

ACOUSTIC TREATMENT REQUIRED - N/A
BUSH FIRE TREATMENT REQUIRED - BAL 29

GENERAL NOTES:

- BUILDER/CONTRACTOR NOTE, CHECK AND VERIFY ALL DIMENSIONS, LEVELS, SETBACKS AND SPECIFICATIONS PRIOR TO COMMENCEMENT OF WORK, REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE. NOTED DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. ALL DIMENSIONS ARE IN MM. ALL LEVELS ARE TO BE VERIFIED ON SITE.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE NCC VOL. 2-2022, CURRENT AUSTRALIAN STANDARDS, BUILDING REGULATIONS AND TOWN PLANNING REQUIREMENTS. REPORT ANY DISCREPANCIES TO THE PROPRIETOR'S REPRESENTATIVE.
- THESE DRAWINGS ARE TO BE READ IN CONJUNCTION WITH ASSOCIATED CONSULTANT DRAWINGS.
- ALL BUILDING WORK TO BE TERMITE PROTECTED IN ACCORDANCE WITH AS 3660.1-2014. DURABILITY NOTICE TO BE PLACED IN METER BOX INDICATING TYPE OF BARRIER AND REQ'D PERIODICAL INSPECTIONS AND MAINTENANCE.
- BUILDER/CONTRACTOR TO TAKE ALL STEPS NECESSARY TO ENSURE STABILITY OF EXIST. AND NEW STRUCTURES THROUGHOUT CONSTRUCTION.
- ALL SITE INFORMATION INCLUDING SERVICES AND LEVELS HAVE BEEN TAKEN FROM DISCLOSURE PLAN INFORMATION ONLY AND MUST BE CONFIRMED WITH AN UP-TO-DATE SURVEY AND CHECKED ON SITE PRIOR TO CONSTRUCTION.
- CHECK THE CONSTRUCTION PLAN IS THE MOST RECENT AMENDMENT. IF IN DOUBT, CONFIRM WITH THE RELEVANT CONSULTANT.
- KEEP NON WALL MOUNTED HWS 100 CLEAR OF WALL.

SPECIFICATION:

ALL MATERIALS SHALL BE NEW UNLESS SPECIFIED OTHERWISE.

PLUMBING AND DRAINAGE:

- ALL PLUMBING WORKS TO BE CONCEALED.
- ALL PLUMBING WORKS TO COMPLY WITH RELEVANT WATER SAVING TARGETS
- KEEP NON-WALL MOUNTED HWS 100 CLEAR OF WALLS

FOOTINGS AND SLAB:

- FOOTINGS AND SLAB SHALL BE CONSTRUCTED IN ACCORDANCE WITH ENGINEER'S DETAILS, REFER ENGINEER'S DETAILS FOR SOIL CLASSIFICATION.

BRICK VENEER:

- BRICKWORK SHALL BE STRAIGHT, PLUMB AND LEVEL (AS PER AUSTRALIAN STANDARDS)
- MASONRY WEEPHOLES MAX 1200 CTRS. COMPLY TO PROV' PART H1D5 OF NCC VOL.2-2022 & PART 5.7.5 OF ABCB
- BRICK VENEER WALLS TO BE CONSTRUCTED WITH MEDIUM DUTY WALL TIES.
- PROTECTION OF MASONRY WALL TIES TO COMPLY WITH THE PROVISIONS OF PART 5.6.5 ABCB OF THE NCC VOL.2-2022.

FRAMING:

- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF PART H1D6 OF THE NCC VOL.2-2022 AND AS1170.2-2010/AS1684-2021.
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO WALL FRAME.
- FOR ALL CAVITY SLIDING DOORS PROVIDE 90mm TIMBER WALL FRAMES U.N.O.
- NOGGINGS AT 1350mm cts MAXIMUM VERTICALLY

WALL LININGS:

- EXTERIOR LININGS AS NOTED ON DRAWINGS
- INTERIOR LININGS, 10mm FLUSH PLASTERBOARD LININGS TO WALLS AND CEILINGS, WALLS TO WET AREAS TO BE 6mm VILBOARD (U.N.O.)

WINDOWS AND GLAZING:

- GLASS INSTALLATION TO COMPLY WITH NCC VOL.2-2022 AND AS1288-2021/AS2047-2014.
- ALL WINDOWS AND SLIDING DOORS TO BE POWDERCOATED ALUMINIUM UNLESS OTHERWISE NOTED AND FIXED TO MANUFACTURER'S DETAILS AND SPECIFICATIONS
- SAFETY GLAZING TO BE USED IN THE FOLLOWING CASES
 - (1) ALL ROOMS - WITHIN 500mm VERTICAL OF THE FLOOR
 - (2) ALL BATHROOMS & ENSUITES
 - (3) FULLY GLAZED DOORS
 - (4) WITHIN 300mm OF A DOOR AND MORE THAN 1200mm ABOVE FLOOR

ROOF FRAMING:

- ROOF PITCH AS INDICATED ON DRAWINGS
- PROVIDE TERMITE PROTECTED 'BLUE PINE' TO ROOF TRUSSES.
- PREFABRICATED TIMBER ROOF TRUSSES TO AS4440-2004 SUPPLIED AND FIXED TO MANUFACTURER'S DETAILS AT 600 CRS.
- CEILING BINDERS EVENLY SPACED THROUGHOUT CEILING SPACE
- NO ANTICON UNDER METAL ROOF SHEETING U.N.O.
- MANHOLE POSITION APPROX. ONLY, DETERMINE ON SITE

WATERPROOFING IN WET AREAS:

- WET AREA FLOOR & SHOWER WASTES TO COMPLY WITH PART H4D3 OF THE NCC VOL.2-2022.
- WET AREA FLOOR FALLS TO COMPLY TO HP 10.2.12 PART H4D2 OF THE NCC VOL.2-2022. WATER STOP MIN. 1500 FROM SHOWER ROSE (UNENCLOSED SHR)

ROOF CLADDING:

- SELECTED COLORBOND SHEET ROOF FIXED TO MANUF'S SPECIFICATIONS
- CONCRETE TILE ROOF: ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
- COLORBOND FASCIA AND GUTTER SYSTEM, 90 DIA. PVC DOWNPIPES U.N.O.

M11060365 Drawing 10683 ARIA 28 LH CLASSIC M. McGRANE BYRON 106030 CONTRACT PLANS - JD.ph

PROPOSED NEW RESIDENCE

at

Lot 199 (No. 158) Skinners Shoot Road Skinners Shoot, NSW. 2481

Aria 28 Hampton

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



Artist's impression

Drawing Index

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3	Existing Conditions
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14	Cladding Details
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ABBREVIATIONS

A/C	AIR CONDITIONING UNIT
ACT	AL. COVER TRIM BY WINDOW MANUF.
AFL	ABOVE FLOOR LEVEL
AHD	AUSTRALIAN HEIGHT DATUM
B	BATH (AS SPECIFIED)
B'BAR	BREAKFAST BAR OVERHANG
BE	BEAM TO ENG'S DETAIL
BR	BROOM CUPBOARD
CBD	CUPBOARD
CD	CLOTHES DRYER
CH	CEILING HEIGHT
COL	STEEL COLUMN TO ENG'S DETAIL
CONC	CONCRETE
CSD	CAVITY SLIDING DOOR
CT	COOK TOP
DN	DOWN
DP	DOWN PIPE
DR	DRAWERS
DW	DISHWASHER SPACE
ENS	ENSUITE
FC	FIBRE CEMENT
FHT	FULL HEIGHT TILING
FOW	FACE OF WALL SLIDING DOOR
FRD	FIRE RATED DOOR
FW	FLOOR WASTE (NOM. TO SUIT REQ'S)
GAS CYL	REPLACEABLE GAS CYLINDERS
H	TILED HOB 150mm ABOVE BATH
HSR	HUME SMARTROBE DOOR SYSTEM
HWS	HOT WATER SYSTEM
LOB	LINE OF BULKHEAD
LOH	LIFT OFF HINGES
MB	METER BOX
MH	MANHOLE ROOF ACCESS
MHF	METAL HEAD FLASHING
MSD	MIRROR SLIDING DOOR
MVSD	1/2 MIRROR & 1/2 VINYL S/DOOR
MW	SPACE FOR MICROWAVE OVEN
NBN	NATIONAL BROADBAND NETWORK
OBS	OBSCURE GLASS
OHC	OVERHEAD CUPBOARDS
PTY	PANTRY
RK	ROBE HOOK
ROBE	WARDROBE
RH	RANGE HOOD
REF	REFRIGERATOR SPACE
RHS	RECT. HOLLOW SECT. STEEL POST
S	SINK
SD	SLIDING GLASS DOOR
S/S	STAINLESS STEEL
SH	SHELVES
SHR	SHOWER
SHS	SQ. HOLLOW SECTION STEEL POST
SHT	SHUTTER
SL	DOOR GLASS SIDE LIGHT
SPR	SPREADER
SR	SOAP RECESS 415Hx415W U.N.O.
T	LAUNDRY TUB
TR	TOWEL RAIL
TRG	TOWEL RING
UBO	UNDER BENCH OVEN
V	BATHROOM VANITY UNIT
VSD	VINYL SLIDING DOOR
WO	WALL OVEN
WM	WASHING MACHINE SPACE
WIL	WALK-IN LINEN CLOSET
WIR	WALK-IN ROBE
XO	GLASS SLIDING (X), GLASS FIXED (O)
☉	DENOTES WIRED SMOKE ALARM

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WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
 Signature: _____ Date: _____
 Signature: _____ Date: _____

M. McGrane
 Lot 199 (No. 158) Skinners Shoot Road
 Skinners Shoot, NSW. 2481
 client details:

Aria 28 Hampton LH
 Cover Sheet
 drawing title

issue	date	amendment description	by	designed:	drawn:	checked:
D	01.07.24	PCV-3	JD			
C	13.06.24	PCV2	JHB			
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A	19.04.24	AMENDED AS PER CHECK	JHB			

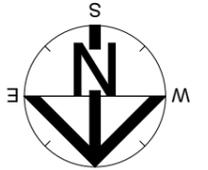
CONTRACT PLAN 10683
 plan issue type
 by designed: JD drawn: QL checked: -
 contract number
 D as shown
 issue no. 1/07/2024
 dwg scale @ A3
 1 of 15
 sheets in set

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

IF IN DOUBT - ASK

SITE NOTES:

SEE SHEET 4 FOR 1:200 DETAILS



NOTE: PAD LEVEL TO BE CONFIRMED ON SITE. NOMINATED CUT/FILL HEIGHTS ARE INDICATIVE ONLY. SITE CUT/FILL BATTERS ARE APPROXIMATE ONLY AND MAY VARY TO SOILS AND SITE CONDITIONS. IT IS THE OWNER'S RESPONSIBILITY TO STABILISE THE SITE INCLUDING BATTERS AND PROVIDE SEDIMENTATION CONTROL AFTER HANDOVER IF REQUIRED.

CLIENT SIGN:.....DATE:.....

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ENSURE 100mm DIAMETER AGRICULTURAL DRAINS ARE PROVIDED TO THE BASE OF ALL CUTS AND RETAINING WALLS AND ARE CONNECTED TO THE STORMWATER SYSTEM VIA SCREENED SILT PITS AS REQUIRED.

EXTERNAL FINISHED SURFACES SURROUNDING THE BUILDING MUST BE DRAINED TO DISPERSE WATER AWAY FROM THE BUILDING GRADED TO A SLOPE NOT LESS THAN 50mm OVER THE FIRST 1000mm FROM THE BUILDING.

SPOON DRAIN & EARTH BERM TO DIVERT OVERLAND SURFACE WATER AROUND BUILDING PAD.

