	39.20
Living	203.87
Porch	5.37
Terrace	15.87
296.53 m²	

LEGEND: REFER TO SHEET 5 FOR NOTE.



N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



NOTE:
JOINERY HEAD HEIGHT AT 2420mm AFL U.N.O.
ENSURE FULL ARCHITRAVE OVER WINDOWS TO (2180) BULKHEAD

BRICKLAYER NOTE:
PROVIDE STAINLESS STEEL BRICK TIES
BRICK JOINTS SHALL BE TOOLED
BRICKS SHALL BE EXPOSURE GRADE

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

- NOTE:**
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF THE NCC VOL. 2-2022 CLAUSE 3.4.2 ABCB & AS 3660.1-2014.
 - TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF NCC VOL. 2-2022 PART H1D6 AND AS1720.1-2010/AS1684-2021
 - CONCRETE CONSTRUCTION TO COMPLY WITH NCC VOL. 2-2022 CLAUSE H1D4 & AS2870.1-2011/AS 3600-2018.
 - ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD.
 - PROVIDE NOGGING FOR TOWEL RAIL.
 - W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC VOL. 2-2022 H4D3
 - WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH H4D2 OF THE NCC VOL. 2-2022.
 - SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL. 2-2022 & AS3786-2014.
 - ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC VOL. 2-2022 CLAUSE 9.2 ABCB.
 - REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS.
 - BARRIERS, STEPS & HANDRAILS TO COMPLY WITH NCC VOL. 2-2022 PART 11, AS1657-2018 & AS1684-2021.

NOTE:
GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.
ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR N3 - METAL ROOF/90mm EXT. FRAME @ 600 CRS. CONDITIONS
STEEL ROOFING TO COMPLY WITH NCC VOL. 2-2022 PART 7.4 AND AS1562.1-2018

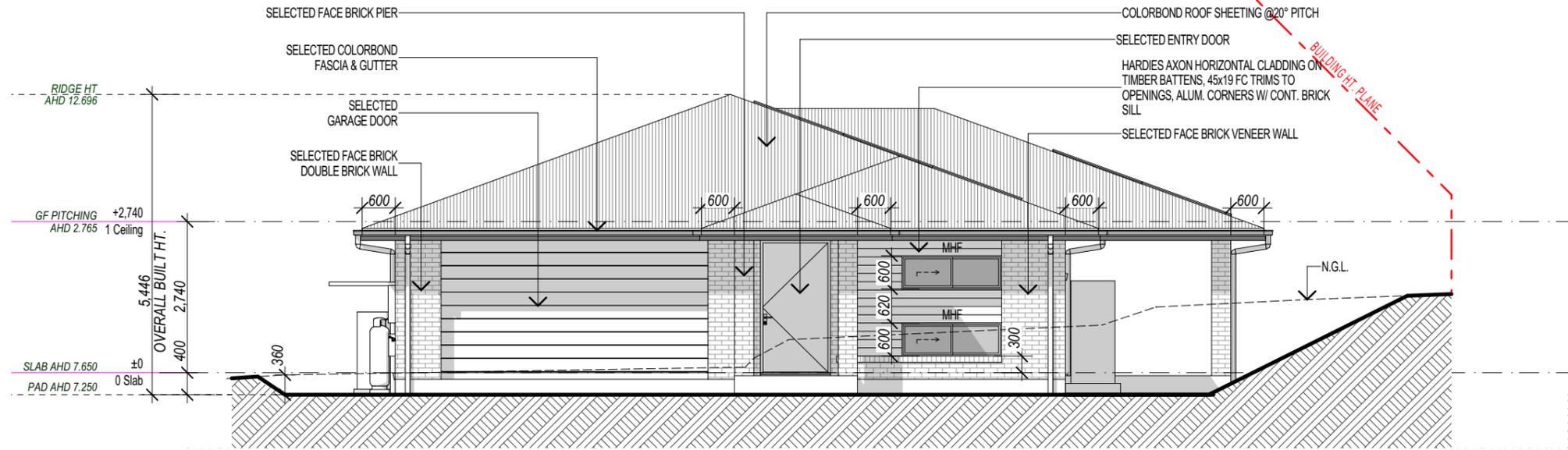
CONCRETE ROOFING TO COMPLY WITH NCC VOL. 2-2022 PART 7.3 AS2049-2002/AS2050-2018.

PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.

MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL. 2-2022 SECTION 5.6.8 ABCB AND AS 3700-2018/ AS4773.1&2-2015. WEEPHOLES IN MASONRY WALLS AT 900 CRS. AS PER NCC VOL. 2-2022 CLAUSE 5.7.5.

BRICK PATTERN IS SHOWN FOR ILLUSTRATION PURPOSES ONLY - BRICK SETOUT SHALL BE DETERMINED BY THE BRICKLAYER. VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL. 2-2022.

PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



FRONT Elevation - EAST
Scale 1:100



LEFT Elevation - SOUTH
Scale 1:100

METAL Roof	
Area	
1.41	
2.94	
5.08	
10.02	
17.91	
17.91	
31.60	
35.64	
44.56	
72.33	
104.30	
343.70 m²	

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QBCC Act Lic. 718748
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Signature: _____ Date: _____
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M. McGrane
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Skinners Shoot, NSW. 2481
client details:

Aria 28 Classic LH
Elevations
drawing title

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PRELIMINARY 10683
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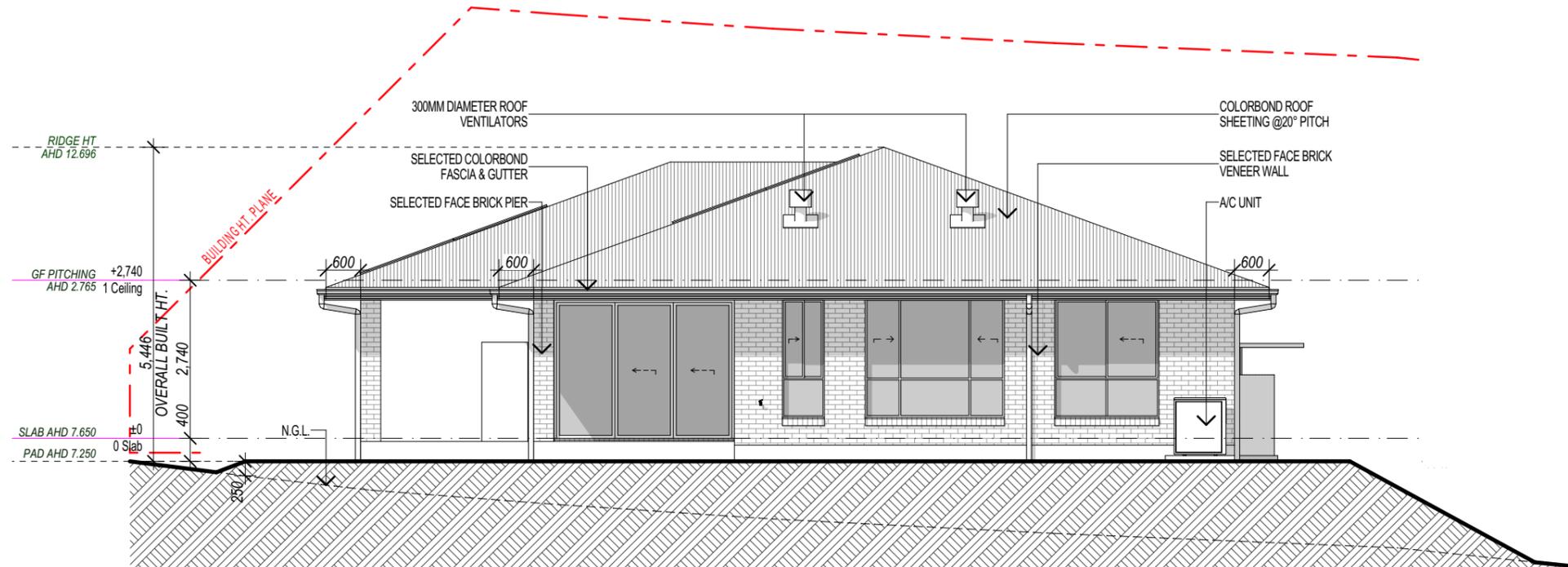
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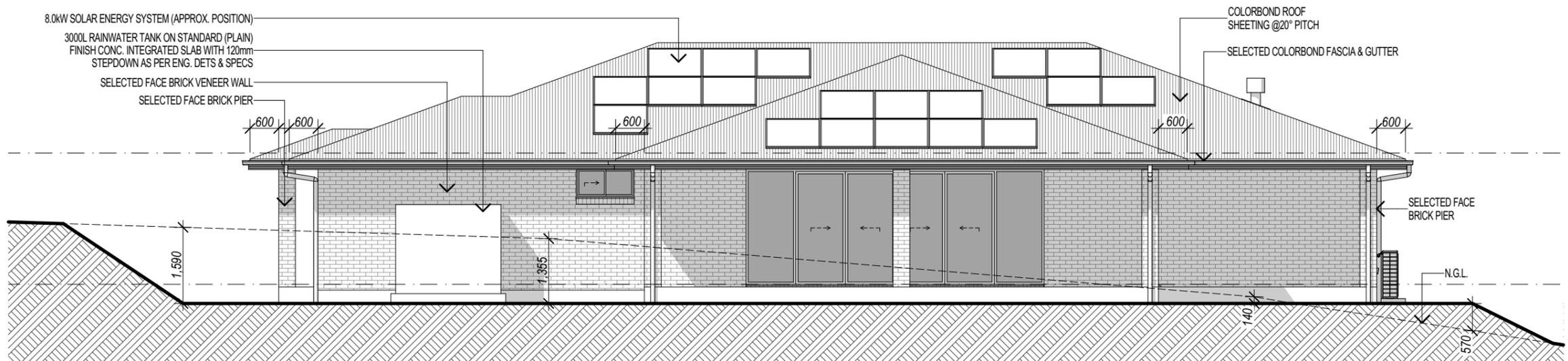
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BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018



REAR Elevation - WEST
Scale 1:100

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MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5.6.8 ABCB AND AS 3700-2018/ AS4773.1&2-2015. WEEPHOLES IN MASONRY WALLS AT 900 CRS. AS PER NCC VOL.2-2022 CLAUSE 5.7.5.
BRICK PATTERN IS SHOWN FOR ILLUSTRATION PURPOSES ONLY - BRICK SETOUT SHALL BE DETERMINED BY THE BRICKLAYER. VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.
PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



RIGHT Elevation - NORTH
Scale 1:100

METAL Roof	
Area	
1.41	
2.94	
5.08	
10.02	
17.91	
17.91	
31.60	
35.64	
44.56	
72.33	
104.30	
343.70 m²	

M:\10683\Drawings\1000 DESIGN SIZE\RH FACADE CLIENT COUNCIL\10683 PRELIMINARY PLANS - JHB.plt

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*BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.

IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
client details:

Aria 28 Classic LH
Elevations
drawing title

issue	date	amendment description	by
A	19.04.24	AMENDED AS PER CHECK	JHB
-	08.04.24	PRELIMINARY ISSUE-AD	QL

PRELIMINARY
plan issue type
designed: JD
drawn: QL
checked: -

10683
contract number
A
issue no.
19/04/2024
printed date:
as shown
dwg scale @ A3
7 of 15
sheets in set

NOTE:

ALL LIGHT SWITCHES AT 1350mm AFL (TO CENTRE) UNLESS NOTED OTHERWISE (U.N.O.).

WALL LIGHTS AT 1900mm AFL U.N.O.

GPO'S AT 300mm AFL U.N.O.

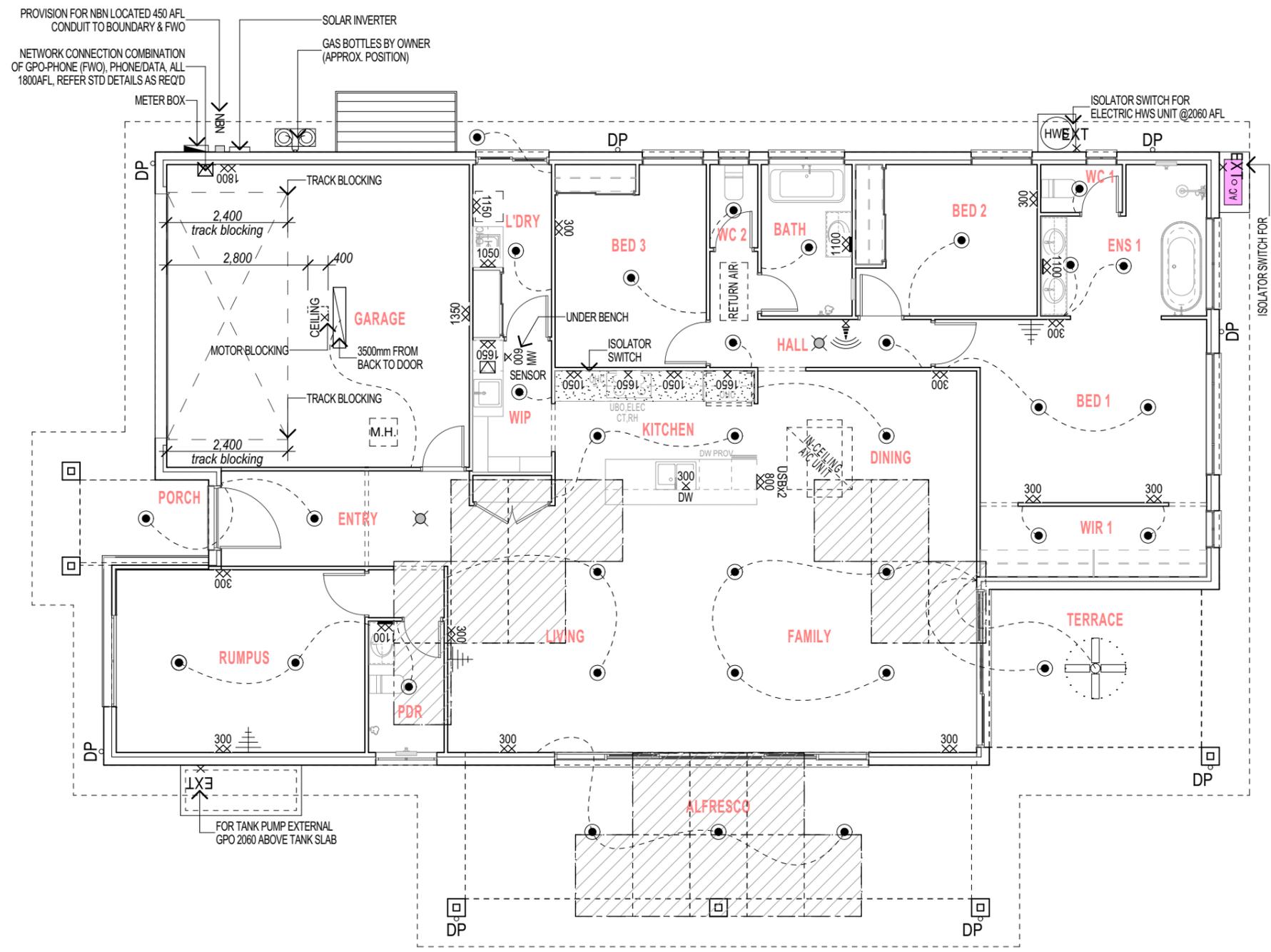
ELECTRICAL POINTS MAY BE RELOCATED ON SITE TO SUIT CURRENT STATUTORY REQUIREMENTS.

SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL.2:2022 & PART 9.5 OF THE ABCB HOUSING PROVISIONS. DESIGN OF SMOKE ALARMS MUST COMPLY WITH AS. 3786. ALL SMOKE ALARMS SHALL BE PHOTOELECTRIC, HARDWIRED AND INTERCONNECTED. A CERTIFICATE OF INSTALLATION FROM A LICENSED ELECTRICAL CONTRACTOR IS REQUIRED AT FINAL INSPECTION.

LOCATION OF A/C UNITS & CONDENSERS ARE INDICATIVE ONLY AND MAY VARY AT TIME OF CONSTRUCTION.

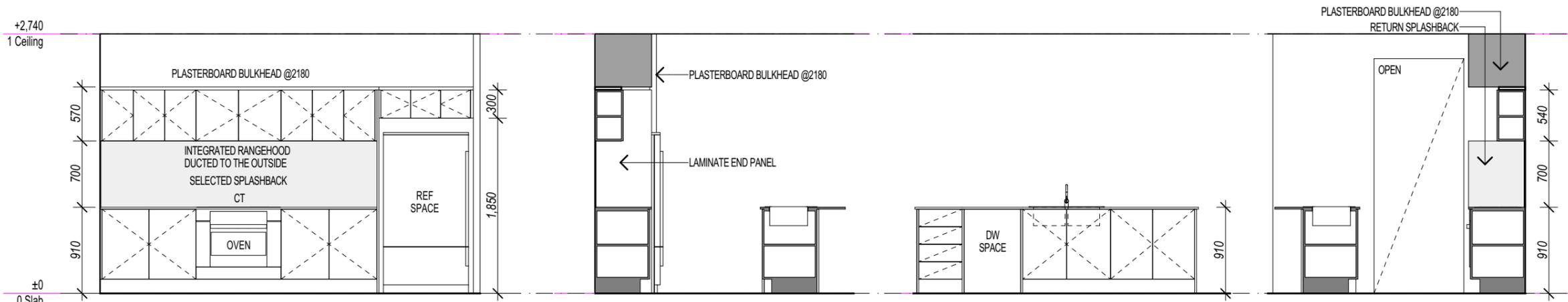
240V ENERGY EFFICIENT INTERNAL LIGHT FITTINGS THROUGHOUT.

EXHAUST FANS ALL DUCTED TO EXTERNAL AIR BY EAVE VENT TO NCC REQUIREMENTS H4D7. FAN/ LIGHT SWITCHES INTEGRATED WITH 10 MIN RUN TIMER.



Electrical Plan
Scale 1:100

Electrical Fittings		
Symbol	Item Description	Qty
	AC Condenser Unit	1
	Ceiling Fan	1
1050	DGPO 1050	3
1100	DGPO 1100 (VANITY)	4
1150	DGPO 1150	1
1350	DGPO 1350	1
1650	DGPO 1650	1
1800	DGPO 1800	1
300	DGPO 300	12
USBx2 800	DGPO-DUSB 800	1
	Electric Heat Pump HWS	1
EXT	External SGPO (w/proof)	4
	Fluorescent Light	1
	In-Ceiling AC Unit 2D	1
	Meter Box	1
	NBN Box	1
	Phone&Data Point Combo	3
	Return AC Air (large)	1
	Selected Downlight	38
	Sensor Light incl. SGPO	1
1650	SGPO 1650	2
300	SGPO 300	1
600	SGPO 600	1
CEILING	SGPO Ceiling	1
	Smoke Alarm	2
	Solar Inverter	1
	Television Point	3



kit01
Scale 1:50

kit02
Scale 1:50

kit03
Scale 1:50

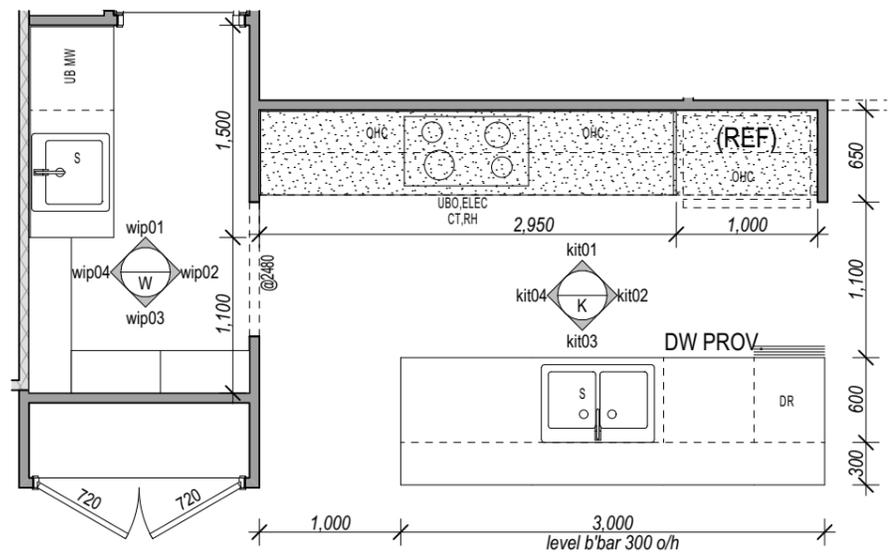
kit04
Scale 1:50

STANDARD HEIGHTS (mm AFL)

SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
CORNER & ACRYLIC BATH TAPS	750
STEEL BATH TAPS	650
TOP STEEL BATH (EXCL. HOB 150mm)	500
VANITY & KITCHEN PIPES	560
LAUNDRY TUB TAPS	1050
WASHING MACHINE TAPS	1250
TOWEL RAIL/RING NOGGING (U.N.O.)	1050
TOILET ROLL NOGGING	800
ROBE HOOK NOGGING	1700
FRIDGE TAP	1900
OUTSIDE YARD TAPS (OFF STD REBATE)	772

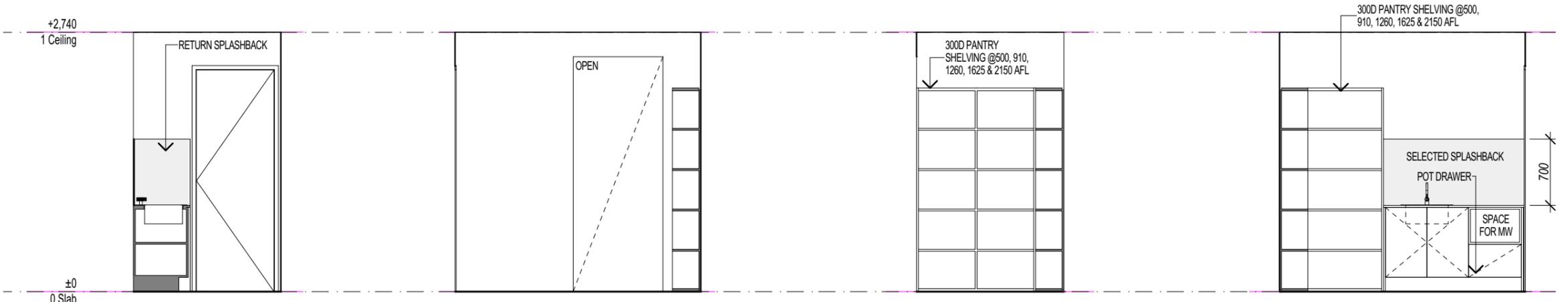
NOTE:
- INTERNAL ELEVATIONS REPRESENTED INDICATIVELY ONLY INCLUDING TILE AREAS (SUBJECT TO TILES CHOSEN). CABINET HANDLES NOT SHOWN (TO BE NOMINATED AT COLOUR SELECTION).
- DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED.

■ DENOTES EXTENT OF WALL TILES/SPLASHBACK



kitchen & wip detail
Scale 1:50

Kitchen View



wip01
Scale 1:50

wip02

wip03

wip04

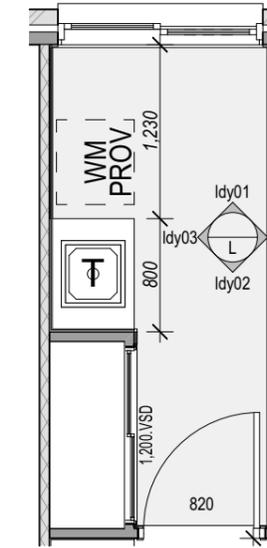


STANDARD HEIGHTS (mm AFL)

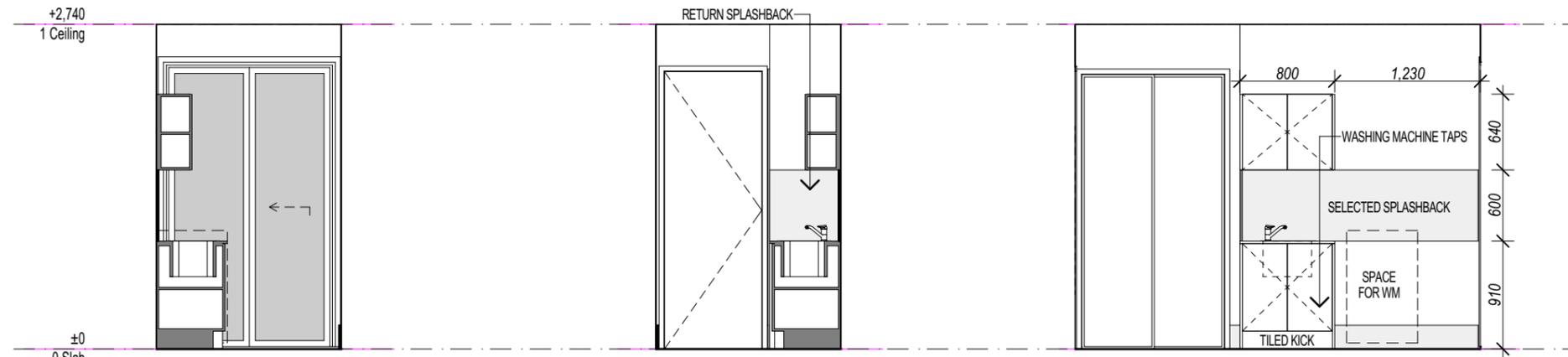
SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
CORNER & ACRYLIC BATH TAPS	750
STEEL BATH TAPS	650
TOP STEEL BATH (EXCL. HOB 150mm)	500
VANITY & KITCHEN PIPES	560
LAUNDRY TUB TAPS	1050
WASHING MACHINE TAPS	1250
TOWEL RAIL/RING NOGGING (U.N.O.)	1050
TOILET ROLL NOGGING	800
ROBE HOOK NOGGING	1700
FRIDGE TAP	1900
OUTSIDE YARD TAPS (OFF STD REBATE)	772

