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Senica
consultancy group



ENERGY EFFICIENCY REPORT

Thermal Comfort Simulation Assessment

Site Address

158 Skinners Shoot Road, SKINNERS SHOOT

Lot and DP

199//755695

Client

Perry Homes

Assessment Date

22/04/2024

File Reference

24040300

Project Certification Summary

Building and Modelling Software Information

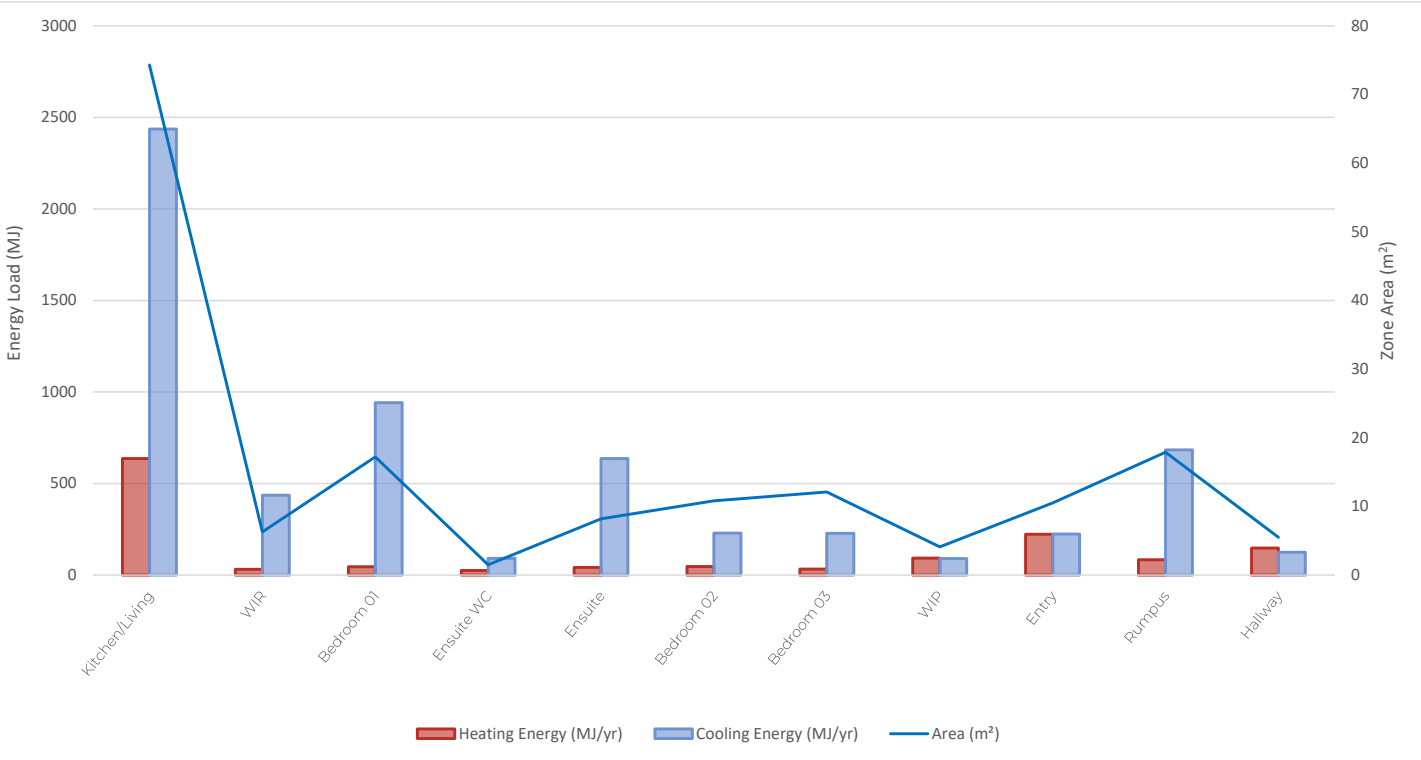
| | | | |
|--------------------|-------------------------|-----------------------------------|--------------------------|
| Street Address | 158 Skinners Shoot Road | NatHERS Climate Zone | 10 - Brisbane AMO |
| Locality | SKINNERS SHOOT | ABCB Climate Zone: | 2 |
| Post Code | 2481 | NatHERS Zone Longitude / Latitude | Lat: -28.7 , Long: 153.6 |
| Lot / Section / DP | 199//755695 | Building Classification | Class 1a New House |
| Site Exposure | Exposed | NatHERS Profile | NatHERS (2022) |
| Engaged by | Perry Homes | NatHERS Regulatory Mode | TRUE |
| Plan Name | Aria 28 Classic LH | Client | M. McGrane |
| Conditioned Area | 168.2 m ² | Concrete Slab on Ground | 184.4 m ² |
| Unconditioned Area | 16.2 m ² | Suspended Floor (Open) | 0.0 m ² |
| Garage Area | 36.0 m ² | Suspended Floor (Enclosed) | 0.0 m ² |
| Total Floor Area | 220.4 m ² | Above Garage | 0.0 m ² |
| | | Above Habitable Floor | 0.0 m ² |

Thermal Comfort Modelling Results

| Target | (MJ/yr) | (MJ/m ² /yr) | Result | (MJ/yr) | (MJ/m ² /yr) | Pass/Fail | Improvement over Target |
|-------------|---------|-------------------------|-------------|---------|-------------------------|-----------|-------------------------|
| Star Rating | | n/a | Star Rating | | 7 | n/a | Star Rating |
| Heating | 2019 | 12 | Heating | 1377 | 8.2 | Pass | Heating 31.80% |
| Cooling | 9337 | 55.5 | Cooling | 5982 | 35.6 | Pass | Cooling 35.93% |
| TOTAL | n/a | n/a | TOTAL | 7359 | 43.7 | n/a | TOTAL n/a |

Building Performance Modelling Results

| Building Temperature | Temperature Range | Hours in Range (Annually) | Percentage | Degree-Discomfort Hours | Degree-discomfort hours is a measure of the temperature differential between the actual temperature and the hot or cold threshold temperatures. For example if a room had an actual temperature of 32.5 degrees C, and the Hot Threshold was set to 27 degrees C, then the Degree-Discomfort |
|----------------------|-------------------------|------------------------------|-------------------------|-------------------------|---|
| Hot | 27 | 610 | 7.0% | 845 | |
| Comfortable | | 7777 | 88.7% | | |
| Cold | 18 | 372 | 4.3% | 352 | |
| | Peak | Peak Sensible (W) | Peak Latent (W) | Ceiling Fan Electricity | |
| | (W) (W/m ²) | (W) (W/m ²) | (W) (W/m ²) | (kWh/yr) | |
| Heating | 5900 35 | | | | |
| Cooling | 17900 106 | 11800 70 | 6100 36 | 0 | |



Building Specification

These are the specifications upon which the certified NatHERS assessment is based. Any deviation from these specifications will invalidate the NatHERS certificate and therefore voids compliance of the development with the NCC and the NSW BASIX Protocol. In case of any variation from these specifications contact Senica Consultancy Group to obtain updated NatHERS and BASIX certificates and an updated copy of these specifications.

External and Internal Walls

| Construction Type | Insulation | Frame | Colour (Solar Absorptance) |
|--|------------------------|----------------|----------------------------|
| Brick Veneer Stud Wall with Reflective Sarking | R2.50 Fibreglass | TIMB-90x45-600 | Medium |
| Brick Veneer Stud Wall with Reflective Sarking | 90mm Refl Air (ε 0.05) | TIMB-90x45-600 | Medium |
| Double Brick - 110mm/110mm Exposed | No Insulation | None | Medium |

External and Internal Walls

| Construction Type | Insulation | Frame | Adjacency |
|---------------------------------|----------------------------|----------------|-----------|
| Internal Plasterboard Stud Wall | 90mm Non-Refl Air (ε 0.82) | TIMB-90x45-600 | Internal |
| Internal Plasterboard Stud Wall | R2.00 Fibreglass | TIMB-90x45-600 | Garage |

Windows and Skylights

| Glazing Type | Frame and Glazing Description | U-Value | SHGC | Frame Colour |
|--------------|-------------------------------|---------|------|--------------|
| Sliding | Aluminium B SG Clear | 6.70 | 0.70 | Medium |
| Sliding Door | Aluminium B SG Clear | 6.70 | 0.70 | Medium |

Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Note that the NatHERS Technical Notes 2019 allows only a 5% tolerance for the SHGC value however this is overridden by BASIX Thermal Comfort Protocol 2017 to be 10%.

Floors

| Construction Type | Insulation | Structure | Adjacency | Covering |
|--|--------------------------------------|-----------|-----------|----------|
| Concrete Waffle Pod Slab on Ground (110mm) | R0.62 - 300 mm Waffle Pod Insulation | None | Ground | |

Ceilings and Roof

| Description | Ceiling Insulation | Roof Insulation | Framing | Colour (Solar Absorptance) |
|--|--------------------|---|----------------|----------------------------|
| Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | R5.00 Fibreglass | 20mm Non-Refl Air (ε 0.82) + 90mm Refl Air (ε 0.05) | TIM-140x45-600 | Medium |
| Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | No Insulation | 20mm Non-Refl Air (ε 0.82) + 90mm Refl Air (ε 0.05) | | Medium |

Electrical Notes

| Description | Diameter (mm) | Location | Sealed | Notes |
|--------------|---------------|--------------|--------|----------|
| Downlights | 100 | As per plans | NA | IC Rated |
| Ceiling Fans | 1200 | Nil | NA | Nil |
| Exhaust Fans | 250 | As per plans | Yes | Nil |

Qualifications and Accreditation

Certificate IV in NatHERS Assessment
Residential Building Thermal Performance Course
Diploma in Building Surveying
Accredited Assessor with Design Matters National

Limitations of Report

This report was prepared for the purposes and exclusive use of the stated client to accompany an application to the relevant Council for the specified development application and is not to be used for any other purpose or by any other person or corporation.

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Lighting / Ceiling Penetration Calculations

Artificial Lighting Calculation Allowances

| | | | |
|---------------------------------|-----------------------|----------------|----------------------|
| Internal Area of Dwelling House | 236.32 m ² | Area Allowance | 5.0 W/m ² |
| | | Total | 1181.6 Watts |
| Internal Area of Garage | 36.00 m ² | Area Allowance | 3.0 W/m ² |
| | | Total | 108.0 Watts |
| External Living Area | 15.90 m ² | Area Allowance | 4.0 W/m ² |
| | | Total | 63.6 Watts |

Ceiling Penetration Allowance

| | | | |
|------------------------------|-----------------------|--------------------------------|----------------------|
| Total Insulated Ceiling Area | 236.32 m ² | 0.5% of insulated ceiling area | 1.182 m ² |
| Total Penetration Area | 0.000 m ² | | |

Clearance required around downlights creates a significant area of uninsulated ceiling, which therefore increases heat loss/gain through the ceiling. Insulation Contact rated downlights help to minimise the area of ceiling penetration and can greatly improve thermal performance of the proposed dwelling house.

Nationwide House Energy Rating Scheme®

NatHERS® Certificate No. #HR-GZ6GJS-01

Thermal performance
star rating

Generated on 22 Apr 2024 using Hero 4.0 (Chenath v3.23)

Property

Address 158 Skinners Shoot Road, SKINNERS SHOOT, NSW, 2481
Lot/DP 199//755695
NCC Class* 1a
Floor/all Floors 1 of 1 floors
Type New

Plans

Main Plan Aria 28 Classic LH
Prepared by Perry Homes

Construction and environment

| | |
|----------------------------------|-----------------------------|
| Assessed floor area (m²)* | Exposure Type |
| Conditioned* 168.2 | Exposed |
| Unconditioned* 16.2 | NatHERS climate zone |
| Total 220.4 | 10 - Brisbane AMO |
| Garage 36.0 | |



Accredited assessor

Name Duncan Hope
Business name Senica Consultancy Group
Email duncan@senica.com.au
Phone +61 280067784
Accreditation No. DMN/14/1658
Assessor Accrediting Organisation DMN
Declaration of interest No Conflict of Interest

NCC Requirements

BCA provisions Volume 2
State/Territory variation Yes

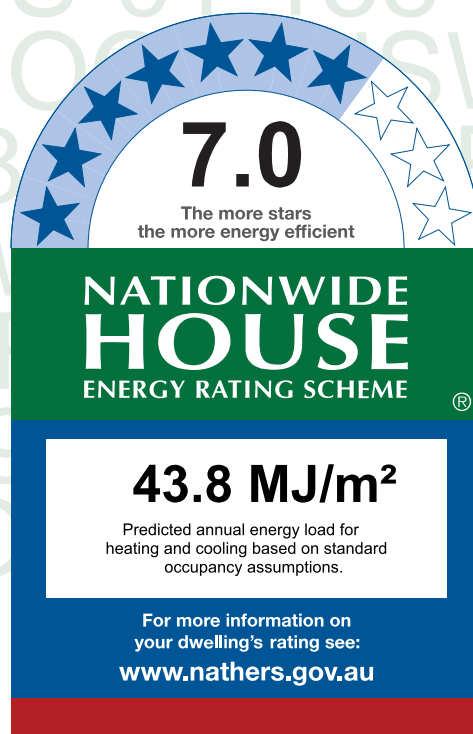
National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J2D2(2)(a) and (3) of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.



Thermal performance (MJ/m²)

Limits taken from ABCB Standard 2022

| | Heating | Cooling |
|--------------------|---------|---------|
| Modelled | 8.2 | 35.6 |
| Load limits | 12 | 56 |

Features determining load limits

Floor type
(lowest conditioned area) CSOG
NCC climate zone 1 or 2 Y
Outdoor living area N
Outdoor living area ceiling fan N

Whole of Home performance rating

No Whole of Home
performance rating
generated for this
certificate.

Verification

To verify this certificate, scan
the QR code or visit

<http://www.hero-software.com.au/pdf/HR-GZ6GJS-01>.

When using either link,
ensure you are visiting
<http://www.hero-software.com.au>



* Refer to glossary.

About the ratings

Thermal performance rating

NatHERS thermal software models the expected heating and cooling energy loads using information about the design, construction, climate and common patterns of household use. The thermal performance rating (shown as a star rating on this Certificate) does not take into account appliances, apart from the airflow impacts from ceiling fans.

Whole of Home performance rating

NatHERS Whole of Home software uses the heating and cooling energy loads combined with the energy performance of the home's appliances (heating, cooling, hot water, lighting, pool/spa pump and onsite renewable energy generation and storage) and models the expected energy value* of the whole home. The Whole of Home performance rating is shown as a score out of 100 on this Certificate.

Heating and Cooling Load Limits

Additional information

In some locations under the NCC NatHERS pathway, separate heating and cooling load limits may apply. Minimum required star ratings in northern parts of Australia may also be affected by the presence or absence of an outdoor living area and/or an outdoor living area ceiling fan. Refer to the *ABCB Standard: NatHERS heating and cooling load limits* for details or contact the relevant local building regulating authority, noting that State and Territory variations may also apply.

Setting options:

Floor type:

- CSOG - Concrete Slab on Ground
- SF - Suspended Floor (or a mixture of CSOG and SF)
- NA - Not Applicable

NCC climate Zone 1 or 2:

- Yes
- No
- NA - Not Applicable

Outdoor living area:

- Yes
- No
- NA - Not Applicable

Outdoor living area ceiling fan:

- Yes
- No
- NA - Not Applicable



Predicted onsite renewable energy impact

No Whole of Home performance assessment conducted for this certificate.

Predicted Whole of Home annual impact by appliance

Shows the contribution each appliance has on the home's annual energy use, greenhouse gas emissions and cost without solar.

Energy use:

No Whole of Home performance assessment conducted for this certificate.

Greenhouse gas emissions:

No Whole of Home performance assessment conducted for this certificate.

Cost:

No Whole of Home performance assessment conducted for this certificate.

Certificate check

The checklist covers important items impacting the dwelling's ratings.

It is recommended that the accuracy of the whole certificate is checked.

Note: The boxes indicate when and who should check each item.

It is not mandatory to complete this checklist.

| Approval stage | | Construction stage | | |
|------------------|--|--------------------|--|-----------------|
| Assessor checked | Consent authority/ surveyor checked | Builder checked | Consent authority/ surveyor checked | Occupancy/other |

Genuine certificate check

Does this Certificate match the one available at the web address or QR code verification link on the front page?

☐☐☐☐

Does the NatHERS certificate number on the NatHERS-stamped plans match the number on this Certificate?

☐☐☐☐

Thermal performance check

Windows and glazed doors

Does the window size, opening type and location shown on the NatHERS-stamped plans or as installed match what is shown in 'Window and glazed door schedule' and 'Roof window schedule' tables on this Certificate?

☐☐☐☐☐

Does the installed windows meet the substitution tolerances (AFRC* based SHGC* and U-values*) as shown in the 'Window and glazed door type and performance' and 'Roof window type and performance' tables on this Certificate?

☐☐☐

External walls

Does the external wall bulk insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'External wall type table' on this Certificate?

☐☐☐☐☐

Does the external wall shade (colour) match what is shown in the 'External wall type' table on this Certificate?

☐☐☐☐☐

Floor

Does the floor insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Floor type' table on this certificate?

☐☐☐☐☐

Ceiling penetrations*

Does the 'quantity' and 'type' of ceiling penetrations* (e.g. downlights, exhaust fans, etc) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling penetrations' table on this Certificate?

☐☐☐☐☐

Ceiling

Does the ceiling insulation (R-value) shown on the NatHERS-stamped plans or as installed match what is shown in the 'Ceiling type' table on this Certificate?

☐☐☐☐☐

Roof

Does the external roof shade (colour) on the NatHERS stamped plans or as installed match what is shown in the 'Roof type' table on this Certificate?

☐☐☐☐☐

Apartment entrance doors (NCC Class 2 assessments only)

Does the 'External Door Schedule' show apartment entrance doors? Please note that an "external door" between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

☐☐☐☐

Exposure*

Has the appropriate exposure type (terrain) (shown on page 1) been applied? For example, it is unlikely that a ground-floor apartment is "exposed" or a top floor high-rise apartment is "protected".

☐☐☐☐

Heating and cooling load limits*

Do the load limits settings (shown on page 1) match what is shown on the NatHERS-stamped plans?

☐☐☐☐☐

* Refer to glossary.