THE HEIGHT OF OVERFLOW RELIEF GULLIES (ORG) RELATIVE TO DRAINAGE FITTINGS AND GROUND LEVEL MUST BE A MINIMUM OF 150mm BELOW THE LOWEST SANITARY FIXTURE.

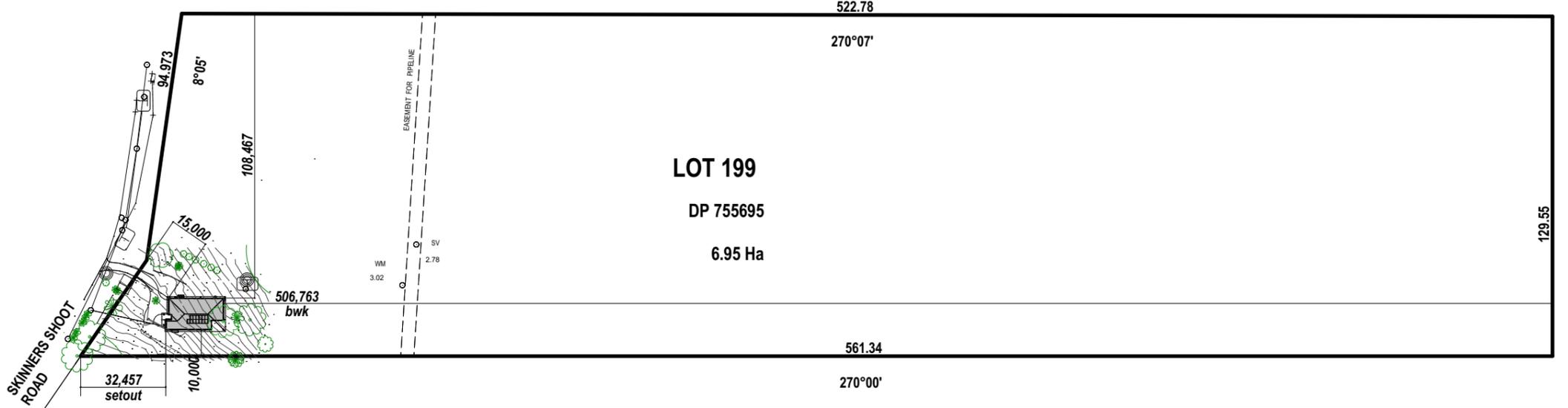
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DISCHARGE STORMWATER TO LOCAL AUTHORITY REQUIREMENTS.

PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN HOUSE AND DRIVEWAY/TERRACE/PORCH SLAB.

FILL BATTER GRADIENT @ 1 : 2 WHERE ACHIEVABLE (MAX. 1 : 1.5), CUT BATTER GRADIENT @ 1:1.5

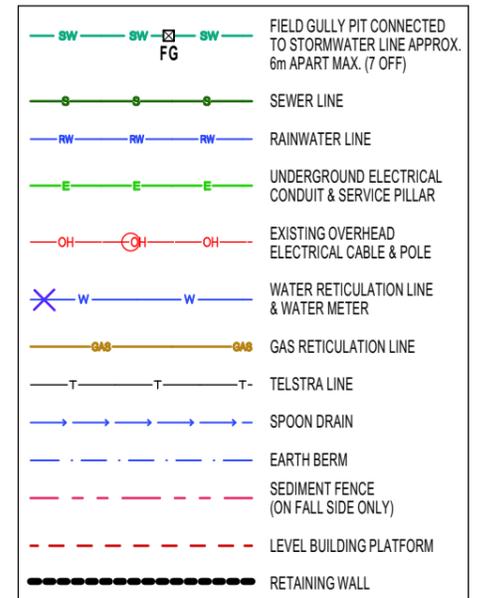
SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY



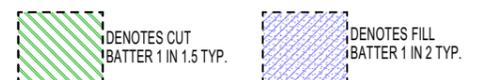
Locality Plan

Scale 1:2000

SERVICES LEGEND



Scale 1:200 @A3
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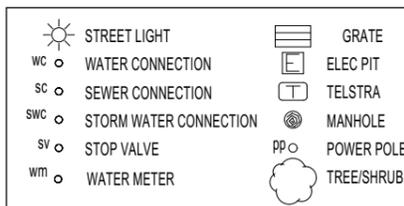


BAL 29

To comply with bushfire attack level 29 to AS3959-2018

- spark arresters (s/s mesh) to brickwork weep holes
- water &/or gas supply pipes if above ground shall be metal
- aluminium windows shall be toughened 5mm glass
- non-corrosive metal mesh flyscreens to all windows opening sashes
- aluminium sliding doors shall have non-corrosive metal mesh flyscreens to sliding & fixed sashes or shall be toughened 6mm glass
- hinged tight fitting non-corrosive metal mesh flyscreens to ext' doors
- hinged entry door with builders sidelight and entry frame (stained) to comply with bal 29, shall be protected by a suitable screen and shall have a weather seal fitted at bottom. Door frames shall be made from bushfire resisting timber and have a draught seal fitted
- weather seal around garage panelift or roller door. max. 3mm gap. vehicle access doors shall not have ventilation slots.
- rinnai wall mounted gas unit shall have a recess metal box assembly
- roofs shall be fully sarked with a flammability index of not more than 5. Sarking shall cover the entire roof, including the ridge & extend into the gutters & valleys
- gables shall be sarked, have fibre cement external cladding with a 6mm min. thickness
- roof & eave penetrations shall be screened with non-corrosive steel mesh (non-combustible) (S/S for eave sheets) with max. 2mm aperture
- if installed, gutter and valley leaf guards shall be non-combustible
- all eaves to be enclosed with 4.5mm thick fibre cement sheeting & plastic joining strips incl. 140X35 continuous pine blocking to perimeter of truss tails. Metal fascia is to be fixed to block at no more than 450 centres.

LEGEND



Mark Buckman & Co
Consulting Surveyors

47 Pearl Street
PO BOX 1393
Kingscliff, 2487.

Ph . 02 66 74 891
Mob 0418 665 832

email : mbuckman@bigpond.net.au

PROPERTY DESCRIPTION:

LOT 199 ON DP 755695
LOCALITY - SKINNERS SHOOT
COUNCIL - BYRON
SITE AREA - 6.95 Ha
SITE COVERAGE - 0.43%

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Aria 28 Hampton LH
Locality Plan

D	01.07.24	PCV-3	JD
C	13.06.24	PCV2	JHB
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A	19.04.24	AMENDED AS PER CHECK	JHB
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designed: JD
drawn: QL
checked: -

CONTRACT PLAN 10683

plan issue type
contract number
printed date: 1/07/2024
as shown
dwg scale @ A3
2 of 15
sheets in set

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

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SEDIMENT CONTROL BARRIER AS REQUIRED FOR CONSTRUCTION PURPOSES ONLY

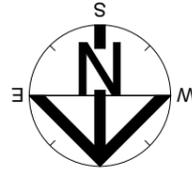
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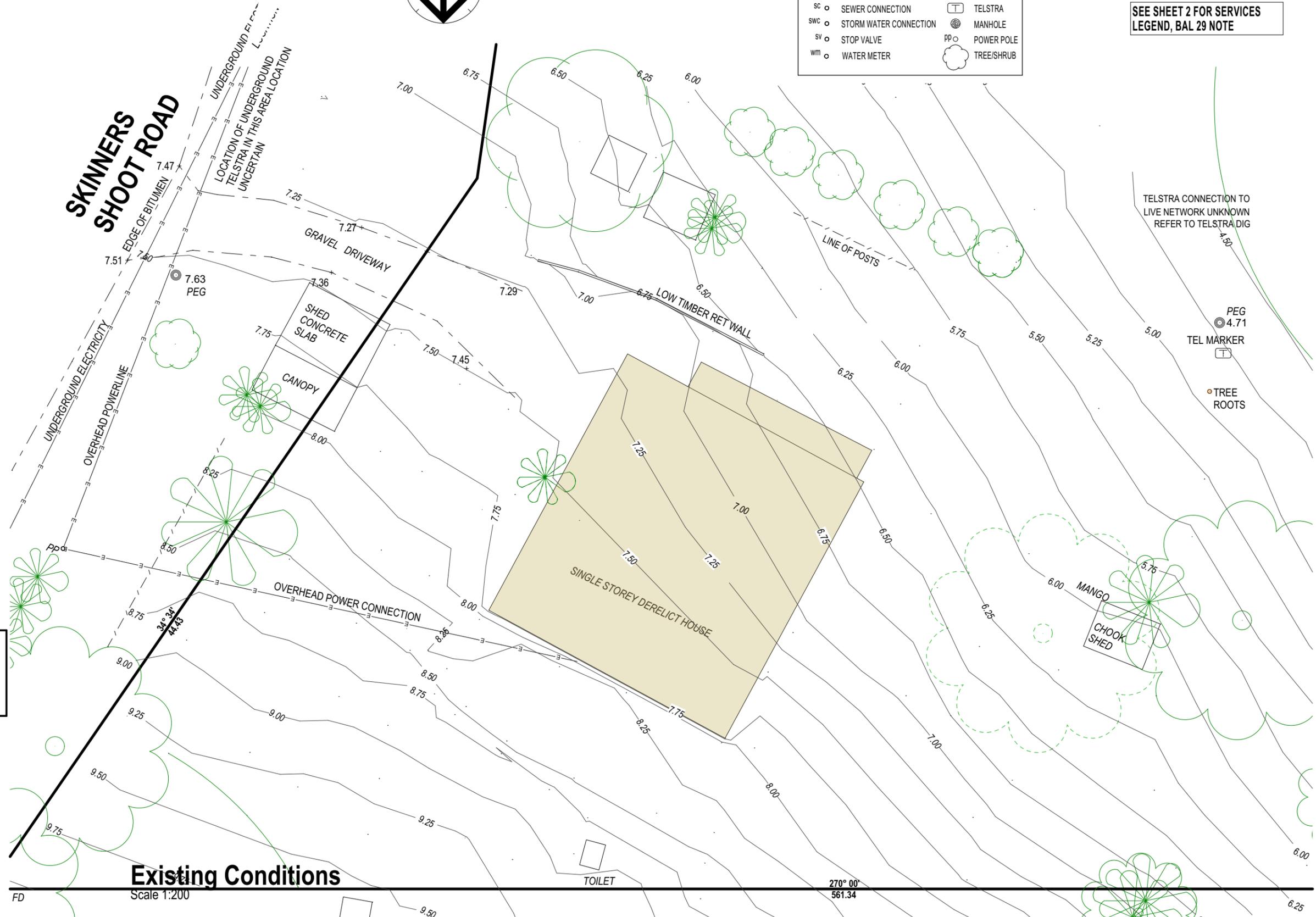


LEGEND

	STREET LIGHT		GRATE
	WATER CONNECTION		ELEC PIT
	SEWER CONNECTION		TELSTRA
	STORM WATER CONNECTION		MANHOLE
	STOP VALVE		POWER POLE
	WATER METER		TREE/SHRUB