NOTE:
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DENOTES EXTENT OF WALL TILES/SPLASHBACK



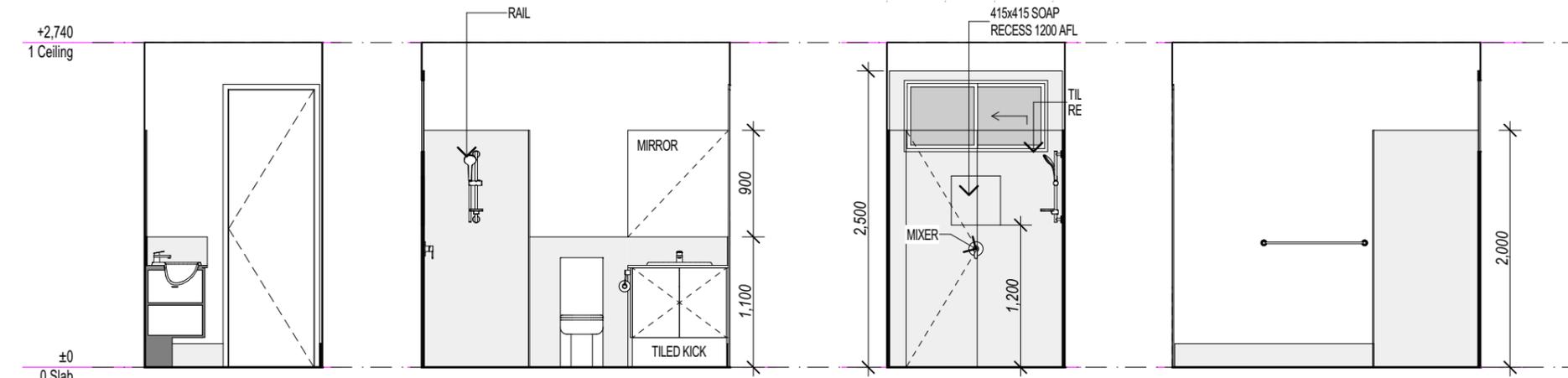
laundry detail
Scale 1:50



Idy01
Scale 1:50

Idy02
Scale 1:50

Idy03
Scale 1:50

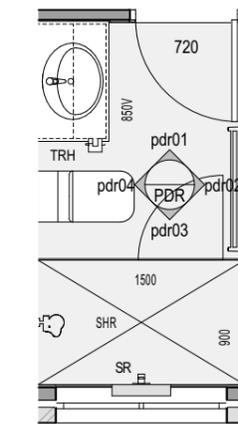


pdr01
Scale 1:50

pdr02
Scale 1:50

pdr03
Scale 1:50

pdr04
Scale 1:50



powder room detail
Scale 1:50

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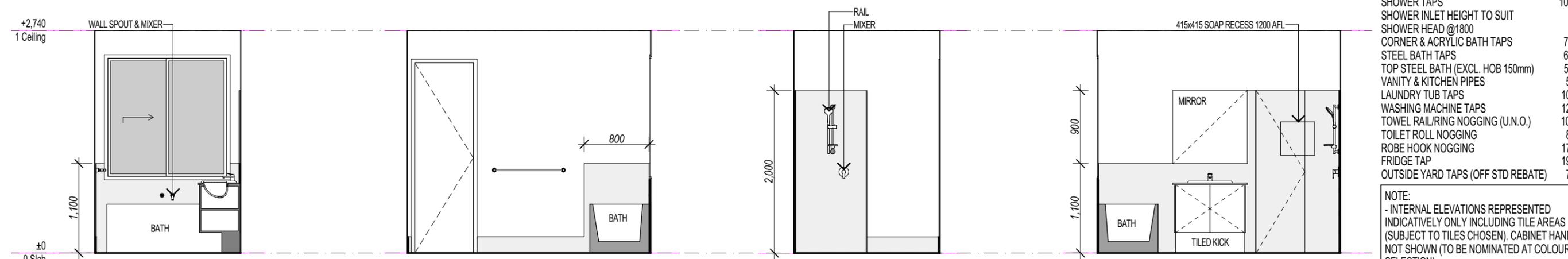
issue	date	amendment description	by
A	19.04.24	AMENDED AS PER CHECK	JHB
-	08.04.24	PRELIMINARY ISSUE-AD	QL

STANDARD HEIGHTS (mm AFL)

SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
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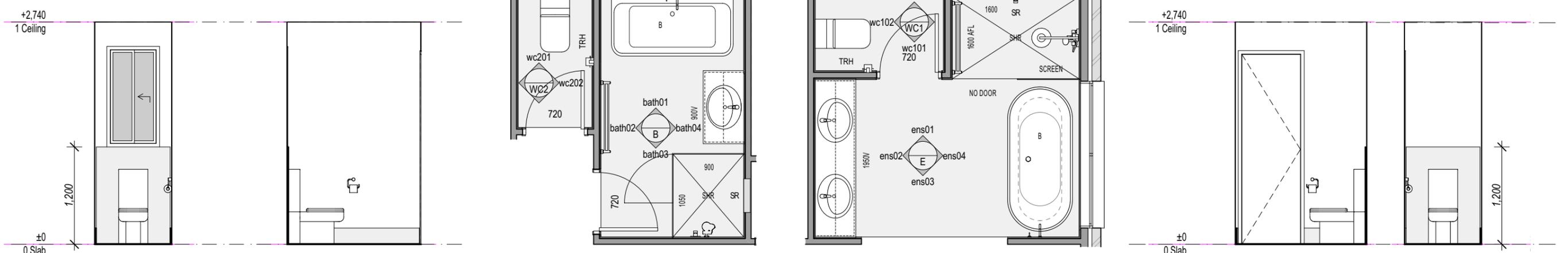