Certificate check

Continued

| Approval stage | | Construction stage | | |
|------------------|--|--------------------|--|-----------------|
| Assessor checked | Consent authority/ surveyor checked | Builder checked | Consent authority/ surveyor checked | Occupancy/other |

Additional NCC requirements for thermal performance (not included in the NatHERS assessment)

Thermal bridging

| | | | | | |
|--|--|--------------------------|--------------------------|--------------------------|--------------------------|
| Does the dwelling meet the NCC requirement for thermal bridging? | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--|--------------------------|--------------------------|--------------------------|--------------------------|

Insulation installation method

| | | | | | |
|--|--|--|--------------------------|--------------------------|--------------------------|
| Has the insulation been installed according to the NCC requirements? | | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|--|--|--|--------------------------|--------------------------|--------------------------|

Building sealing

| | | | | | |
|---|--|--------------------------|--------------------------|--------------------------|--------------------------|
| Does the dwelling meet the NCC requirements for Building Sealing? | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
|---|--|--------------------------|--------------------------|--------------------------|--------------------------|

Whole of Home performance check (not applicable if a Whole of Home assessment is not conducted)

Appliances

| | | | | | |
|--|--------------------------|--------------------------|--------------------------|--------------------------|--------------------------|
| Does the cooling appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Does the heating appliance/s type, location and efficiency/performance shown on the NatHERS-stamped plans or as installed, match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Does the hot water system type and efficiency/performance shown on the NatHERS-stamped plans or as installed match the location and minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Does the pool pump efficiency/performance shown on the NatHERS-stamped plans or as installed match the minimum efficiency/performance requirements shown in the 'Appliance schedule' on this Certificate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Does the onsite renewable energy system type, orientation and system size or generation capacity shown on the NatHERS stamped plans or installed match the 'Onsite Renewable Energy schedule' on this Certificate? | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Additional NCC Requirements for Services (not included in the NatHERS assessment)

| | | | | | |
|---|--|--------------------------|--------------------------|--------------------------|--------------------------|
| Does the lighting meet the artificial lighting requirements specified in the NCC? | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |
| Does the hot water system meet the additional requirements specified in the NCC? | | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> |

Provisional values* check

| | | | | | |
|--|--------------------------|--------------------------|--|--|--|
| Have provisional values* been used in the assessment and, if so, are they noted in 'Additional notes' table below? | <input type="checkbox"/> | <input type="checkbox"/> | | | |
|--|--------------------------|--------------------------|--|--|--|

Other NCC requirements

Note: This Certificate only covers the energy efficiency requirements in the NCC. Additional requirements that must also be satisfied include, but are not limited to: condensation, structural and fire safety requirements and any state or territory variations to the NCC energy efficiency requirements.

* Refer to glossary.

Room schedule

| Room | Zone Type | Area (m²) |
|----------------|----------------|-----------|
| Kitchen/Living | Kitchen/Living | 74.28 |
| WIR | Night Time | 6.32 |
| Bedroom 01 | Bedroom | 17.16 |
| Ensuite WC | Night Time | 1.54 |
| Ensuite | Night Time | 8.17 |
| Bedroom 02 | Bedroom | 10.80 |
| Bathroom | Unconditioned | 5.40 |
| WC | Unconditioned | 1.57 |
| Bedroom 03 | Bedroom | 12.06 |
| Laundry | Unconditioned | 5.32 |
| Garage | Garage | 36.01 |
| WIP | Day Time | 4.06 |
| Entry | Day Time | 10.53 |
| Powder | Unconditioned | 3.90 |
| Rumpus | Living | 17.85 |
| Hallway | Day Time | 5.45 |

Window and glazed door type and performance

Default* windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|--------------|----------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |
| ALM-002-01 A | Aluminium B SG Clear | 6.70 | 0.70 | 0.66 | 0.73 |

Custom* windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|-----------|--------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |



Custom* windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|-----------|--------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |
| None | | | | | |

Window and glazed door schedule

| Location | Window ID | Window no. | Height (mm) | Width (mm) | Window type | Opening % | Orient-ation | Shading device* |
|----------------|--------------|------------|-------------|------------|--------------|-----------|--------------|-----------------|
| Bathroom | ALM-002-01 A | 15.15s | 1800 | 1500 | Sliding | 45 | S | None |
| Bedroom 01 | ALM-002-01 A | 21.24s | 1800 | 2400 | Sliding | 28 | W | None |
| Bedroom 02 | ALM-002-01 A | 21.12s | 1800 | 1200 | Sliding | 30 | S | None |
| Bedroom 03 | ALM-002-01 A | 21.12s | 1800 | 1200 | Sliding | 30 | S | None |
| Ensuite | ALM-002-01 A | 21.18s | 1800 | 1800 | Sliding | 30 | W | None |
| Ensuite WC | ALM-002-01 A | 21.06s | 1800 | 600 | Sliding | 30 | S | None |
| Kitchen/Living | ALM-002-01 A | 24.6228ssd | 1800 | 6228 | Sliding Door | 30 | N | None |
| Kitchen/Living | ALM-002-01 A | 24.3129ssd | 1800 | 3129 | Sliding Door | 30 | W | None |
| Laundry | ALM-002-01 A | 24.1450sd | 1800 | 1450 | Sliding Door | 45 | S | None |
| Powder | ALM-002-01 A | 06.12s | 1800 | 1200 | Sliding | 45 | N | None |
| Rumpus | ALM-002-01 A | 06.18s | 600 | 1800 | Sliding | 45 | E | None |
| Rumpus | ALM-002-01 A | 06.18s | 600 | 1800 | Sliding | 45 | E | None |
| WC | ALM-002-01 A | 12.06s | 1800 | 600 | Sliding | 45 | S | None |
| WIR | ALM-002-01 A | 21.07s | 1800 | 700 | Sliding | 30 | W | None |

Roof window type and performance value

Default* roof windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|-----------|--------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |
| None | | | | | |

Custom* roof windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|-----------|--------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |

* Refer to glossary.

Custom* roof windows

| Window ID | Window Description | Maximum U-value* | SHGC* | SHGC substitution tolerance ranges | |
|-----------|--------------------|------------------|-------|------------------------------------|-------------|
| | | | | lower limit | upper limit |
| None | | | | | |

Roof window schedule

| Location | Window ID | Window no. | Opening % | Height (mm) | Width (mm) | Orient-ation | Outdoor shade | Indoor shade |
|----------|-----------|------------|-----------|-------------|------------|--------------|---------------|--------------|
| None | | | | | | | | |

Skylight type and performance

| Skylight ID | Skylight description |
|-------------|----------------------|
| None | |

Skylight schedule

| Location | Skylight ID | Skylight No. | Skylight shaft length (mm) | Area (m²) | Orient-ation | Outdoor shade | Diffuser | Shaft Reflectance |
|----------|-------------|--------------|----------------------------|-----------|--------------|---------------|----------|-------------------|
| None | | | | | | | | |

External door schedule

| Location | Height (mm) | Width (mm) | Opening % | Orientation |
|----------|-------------|------------|-----------|-------------|
| Entry | 2040 | 1200 | 90 | E |
| Garage | 2400 | 4840 | 0 | E |

External wall type

| Wall ID | Wall Type | Solar absorptance | Wall Colour | Bulk insulation (R-value) | Reflective wall wrap* |
|-----------------------|--|-------------------|-------------|---------------------------|-----------------------|
| BV-REFL-CAV-A | Brick Veneer Stud Wall with Reflective Sarking | 0.50 | Medium | 2.50 | Yes |
| BV-REFL-CAV-B | Brick Veneer Stud Wall with Reflective Sarking | 0.50 | Medium | 0.00 | Yes |
| DBL-BRICK-110-110-EXP | Double Brick - 110mm/110mm Exposed | 0.50 | Medium | 0.00 | No |

External wall schedule

| Location | Wall ID | Height (mm) | Width (mm) | Orient-ation | Horizontal shading feature* projection (mm) | Vertical shading feature |
|------------|---------------|-------------|------------|--------------|---|--------------------------|
| Bathroom | BV-REFL-CAV-A | 2730 | 1801 | S | 698 | No |
| Bedroom 01 | BV-REFL-CAV-A | 2730 | 3631 | W | 698 | Yes |
| Bedroom 02 | BV-REFL-CAV-A | 2730 | 3600 | S | 698 | No |

External wall *schedule*

| Location | Wall ID | Height (mm) | Width (mm) | Orient-ation | Horizontal shading feature* projection (mm) | Vertical shading feature |
|----------------|-----------------------|-------------|------------|--------------|---|--------------------------|
| Bedroom 03 | BV-REFL-CAV-A | 2730 | 3000 | S | 698 | No |
| Ensuite | BV-REFL-CAV-A | 2730 | 1608 | S | 736 | No |
| Ensuite | BV-REFL-CAV-A | 2730 | 3007 | W | 705 | Yes |
| Ensuite WC | BV-REFL-CAV-A | 2730 | 1624 | S | 697 | No |
| Entry | BV-REFL-CAV-A | 2730 | 1895 | E | 3600 | Yes |
| Garage | BV-REFL-CAV-B | 2730 | 6001 | S | 718 | No |
| Garage | DBL-BRICK-110-110-EXP | 2730 | 6001 | E | 2560 | Yes |
| Garage | BV-REFL-CAV-B | 2730 | 1080 | N | 6368 | Yes |
| Kitchen/Living | BV-REFL-CAV-A | 2730 | 10481 | N | 3701 | Yes |
| Kitchen/Living | BV-REFL-CAV-A | 2730 | 3480 | W | 5259 | Yes |
| Laundry | BV-REFL-CAV-A | 2730 | 1555 | S | 698 | No |
| Powder | BV-REFL-CAV-A | 2730 | 1501 | N | 3701 | Yes |
| Rumpus | BV-REFL-CAV-A | 2730 | 2080 | S | 8729 | Yes |
| Rumpus | BV-REFL-CAV-A | 2730 | 4930 | N | 3701 | Yes |
| Rumpus | BV-REFL-CAV-A | 2730 | 3620 | E | 1520 | Yes |
| WC | BV-REFL-CAV-A | 2730 | 950 | S | 698 | No |
| WIR | BV-REFL-CAV-A | 2730 | 1408 | W | 698 | Yes |
| WIR | BV-REFL-CAV-A | 2730 | 4491 | N | 7181 | Yes |

Internal wall *type*

| Wall ID | Wall Type | Area (m ²) | Bulk insulation |
|---------|---------------------------------|------------------------|-----------------|
| INT-PB | Internal Plasterboard Stud Wall | 151.4 | 0.00 |
| INT-PB | Internal Plasterboard Stud Wall | 28.2 | 2.00 |

Floor *type*

| Location | Construction | Area (m ²) | Sub-floor ventilation | Added insulation (R-value) | Covering |
|----------|--------------|------------------------|-----------------------|----------------------------|----------|
|----------|--------------|------------------------|-----------------------|----------------------------|----------|

Floor type

| Location | Construction | Area (m ²) | Sub-floor ventilation | Added insulation (R-value) | Covering |
|----------------|--|------------------------|-----------------------|----------------------------|------------|
| Bathroom | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 5.4 | N/A | 0.62 | Tile (8mm) |
| Bedroom 01 | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 17.2 | N/A | 0.62 | Carpet |
| Bedroom 02 | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 10.8 | N/A | 0.62 | Carpet |
| Bedroom 03 | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 12.1 | N/A | 0.62 | Carpet |
| Ensuite | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 8.2 | N/A | 0.62 | Tile (8mm) |
| Ensuite WC | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 1.5 | N/A | 0.62 | Tile (8mm) |
| Entry | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 10.5 | N/A | 0.62 | Vinyl |
| Garage | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 36.0 | N/A | 0.62 | Exposed |
| Hallway | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 5.5 | N/A | 0.62 | Vinyl |
| Kitchen/Living | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 74.3 | N/A | 0.62 | Vinyl |
| Laundry | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 5.3 | N/A | 0.62 | Tile (8mm) |
| Powder | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 3.9 | N/A | 0.62 | Tile (8mm) |
| Rumpus | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 17.8 | N/A | 0.62 | Vinyl |
| WC | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 1.6 | N/A | 0.62 | Tile (8mm) |
| WIP | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 4.1 | N/A | 0.62 | Vinyl |
| WIR | WAFFLE-110: Concrete Waffle Pod Slab on Ground (110mm) | 6.3 | N/A | 0.62 | Carpet |

Ceiling type

| Location | Construction | Bulk insulation (R-value) | Reflective wrap* |
|------------|--|---------------------------|------------------|
| Bathroom | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Bedroom 01 | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Bedroom 02 | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Bedroom 03 | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Ensuite | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |

Ceiling type

| Location | Construction | Bulk insulation (R-value) | Reflective wrap* |
|----------------|--|---------------------------|------------------|
| Ensuite WC | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Entry | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Garage | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 0.00 | Yes |
| Hallway | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Kitchen/Living | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Laundry | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Powder | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| Rumpus | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| WC | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| WIP | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |
| WIR | ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 5.00 | Yes |

Ceiling penetrations*

| Location | Quantity | Type | Diameter (mm) | Sealed /unsealed |
|----------------|----------|-------------|---------------|------------------|
| Bathroom | 1 | Downlight | 200 | Sealed |
| Bedroom 01 | 2 | Downlight | 200 | Sealed |
| Bedroom 02 | 1 | Downlight | 200 | Sealed |
| Bedroom 03 | 1 | Downlight | 200 | Sealed |
| Ensuite | 2 | Downlight | 200 | Sealed |
| Ensuite WC | 1 | Downlight | 200 | Sealed |
| Entry | 1 | Downlight | 200 | Sealed |
| Hallway | 2 | Downlight | 200 | Sealed |
| Kitchen/Living | 9 | Downlight | 200 | Sealed |
| Kitchen/Living | 1 | Exhaust Fan | 350 | Sealed |
| Laundry | 1 | Downlight | 200 | Sealed |

* Refer to glossary.

Ceiling penetrations*

| Location | Quantity | Type | Diameter (mm) | Sealed /unsealed |
|----------|----------|-----------|---------------|------------------|
| Powder | 1 | Downlight | 200 | Sealed |
| Rumpus | 2 | Downlight | 200 | Sealed |
| WC | 1 | Downlight | 200 | Sealed |
| WIP | 1 | Downlight | 200 | Sealed |
| WIR | 2 | Downlight | 200 | Sealed |

Ceiling fans

| Location | Quantity | Diameter (mm) |
|----------|----------|---------------|
| None | | |

Roof type

| Construction | Added insulation (R-value) | Solar absorptance | Roof Colour |
|--|----------------------------|-------------------|-------------|
| ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling | 0.00 | 0.50 | Medium |

Thermal bridging schedule for steel frame elements

| Building element | Steel section dimensions (height x width, mm) | Frame spacing (mm) | Steel thickness (BMT mm) | Thermal Break (R-value) |
|------------------|---|--------------------|--------------------------|-------------------------|
| None | | | | |

Appliance schedule

(not applicable if a Whole of Home performance assessment is not conducted for this certificate)

Cooling system

| Type | Location | Fuel Type | Minimum efficiency / performance | Recommended capacity |
|-----------------------|----------|-----------|----------------------------------|----------------------|
| No Whole of Home Data | | | | |

Heating system

| Type | Location | Fuel Type | Minimum efficiency / performance | Recommended capacity |
|-----------------------|----------|-----------|----------------------------------|----------------------|
| No Whole of Home Data | | | | |

Hot water system

| Type | Fuel type | Hot Water CER Zone | Minimum efficiency / STC | Assessed daily load [litres] |
|------|-----------|--------------------|--------------------------|------------------------------|
|------|-----------|--------------------|--------------------------|------------------------------|



Hot water system

| Type | Fuel type | Hot Water CER Zone | Minimum efficiency / STC | Assessed daily load [litres] |
|-----------------------|-----------|--------------------|--------------------------|------------------------------|
| No Whole of Home Data | | | | |

Pool / spa equipment

| Type | Fuel type | Minimum efficiency / performance | Recommended capacity |
|-----------------------|-----------|----------------------------------|----------------------|
| No Whole of Home Data | | | |

Onsite Renewable Energy *schedule*

| Type | Orientatation | Generation Capacity [kW] |
|-----------------------|---------------|--------------------------|
| No Whole of Home Data | | |

Battery *schedule*

| Type | Storage Capacity [kWh] |
|-----------------------|------------------------|
| No Whole of Home Data | |

* Refer to glossary.

Explanatory Notes

About this report

NatHERS ratings are a reliable guide for comparing different dwelling designs and to demonstrate that designs meet the energy efficiency requirements in the National Construction Code.

NatHERS ratings use computer modelling to evaluate a home's energy efficiency and performance. They use localised climate data and standard assumptions on how people use their home to predict the heating and cooling energy loads and energy value* of the whole home. The thermal performance star rating uses the home's building specifications, layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings) to predict the heating and cooling energy loads. The Whole of Home performance rating uses information about the home's appliances and onsite energy generation and storage to estimate the home's energy value*.

The actual energy loads, cost and greenhouse gas emissions of a home may vary from that predicted. This is because the assumptions will not always match the actual occupant usage patterns. For example, the number of occupants and how people use their appliances will vary.

Energy efficient homes use less energy, are warmer on cool days, cooler on hot days and cost less to run.

Accredited assessors

For quality assured NatHERS Certificates, always use an accredited or licenced assessor registered with an Assessor Accrediting Organisation (AAO). AAOs have strict quality assurance processes, and professional development requirements ensuring consistently high standards for assessments.

Non-accredited assessors (Raters) have no ongoing training requirements and

are not quality assured.

Any queries about this report should be directed to the assessor. If the assessor is unable to address questions or concerns, contact the AAO specified on the front of this certificate.

Disclaimer

The NatHERS Certificate format is developed by the NatHERS Administrator. However, the content in the certificate is entered by the assessor. It is the assessor's responsibility to use NatHERS accredited software correctly and follow the NatHERS Technical Note to produce a NatHERS Certificate.

The predicted annual energy load, cost and greenhouse gas emissions in this NatHERS Certificate are an estimate based on an assessment of the dwelling's design by the assessor. It is not a prediction of actual energy use, cost or emissions. The information and ratings may be used to compare how other dwellings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, behaviour, appliance performance, indoor air temperature and local climate.

Not all assumptions made by the assessor using the NatHERS accredited software tool are presented in this report and further details or data files may be obtained from the assessor.