IF IN DOUBT - ASK

SEE SHEET 2 FOR ENLARGEMENT OF HOUSE SITE
SEE SHEET 2 FOR SERVICES LEGEND, BAL 29 NOTE



Existing Conditions
Scale 1:200

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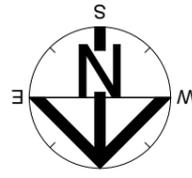
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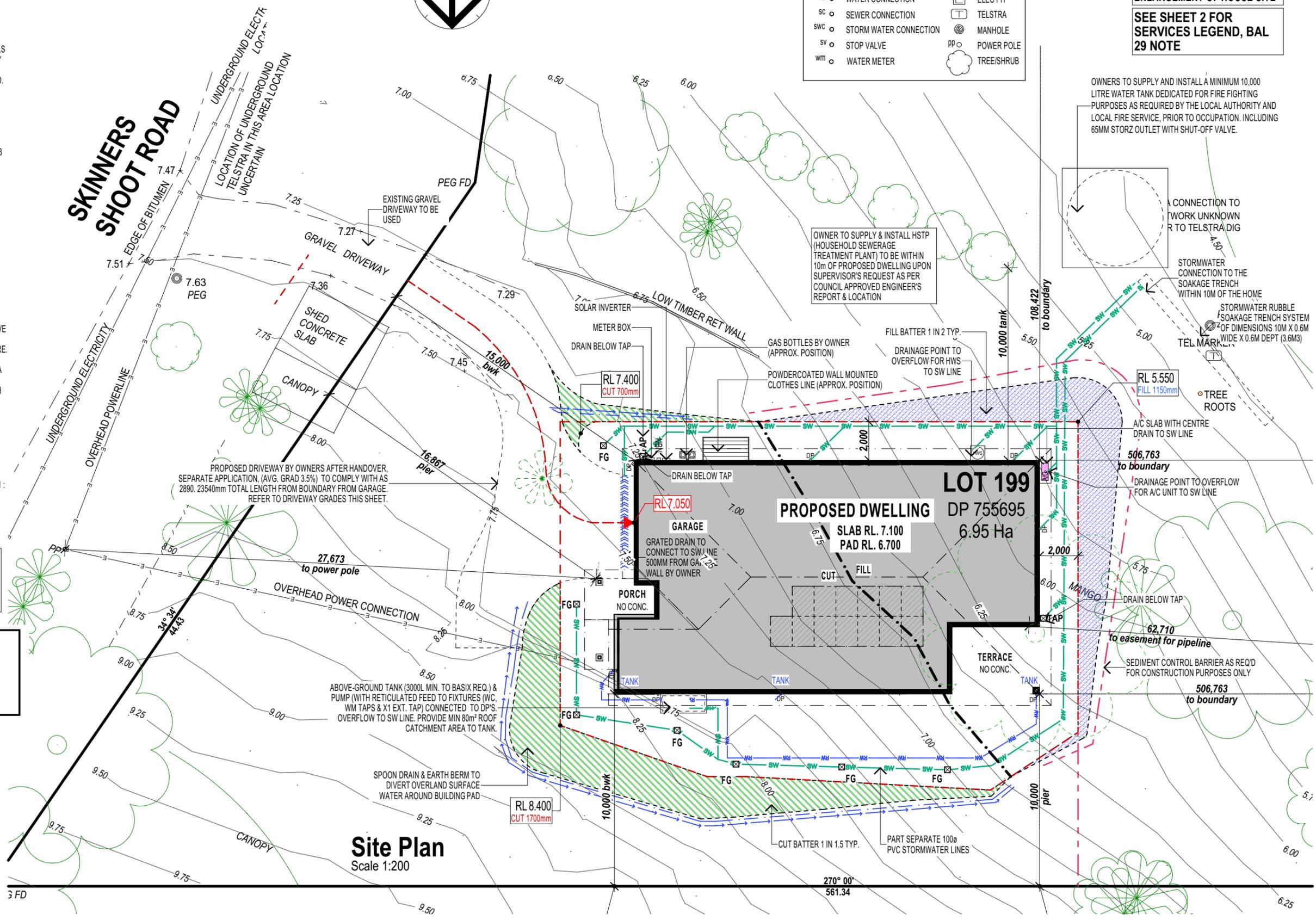


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	STOP VALVE		POWER POLE
	WATER METER		TREE/SHRUB

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Site Plan
Scale 1:200

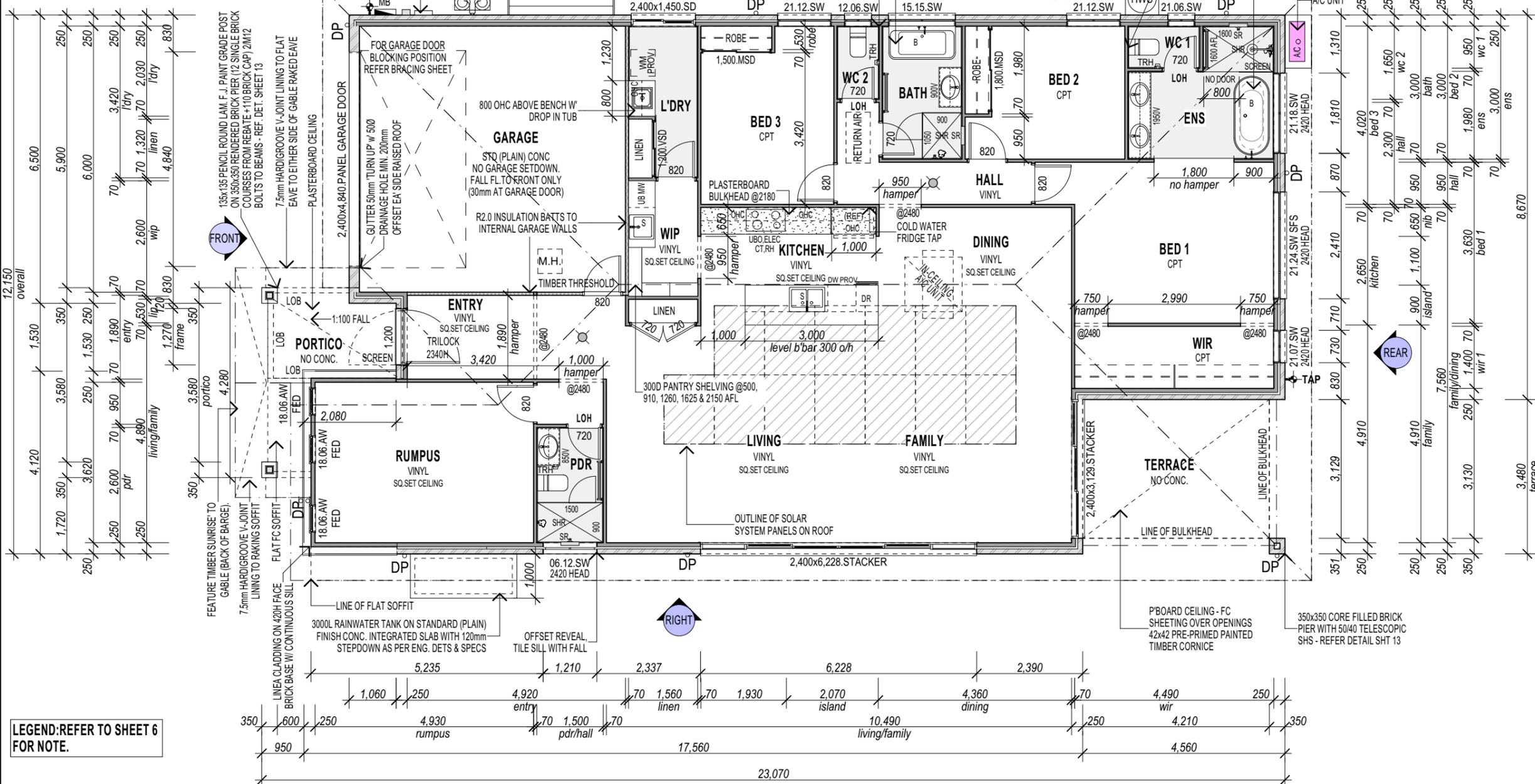
N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

- BASIS NOTES:**
- 3 STAR RATED TAPS TO KIT., BATHROOMS, SHOWER HEADS AND WC FLUSHING SYSTEM.
 - R2.5 INSULATION BATTS TO EXTERNAL WALLS (EXCLUDES GARAGE ONLY)
 - R5.0 INSULATION BATTS TO ENTIRE CEILING (EXCLUDES GARAGE ONLY)
 - 60MM THICK FOIL BACKED BLANKET INSULATION (R1.3) UNDER METAL ROOF
 - SARKING TO ALL EXT. WALLS
 - 250 LITRE ELECTRIC STORAGE HWS (26.30 REC)
 - PROVIDE SINGLE PHASE DUCTED REVERSE CYCLE INVERTER AIR CONDITIONING SYSTEM (15.5/18kW)
 - 2x 300mm DIAMETER VENTILATOR BY INSTALLER TO SUIT ON SITE
 - ALL INTERNAL HINGED / SLIDING DOORS / ROBE SLIDING DOORS TO BE 2340mm HIGH

NOTE: SYNERGY - "NOM" SIZES FOR ALL. 2100H WINDOWS ARE 2055 ACTUAL HEIGHT INSIDE REVEALS WITH 2150 TO UNDERSIDE OF TRIMMER. 2400H WINDOWS ARE 2355 ACTUAL HEIGHT INSIDE REVEALS WITH 2450 TO UNDERSIDE OF TRIMMER

WHITE MELAMINE SHELVING TO ALL WARDROBES, LINEN & BROOM CUPBOARD

- ABBREVIATIONS**
- A/C AIR CONDITIONING UNIT
 - AL AL COVER TRIM BY WINDOW MANUF.
 - ABL ABOVE FLOOR LEVEL
 - AHD AUSTRALIAN HEIGHT DATUM
 - B BATH (AS SPECIFIED)
 - B/BAR BREAKFAST BAR OVERHANG
 - BE BEAM TO ENG'S DETAIL
 - BR BROOM CUPBOARD
 - CBD CUPBOARD
 - CD CLOTHES DRYER
 - CH CEILING HEIGHT
 - COL STEEL COLUMN TO ENG'S DETAIL
 - CONC CONCRETE
 - CSD CAVITY SLIDING DOOR
 - CT COOK TOP
 - DN DOWN
 - DP DOWN PIPE
 - DR DRAWERS
 - DW DISHWASHER SPACE
 - ENS ENSUITE
 - FC FIBRE CEMENT
 - FHT FULL HEIGHT TILING
 - FWW FACE OF WALL SLIDING DOOR
 - FRD FIRE RATED DOOR
 - FW FLOOR WASTE (NOM. TO SUIT REQ'S)
 - GAS CYL REPLACEABLE GAS CYLINDERS
 - H TILED HOBB 150mm ABOVE BATH
 - HSR HUME SMARTROBE DOOR SYSTEM
 - HWS HOT WATER SYSTEM
 - LOB LINE OF BULKHEAD
 - LOH LIFT OFF HINGES
 - MB METER BOX
 - MH MANHOLE ROOF ACCESS
 - MHF METAL HEAD FLASHING
 - MSD MIRROR SLIDING DOOR
 - MVSD 1/2 MIRROR & 1/2 VINYL S/DOOR
 - MW SPACE FOR MICROWAVE OVEN
 - NBN NATIONAL BROADBAND NETWORK
 - OBS OBSCURE GLASS
 - OHC OVERHEAD CUPBOARDS
 - PTY PANTRY
 - RK ROBE HOOK
 - ROBE WARDROBE
 - RH RANGE HOOD
 - REF REFRIGERATOR SPACE
 - RHS RECT. HOLLOW SECT. STEEL POST
 - S SINK
 - SD SLIDING GLASS DOOR
 - S/S STAINLESS STEEL
 - SH SHELVES
 - SHR SHOWER
 - SHS SQ. HOLLOW SECTION STEEL POST
 - SHT SHUTTER
 - SL DOOR GLASS SIDE LIGHT
 - SPR SPREADER
 - SR SOAP RECESS 415x415W U.N.O.
 - T TOWEL RING
 - TR TOWEL RAIL
 - TRG TOWEL RING
 - UBO UNDER BENCH OVEN
 - V BATHROOM VANITY UNIT
 - VSD VINYL SLIDING DOOR
 - WO WALL OVEN
 - WM WASHING MACHINE SPACE
 - WIL WALK-IN LINEN CLOSET
 - WIR WALK-IN ROBE
 - XO GLASS SLIDING (X), GLASS FIXED (O)
 - ⊗ DENOTES WIRED SMOKE ALARM



LEGEND: REFER TO SHEET 6 FOR NOTE.