bath01
Scale 1:50

bath02
Scale 1:50

bath03
Scale 1:50

bath04
Scale 1:50



wc201
Scale 1:50

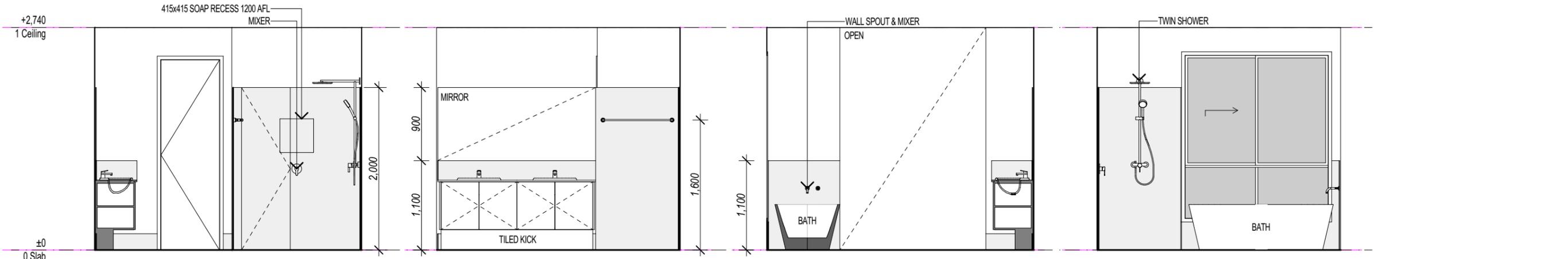
wc202
Scale 1:50

bath & wc 2 detail
Scale 1:50

ens & wc 1 detail
Scale 1:50

wc101
Scale 1:50

wc102
Scale 1:50



ens01
Scale 1:50

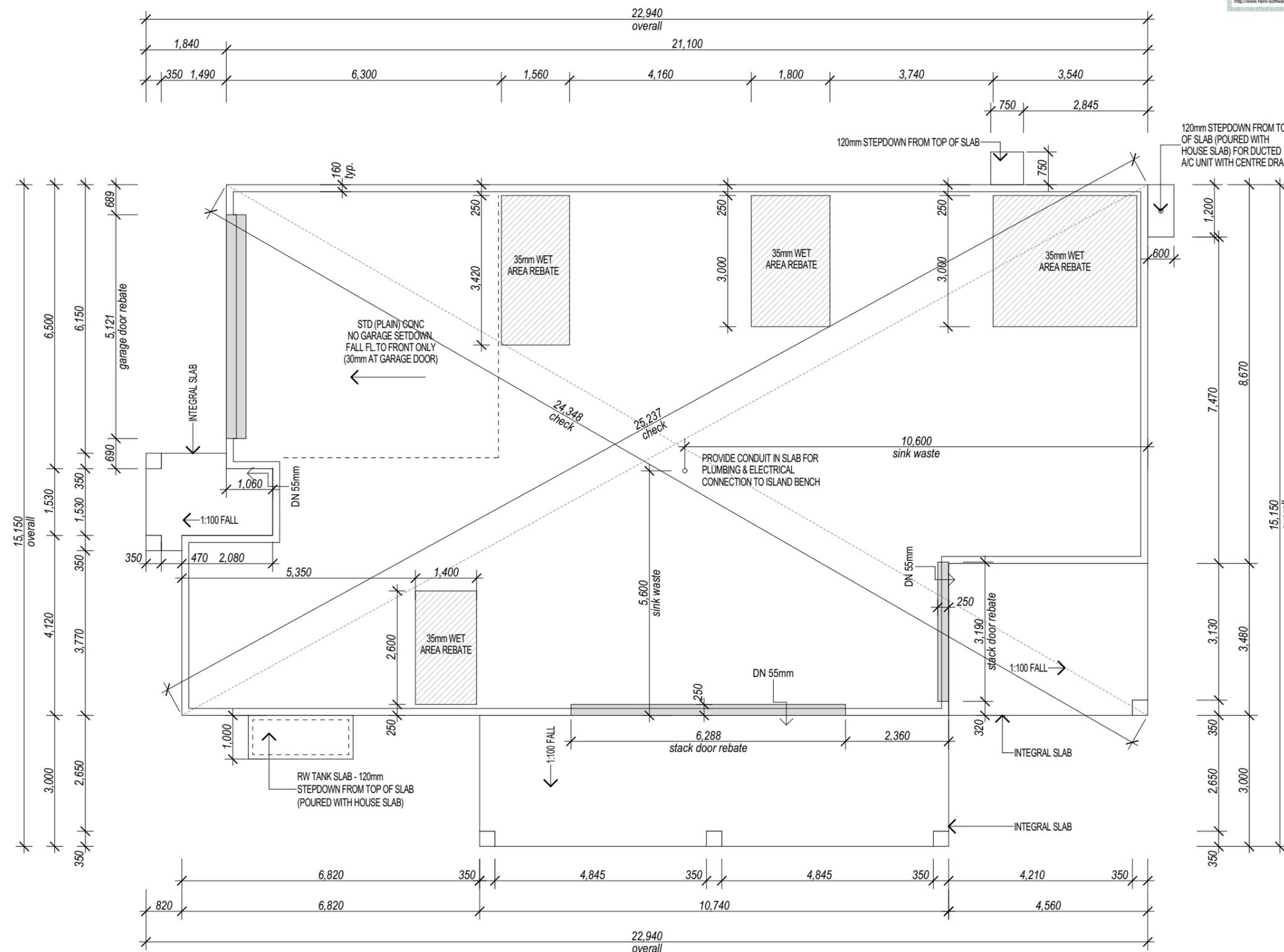
ens02
Scale 1:50

ens03
Scale 1:50

ens04
Scale 1:50



CONCRETOR NOTE:
 ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH NCC VOL. 2:2022 PART 4.2 AND AS3600:2018. FOOTINGS AND SLAB SHALL COMPLY WITH AS2870.1:2011/AS3600:2018. WHERE LOCAL AUTHORITIES REQUIRE SOIL TESTS AND ENGINEERED FOOTING AND SLAB DETAILS, THESE ENGINEERED DETAILS TAKE PRECEDENCE OVER DRAWN DETAILS. PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN SEPARATE ABUTTING CONCRETE SLABS. TERMITRE TREATMENT TO COMPLY WITH THE PROVISIONS OF THE NCC VOL.2:2022 CLAUSE 3.4 AND AS3660.1:2014.



FOOTINGS AND SLAB TO ENGINEER'S DESIGN & DETAILS & SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING

Slab Layout Plan

Scale 1:100

Main Slab Information	
Perimeter	Area m2
70.66	243.08
	243.08 m²

M:\1068365\Drawings\1000 DESIGN SIZE RH FACADE CLIENT COUNCIL\10683 PRELIMINARY PLANS - JHB.jdw

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I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
 Signature: _____ Date: _____
 Signature: _____ Date: _____

M. McGrane
 Lot 199 (No. 158) Skinners Shoot Road
 Skinners Shoot, NSW. 2481
 client details:

Aria 28 Classic LH
 Slab Layout Plan
 drawing title

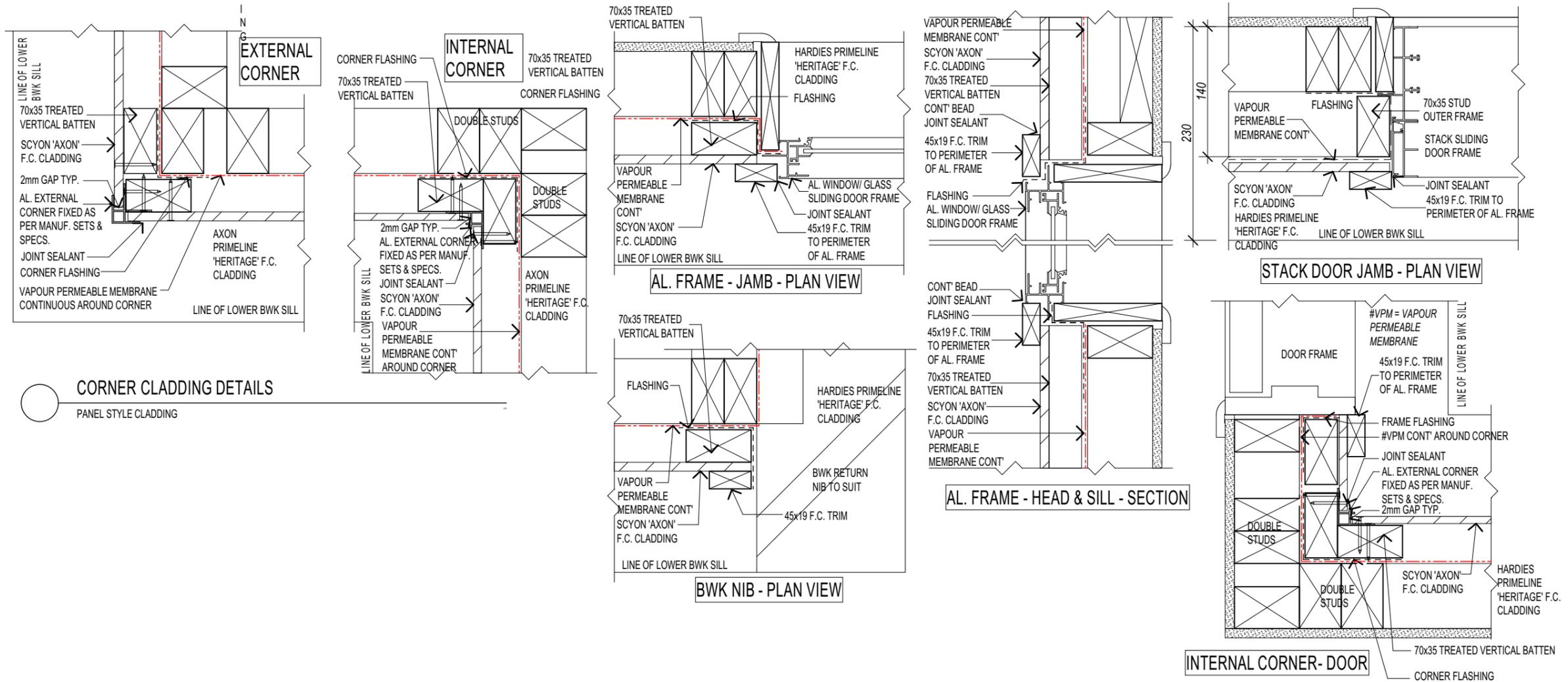
issue	date	amendment description	by
A	19.04.24	AMENDED AS PER CHECK	JHB
-	08.04.24	PRELIMINARY ISSUE-AD	QL