Glossary

| | |
|---|--|
| Annual energy load | the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions. |
| AFRC | Australian Fenestration Rating Council |
| Assessed floor area | the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents. |
| Ceiling penetrations | features that require a penetration to the ceiling, including downlights, vents, exhaust fans, range hoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts. |
| Conditioned | a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages. |
| COP | Coefficient of performance |
| Custom windows | windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating. |
| Default windows | windows that are representative of a specific type of window product and whose properties have been derived by statistical methods. |
| EER | Energy Efficiency Ratio, measure of how much cooling can be achieved by an air conditioner for a single kWh of electricity input |
| Energy use | This is your home's rating without solar or batteries. |
| Energy value | The net cost to society including, but not limited to, costs to the building user, the environment and energy networks (as defined in the ABCB Housing Provisions Standard). |
| Entrance door | these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building. |
| Exposure | see exposure categories below |
| Exposure category - exposed | terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors). |
| Exposure category - open | terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors). |
| Exposure category - suburban | terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas. |
| Exposure category - protected | terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas. |
| Horizontal shading feature | provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels. |
| National Construction Code (NCC) Class | the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at www.abcb.gov.au . |
| Net zero home | a home that achieves a net zero energy value*. |
| Opening percentage | the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations. |
| Provisional value | an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at www.nathers.gov.au |
| Recommended capacity | this is the capacity or size of equipment that is recommended by NatHERS to achieve the desired comfort conditions in the zone or zones serviced. This is a recommendation and the final selection sizing should be confirmed by a suitably qualified person. |
| Reflective wrap (also known as foil) | can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties. |
| Roof window | for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser. |
| Shading features | includes neighbouring buildings, fences, and wing walls, but excludes eaves. |
| Solar heat gain coefficient (SHGC) | the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits. |
| Skylight (also known as roof lights) | for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level. |
| STCs | Small-scale Technology Certificates, certificates created by the REC registry for renewable energy technologies that may be bought and sold as part of the Small-scale Renewable Energy Scheme operated by the Clean Energy Regulatory |
| Thermal breaks | are materials with an R-value greater than or equal to 0.2 that must separate the metal frame from the cladding. This includes, but is not limited to, materials such as timber battens greater than or equal to 20mm thick, continuous thermal breaks such as polystyrene insulation sheeting, plastic strips or furring channels. |
| U-value | the rate of heat transfer through a window. The lower the U-value, the better the insulating ability. |
| Unconditioned | a zone within a dwelling that is assumed to not require heating and cooling based on standard occupancy assumptions |
| Vertical shading features | provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees). |
| Window shading device | a device fixed to windows that provides shading e.g. window awnings or screens but excludes horizontal* or vertical shading features* (eg eaves and balconies) |

* Refer to glossary.

ACOUSTIC TREATMENT REQUIRED - N/A
BUSH FIRE TREATMENT REQUIRED - BAL 12.5

GENERAL NOTES:

- BUILDER/CONTRACTOR NOTE, CHECK AND VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MM. ALL LEVELS ARE TO BE VERIFIED ON SITE.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE NCC VOL. 2-2022, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANT DRAWINGS.
- ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660.1-2014. DURABILITY NOTICE TO BE PLACED IN METER BOX INDICATING TYPE OF BARRIER AND REQ'D PERIODICAL INSPECTIONS AND MAINTENANCE.
- BUILDER/CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE STABILITY OF EXIST. AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL SITE INFORMATION INCLUDING SERVICES AND LEVELS HAVE BEEN TAKEN FROM DISCLOSURE PLAN INFORMATION ONLY AND MUST BE CONFIRMED WITH AN UP-TO-DATE SURVEY AND CHECKED ON SITE PRIOR TO CONSTRUCTION.
- CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT, CONFIRM WITH THE RELEVANT CONSULTANT.
- KEEP NON WALL MOUNTED HWS 100 CLEAR OF WALL.

SPECIFICATION:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

PLUMBING AND DRAINAGE:

- ALL PLUMBING WORKS TO BE CONCEALED.
- ALL PLUMBING WORKS TO COMPLY WITH RELEVANT WATER SAVING TARGETS
- KEEP NON-WALL MOUNTED HWS 100 CLEAR OF WALLS

FOOTINGS AND SLAB:

- FOOTINGS AND SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DETAILS, REFER ENGINEER'S DETAILS FOR SOIL CLASSIFICATION.

BRICK VENEER:

- BRICKWORK SHALL BE STRAIGHT, PLUMB AND LEVEL (AS PER AUSTRALIAN STANDARDS)
- MASONRY WEEPHOLES AT 900 CRS. AS PER NCC VOL. 2-2022 CL. 5.7.5
- BRICK VENEER WALLS TO BE CONSTRUCTED WITH MEDIUM DUTY WALL TIES.
- PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 5.6.5 ABCB OF THE NCC VOL.2-2022.

FRAMING:

- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART 6 OF THE NCC VOL.2-2022 AND AS1170.2-2021/AS1684-2021.
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO WALL FRAME.
- FOR ALL CAVITY SLIDING DOORS PROVIDE 90mm TIMBER WALL FRAMES U.N.O.
- NOGGINGS AT 1350mm cts MAXIMUM VERTICALLY

WALL LININGS:

- EXTERIOR LININGS AS NOTED ON DRAWINGS
- INTERIOR LININGS, 10mm FLUSH PLASTERBOARD LININGS TO WALLS AND CEILINGS, WALLS TO WET AREAS TO BE 6mm VILLABOARD (U.N.O.)

WINDOWS AND GLAZING:

- GLASS INSTALLATION TO COMPLY WITH NCC VOL.2-2022 PART 8 AND AS1288-2021/AS2047-2014.
- ALL WINDOWS AND SLIDING DOORS TO BE POWDERCOATED ALUMINIUM UNLESS OTHERWISE NOTED AND FIXED TO MANUFACTURER'S DETAILS AND SPECIFICATIONS
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES
 - (1) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
 - (2) ALL BATHROOMS & ENSUITES
 - (3) FULLY GLAZED DOORS
 - (4) WITHIN 300mm OF A DOOR AND MORE THAN 1200mm ABOVE FLOOR

ROOF FRAMING:

- ROOF PITCH AS INDICATED ON DRAWINGS
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO ROOF TRUSSES.
- PREFABRICATED TIMBER ROOF TRUSSES TO AS4440-2004 SUPPLIED AND FIXED TO MANUFACTURER'S DETAILS AT 600 CRS.
- CEILING BINDERS EVENLY SPACED THROUGHOUT CEILING SPACE
- NO ANTICON UNDER METAL ROOF SHEETING U.N.O.
- MANHOLE POSITION APPROX. ONLY, DETERMINE ON SITE

WATERPROOFING IN WET AREAS:

- WET AREA FLOOR & SHOWER WASTES TO COMPLY WITH THE PROVISIONS OF PART 10.2 H4D2 ABCB OF THE NCC VOL.2-2022 AND AS3740-2021.
- WET AREA FLOOR FALLS TO COMPLY TO HP 10.2.12 PART H4D2 OF THE NCC VOL.2-2022.

ROOF CLADDING:

- SELECTED COLORBOND SHEET ROOF FIXED TO MANUF'S SPECIFICATIONS
- CONCRETE TILE ROOF: ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- COLORBOND FASCIA AND GUTTER SYSTEM, 90 DIA. PVC DOWNPIPES U.N.O.

M:\11060365 Drafting\0000 DESIGN SIZE RH FACADE CLIENT COUNCIL\110603 PRELIMINARY PLANS - JHB.jph



HEAD OFFICE
49 Mirringal Drive, Tweed Heads South NSW 2486
ph: 07 5569 9400 fax: 07 5523 2884
e: admin@perryhomes.com.au
w: www.perryhomes.com.au
ABN: 53 090 866 630 QBCC Act Lic. 718748 NSW Lic. No. 110970C

*THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.
*THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF PERRY HOMES (AUST) P/L.
*BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.

I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
client details:

Aria 28 Classic LH
Cover Sheet
drawing title

| issue | date | amendment description | by |
|-------|----------|-----------------------|-----|
| A | 19.04.24 | AMENDED AS PER CHECK | JHB |
| - | 08.04.24 | PRELIMINARY ISSUE-AD | QL |

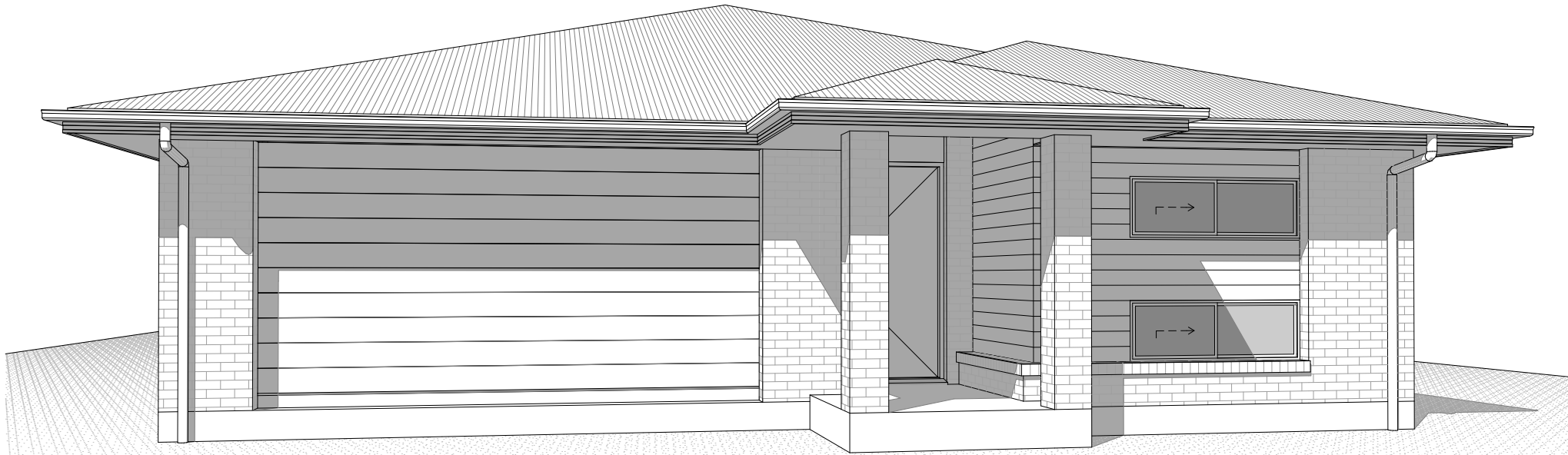
PRELIMINARY
plan issue type
designed: JD drawn: QL checked: -

10683
contract number
A
issue no.
19/04/2024
printed date:
as shown
dwg scale @ A3
1 of 15
sheets in set

PROPOSED NEW RESIDENCE at Lot 199 (No. 158) Skinners Shoot Road Skinners Shoot, NSW. 2481

Aria 28 Classic

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



Artist's impression

PERRY HOMES (AUST) P/L RESERVES THE RIGHT TO MODIFY AND IMPROVE THE DESIGN AT ITS DISCRETION - DO NOT SCALE OFF DRAWINGS, USE ONLY THE WRITTEN DIMENSIONS AND VERIFY ALL DIMENSIONS ON SITE

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

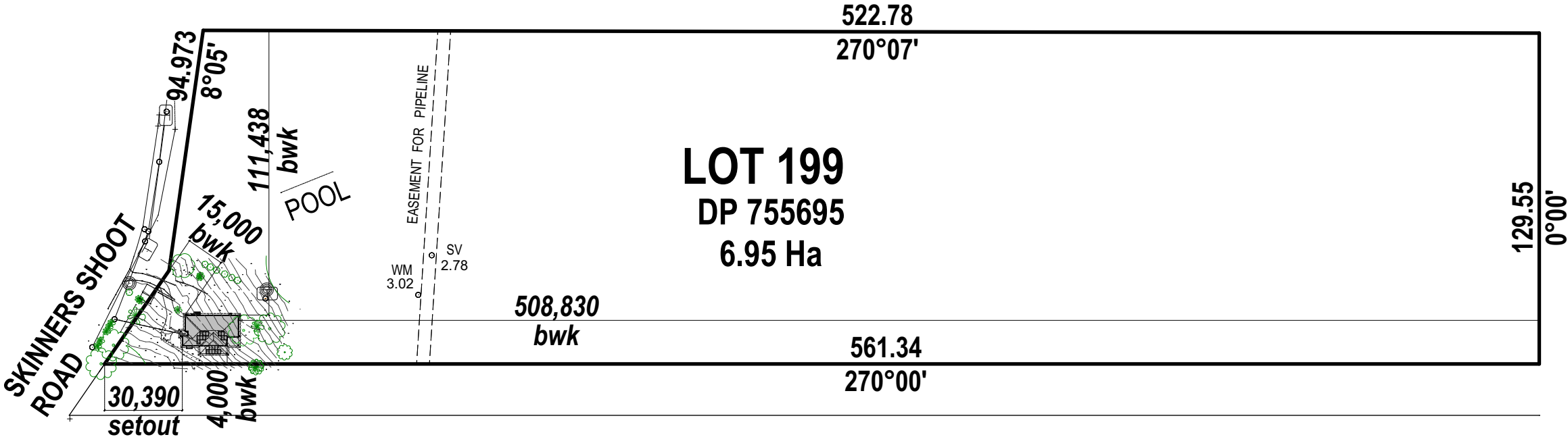
Mark Buckman & Co
Consulting Surveyors
47 Pearl Street
PO BOX 1393
Kingscliff, 2487.
Ph. 02 66 741 891
Mob 0418 665 832
email : mbuckman@bigpond.net.au



PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%

SEE SHEET 4 FOR 1:200 DETAILS



LEGEND

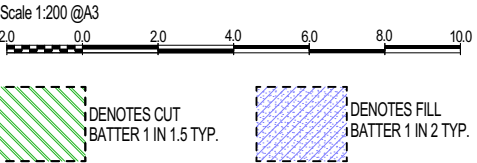
LEGEND

| | | | |
|-----|------------------------|----|------------|
| | STREET LIGHT | | GRATE |
| WC | WATER CONNECTION | | ELEC PIT |
| SC | SEWER CONNECTION | | TELSTRA |
| SWC | STORM WATER CONNECTION | | MANHOLE |
| SV | STOP VALVE | PP | POWER POLE |
| WM | WATER METER | | TREE/SHRUB |

SERVICES LEGEND

SERVICES LEGEND

| | | | |
|--|-----|--|--|
| | SW | | FIELD GULLY PIT CONNECTED TO STORMWATER LINE APPROX. 6m APART MAX. (7 OFF) |
| | | | SEWER LINE |
| | RW | | RAINWATER LINE |
| | E | | UNDERGROUND ELECTRICAL CONDUIT & SERVICE PILLAR |
| | OH | | EXISTING OVERHEAD ELECTRICAL CABLE & POLE |
| | W | | WATER RETICULATION LINE & WATER METER |
| | GAS | | GAS RETICULATION LINE |
| | T | | TELSTRA LINE |
| | | | SPOON DRAIN |
| | | | EARTH BERM |
| | | | SEDIMENT FENCE (ON FALL SIDE ONLY) |
| | | | LEVEL BUILDING PLATFORM |
| | | | RETAINING WALL |



Locality Plan
Scale 1:2000

| Building Specification | | | | |
|---|--------------------------------------|-----------------|---------------------------|---------------------------|
| These are the specifications upon which the certified NatHERG assessment is based. Any deviation from these specifications will invalidate the NatHERS certificate and therefore voids compliance of the development with the NCC and the NSW BASIX Protocol. In case of any variation from these specifications contact Senica Consultancy Group to obtain updated NatHERS and BASIX certificates and an updated copy of these specifications. | | | | |
| External and Internal Walls | | | | |
| Construction Type | Insulation | Frame | Colour (Solar Absorbance) | |
| Brick Veneer Stud Wall with Defective Sarking | R2.50 Fibreglass | TM-B 90x45-600 | Medium | |
| Brick Veneer Stud Wall with Defective Sarking | 90mm Refl Air (x 0.05) | TM-B 90x45-600 | Medium | |
| Double Brick - 100mm/100mm Exposed | No Insulation | None | Medium | |
| External and Internal Walls | | | | |
| Construction Type | Insulation | Frame | Adjacency | |
| Internal Plasterboard Stud Wall | 90mm Non-Ref Air (x 0.82) | TM-B 90x45-600 | Internal | |
| Internal Plasterboard Stud Wall | R2.00 Fibreglass | TM-B 90x45-600 | Garage | |
| Windows and Skylights | | | | |
| Glazing Type | Frame and Glazing Description | U-Value | SHGC | Frame Colour |
| Sliding | Aluminium B SC Clear | 6.70 | 0.70 | Medium |
| Sliding Door | Aluminium B SC Clear | 6.70 | 0.70 | Medium |
| Window and skylight U and SHGC values, if specified, are according to NFRC. Alternate products or specifications may be used if their U value is lower, and the SHGC value is less than 10% higher or lower, than the U and SHGC values of the product specified above. Note that the NatHERS Technical Notes 2019 allows only a 5% tolerance for the SHGC value however this is overridden by BASIX Thermal Comfort Protocol 2017 to be 10%. | | | | |
| Floors | | | | |
| Construction Type | Insulation | Structure | Adjacency | Covering |
| Concrete Slab on Ground (100mm) | R0.62 - 300 mm Waffle Pod Insulation | None | Ground | |
| Ceilings and Roof | | | | |
| Description | Ceiling Insulation | Roof Insulation | Framing | Colour (Solar Absorbance) |
| 150/200/250/300/350/400/450/500/550/600/650/700/750/800/850/900/950/1000/1050/1100/1150/1200/1250/1300/1350/1400/1450/1500/1550/1600/1650/1700/1750/1800/1850/1900/1950/2000/2050/2100/2150/2200/2250/2300/2350/2400/2450/2500/2550/2600/2650/2700/2750/2800/2850/2900/2950/3000/3050/3100/3150/3200/3250/3300/3350/3400/3450/3500/3550/3600/3650/3700/3750/3800/3850/3900/3950/4000/4050/4100/4150/4200/4250/4300/4350/4400/4450/4500/4550/4600/4650/4700/4750/4800/4850/4900/4950/5000/5050/5100/5150/5200/5250/5300/5350/5400/5450/5500/5550/5600/5650/5700/5750/5800/5850/5900/5950/6000/6050/6100/6150/6200/6250/6300/6350/6400/6450/6500/6550/6600/6650/6700/6750/6800/6850/6900/6950/7000/7050/7100/7150/7200/7250/7300/7350/7400/7450/7500/7550/7600/7650/7700/7750/7800/7850/7900/7950/8000/8050/8100/8150/8200/8250/8300/8350/8400/8450/8500/8550/8600/8650/8700/8750/8800/8850/8900/8950/9000/9050/9100/9150/9200/9250/9300/9350/9400/9450/9500/9550/9600/9650/9700/9750/9800/9850/9900/9950/10000/10050/10100/10150/10200/10250/10300/10350/10400/10450/10500/10550/10600/10650/10700/10750/10800/10850/10900/10950/11000/11050/11100/11150/11200/11250/11300/11350/11400/11450/11500/11550/11600/11650/11700/11750/11800/11850/11900/11950/12000/12050/12100/12150/12200/12250/12300/12350/12400/12450/12500/12550/12600/12650/12700/12750/12800/12850/12900/12950/13000/13050/13100/13150/13200/13250/13300/13350/13400/13450/13500/13550/13600/13650/13700/13750/13800/13850/13900/13950/14000/14050/14100/14150/14200/14250/14300/14350/14400/14450/14500/14550/14600/14650/14700/14750/14800/14850/14900/14950/15000/15050/15100/15150/15200/15250/15300/15350/15400/15450/15500/15550/15600/15650/15700/15750/15800/15850/15900/15950/16000/16050/16100/16150/16200/16250/16300/16350/16400/16450/16500/16550/16600/16650/16700/16750/16800/16850/16900/16950/17000/17050/17100/17150/17200/17250/17300/17350/17400/17450/17500/17550/17600/17650/17700/17750/17800/17850/17900/17950/18000/18050/18100/18150/18200/18250/18300/18350/18400/18450/18500/18550/18600/18650/18700/18750/18800/18850/18900/18950/19000/19050/19100/19150/19200/19250/19300/19350/19400/19450/19500/19550/19600/19650/19700/19750/19800/19850/19900/19950/20000/20050/20100/20150/20200/20250/20300/20350/20400/20450/20500/20550/20600/20650/20700/20750/20800/20850/20900/20950/21000/21050/21100/21150/21200/21250/21300/21350/21400/21450/21500/21550/21600/21650/21700/21750/21800/21850/21900/21950/22000/22050/22100/22150/22200/22250/22300/22350/22400/22450/22500/22550/22600/22650/22700/22750/22800/22850/22900/22950/23000/23050/23100/23150/23200/23250/23300/23350/23400/23450/23500/23550/23600/23650/23700/23750/23800/23850/23900/23950/24000/24050/24100/24150/24200/24250/24300/24350/24400/24450/24500/24550/24600/24650/24700/24750/24800/24850/24900/24950/25000/25050/25100/25150/25200/25250/25300/25350/25400/25450/25500/25550/25600/25650/25700/25750/25800/25850/25900/25950/26000/26050/26100/26150/26200/26250/26300/26350/26400/26450/26500/26550/26600/26650/26700/26750/26800/26850/26900/26950/27000/27050/27100/27150/27200/27250/27300/27350/27400/27450/27500/27550/27600/27650/27700/27750/27800/27850/27900/27950/28000/28050/28100/28150/28200/28250/28300/28350/28400/28450/28500/28550/28600/28650/28700/28750/28800/28850/28900/28950/29000/29050/29100/29150/29200/29250/29300/29350/29400/29450/29500/29550/29600/29650/29700/29750/29800/29850/29900/29950/30000/30050/30100/30150/30200/30250/30300/30350/30400/30450/30500/30550/30600/30650/30700/30750/30800/30850/30900/30950/31000/31050/31100/31150/31200/31250/31300/31350/31400/31450/31500/31550/31600/31650/31700/31750/31800/31850/31900/31950/32000/32050/32100/32150/32200/32250/32300/32350/32400/32450/32500/32550/32600/32650/32700/32750/32800/32850/32900/32950/33000/33050/33100/33150/33200/33250/33300/33350/33400/33450/33500/33550/33600/33650/33700/33750/33800/33850/33900/33950/34000/34050/34100/34150/34200/34250/34300/34350/34400/34450/34500/34550/34600/34650/34700/34750/34800/34850/34900/34950/35000/35050/35100/35150/35200/35250/35300/35350/35400/35450/35500/35550/35600/35650/35700/35750/35800/35850/35900/35950/36000/36050/36100/36150/36200/36250/36300/36350/36400/36450/36500/36550/36600/36650/36700/36750/36800/36850/36900/36950/37000/37050/37100/37150/37200/37250/37300/37350/37400/37450/37500/37550/37600/37650/37700/37750/37800/37850/37900/37950/38000/38050/38100/38150/38200/38250/38300/38350/38400/38450/38500/38550/38600/38650/38700/38750/38800/38850/38900/38950/39000/39050/39100/39150/39200/39250/39300/39350/39400/39450/39500/39550/39600/39650/39700/39750/39800/39850/39900/39950/40000/40050/40100/40150/40200/40250/40300/40350/40400/40450/40500/40550/40600/40650/40700/40750/40800/40850/40900/40950/41000/41050/41100/41150/41200/41250/41300/41350/41400/41450/41500/41550/41600/41650/41700/41750/41800/41850/41900/41950/42000/42050/42100/42150/42200/42250/42300/42350/42400/42450/42500/42550/42600/42650/42700/42750/42800/42850/42900/42950/43000/43050/43100/43150/43200/43250/43300/43350/43400/43450/43500/43550/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| | | | |