BAL 29
To comply with bushfire attack level 29 to AS3959-2018

Floor Plan

Scale 1:100

Main Slab Information

Perimeter	Area m2
70.66	243.08
243.08 m²	

Area Summary

Description	Area m2
Alfresco	32.22
Garage	39.20
Living	203.87
Porch	5.41
Terrace	15.87
Total	296.57 m²

M10680265 Drafting/10683 ARIA 28 LH CLASSIC W. MCGRANE BY/10683 CONTRACT PLANS - JD.ph

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D	01.07.24	PCV-3	JD																						
C	13.06.24	PCV2	JHB																						
B	15.05.24	SF6	JHB																						
A	19.04.24	AMENDED AS PER CHECK	JHB																						
issue	date	amendment description	by																						

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

METAL Roof	
Area	
	4.34
	12.93
	29.76
	44.56
	104.30
	114.98
	310.87 m²

NOTE:
JOINERY HEAD HEIGHT AT 2420mm AFL U.N.O.
ENSURE FULL ARCHITRAVE OVER WINDOWS TO (2180) BULKHEAD

BRICKLAYER NOTE:
PROVIDE STAINLESS STEEL BRICK TIES
BRICK JOINTS SHALL BE TOOLED
BRICKS SHALL BE EXPOSURE GRADE

BAL 29
To comply with bushfire attack level 29 to AS3959-2018

NOTE:

- TERMITE TREATMENT TO COMPLY WITH CLAUSE 3.4.2 ABCB & AS 3660.1-2014.
- TIMBER CONSTRUCTION TO COMPLY WITH THE PROVISIONS OF NCC VOL.2-2022 PART H1D6 AND AS1720.1-2010/AS1684-2021
- CONCRETE CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 CLAUSE H1D4 & AS2870.1-2011/ AS 3600-2018.
- ENSURE FULL ARCHITRAVE OVER WINDOWS UNDER BULKHEAD.
- PROVIDE NOGGING FOR TOWEL RAIL.
- W.C. DOORS TO BE FITTED WITH LIFT-OFF HINGES OR TO SWING OUT IN ACCORDANCE WITH NCC VOL.2-2022 H4F3
- WET AREAS TO BE WATERPROOFED IN ACCORDANCE WITH H4D2 OF THE NCC VOL.2-2022. 1:50-80 FALL TO FLOOR WASTES.
- SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL.2-2022 & PART 9.5 OF ABCB.
- ALL EXTERNAL WALLS WITHIN 900mm FROM AN ALLOTMENT BOUNDARY TO HAVE AN FRL OF NOT LESS THAN 60/60/60 WHEN TESTED FROM THE OUTSIDE (NO PROTECTION REQUIRED FOR THE WALL AT RIGHT ANGLES OR MORE TO THE BOUNDARY) AS PER NCC VOL.2-2022 CLAUSE 9.2 ABCB.
- REFER TO ENGINEER'S DRAWINGS FOR BRICKWORK EXPANSION JOINTS.
- BARRIERS, STEPS & HANDRAILS TO COMPLY WITH NCC VOL.2-2022 PART 11, AS1657-2018 & AS1684-2021.

NOTE:

GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.

ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR N3 - METAL ROOF/90mm EXT. FRAME @600 CRS. CONDITIONS

STEEL ROOFING TO COMPLY WITH H1D7 NCC VOL.2-2022 ABCB PART 7.2 AND AS1562.1-2018

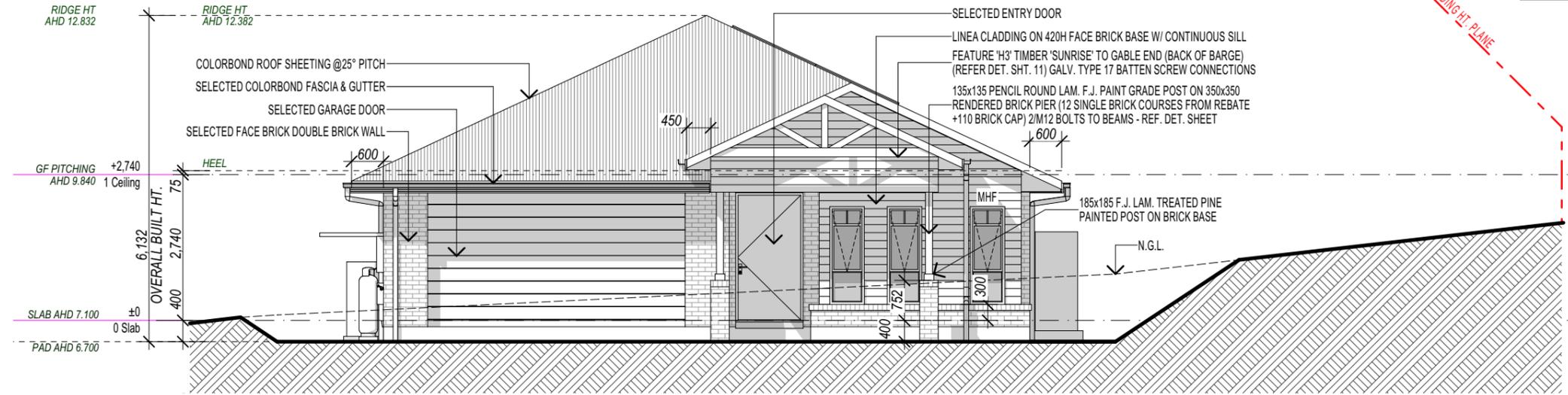
CONCRETE ROOFING TO COMPLY WITH H1D7 NCC VOL.2-2022 ABCB PART 7.3 AS2049-2002/AS2050-2018.

PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.

MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5 ABCB AND AS 3700-2018/AS 4773.1 AND AS 4773.2-2015. WEEPHOLES MAX 1200 CTRS. TO COMPLY TO PROV. CLAUSE H1D5 OF NCC VOL.2-2022 & CLAUSE 5.7.5 OF ABCB.

BRICK PATTERN IS SHOWN FOR ILLUSTRATION PURPOSES ONLY - BRICK SETOUT SHALL BE DETERMINED BY THE BRICKLAYER. VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.

PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



FRONT Elevation - EAST
Scale 1:100



LEFT Elevation - SOUTH
Scale 1:100

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				<p>C 13.06.24 PCV2</p>	<p>JHB</p>		
<p>issue date amendment description by designed: JD drawn: QL checked: - contract number</p>							

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.

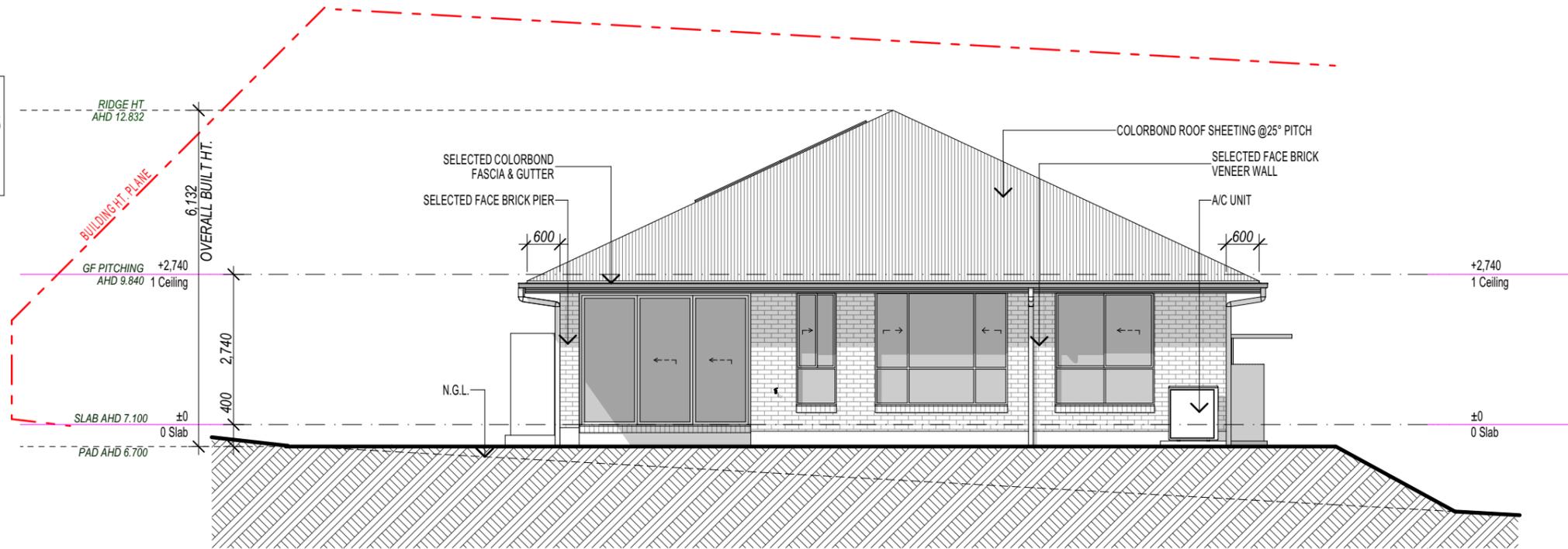
NOTE:

JOINERY HEAD HEIGHT AT 2420mm AFL U.N.O.

ENSURE FULL ARCHITRAVE OVER WINDOWS TO (2180) BULKHEAD

BRICKLAYER NOTE:
 PROVIDE STAINLESS STEEL BRICK TIES
 BRICK JOINTS SHALL BE TOOLED
 BRICKS SHALL BE EXPOSURE GRADE

BAL 29
 To comply with bushfire attack level 29 to AS3959-2018



REAR Elevation - WEST
 Scale 1:100

NOTE:

GUTTER, FASCIA AND DOWNPIPES TO BE INSTALLED TO MANUFACTURER'S DETAILS AND TO COMPLY WITH CURRENT NCC.

ROOFING TO BE FIXED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS FOR N3 - METAL ROOF/90mm EXT. FRAME @600 CRS. CONDITIONS

STEEL ROOFING TO COMPLY WITH H1D7 NCC VOL.2-2022 ABCB PART 7.2 AND AS1562.1-2018

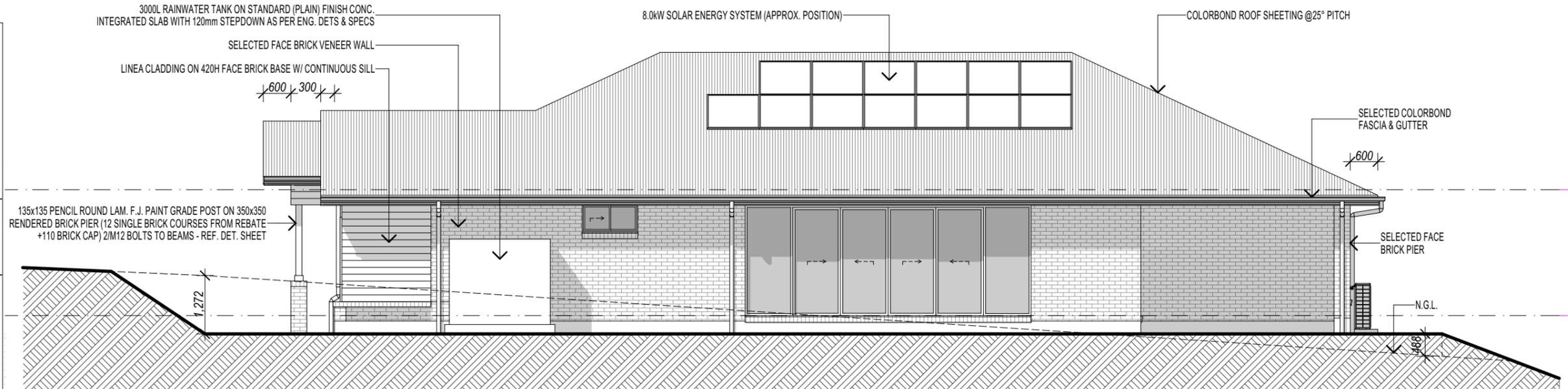
CONCRETE ROOFING TO COMPLY WITH H1D7 NCC VOL.2-2022 ABCB PART 7.3 AS2049-2002/AS2050-2018.