PRELIMINARY
 plan issue type
 by: designed: JD drawn: QL checked: -

10683
 contract number

A
 as shown
 issue no. 19/04/2024
 printed date: 12 of 15
 sheets in set

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

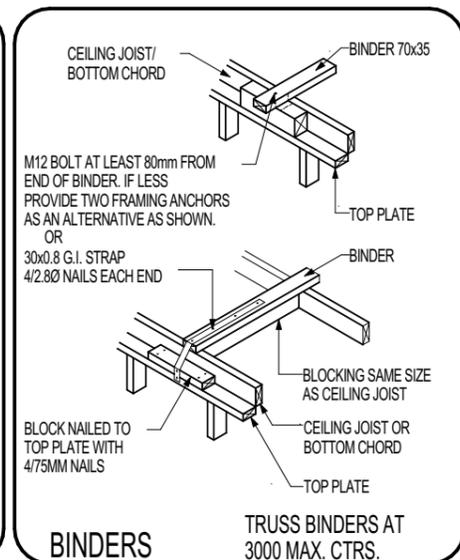
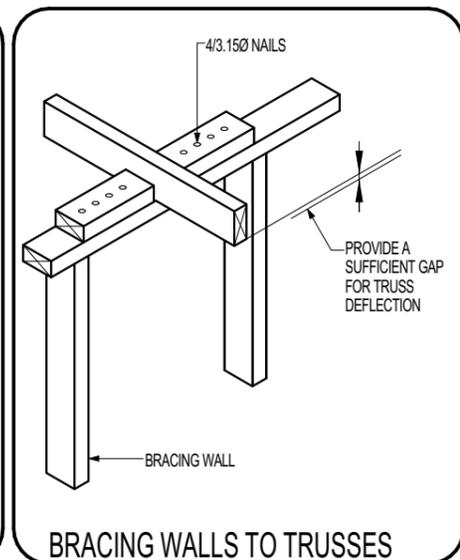
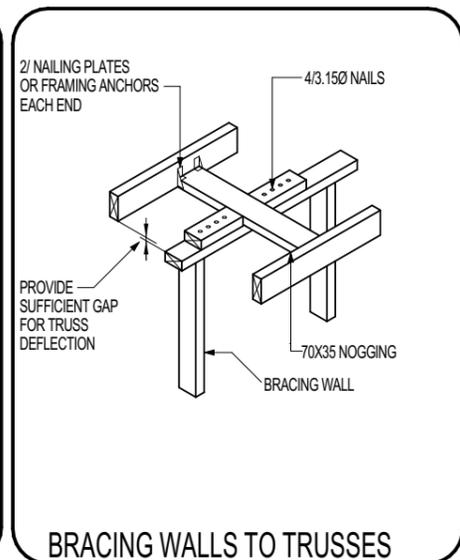
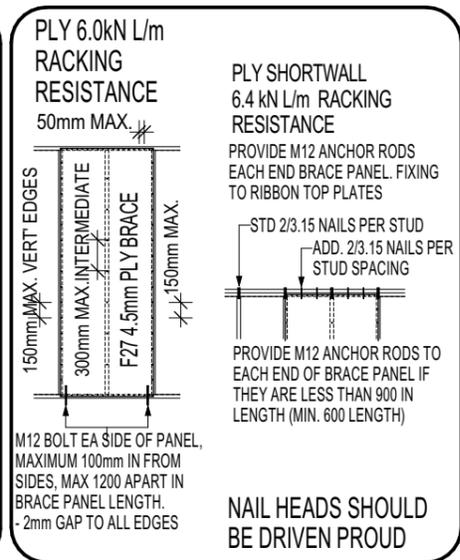
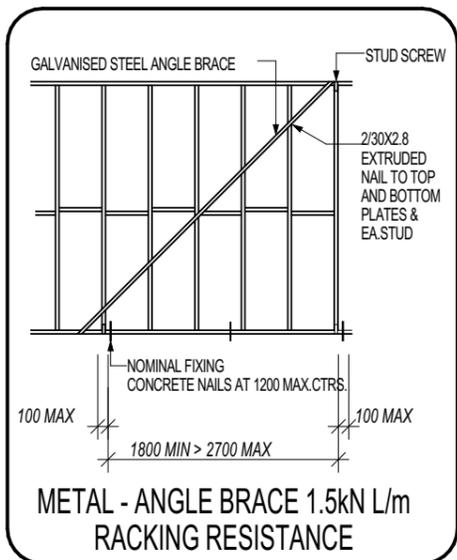