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUTFILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND
SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR
CONSTRUCTION PURPOSES ONLY

BAL 12.5
To comply with bushfire attack
level 12.5 to AS3959-2018

Mark Buckman & Co
Consulting Surveyors

47 Pearl Street
PO BOX 1393
Kingscliff, 2487.



Ph . 02 66 741 891
Mob 0418 665 832

email : mbuckman@bigpond.net.au

 EXISTING TREE TO REMAIN

 EXISTING TREE TO BE REMOVED BY OWNER

PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%

Existing Conditions

PERRY HOMES (AUST) P/L RESERVES THE RIGHT TO MODIFY AND IMPROVE THE DESIGN AT ITS DISCRETION . DO NOT SCALE OFF DRAWINGS, USE ONLY THE WRITTEN DIMENSIONS AND VERIFY ALL DIMENSIONS ON SITE


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HEAD OFFICE
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e: admin@perryhomes.com.au
w: www.perryhomes.com.au **QBCC Act Lic. 718748**
ABN: 53 090 866 630 **NSW Lic. No. 110970C**

THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED.

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BUILDER'S WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.

IF WE APPROVE THESE DRAWINGS TO BE CORRECT AS
PER CONTRACT

Signature: _____ Date: _____

Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
 client details:

Aria 28 Classic LH

| | | | |
|-------|----------|-----------------------|----|
| | | | |
| A | 19.04.24 | AMENDED AS PER CHECK | JH |
| - | 08.04.24 | PRELIMINARY ISSUE-AD | C |
| issue | date | amendment description | |

PRELIMINARY

10683 iss

| | |
|--------------|-----------------|
| A | as shown |
| issue no. | dwg scale @ A3 |
| 19/04/2024 | 3 of 15 |
| issued date: | sheets in set |

IF IN DOUBT - ASK

SEE SHEET 2 FOR
ENLARGEMENT OF HOUSE SITE

**SEE SHEET 2 FOR SERVICES
LEGEND, BAL 12.5 NOTE**

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

SITE NOTES:

NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

ALL STORMWATER AND DRAINAGE TO BE IN ACCORDANCE WITH CURRENT NCC PLUMBING CODE OF AUSTRALIA VOL. 3 (SECTION D) IN ADDITION TO AS/NZS. 3500.

ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

CONNECT DOWNPIPES TO LEGAL POINT OF DISCHARGE VIA 100mm DIAMETER UPVC STORMWATER PIPE LAID WITH A MINIMUM FALL OF 1:100. DISCHARGE IN ACCORDANCE WITH LOCAL AUTHORITY REQUIREMENTS.

DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1:2 WHERE ACHIEVABLE (MAX. 1:1.5), CUT BATTER GRADIENT @ 1:1.5

SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

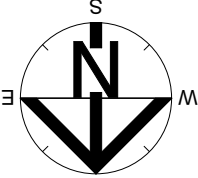
BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

Mark Buckman & Co
Consulting Surveyors
47 Pearl Street
PO BOX 1393
Kingscliff, 2487.
Ph. 02 66 741 891
Mob 0418 665 832
email : mbuckman@bigpond.net.au

- EXISTING TREE TO REMAIN
- EXISTING TREE TO BE REMOVED BY OWNER

PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%

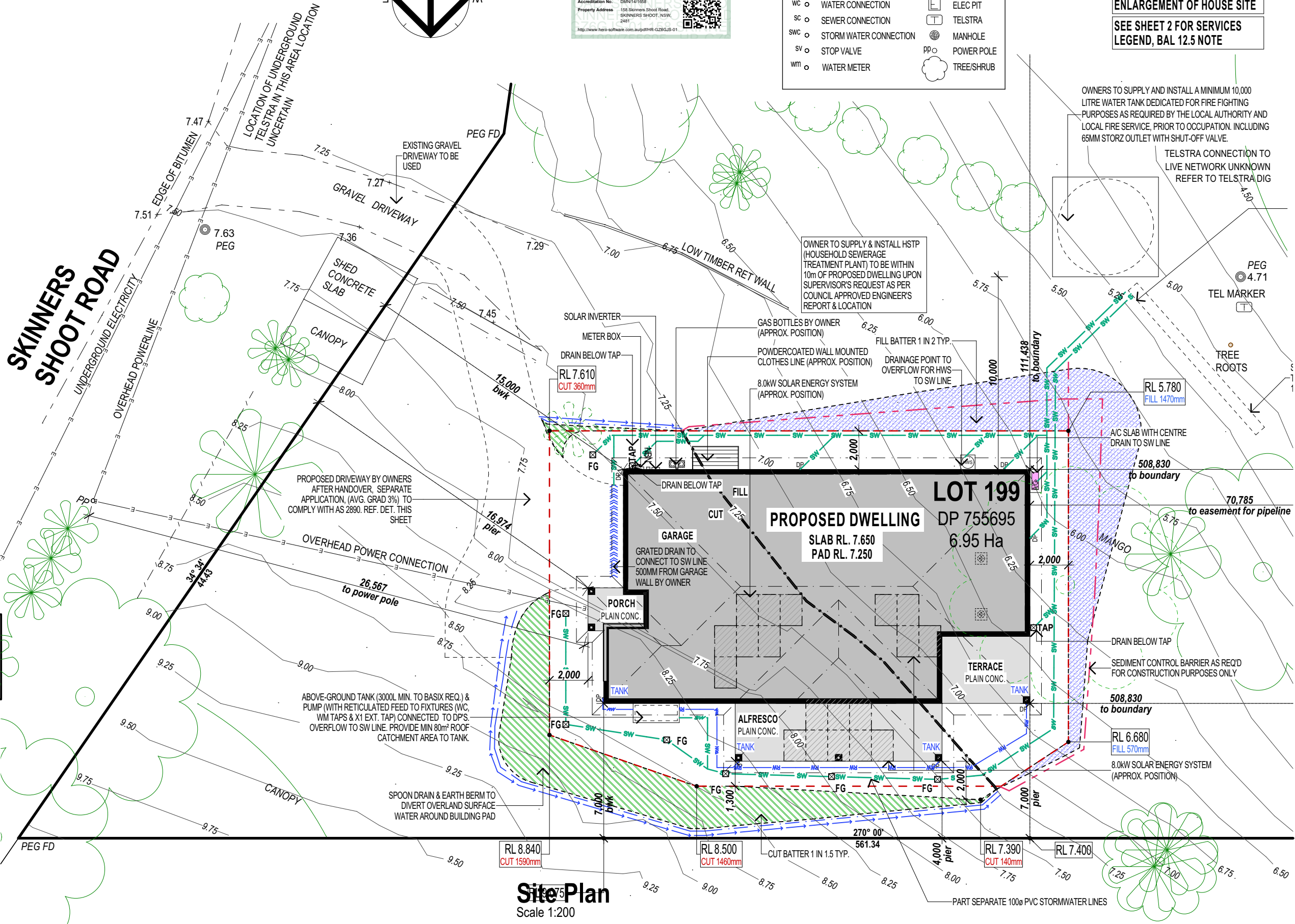


LEGEND

- STREET LIGHT
- WC WATER CONNECTION
- SC SEWER CONNECTION
- SWC STORM WATER CONNECTION
- SV STOP VALVE
- WM WATER METER
- GRATE
- ELEC PIT
- TELSTRA
- MANHOLE
- POWER POLE
- TREE/SHRUB

IF IN DOUBT - ASK

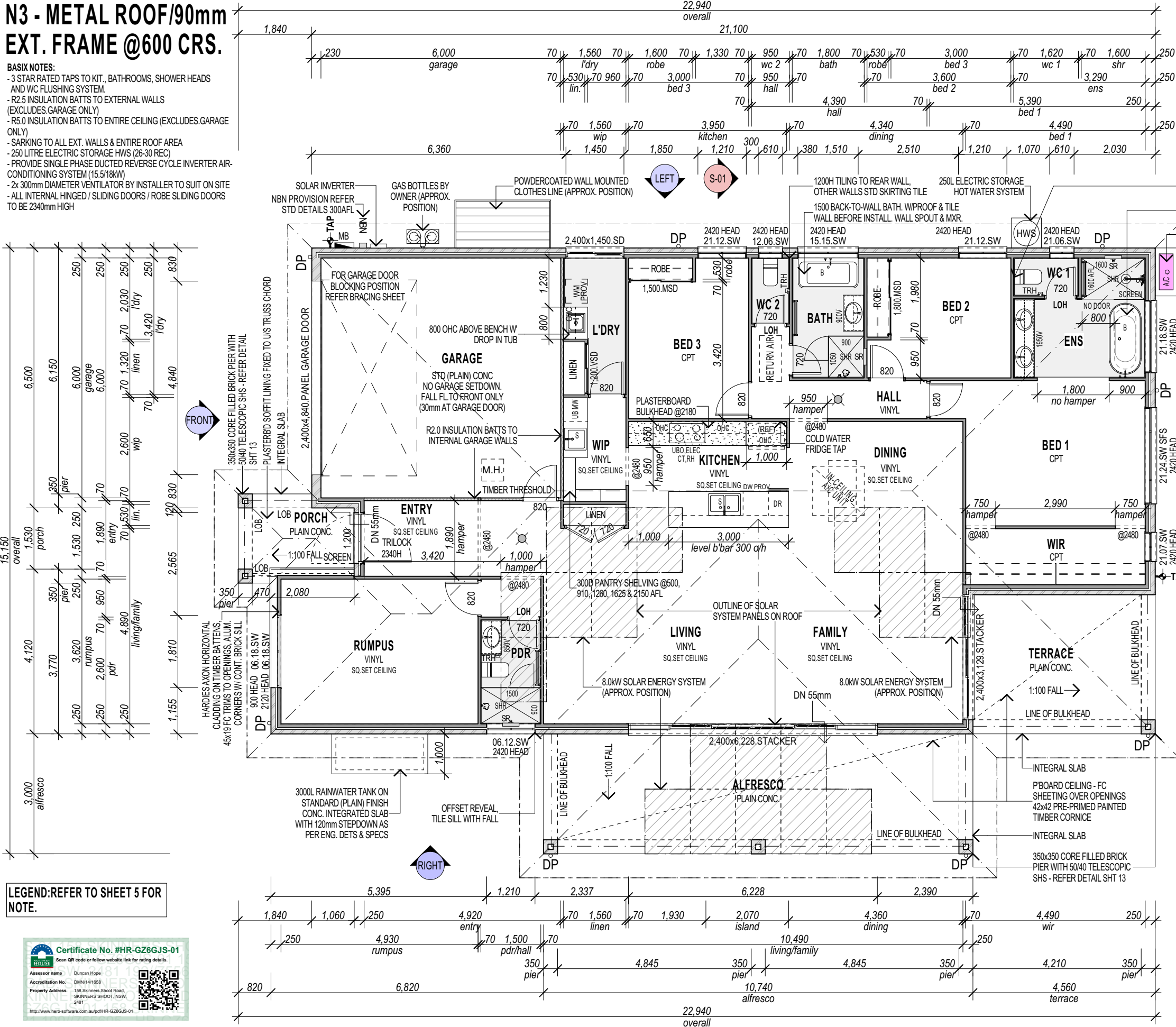
SEE SHEET 2 FOR ENLARGEMENT OF HOUSE SITE
SEE SHEET 2 FOR SERVICES LEGEND, BAL 12.5 NOTE



Site Plan
Scale 1:200

N3 - METAL ROOF/90mm
EXT. FRAME @600 CRS.

- BASIS NOTES:**
- 3 STAR RATED TAPS TO KIT., BATHROOMS, SHOWER HEADS AND WC FLUSHING SYSTEM.
 - R2.5 INSULATION BATTS TO EXTERNAL WALLS (EXCLUDES GARAGE ONLY)
 - R5.0 INSULATION BATTS TO ENTIRE CEILING (EXCLUDES GARAGE ONLY)
 - SARKING TO ALL EXT. WALLS & ENTIRE ROOF AREA
 - 250 LITRE ELECTRIC STORAGE HWS (26-30 REC)
 - PROVIDE SINGLE PHASE DUCTED REVERSE CYCLE INVERTER AIR-CONDITIONING SYSTEM (15.5/18kW)
 - 2x 300mm DIAMETER VENTILATOR BY INSTALLER TO SUIT ON SITE
 - ALL INTERNAL HINGED / SLIDING DOORS / ROBE SLIDING DOORS TO BE 2340mm HIGH



NOTE: SYNERGY - "NOM" SIZES FOR ALL
2100H WINDOWS ARE 2055 ACTUAL HEIGHT
INSIDE REVEALS WITH 2150 TO UNDERSIDE
OF TRIMMER. 2400H WINDOWS ARE 2355
ACTUAL HEIGHT INSIDE REVEALS WITH 2450
TO UNDERSIDE OF TRIMMER

WHITE MELAMINE SHELVING TO
ALL WARDROBES, LINEN &
BROOM CUPBOARD

- ABBREVIATIONS**
- A/C AIR CONDITIONING UNIT
 - ACT AL COVER TRIM BY WINDOW MANUF.
 - AFB ABOVE FLOOR LEVEL
 - AHD AUSTRALIAN HEIGHT DATUM
 - B BATH (AS SPECIFIED)
 - B/BAR BREAKFAST BAR OVERHANG
 - BE BEAM TO ENG'S DETAIL
 - BR BROOM CUPBOARD
 - CBD CUPBOARD
 - CD CLOTHES DRYER
 - CH CEILING HEIGHT
 - COL STEEL COLUMN TO ENG'S DETAIL
 - CONC CONCRETE
 - CSD CAVITY SLIDING DOOR
 - CT COOK TOP
 - DN DOWN
 - DP DOWN PIPE
 - DR DRAWERS
 - DW DISHWASHER SPACE
 - ENS ENSUITE
 - FC FIBRE CEMENT
 - FHT FULL HEIGHT TILING
 - FW FACE OF WALL SLIDING DOOR
 - FW FLOOR WASTE (NOM. TO SUIT REQ'S)
 - GS CYL REPLACEABLE GAS CYLINDERS
 - H TILED HOB 150mm ABOVE BATH
 - HSR HUME SMARTROBE DOOR SYSTEM
 - HWS HOT WATER SYSTEM
 - LOB LINE OF BULKHEAD
 - LOH LIFT OFF HINGES
 - MB METER BOX
 - MH MANHOLE ROOF ACCESS
 - MHF METAL HEAD FLASHING
 - MSD MIRROR SLIDING DOOR
 - MVSD 1/2 MIRROR & 1/2 VINYL S/DOOR
 - MW SPACE FOR MICROWAVE OVEN
 - NBN NATIONAL BROADBAND NETWORK
 - OBS OBSCURE GLASS
 - CHC OVERHEAD CUPBOARDS
 - PTY PANTRY
 - RK ROBE HOOK
 - ROBE WARDROBE
 - RH RANGE HOOD
 - REF REFRIGERATOR SPACE
 - RHS RECT. HOLLOW SECT. STEEL POST
 - S SINK
 - SD SLIDING GLASS DOOR
 - S/S STAINLESS STEEL
 - SH SHELVES
 - SHR SHOWER
 - SHT SQ. HOLLOW SECTION STEEL POST
 - SL SHUTTER
 - SPR DOOR GLASS SIDE LIGHT
 - SR SPREADER
 - T SOAP RECESS 415Hx415W U.N.O.
 - TR LAUNDRY TUB
 - TRG TOWEL RAIL
 - TSH TOWEL RING
 - UBO TIMBER SHUTTER
 - V UNDER BENCH OVEN
 - VSD BATHROOM VANITY UNIT
 - WO VINYL SLIDING DOOR
 - WM WALL OVEN
 - WIL WASHING MACHINE SPACE
 - WIR WALK-IN LINEN CLOSET
 - XO WALK-IN ROBE
 - GLASS SLIDING (X), GLASS FIXED (O)
 - DNOTES WIRED SMOKE DETECTOR

Floor Plan
Scale 1:100

BAL 12.5
To comply with bushfire attack
level 12.5 to AS3959-2018

| Main Slab Information | |
|-----------------------|-----------------------|
| Perimeter | Area m2 |
| 70.66 | 243.08 |
| | 243.08 m ² |

| Area Summary | |
|--------------|-----------------------|
| Description | Area m2 |
| Alfresco | 32.22 |
| Garage | 39.20 |
| Living | 203.87 |
| Porch | 5.37 |
| Terrace | 15.87 |
| | 296.53 m ² |

LEGEND:REFER TO SHEET 5 FOR
NOTE.



N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

NOTE:
JOINERY HEAD HEIGHT AT 2420mm AFL U.N.O.
ENSURE FULL ARCHITRAVE OVER WINDOWS TO (2180) BULKHEAD

BRICKLAYER NOTE:
PROVIDE STAINLESS STEEL BRICK TIES
BRICK JOINTS SHALL BE TOOLED
BRICKS SHALL BE EXPOSURE GRADE

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018

- NOTE:
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF THE NCC VOL.2-2022 CLAUSE 3.4.2 ABCB & AS 3660.1-2014.
 - TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF NCC VOL.2-2022 PART H1D6 AND AS1720.1-2010/AS1684-2021
 - CONCRETE CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 CLAUSE H1D4 & AS2870.1-2011/AS 3600-2018.
 - ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD.
 - PROVIDE NOGGING FOR TOWEL RAIL.
 - W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC VOL.2-2022 H4D3
 - WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH H4D2 OF THE NCC VOL.2-2022.
 - SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL.2-2022 & AS3786-2014.
 - ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC VOL.2-2022 CLAUSE 9.2 ABCB.
 - REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS.
 - BARRIERS, STEPS & HANDRAILS TO COMPLY WITH NCC VOL.2-2022 PART 11, AS1657-2018 & AS1684-2021.

NOTE:
GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.
ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR N3 - METAL ROOF/90mm EXT. FRAME @ 600 CRS. CONDITIONS

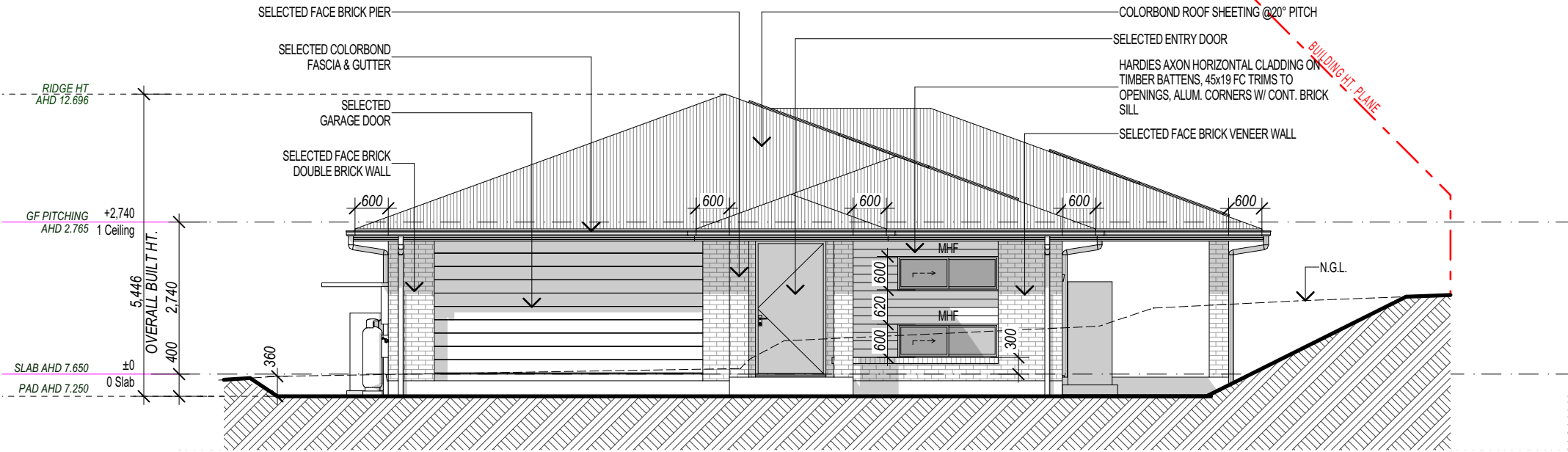
STEEL ROOFING TO COMPLY WITH NCC VOL.2-2022 PART 7.4 AND AS1562.1-2018
CONCRETE ROOFING TO COMPLY WITH NCC VOL.2-2022 PART 7.3 AS2049-2002/AS2050-2018.

PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.

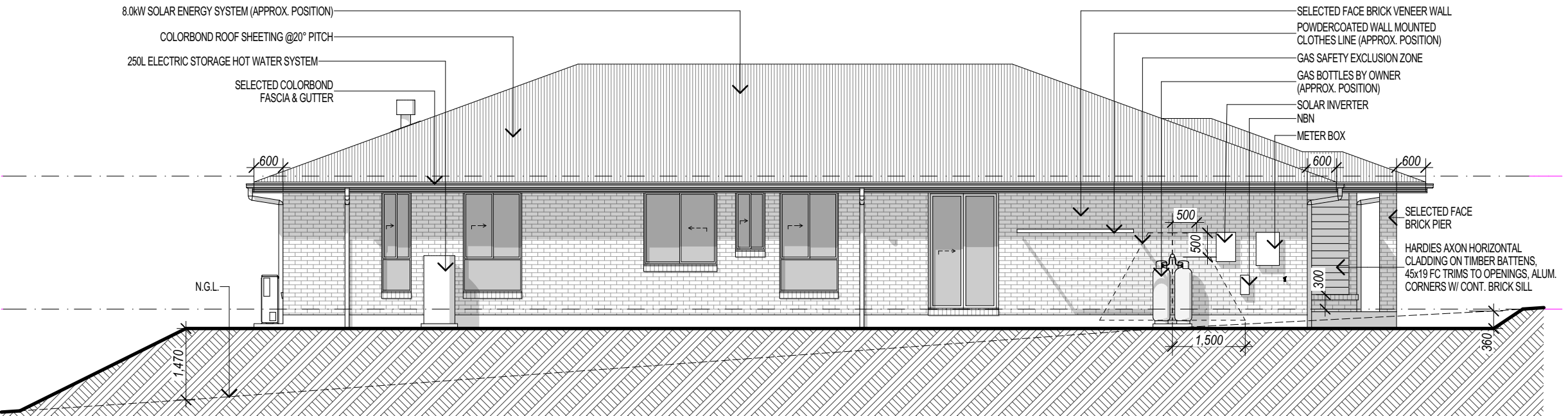
MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5.6.8 ABCB AND AS 3700-2018/ AS4773.1&2-2015. WEEPHOLES IN MASONRY WALLS AT 900 CRS. AS PER NCC VOL.2-2022 CLAUSE 5.7.5.

BRICK PATTERN IS SHOWN FOR ILLUSTRATION PURPOSES ONLY - BRICK SETOUT SHALL BE DETERMINED BY THE BRICKLAYER. VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.

PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



FRONT Elevation - EAST
Scale 1:100



LEFT Elevation - SOUTH
Scale 1:100

| METAL Roof | |
|------------|-----------|
| Area | |
| | 1.41 |
| | 2.94 |
| | 5.08 |
| | 10.02 |
| | 17.91 |
| | 17.91 |
| | 31.60 |
| | 35.64 |
| | 44.56 |
| | 72.33 |
| | 104.30 |
| | 343.70 m² |

M:\10860355 Drafting\10860355 DESIGN SIZE RH FACADE CLIENT COUNCIL\10863 PRELIMINARY PLANS - JHB.jph

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ABN: 53 090 866 630 QBCC Act Lic. 718748 NSW Lic. No. 110970C

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BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES.

I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
client details:

Aria 28 Classic LH
Elevations
drawing title

| issue | date | amendment description | by |
|-------|----------|-----------------------|-----|
| A | 19.04.24 | AMENDED AS PER CHECK | JHB |
| - | 08.04.24 | PRELIMINARY ISSUE-AD | QL |

PRELIMINARY
plan issue type
designed: JD
drawn: QL
checked: -

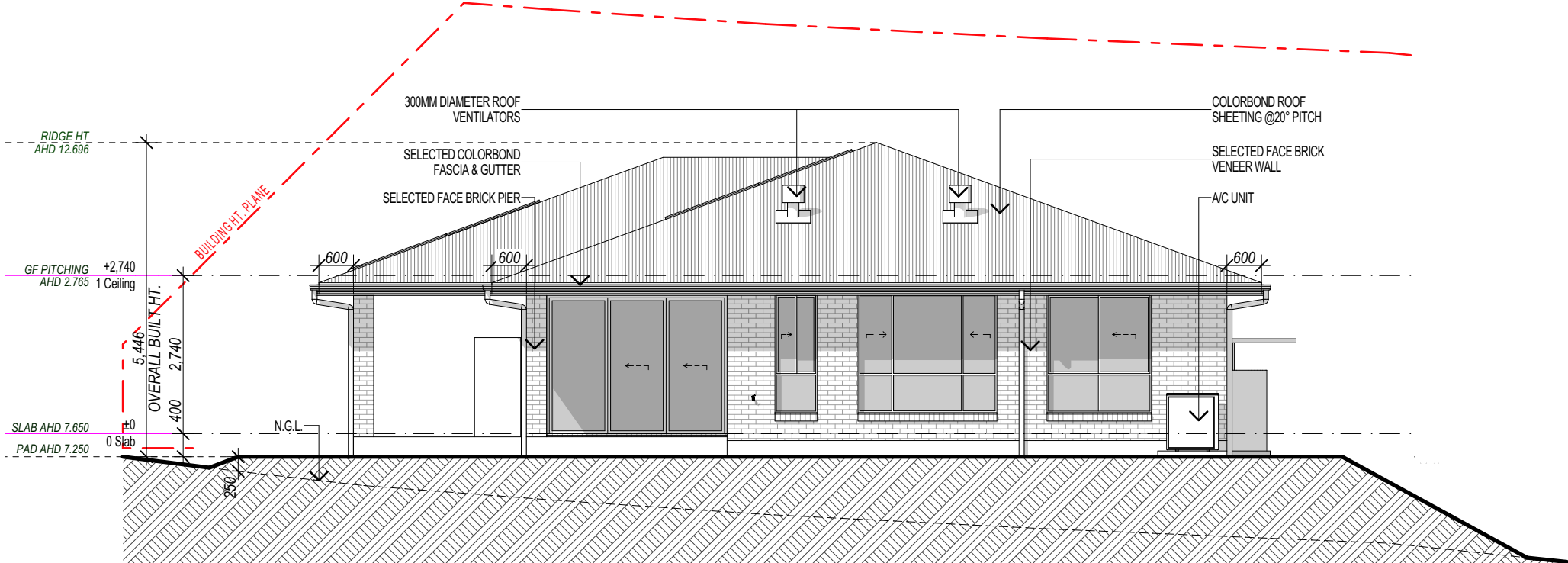
10683
contract number
A
issue no.
19/04/2024
printed date:
as shown
dwg scale @ A3
6 of 15
sheets in set

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

NOTE:
JOINERY HEAD HEIGHT AT 2420mm AFL U.N.O.
ENSURE FULL ARCHITRAVE OVER WINDOWS TO (2180) BULKHEAD

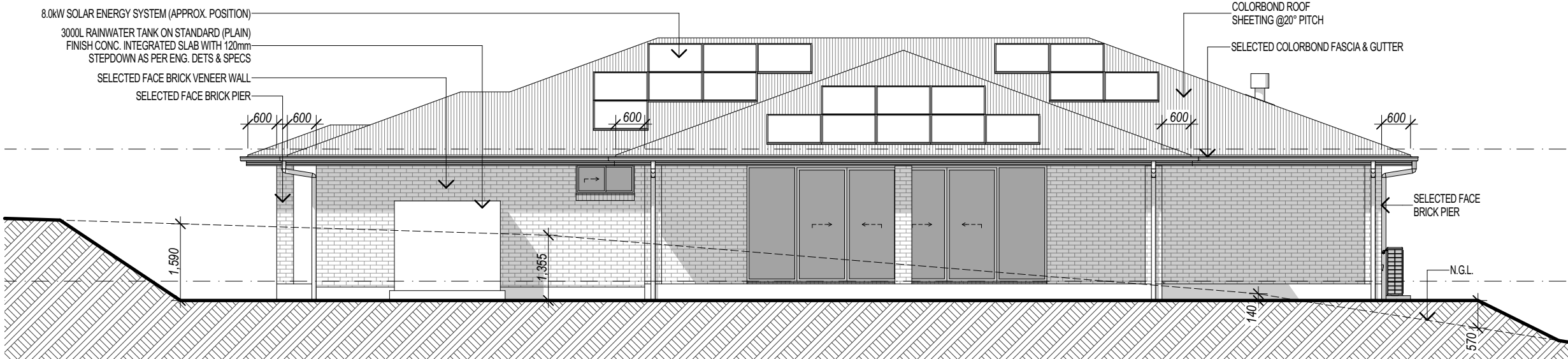
BRICKLAYER NOTE:
PROVIDE STAINLESS STEEL BRICK TIES
BRICK JOINTS SHALL BE TOOLED
BRICKS SHALL BE EXPOSURE GRADE

BAL 12.5
To comply with bushfire attack level 12.5 to AS3959-2018



REAR Elevation - WEST
Scale 1:100

NOTE:
GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.
ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR N3 - METAL ROOF/90mm EXT. FRAME @ 600 CRS. CONDITIONS
STEEL ROOFING TO COMPLY WITH NCC VOL.2-2022 PART 7.4 AND AS1562.1-2018
CONCRETE ROOFING TO COMPLY WITH NCC VOL.2-2022 PART 7.3 AS2049-2002/AS2050-2018.
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PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



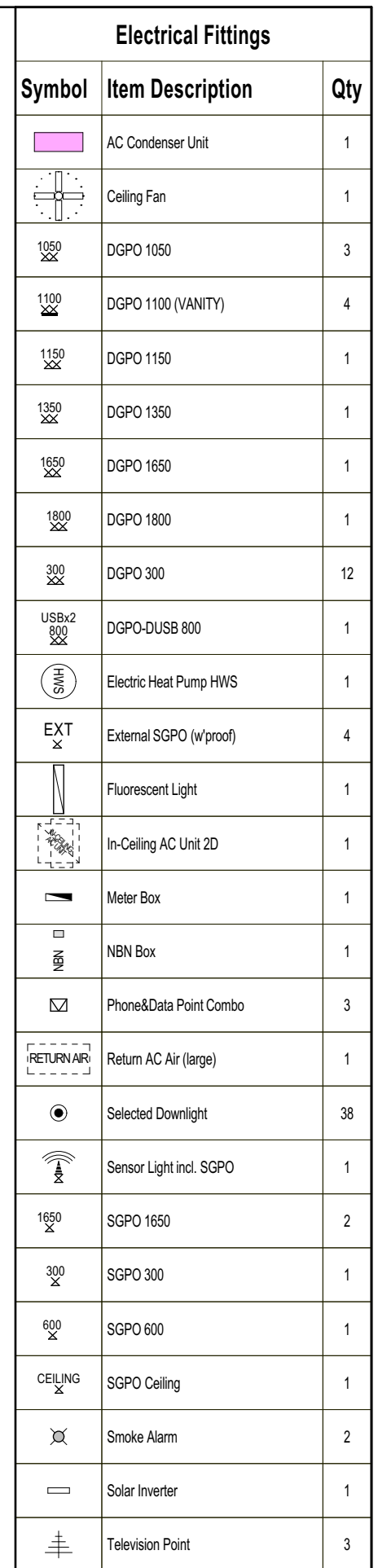
RIGHT Elevation - NORTH
Scale 1:100

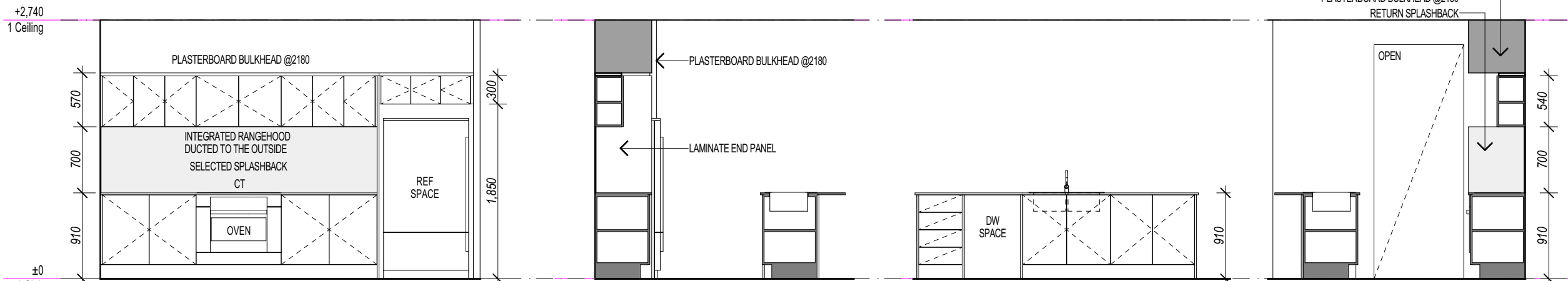
| METAL Roof |
|------------|
| Area |
| 1.41 |
| 2.94 |
| 5.08 |
| 10.02 |
| 17.91 |
| 17.91 |
| 31.60 |
| 35.64 |
| 44.56 |
| 72.33 |
| 104.30 |
| 343.70 m² |

M:\106835 Drafting\106835 DESIGN SIZE RH FACADE CLIENT COUNCIL\10683 PRELIMINARY PLANS - JHB.ph

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EXHAUST FANS ALL DUCTED TO EXTERNAL AIR BY EAVE VENT TO NCC REQUIREMENTS H4D7. FAN/ LIGHT SWITCHES INTEGRATED WITH 10 MIN RUN TIMER.





kit01
Scale 1:50

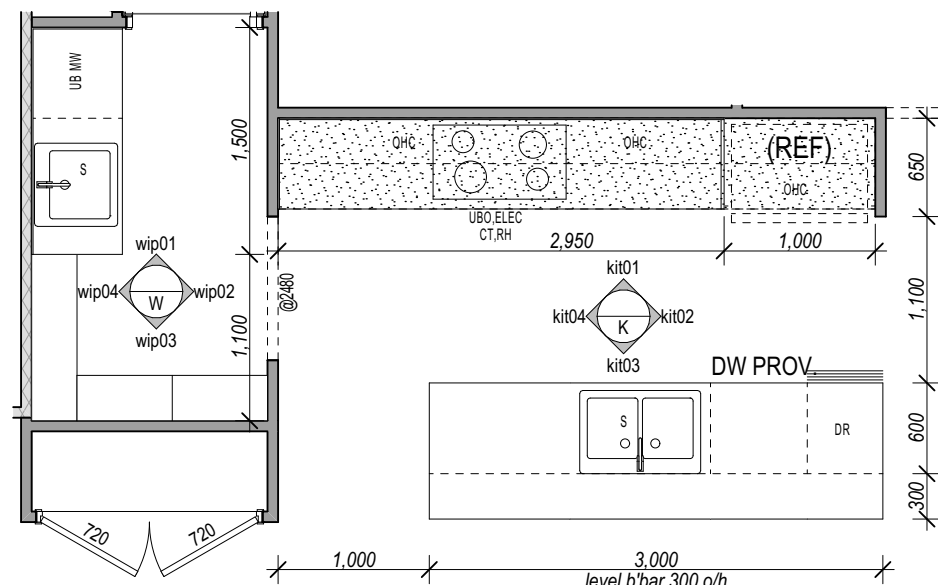
kit02
Scale 1:50

kit03
Scale 1:50

kit04
Scale 1:50

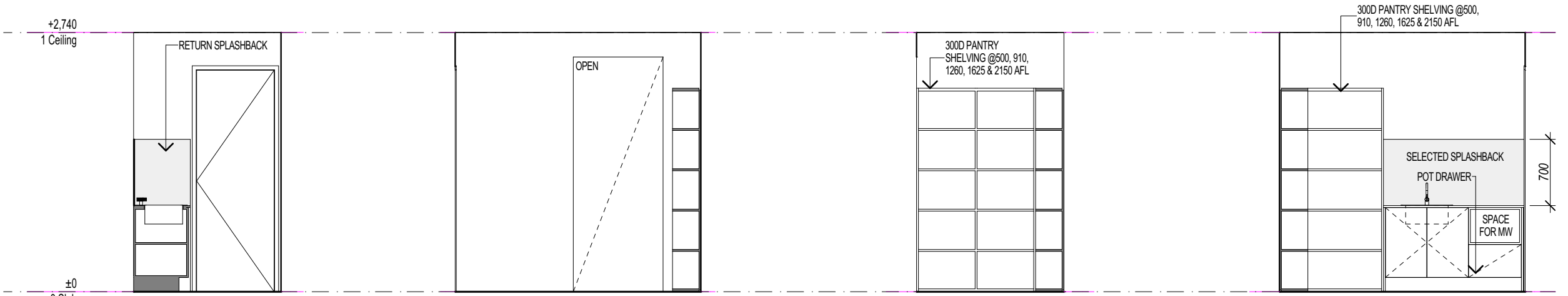
| STANDARD HEIGHTS (mm AFL) | |
|--|------|
| SHOWER TAPS | 1000 |
| SHOWER INLET HEIGHT TO SUIT | |
| SHOWER HEAD @1800 | |
| CORNER & ACRYLIC BATH TAPS | 750 |
| STEEL BATH TAPS | 650 |
| TOP STEEL BATH (EXCL. HOB 150mm) | 500 |
| VANITY & KITCHEN PIPES | 560 |
| LAUNDRY TUB TAPS | 1050 |
| WASHING MACHINE TAPS | 1250 |
| TOWEL RAIL/RING NOGGING (U.N.O.) | 1050 |
| TOILET ROLL NOGGING | 800 |
| ROBE HOOK NOGGING | 1700 |
| FRIDGE TAP | 1900 |
| OUTSIDE YARD TAPS (OFF STD REBATE) | 772 |
| NOTE: - INTERNAL ELEVATIONS REPRESENTED INDICATIVELY ONLY INCLUDING TILE AREAS (SUBJECT TO TILES CHOSEN). CABINET HANDLES NOT SHOWN (TO BE NOMINATED AT COLOUR SELECTION). - DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED. | |

■ DENOTES EXTENT OF WALL TILES/SPLASHBACK



kitchen & wip detail
Scale 1:50

Kitchen View



wip01
Scale 1:50

wip02

wip03

wip04

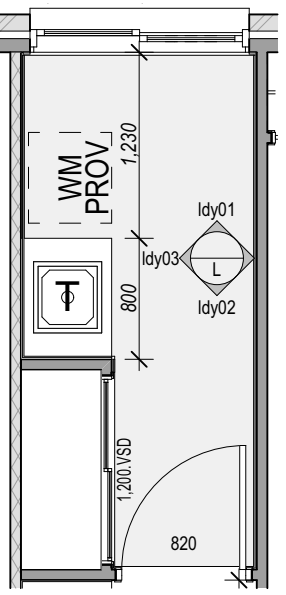


STANDARD HEIGHTS (mm AFL)

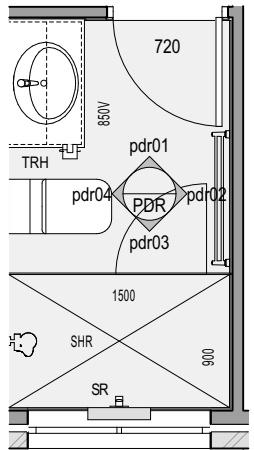
| | |
|------------------------------------|------|
| SHOWER TAPS | 1000 |
| SHOWER INLET HEIGHT TO SUIT | |
| SHOWER HEAD @1800 | |
| CORNER & ACRYLIC BATH TAPS | 750 |
| STEEL BATH TAPS | 650 |
| TOP STEEL BATH (EXCL. HOB 150mm) | 500 |
| VANITY & KITCHEN PIPES | 560 |
| LAUNDRY TUB TAPS | 1050 |
| WASHING MACHINE TAPS | 1250 |
| TOWEL RAIL/RING NOGGING (U.N.O.) | 1050 |
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| OUTSIDE YARD TAPS (OFF STD REBATE) | 772 |

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- DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED.

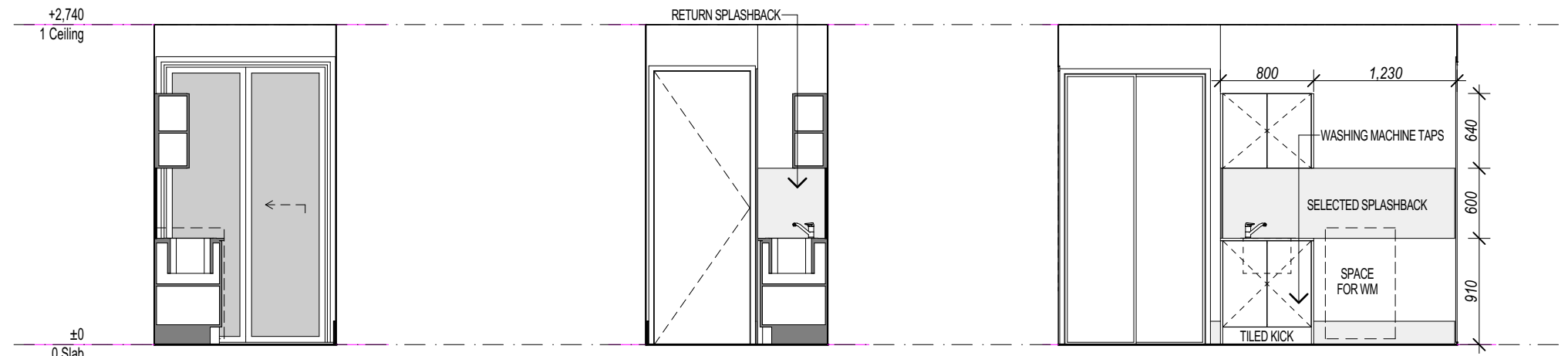
■ DENOTES EXTENT OF WALL TILES/SPLASHBACK



laundry detail
Scale 1:50



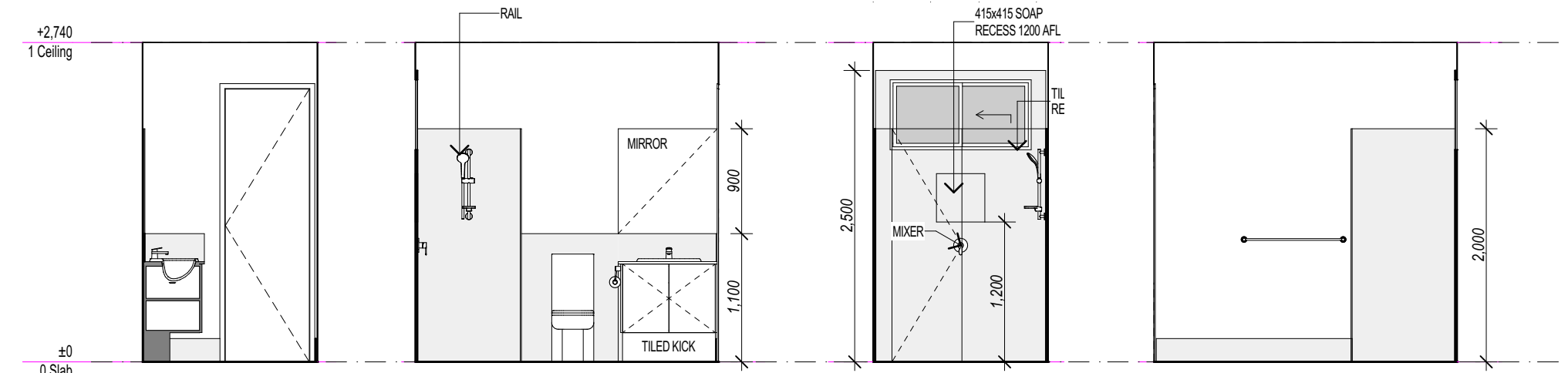
powder room detail
Scale 1:50



Idy01
Scale 1:50

Idy02
Scale 1:50

Idy03
Scale 1:50



pdr01
Scale 1:50

pdr02
Scale 1:50

pdr03
Scale 1:50

pdr04
Scale 1:50

M:\1086085 Drafting\10000 DESIGN SIZE RH FACADE CLIENT COUNCIL\10863 PRELIMINARY PLANS - JHB.plt

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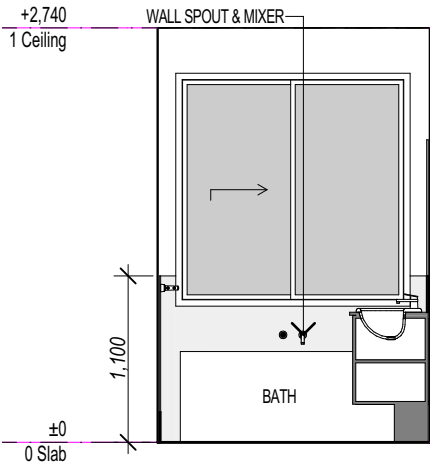
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
|--|---|---|---|---|--|---|--|--|--|--|--|--|---|----------|----------------------|-----|--|--|---|----------|----------------------|----|--|--|-------|------|-----------------------|----|--------------|-----------|---------------------------------------|---------------------------------|--|---|
| Perry Homes © THIS PLAN IS THE COPYRIGHT PROPERTY OF PERRY HOMES (AUST) P/L | HEAD OFFICE 49 Minjungbal Drive, Tweed Heads South NSW 2486 ph: 07 5569 9400 fax: 07 5523 2884 e: admin@perryhomes.com.au w: www.perryhomes.com.au ABN: 53 090 866 630 QBCC Act Lic. 718748 NSW Lic. No. 110970C | *THIS DRAWING HAS BEEN PRODUCED BASED ON INFORMATION SUPPLIED BY OTHERS. PERRY HOMES (AUST) P/L WILL NOT BE HELD RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED. *THE WORKS DESCRIBED ON THIS DRAWING ARE COVERED BY COPYRIGHT. WORKS CANNOT BE COPIED OR REPRODUCED BY ANY MEANS WITHOUT WRITTEN PERMISSION OF PERRY HOMES (AUST) P/L. *BUILDERS WRITTEN SPECIFICATIONS TAKE PRECEDENCE OVER PLAN DETAILS, COLOURS, FITTINGS AND FIXTURES. | I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT Signature: _____ Date: _____ Signature: _____ Date: _____ | M. McGrane Lot 199 (No. 158) Skinners Shoot Road Skinners Shoot, NSW. 2481 client details: | Aria 28 Classic LH Internal Elevations 2 drawing title | <table><tr><td></td><td></td><td></td><td></td><td></td><td></td></tr><tr><td>A</td><td>19.04.24</td><td>AMENDED AS PER CHECK</td><td>JHB</td><td></td><td></td></tr><tr><td>-</td><td>08.04.24</td><td>PRELIMINARY ISSUE-AD</td><td>QL</td><td></td><td></td></tr><tr><td>issue</td><td>date</td><td>amendment description</td><td>by</td><td>designed: JD</td><td>drawn: QL</td></tr></table> | | | | | | | A | 19.04.24 | AMENDED AS PER CHECK | JHB | | | - | 08.04.24 | PRELIMINARY ISSUE-AD | QL | | | issue | date | amendment description | by | designed: JD | drawn: QL | PRELIMINARY plan issue type | 10683 contract number | A issue no. 19/04/2024 printed date: | as shown dwg scale @ A3 10 of 15 sheets in set |
| | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| | A | 19.04.24 | AMENDED AS PER CHECK | JHB | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| - | 08.04.24 | PRELIMINARY ISSUE-AD | QL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |
| issue | date | amendment description | by | designed: JD | drawn: QL | | | | | | | | | | | | | | | | | | | | | | | | | | | | | |

STANDARD HEIGHTS (mm AFL)

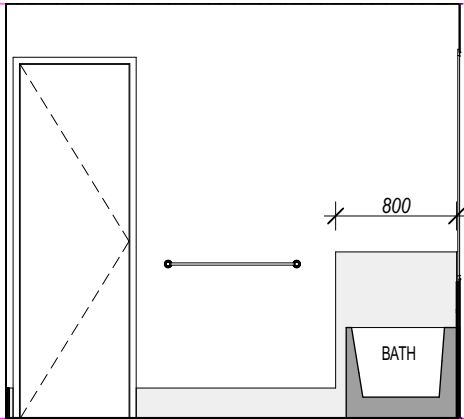
| | |
|------------------------------------|------|
| SHOWER TAPS | 1000 |
| SHOWER INLET HEIGHT TO SUIT | |
| SHOWER HEAD @1800 | |
| CORNER & ACRYLIC BATH TAPS | 750 |
| STEEL BATH TAPS | 650 |
| TOP STEEL BATH (EXCL. HOB 150mm) | 500 |
| VANITY & KITCHEN PIPES | 560 |
| LAUNDRY TUB TAPS | 1050 |
| WASHING MACHINE TAPS | 1250 |
| TOWEL RAIL/RING NOGGING (U.N.O.) | 1050 |
| TOILET ROLL NOGGING | 800 |
| ROBE HOOK NOGGING | 1700 |
| FRIDGE TAP | 1900 |
| OUTSIDE YARD TAPS (OFF STD REBATE) | 772 |

NOTE:
- INTERNAL ELEVATIONS REPRESENTED INDICATIVELY ONLY INCLUDING TILE AREAS (SUBJECT TO TILES CHOSEN). CABINET HANDLES NOT SHOWN (TO BE NOMINATED AT COLOUR SELECTION).
- DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED.

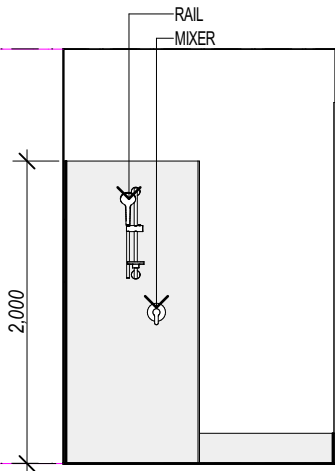
■ DENOTES EXTENT OF WALL TILES/SPLASHBACK