PROVIDE ALCOR BARRIER BETWEEN LEAD FLASHING AND ZINCALUME VALLEY GUTTER AS REQUIRED.

MASONRY CONSTRUCTION TO COMPLY WITH NCC VOL.2-2022 SECTION 5 ABCB AND AS 3700-2018/AS 4773.1 AND AS 4773.2-2015. WEEPHOLES MAX 1200 CTRS. TO COMPLY TO PROV' CLAUSE H1D5 OF NCC VOL.2-2022 & CLAUSE 5.7.5 OF ABCB.

BRICK PATTERN IS SHOWN FOR ILLUSTRATION PURPOSES ONLY - BRICK SETOUT SHALL BE DETERMINED BY THE BRICKLAYER. VERTICAL ARTICULATION JOINTS TO COMPLY WITH THE PROVISIONS OF PART 5.6.8 ABCB OF THE NCC VOL.2-2022.

PROTECTION OF WALL TIES & LINTELS IN MASONRY TO COMPLY WITH PROVISIONS OF PART 5.6.5 ABCB OF NCC.



RIGHT Elevation - NORTH
 Scale 1:100

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NOTE:

ALL LIGHT SWITCHES AT 1350mm AFL (TO CENTRE) UNLESS NOTED OTHERWISE (U.N.O.).

WALL LIGHTS AT 1900mm AFL U.N.O.

GPO'S AT 300mm AFL U.N.O.

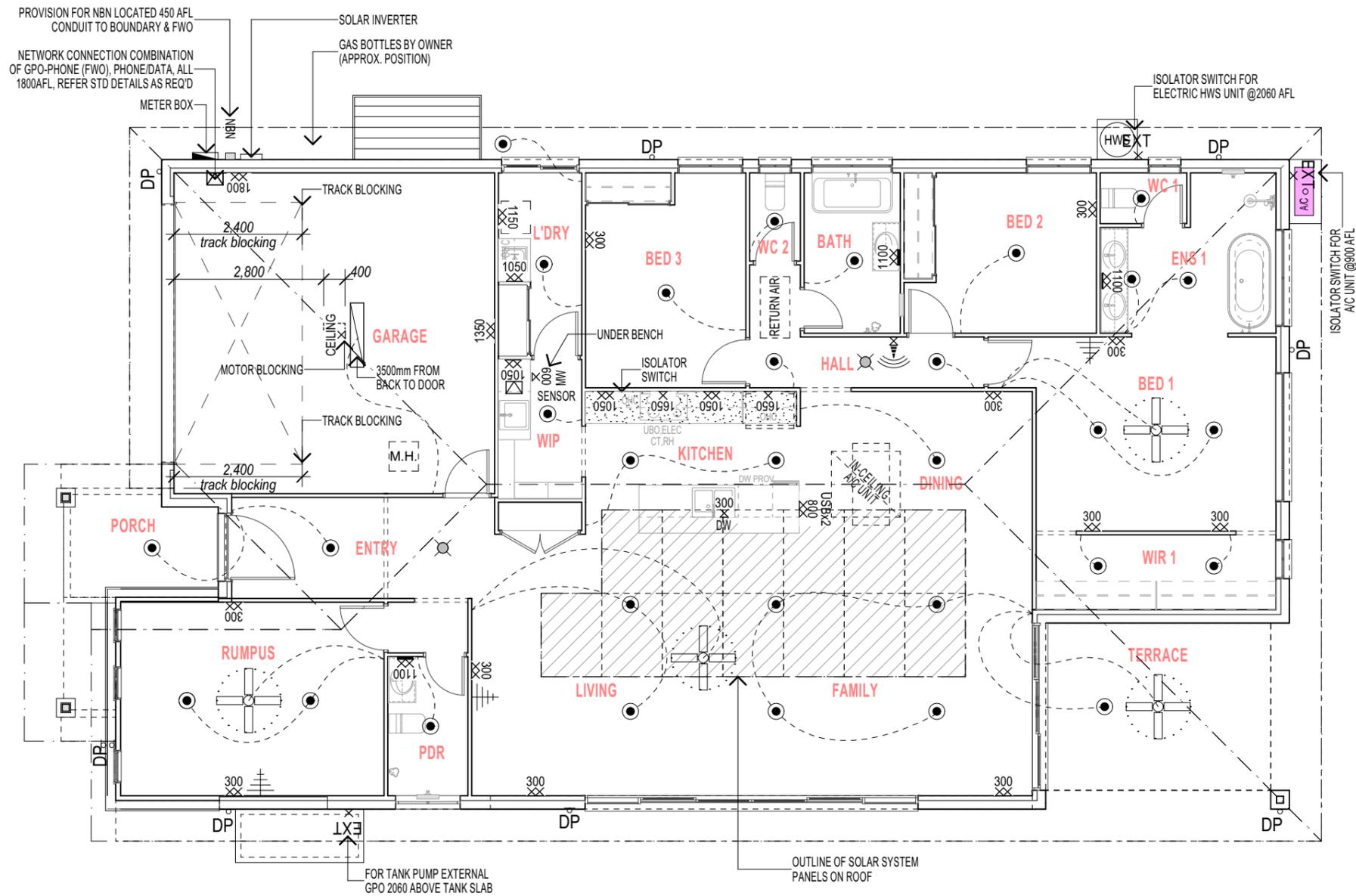
ELECTRICAL POINTS MAY BE RELOCATED ON SITE TO SUIT CURRENT STATUTORY REQUIREMENTS.

SMOKE ALARMS TO COMPLY WITH THE PROVISIONS OF PART H3D6 OF THE NCC VOL. 2-2022 & PART 9.5 OF THE ABCB HOUSING PROVISIONS. DESIGN OF SMOKE ALARMS MUST COMPLY WITH AS. 3786. ALL SMOKE ALARMS SHALL BE PHOTOELECTRIC, HARDWIRED AND INTERCONNECTED. A CERTIFICATE OF INSTALLATION FROM A LICENSED ELECTRICAL CONTRACTOR IS REQUIRED AT FINAL INSPECTION.

LOCATION OF A/C UNITS & CONDENSERS ARE INDICATIVE ONLY AND MAY VARY AT TIME OF CONSTRUCTION.

240V ENERGY EFFICIENT INTERNAL LIGHT FITTINGS THROUGHOUT.

EXHAUST FANS ALL DUCTED TO EXTERNAL AIR BY EAVE VENT TO NCC REQUIREMENTS H4D7. FAN/ LIGHT SWITCHES INTEGRATED WITH 10 MIN RUN TIMER.



Electrical Plan
Scale 1:100

Electrical Fittings		
Symbol	Item Description	Qty
	AC Condenser Unit	1
	Ceiling Fan	4
	DGPO 1050	4
	DGPO 1100 (VANITY)	4
	DGPO 1150	1
	DGPO 1350	1
	DGPO 1800	1
	DGPO 300	12
	DGPO-DUSB 800	1
	Electric Heat Pump HWS	1
	External SGPO (w'proof)	4
	Fluorescent Light	1
	In-Ceiling AC Unit 2D	1
	Meter Box	1
	NBN Box	1
	Phone&Data Point Combo	3
	Return AC Air (large)	1
	Selected Downlight	35
	Sensor Light incl. SGPO	1
	SGPO 1650	2
	SGPO 300	1
	SGPO 600	1
	SGPO Ceiling	1
	Smoke Alarm	2
	Solar Inverter	1
	Television Point	3

M:\10683\Drawings\10683_Aria 28 LH CLASSIC W. MCGRANE BYRON\10683 CONTRACT PLANS - JD.pln

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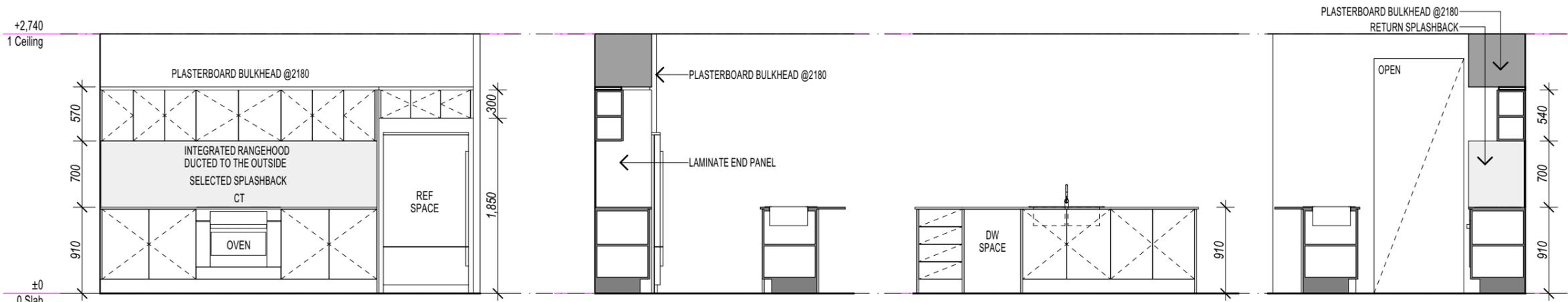
I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
Signature: _____ Date: _____
Signature: _____ Date: _____

M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
client details:

Aria 28 Hampton LH
Electrical Plan
drawing title

D	01.07.24	PCV-3	JD
C	13.06.24	PCV2	JHB
B	15.05.24	SF6	JHB
A	19.04.24	AMENDED AS PER CHECK	JHB
issue	date	amendment description	by

CONTRACT PLAN 10683
plan issue type
by designed: JD drawn: QL checked: -
contract number
D as shown issue no. 1/07/2024 8 of 15
dwg scale @ A3
printed date: sheets in set



kit01
Scale 1:50

kit02
Scale 1:50

kit03
Scale 1:50

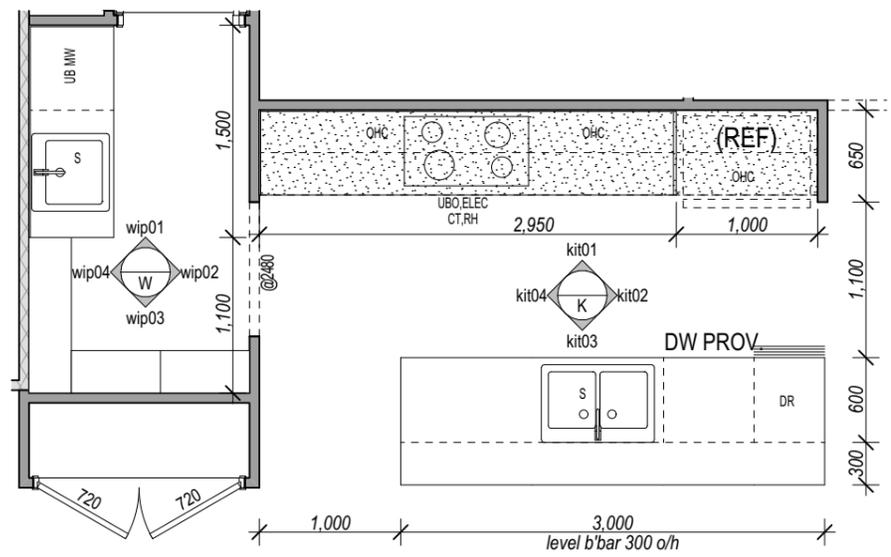
kit04
Scale 1:50

STANDARD HEIGHTS (mm AFL)

SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
CORNER & ACRYLIC BATH TAPS	750
STEEL BATH TAPS	650
TOP STEEL BATH (EXCL. HOB 150mm)	500
VANITY & KITCHEN PIPES	560
LAUNDRY TUB TAPS	1050
WASHING MACHINE TAPS	1250
TOWEL RAIL/RING NOGGING (U.N.O.)	1050
TOILET ROLL NOGGING	800
ROBE HOOK NOGGING	1700
FRIDGE TAP	1900
OUTSIDE YARD TAPS (OFF STD REBATE)	772

NOTE:
- INTERNAL ELEVATIONS REPRESENTED INDICATIVELY ONLY INCLUDING TILE AREAS (SUBJECT TO TILES CHOSEN). CABINET HANDLES NOT SHOWN (TO BE NOMINATED AT COLOUR SELECTION).
- DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED.