Axon Cladding Details

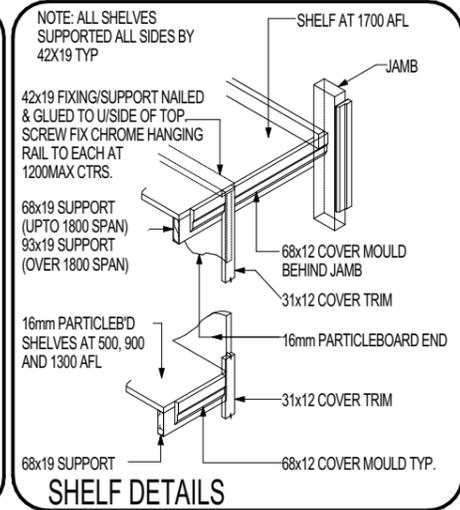
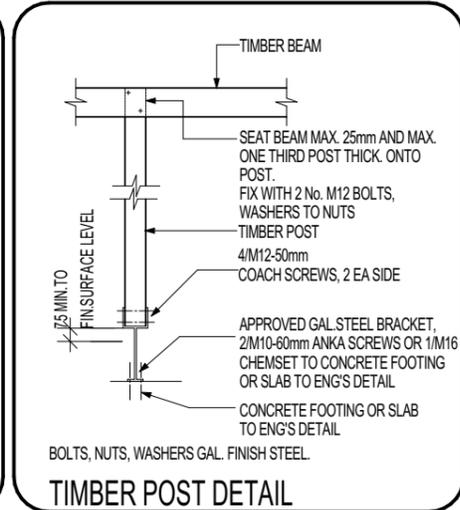
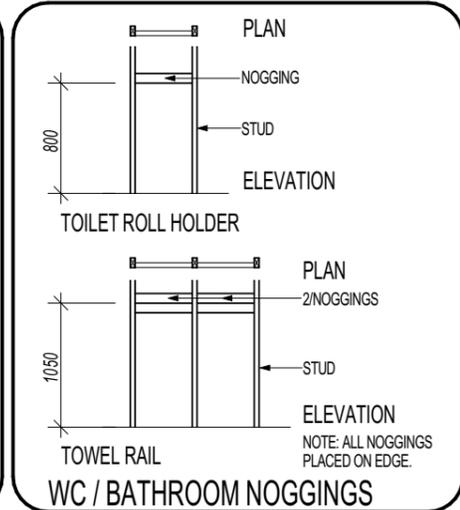
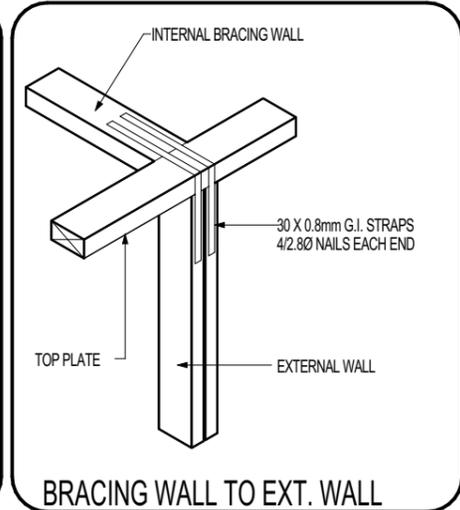
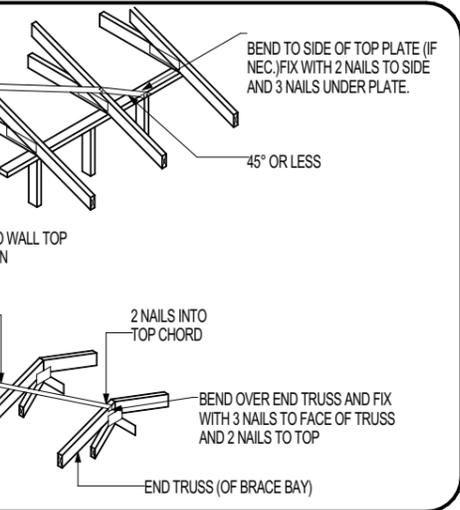
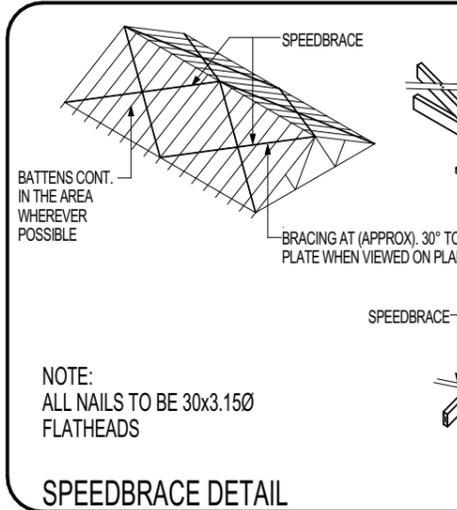
Scale 1:5

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ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH:
 - THE NCC VOL.2-2022
 - TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF THE NCC VOL.2-2022 CLAUSE 3.4.2 ABCB AND AS3660.1-2014
 - CONCRETE CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 CLAUSE H1D4 AND AS2870.1-2011 / AS3600-2018.
 - TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART H1D6 OF THE NCC VOL.2-2022 AND AS1720.1-2010 / AS1684-2021
 - CONCRETE ROOFING TO COMPLY WITH NCC VOL.2-2022 CLAUSE 7.3 AND AS2049-2002/AS2050-2018.
 - STEEL ROOFING TO COMPLY WITH NCC VOL.2-2022 CLAUSE 7.2 AND AS1562.1-2018.
 - FIX ROOFING TO MANUF'S SPEC'S FOR RELEVANT CONDITIONS.
 - WEEPHOLES IN MASONRY WALLS AT 900 CTRS. AS PER NCC VOL.2-2022 CLAUSE 5.7.5
 - VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.
 - WET AREAS TO COMPLY WITH THE PROVISIONS OF PART 10.2 H4D2 ABCB OF THE NCC VOL.2-2022.
 - SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL.2-2022 & PART 9.5 OF THE ABCB.
 - WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 12.3.4 & 6.3.6 OF THE NCC VOL.2-2022 AND AS 1684-2021.
 - ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
 - GLASS INSTALLATION TO COMPLY WITH NCC VOL.2-2022 AND AS1288-2006/ AS2047-2014.
 - MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5 ABCB AND AS 3700-2018/AS 4773.1 AND AS 4773.2-2015



TIE DOWN CALCULATION - N3 NON- CYCLONIC (ULW=6000)		AS 1684-2021	GENERAL NOTES
MEMBER CONNECTION - JD4 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	ROOF FRAMING
METAL ROOF TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS			METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT ROOF BATTENS SHALL BE SUPPLIED METAL BATTENS FIXED AS PER MANUFACTURER'S SPECIFICATION ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N3 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS CEILING BINDERS SHALL BE 70x35 AT 3000 CTRS. MAXIMUM.
ROOF BATTENS TO TRUSSES: TO MANUFACTURER'S SPECIFICATIONS			CONCRETE REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200um POLYTHENE VAPOUR BARRIER LAPPED 200 MIN. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH A.S. 3660.1
ROOF TRUSSES TO TOP PLATE: @ 600 CRS 2 No. FRAMING ANCHOR WITH 3/2.80 NAILS MIN. TO EACH LEG AT INTERFACE OR: 2 x MULTI GRIP OR: 1 x CYCLONE STRAP FIXED TO PL. WITH 4/2.80 NAILS	NOM. AS PER Table 9.13	NOM. AS PER Table 9.21(b)	BRICKWORK APPROVED BRICK TIES AT 600 x 600 CTRS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WEEPHOLES AT 900mm CTRS. MAXIMUM.
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 600 CRS. PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS.	NOM. FIXING AS PER AS 1684 TABLE 15	NOM. FIXING AS PER AS 1684 TABLE 15	SOFFIT LININGS SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE. NOTE:- USE 2.0 x 30mm GALV FIBRE CEMENT NAILS
OR CHEMICAL EXPANSION OR FIRED PROP. FASTENERS. BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684	AS 1684. Table 9.11 7.2	BOLT 12x100-10.8	WALL FRAMING MGP10/MGP12 PINE FRAME TO LOAD BEARING WALLS 90 x 35 FRAME - STUDS AT 600 CTRS - ONE ROW OF NOGGINGS TOP PLATES 90x35 MGP10/MGP12 ADD - RIBBON PLATE 90 x 35 MGP10/MGP12 MGP10/MGP12 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS 70 x 35 FRAME - STUDS AT 600 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES