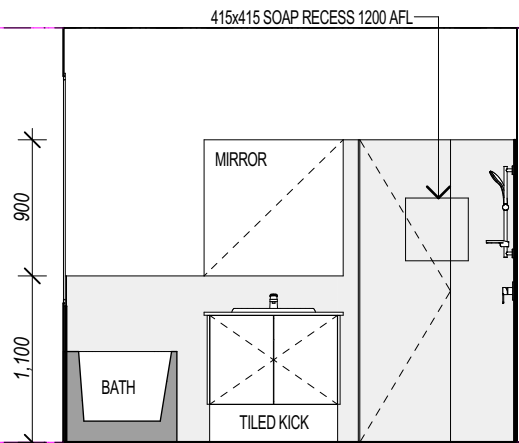
bath01
Scale 1:50



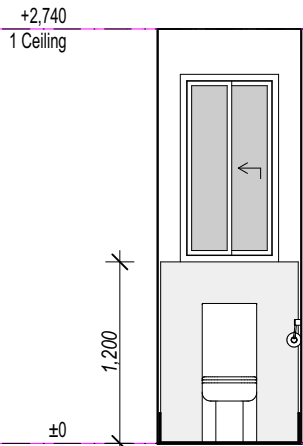
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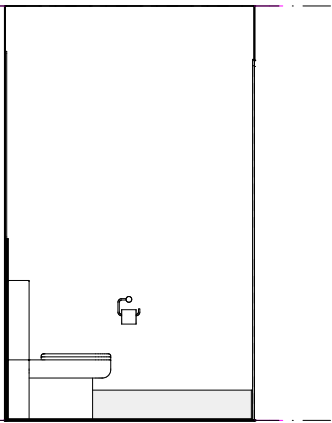
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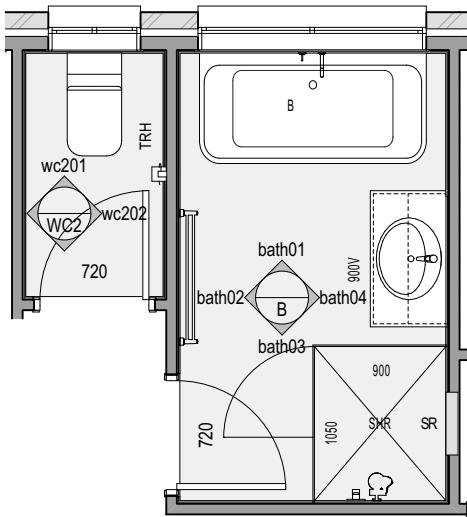
bath04
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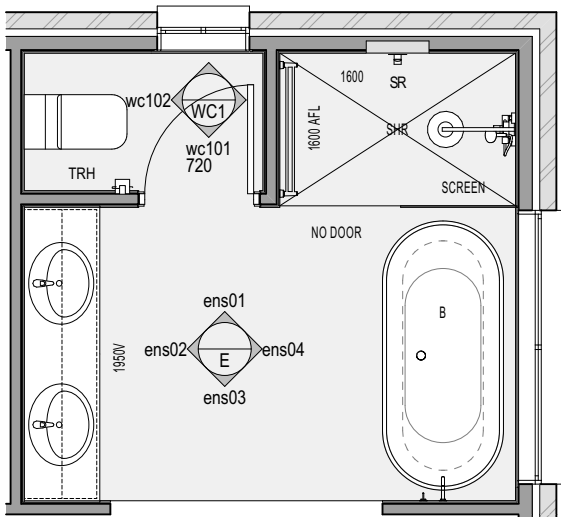
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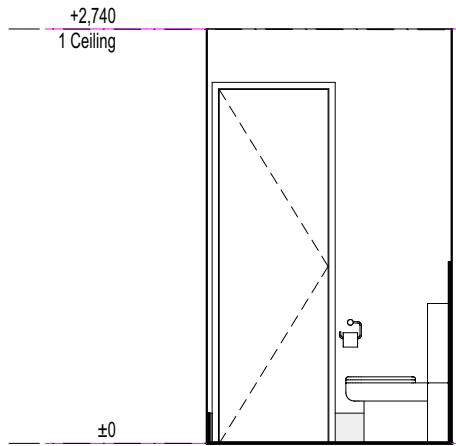
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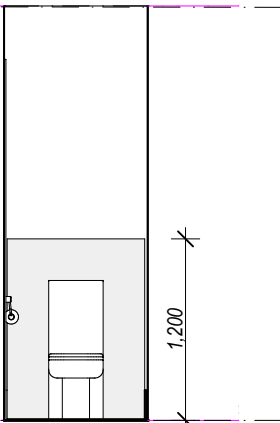
bath & wc 2 detail
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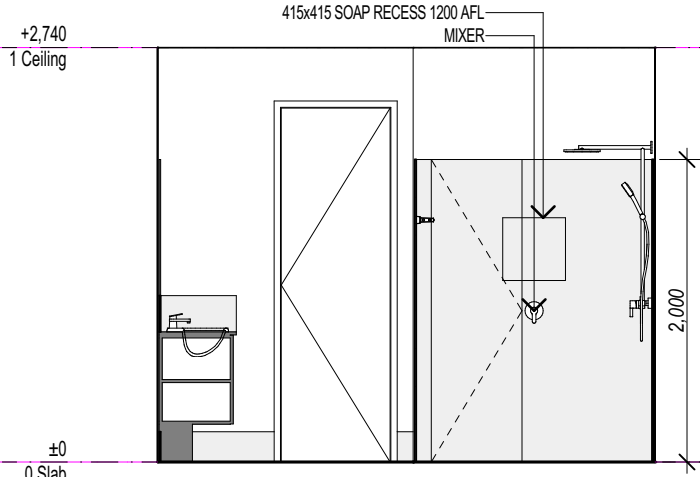
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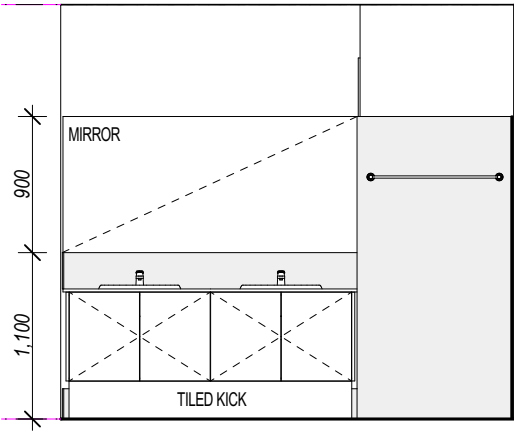
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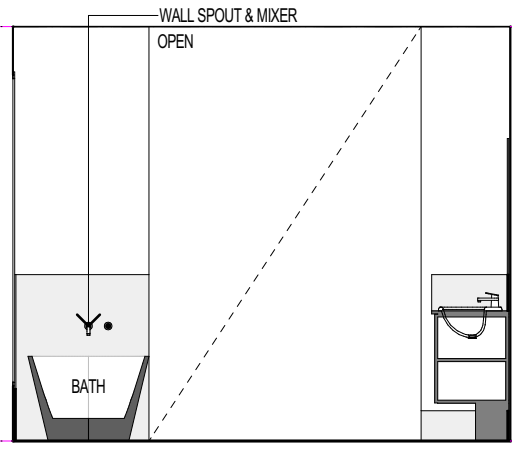
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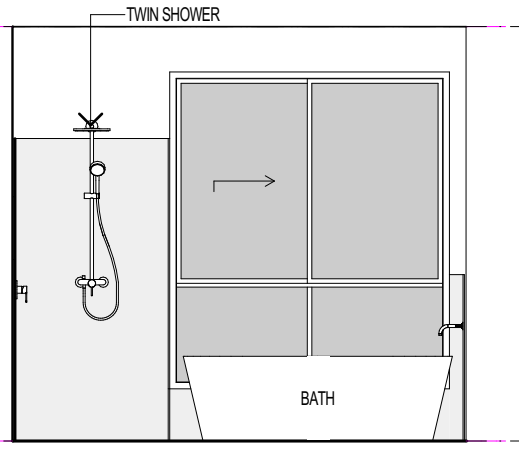
ens01
Scale 1:50



ens02
Scale 1:50



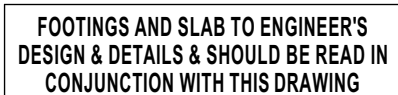
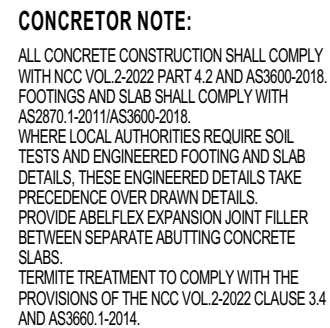
ens03
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ens04
Scale 1:50

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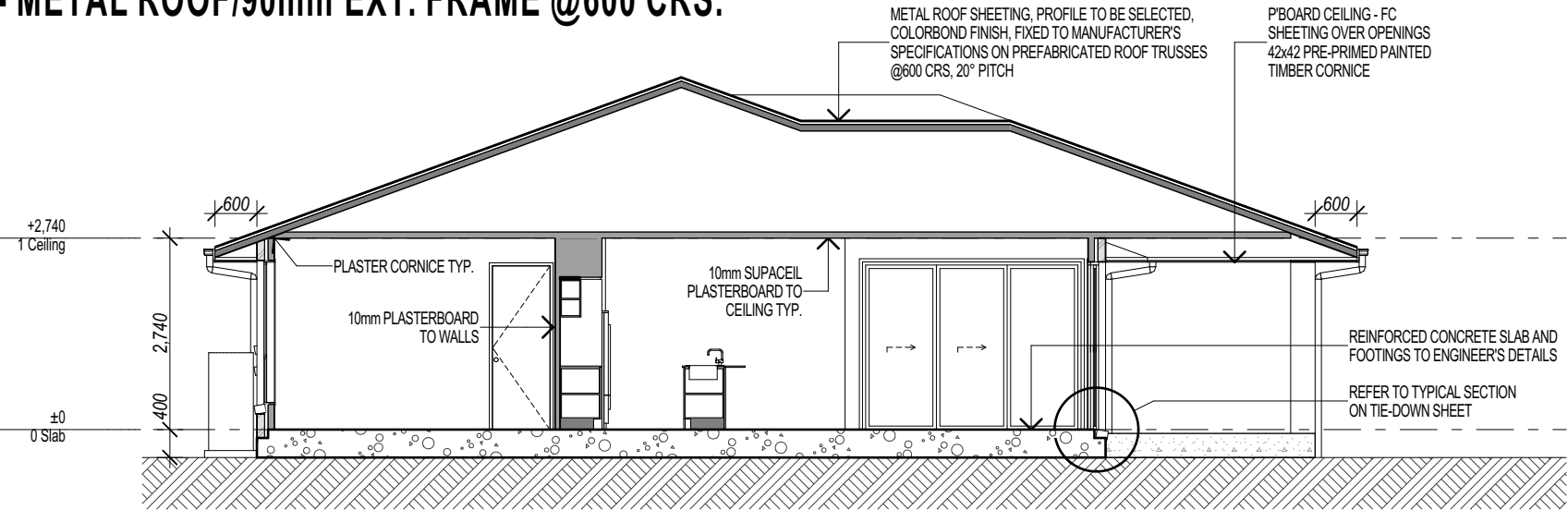
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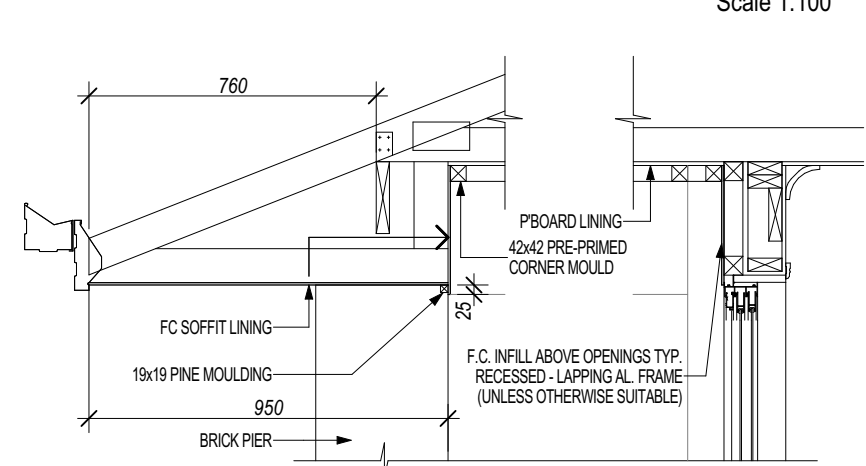
Scale 1:100

| Main Slab Information | |
|-----------------------|------------------|
| Perimeter | Area m2 |
| 70.66 | 243.08 |
| | 243.08 m² |

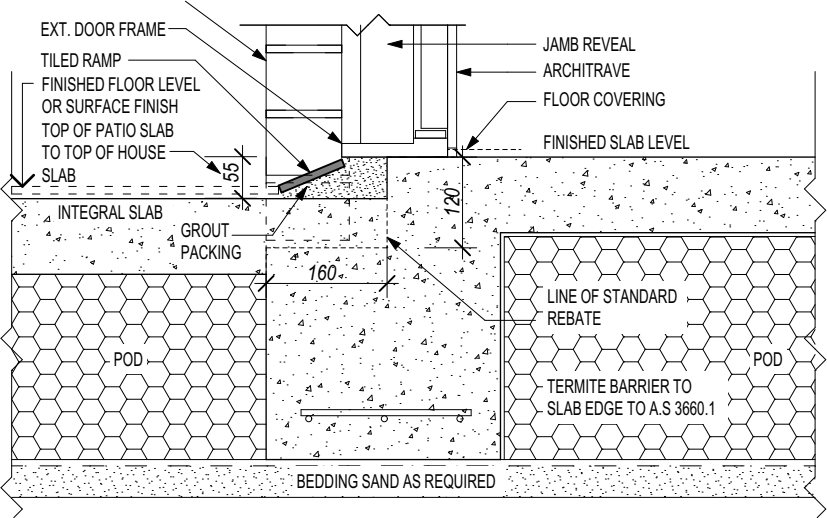
N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



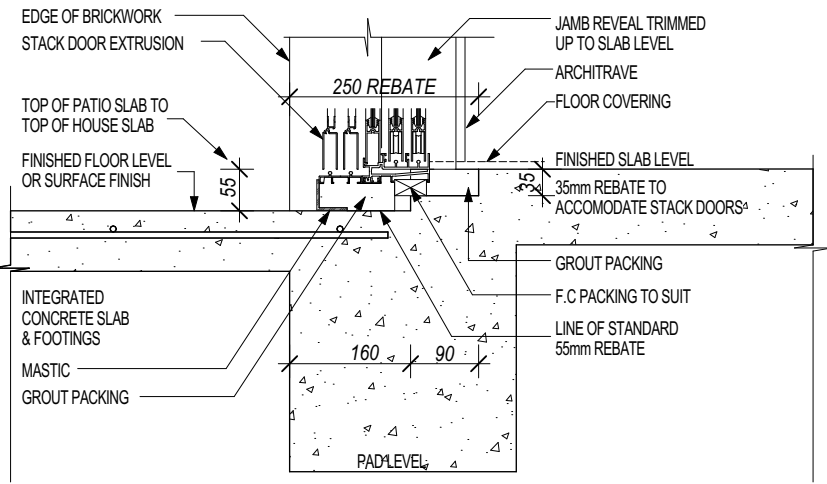
S-01 Section
Scale 1:100



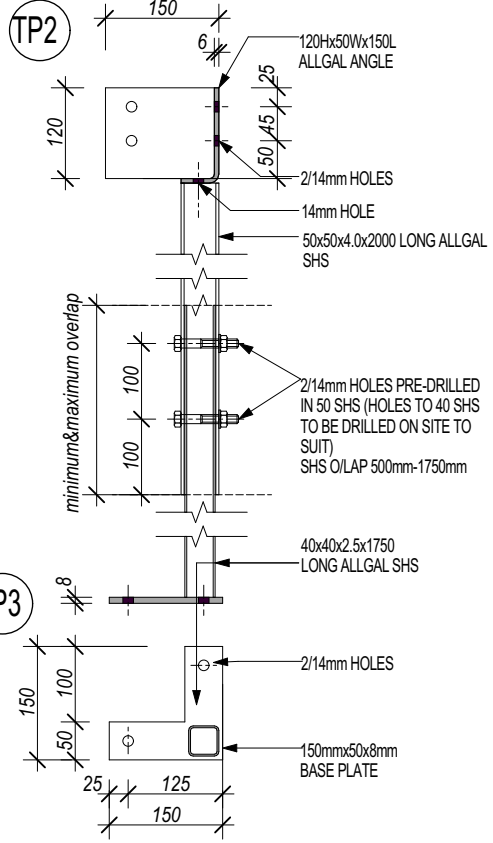
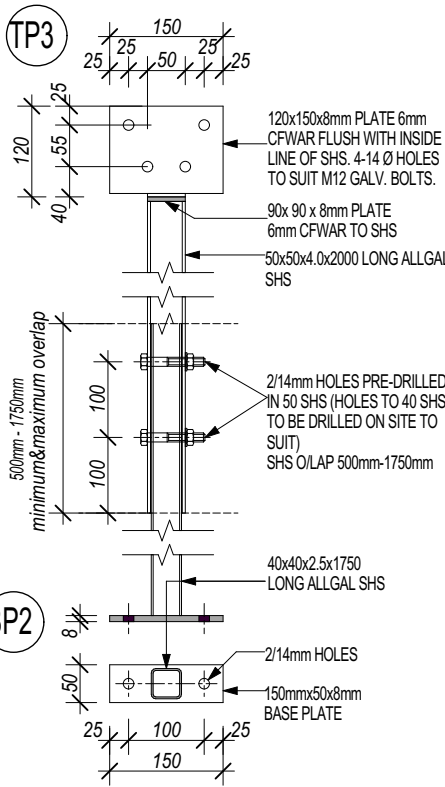
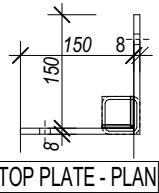
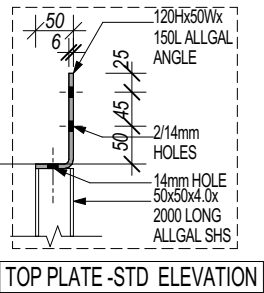
Terrace Ceiling Detail
Scale 1:20