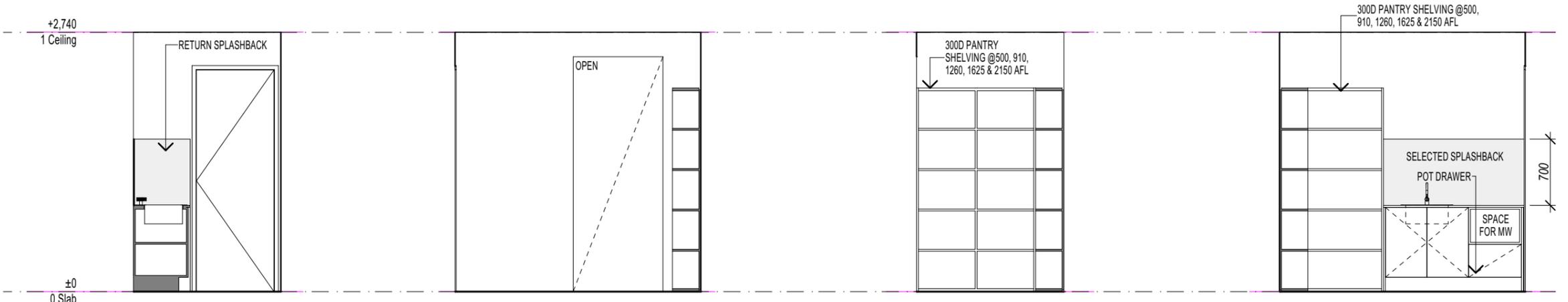
■ DENOTES EXTENT OF WALL TILES/SPLASHBACK



kitchen & wip detail
Scale 1:50



Kitchen View



wip01
Scale 1:50

wip02

wip03

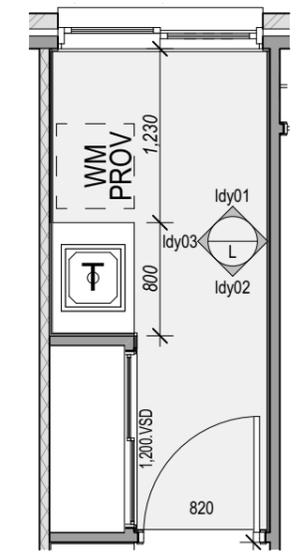
wip04

STANDARD HEIGHTS (mm AFL)

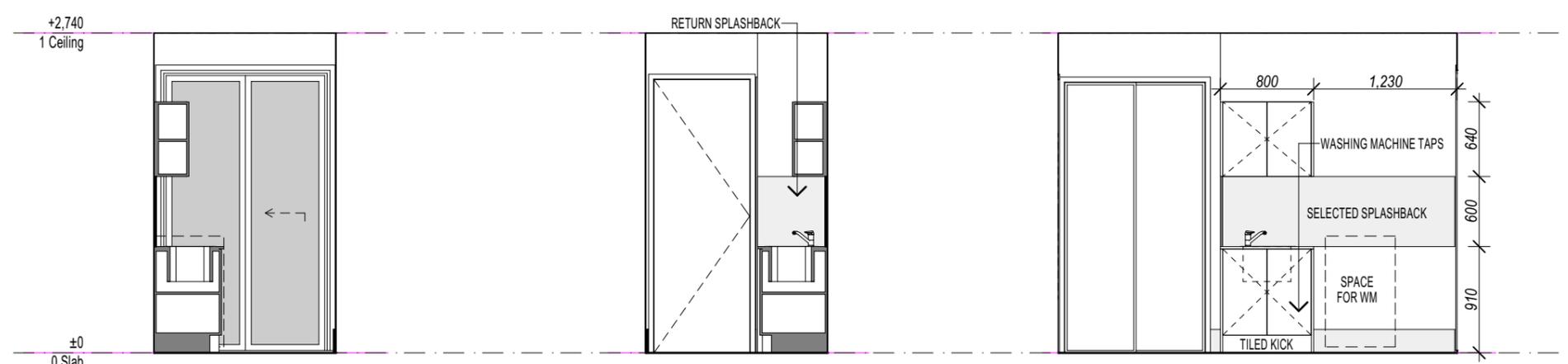
SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
CORNER & ACRYLIC BATH TAPS	750
STEEL BATH TAPS	650
TOP STEEL BATH (EXCL. HOB 150mm)	500
VANITY & KITCHEN PIPES	560
LAUNDRY TUB TAPS	1050
WASHING MACHINE TAPS	1250
TOWEL RAIL/RING NOGGING (U.N.O.)	1050
TOILET ROLL NOGGING	800
ROBE HOOK NOGGING	1700
FRIDGE TAP	1900
OUTSIDE YARD TAPS (OFF STD REBATE)	772

NOTE:
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 DENOTES EXTENT OF WALL TILES/SPLASHBACK



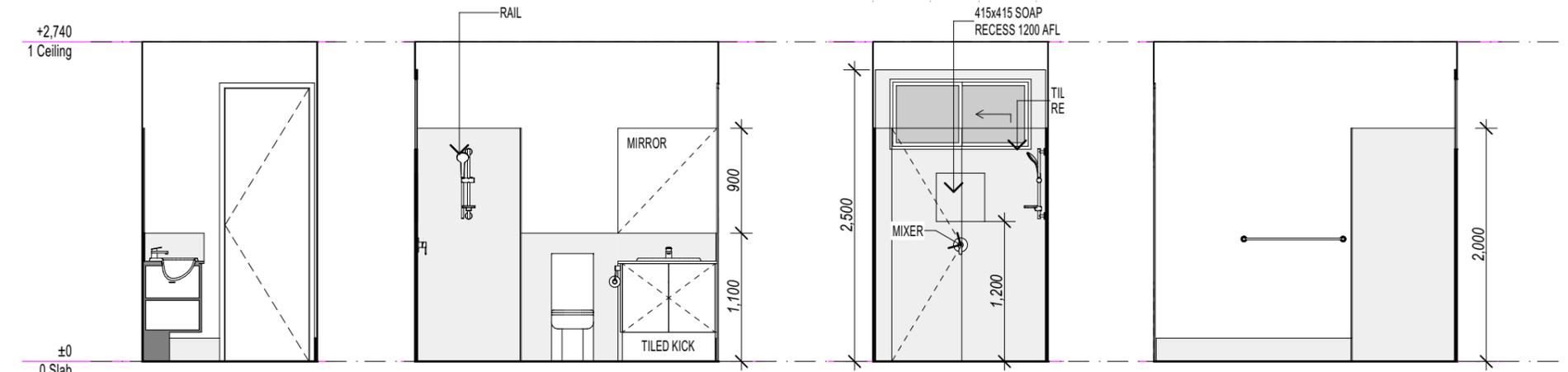
laundry detail
Scale 1:50



Idy01
Scale 1:50

Idy02
Scale 1:50

Idy03
Scale 1:50

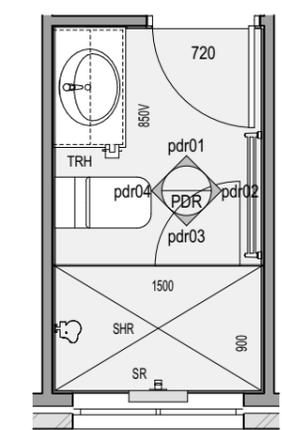


pdr01
Scale 1:50

pdr02
Scale 1:50

pdr03
Scale 1:50

pdr04
Scale 1:50



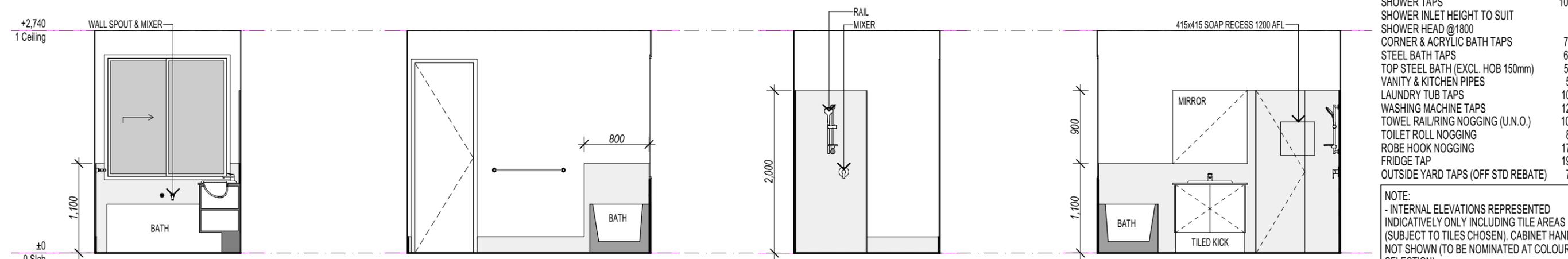
powder room detail
Scale 1:50

STANDARD HEIGHTS (mm AFL)

SHOWER TAPS	1000
SHOWER INLET HEIGHT TO SUIT	
SHOWER HEAD @1800	
CORNER & ACRYLIC BATH TAPS	750
STEEL BATH TAPS	650
TOP STEEL BATH (EXCL. HOB 150mm)	500
VANITY & KITCHEN PIPES	560
LAUNDRY TUB TAPS	1050
WASHING MACHINE TAPS	1250
TOWEL RAIL/RING NOGGING (U.N.O.)	1050
TOILET ROLL NOGGING	800
ROBE HOOK NOGGING	1700
FRIDGE TAP	1900
OUTSIDE YARD TAPS (OFF STD REBATE)	772

NOTE:
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 - DESIGN FUNCTIONALITY IS THE CABINET MAKER'S RESPONSIBILITY. THE EXACT CONFIGURATION OF WALL OVEN TOWER MAY VARY SUBJECT TO OVEN SELECTED.