Entry Door Sill Detail
Scale 1:10

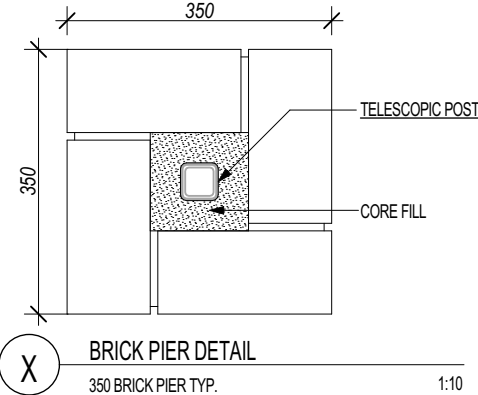


Stack Door Detail
Scale 1:10

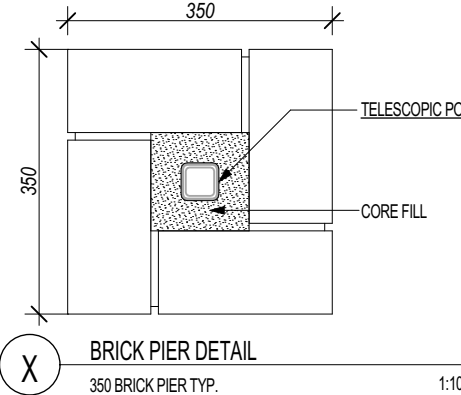


X SHS DETAIL
ADJUSTABLE (CENTRE) POST (max height 3250mm) 1:10

X SHS DETAIL
ADJUSTABLE POST (max height 3250mm) 1:10

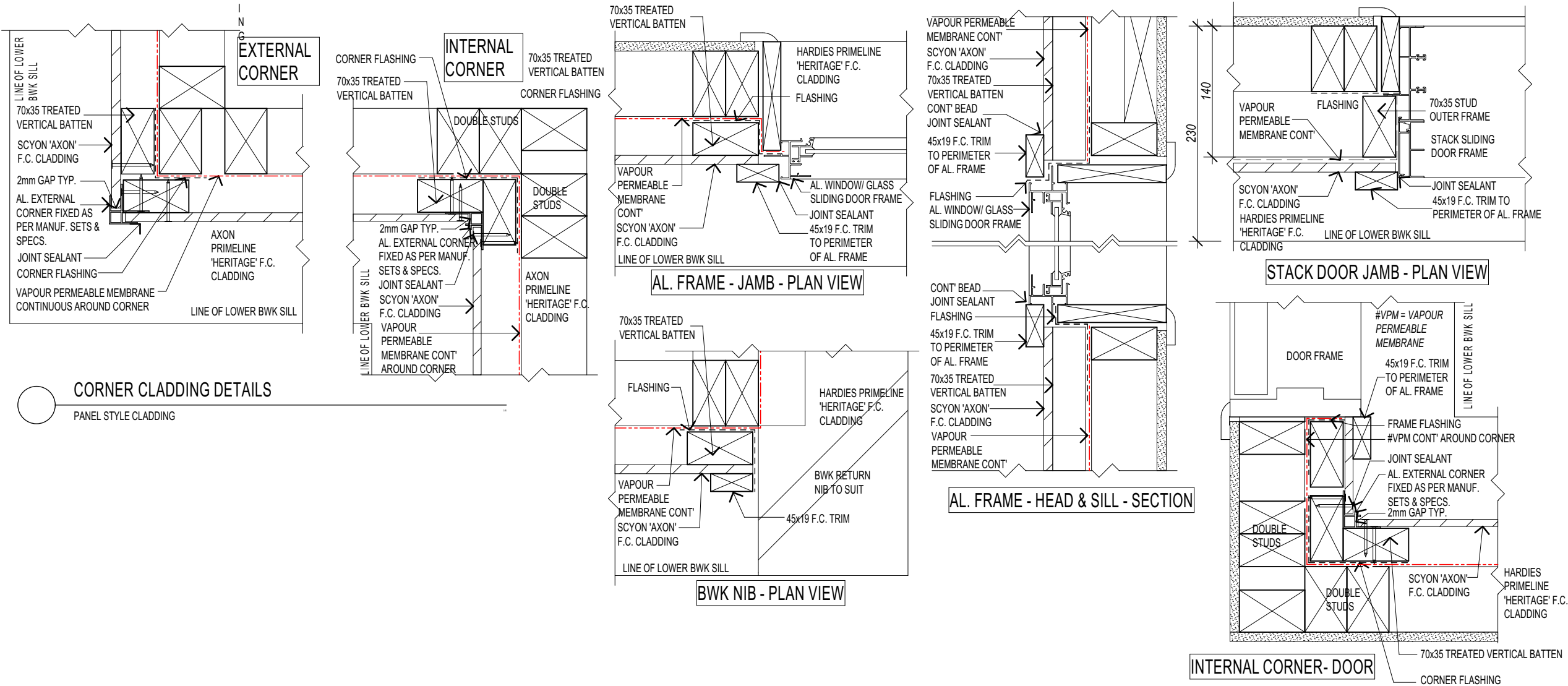


SHS Detail
Scale 1:10



SHS Detail
Scale 1:10

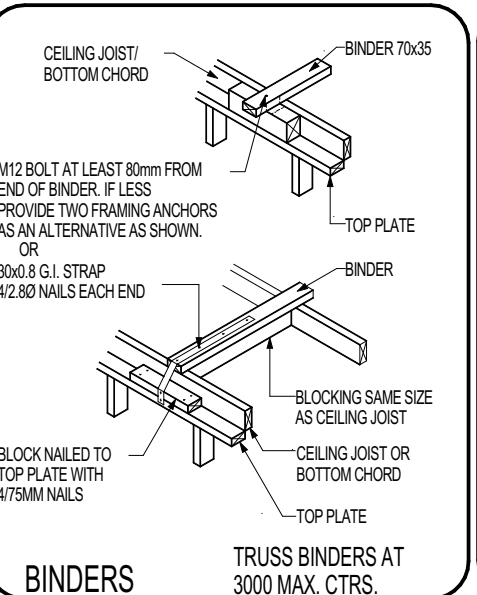
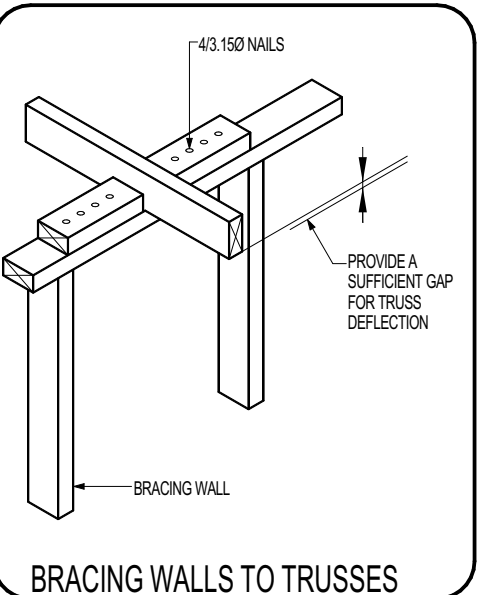
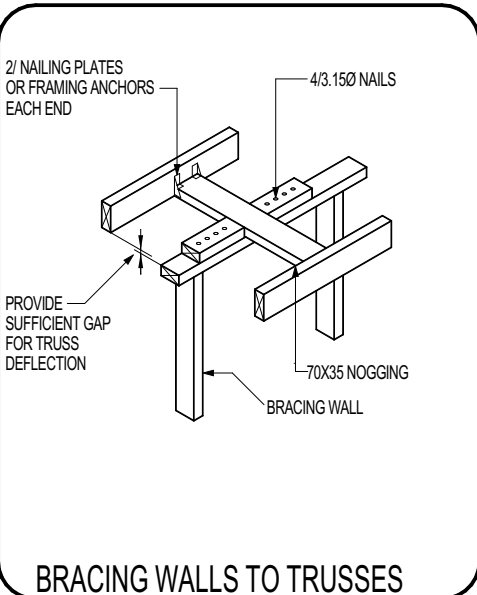
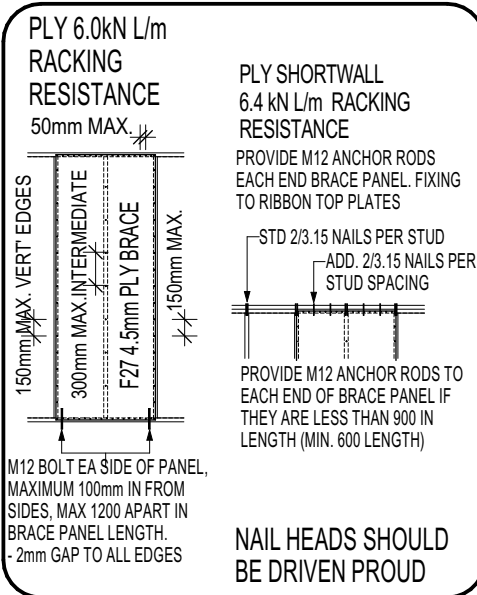
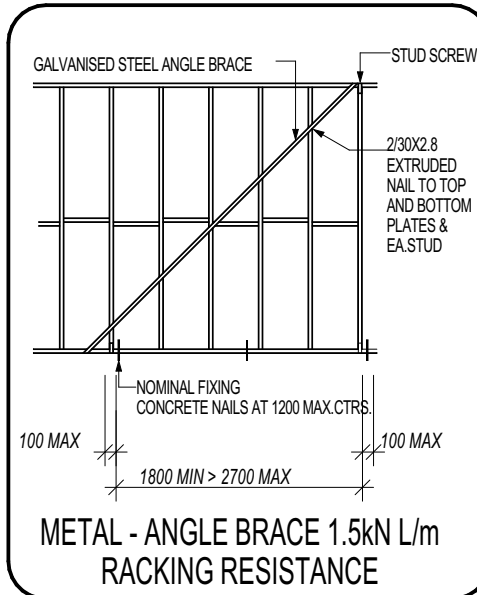
N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



Axon Cladding Details
Scale 1:5

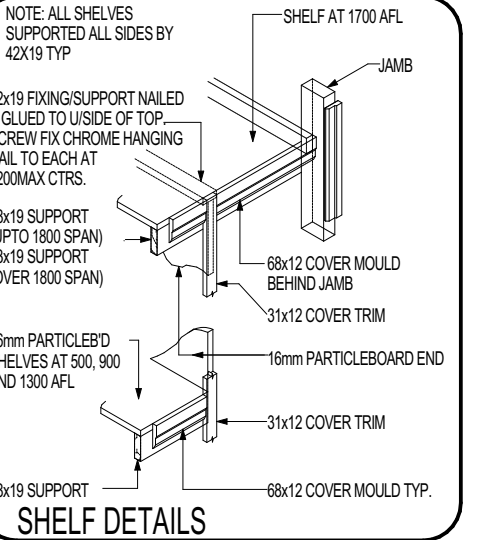
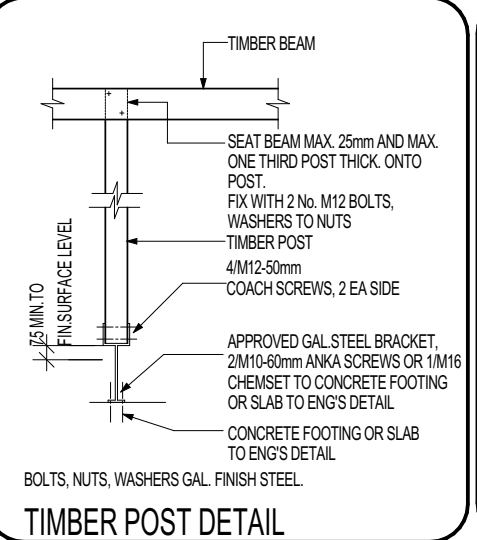
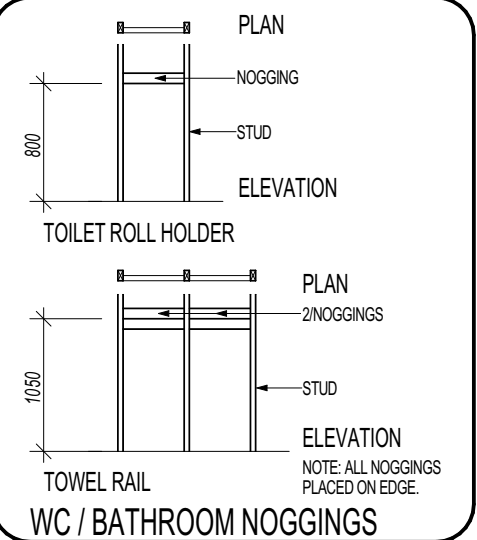
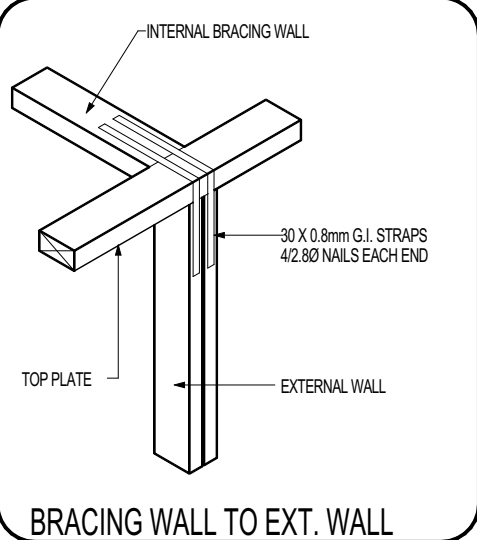
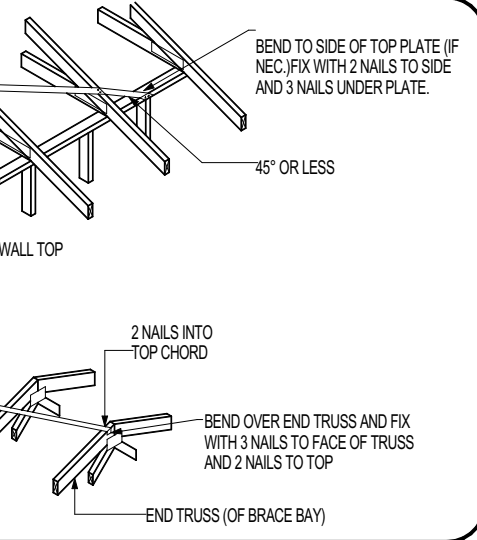
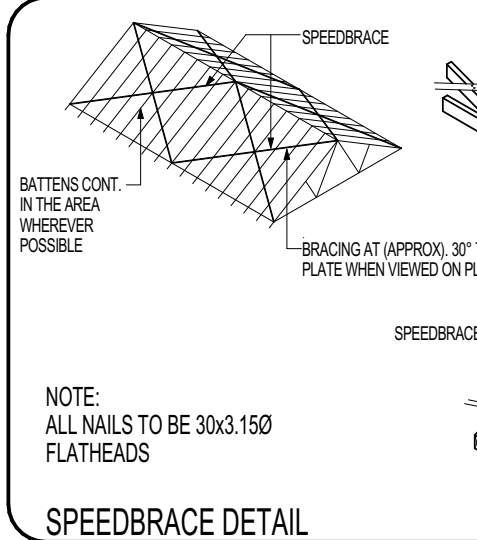
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ALL CONSTRUCTION TO BE IN STRICT ACCORDANCE WITH:

- THE NCC VOL.2-2022
- TERMITE TREATMENT TO COMPLY WITH THE PROVISIONS OF THE NCC VOL.2-2022 CLAUSE 3.4.2 ABCB AND AS3660.1-2014
- CONCRETE CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 CLAUSE H1D4 AND AS2870.1-2011 / AS3600-2018.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART H1D6 OF THE NCC VOL.2-2022 AND AS1720.1-2010 / AS1684-2021
- CONCRETE ROOFING TO COMPLY WITH NCC VOL.2-2022 CLAUSE 7.3 AND AS2049-2002/AS2050-2018.
- STEEL ROOFING TO COMPLY WITH NCC VOL.2-2022 CLAUSE 7.2 AND AS1562.1-2018.
- FIX ROOFING TO MANUF'S SPEC'S FOR RELEVANT CONDITIONS.
- WEEPHOLES IN MASONRY WALLS AT 900 CTRS. AS PER NCC VOL.2-2022 CLAUSE 5.7.5
- VERTICAL ARTICULATION IN MASONRY WALLS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.
- WET AREAS TO COMPLY WITH THE PROVISIONS OF PART 10.2 H4D2 ABCB OF THE NCC VOL.2-2022.
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL.2-2022 & PART 9.5 OF THE ABCB.
- WALL BRACING TO COMPLY WITH THE PROVISIONS OF PART 12.3.4 & 6.3.6 OF THE NCC VOL.2-2022 AND AS 1684-2021.
- ENSURE SHEAR BLOCKS ARE OF A SUFFICIENT LENGTH TO AVOID POSSIBLE SPLITTING.
- GLASS INSTALLATION TO COMPLY WITH NCC VOL.2-2022 AND AS1288-2006/ AS2047-2014.
- MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5 ABCB AND AS 3700-2018/AS 4773.1 AND AS 4773.2-2015



| TIE DOWN CALCULATION - N3 NON- CYCLONIC (ULW=6000) | | AS 1684-2021 | GENERAL NOTES | |
|--|-------------------------------------|-------------------------------------|---|--|
| MEMBER CONNECTION - JD4 TYP. u.n.o | UPLIFT REQ. | UPLIFT RESIST | ROOF FRAMING | SOFFIT LININGS |
| METAL ROOF TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS | | | METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT | SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE. NOTE:- USE 2.0 x 30mm GALV FIBRE CEMENT NAILS |
| ROOF BATTENS TO TRUSSES: TO MANUFACTURER'S SPECIFICATIONS | | | ROOF BATTENS SHALL BE SUPPLIED METAL BATTENS FIXED AS PER MANUFACTURERS SPECIFICATION | |
| ROOF TRUSSES TO TOP PLATE: @ 600 CRS 2 No. FRAMING ANCHOR WITH 3/2.8a NAILS MIN. TO EACH LEG AT INTERFACE OR: 2 x MULTI GRIP OR: 1 x CYCLONE STRAP FIXED TO PL. WITH 4/2.8a NAILS | NOM. AS PER Table 9.13 | NOM. AS PER Table 9.21(b) | ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N3 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS | |
| WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 600 CRS. PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS. | NOM. FIXING AS PER AS 1684 TABLE 15 | NOM. FIXING AS PER AS 1684 TABLE 15 | CONCRETE REFER TO ENGINEER'S DETAILS. PROVIDE CONTINUOUS 200um POLYTHENE VAPOUR BARRIER LAPPED 200 MIN. AND SEALED AT ALL JOINTS AND PENETRATIONS. PROVIDE TERMITE CONTROL IN ACCORDANCE WITH A.S. 3660.1 | LININGS CEILING SHALL BE LINED WITH 10mm THICK SUPACEIL LINING, FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS). WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VILLABOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED. REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LININGS OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS. |
| OR CHEMICAL EXPANSION OR FIRED PROP. FASTENERS. BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684 | AS 1684. Table 9.11 7.2 | BOLT 12x100-10.8 | BRICKWORK APPROVED BRICK TIES AT 600 x 600 CTS. MAX. STAGGERED. BRICKWORK SHALL HAVE APPROVED DAMP COURSE NOT LESS THAN 2 COURSES ABOVE GROUND LEVEL. PROVIDE APPROVED CAVITY FLASHING WITH WEEPHOLES AT 900mm CTRS. MAXIMUM. | WALL FRAMING MGP10/MGP12 PINE FRAME TO LOAD BEARING WALLS 90 x 35 FRAME - STUDS AT 600 CTRS - ONE ROW OF NOGGINGS TOP PLATES 90x35 MGP10/MGP12 ADD - RIBBON PLATE 90 x 35 MGP10/MGP12 |
| | | | SOFFIT LININGS SOFFIT BEARERS @ EACH TRUSS TAIL WITH 4.5mm F.C SHEETS NAILED AT 225 CTRS WITHIN 1200 OF EXTERNAL BUILDING CORNERS AND AT 300 CTRS ELSEWHERE NOTE:- USE 2.0 x 30mm GALV FIBRE CEMENT NAILS | MGP10/MGP12 PINE FRAME TO NON LOAD BEARING WALLS AND PARTITIONS 70 x 35 FRAME - STUDS AT 600 CTRS - ONE ROW NOGGINGS - TOP AND BOTTOM PLATES |

Certificate No. #HR-GZ6GJS-01

Scan QR code or follow website link for rating details.

Assessor name: Duncan Hope
Accreditation No: DMN141658
Property Address: 158 Skinners Shoot Road, SKINNERS SHOOT, NSW, 2481
http://www.hero-software.com.au/pdf/HR-GZ6GJS-01

NOTE: WEEPHOLES AT 1200 MAX. CTRS TO MASONRY WALL AND UNDER WINDOWS.

ALTERNATIVE SLAB EDGE TYP. SECTION APPROVED TERMITE BARRIER

TYP. SECTION BRICK VENEER / SHEETMETAL ROOFING / CONC' ROOF TILES

STD CORNER DETAIL

| COMMON STUD SPACING (mm) | 900 | 1200 | 1500 | 1800 | 2100 | 2400 | 2700 | 3000 | 3300 | 3600 |
|--------------------------|-----|------|------|------|------|------|------|------|------|------|
| 450 | 1 | 2 | 2 | 2 | 2 | 3 | 3 | 3 | 4 | 4 |
| 600 | 1 | 1 | 2 | 2 | 2 | 2 | 3 | 3 | 4 | 4 |