 DENOTES EXTENT OF WALL TILES/SPLASHBACK

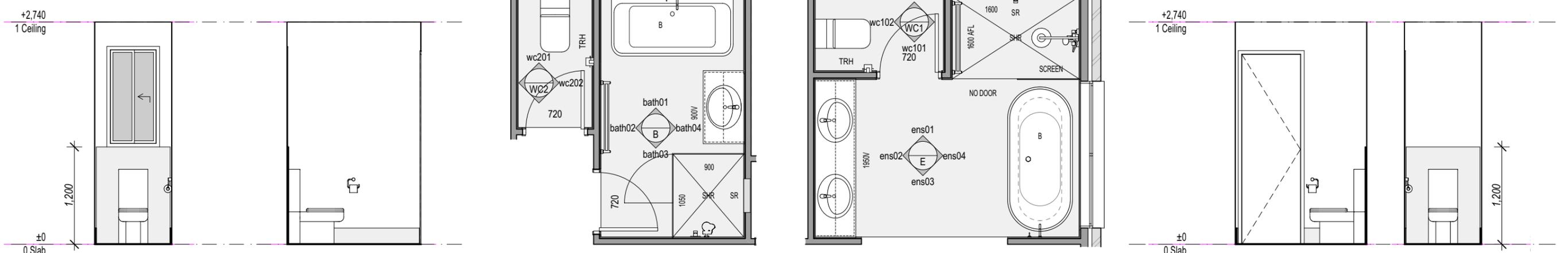


bath01
Scale 1:50

bath02
Scale 1:50

bath03
Scale 1:50

bath04
Scale 1:50



wc201
Scale 1:50

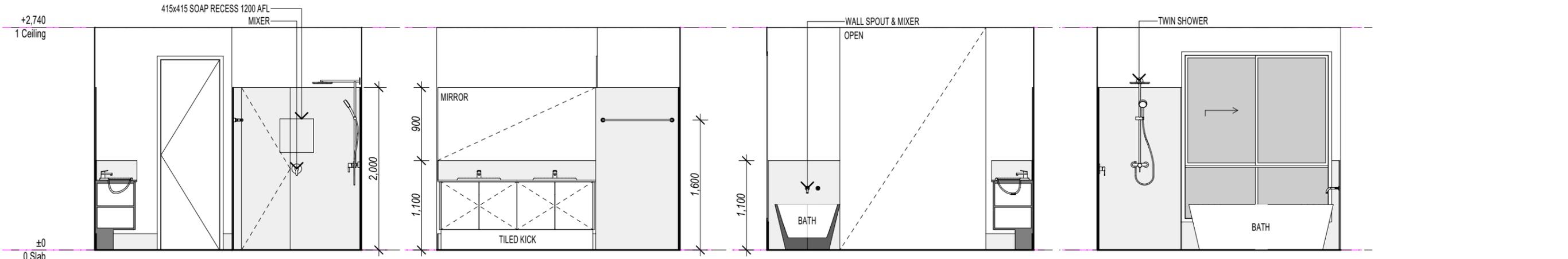
wc202
Scale 1:50

bath & wc 2 detail
Scale 1:50

ens & wc 1 detail
Scale 1:50

wc101
Scale 1:50

wc102
Scale 1:50



ens01
Scale 1:50

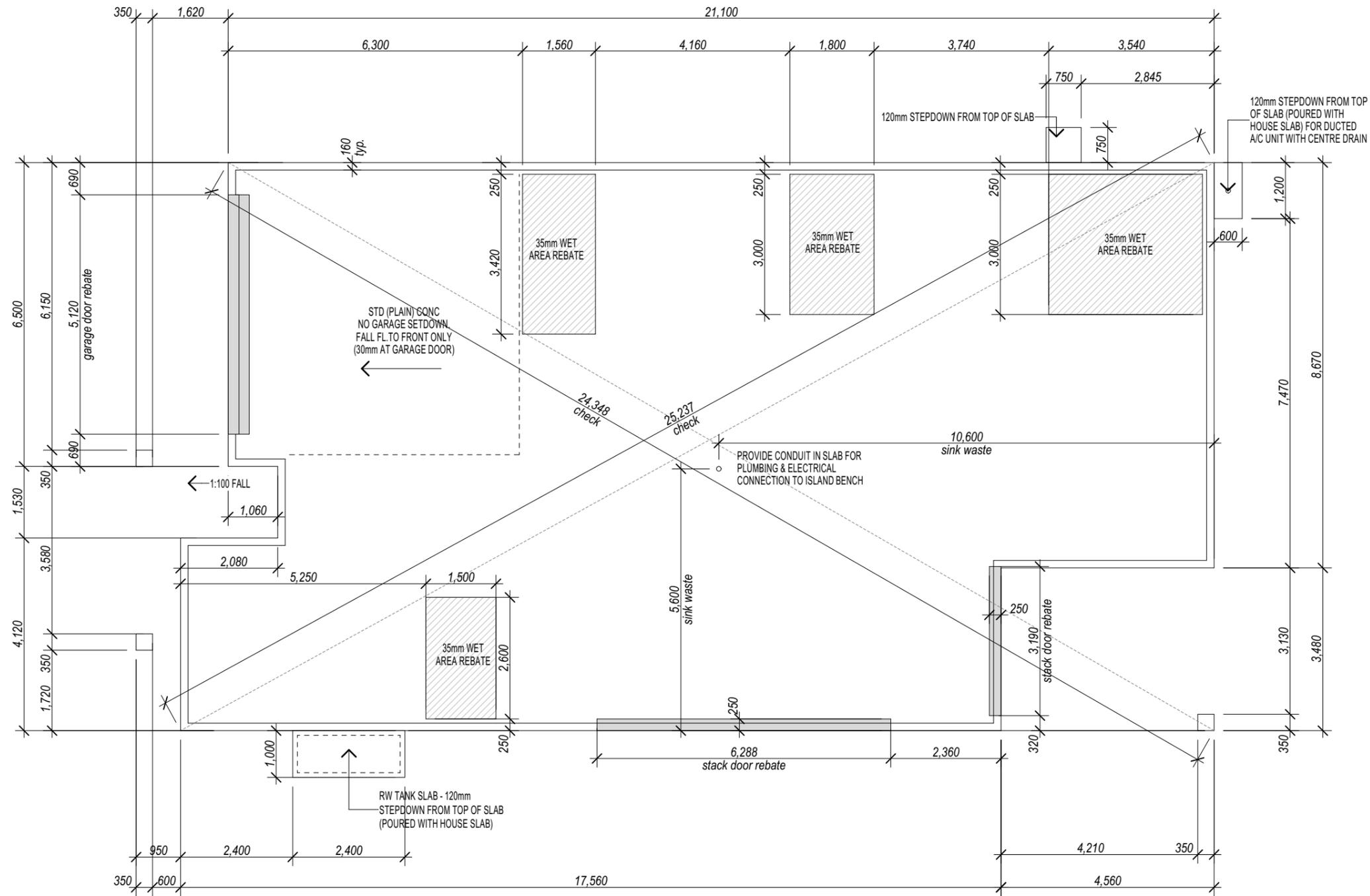
ens02
Scale 1:50

ens03
Scale 1:50

ens04
Scale 1:50

CONCRETOR NOTE:

ALL CONCRETE CONSTRUCTION SHALL COMPLY WITH NCC VOL. 2-2022 CL. H1D4 - PART 4.2 ABCB AND AS3600-2018.
 FOOTINGS AND SLAB SHALL COMPLY WITH AS2870.1-2011/AS3600-2018.
 WHERE LOCAL AUTHORITIES REQUIRE SOIL TESTS AND ENGINEERED FOOTING AND SLAB DETAILS, THESE ENGINEERED DETAILS TAKE PRECEDENCE OVER DRAWN DETAILS.
 PROVIDE ABELFLEX EXPANSION JOINT FILLER BETWEEN SEPARATE ABUTTING CONCRETE SLABS.
 TERMITES TREATMENT TO COMPLY WITH CLAUSE 3.4.2 ABCB & AS 3660.1-2014.



FOOTINGS AND SLAB TO ENGINEER'S DESIGN & DETAILS & SHOULD BE READ IN CONJUNCTION WITH THIS DRAWING

Slab Layout Plan
 Scale 1:100

Main Slab Information	
Perimeter	Area m2
70.66	243.08
	243.08 m²

M:\10683\65 Drafting\10683 Aria 28 LH CLASSIC M. MCGRANE BY ROW\10683D CONTRACT PLANS - JD.pln

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I/WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
 Signature: _____ Date: _____
 Signature: _____ Date: _____

M. McGrane
 Lot 199 (No. 158) Skinners Shoot Road
 Skinners Shoot, NSW. 2481
 client details:

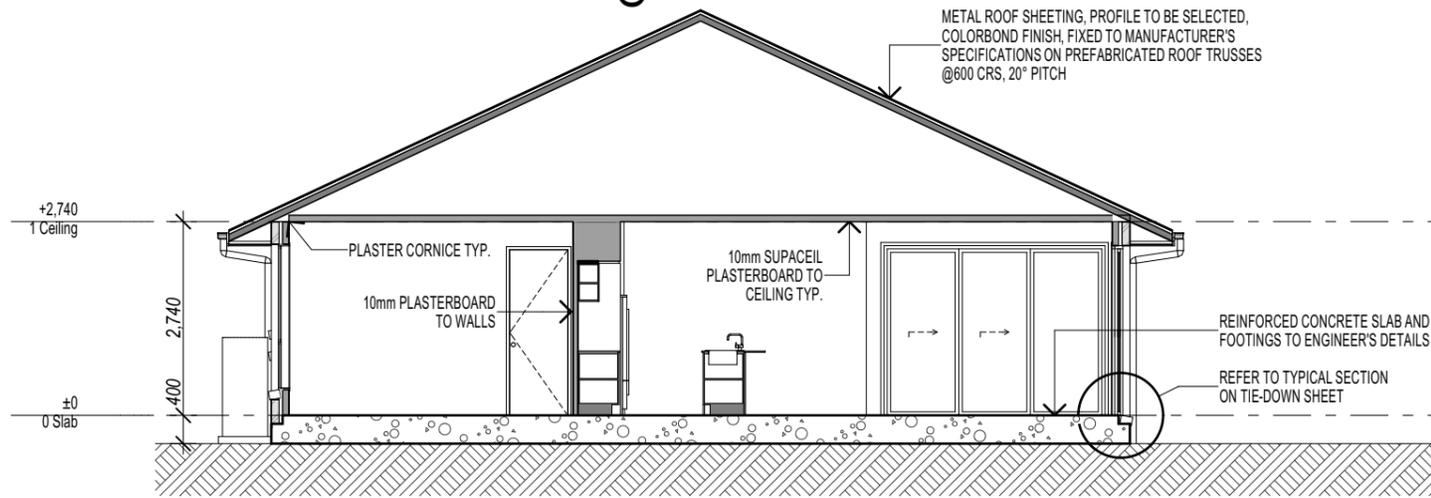
Aria 28 Hampton LH
 Slab Layout Plan
 drawing title

issue	date	amendment description	by	designed	drawn	checked
D	01.07.24	PCV-3	JD			
C	13.06.24	PCV2	JHB			
B	15.05.24	SF6	JHB			
A	19.04.24	AMENDED AS PER CHECK	JHB			

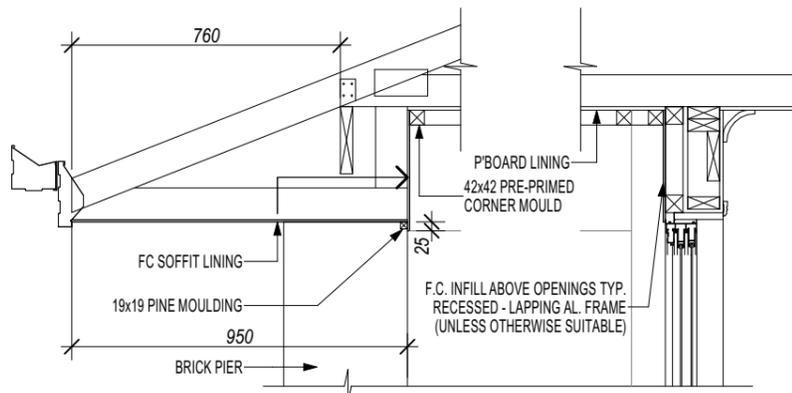
CONTRACT PLAN 10683
 plan issue type
 by: JD
 designed: JD
 drawn: QL
 checked: -

D as shown
 issue no. 1/07/2024
 printed date: 1/07/2024
 12 of 15
 sheets in set

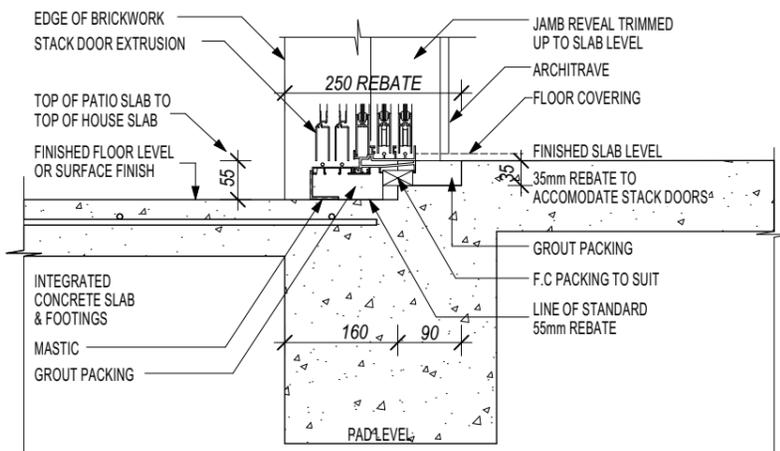
N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



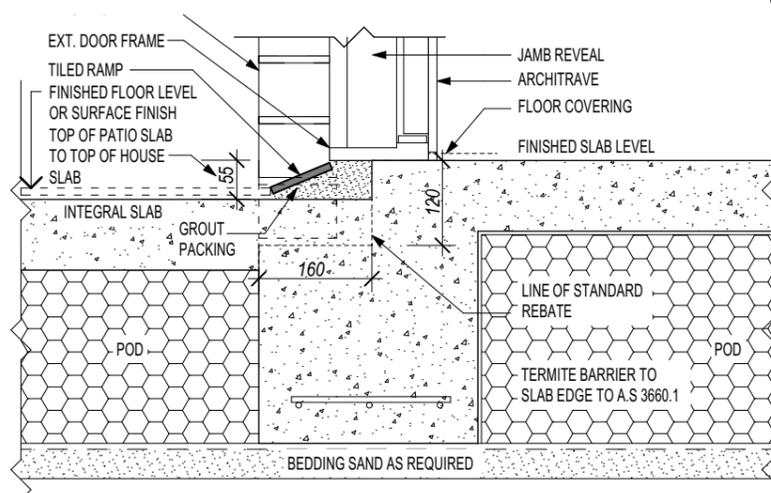
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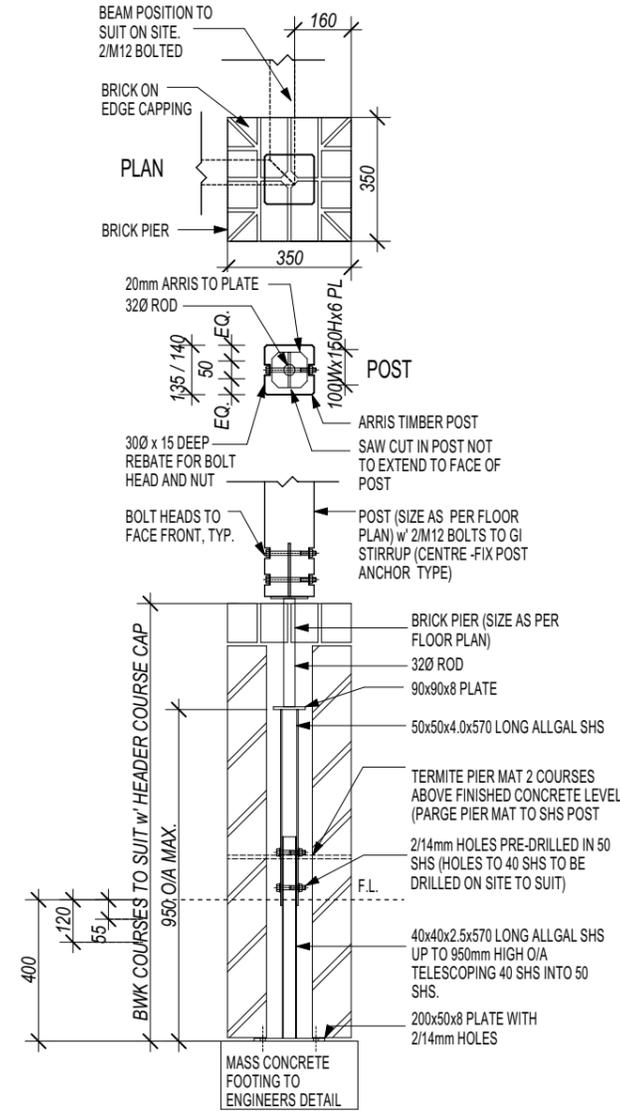
Terrace Ceiling Detail
Scale 1:20



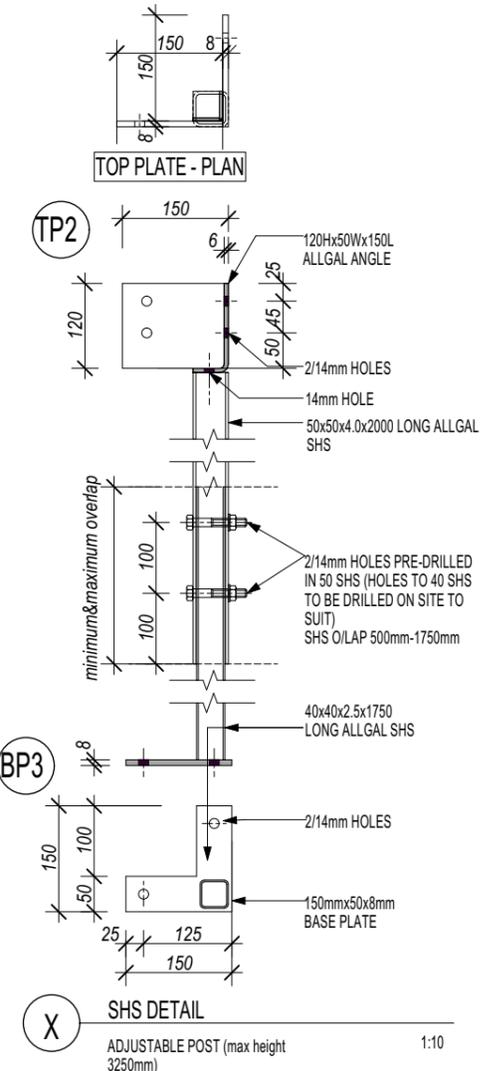
Stack Door Detail
Scale 1:10



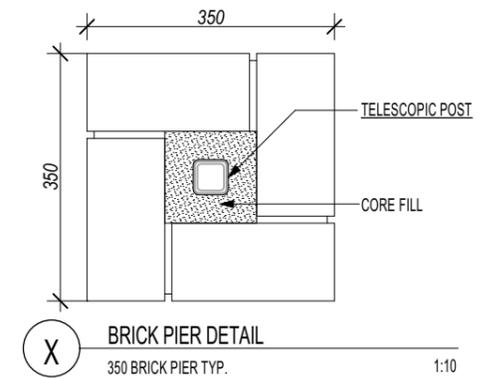
Entry Door Sill Detail
Scale 1:10



BRICK PIER & TIMBER POST DETAIL
Scale 1:20



SHS Detail
Scale 1:10



Brick Pier Detail
Scale 1:10

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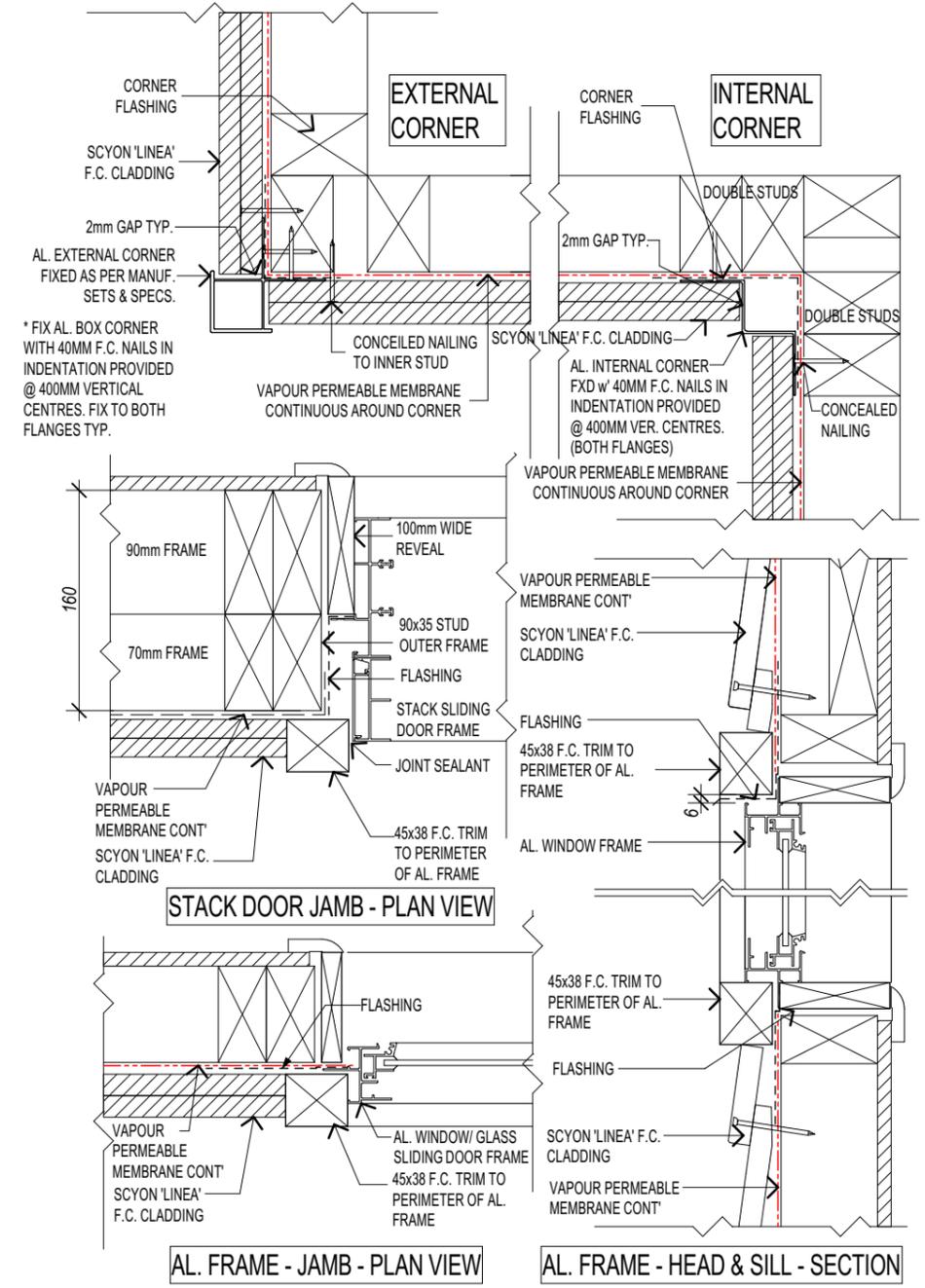
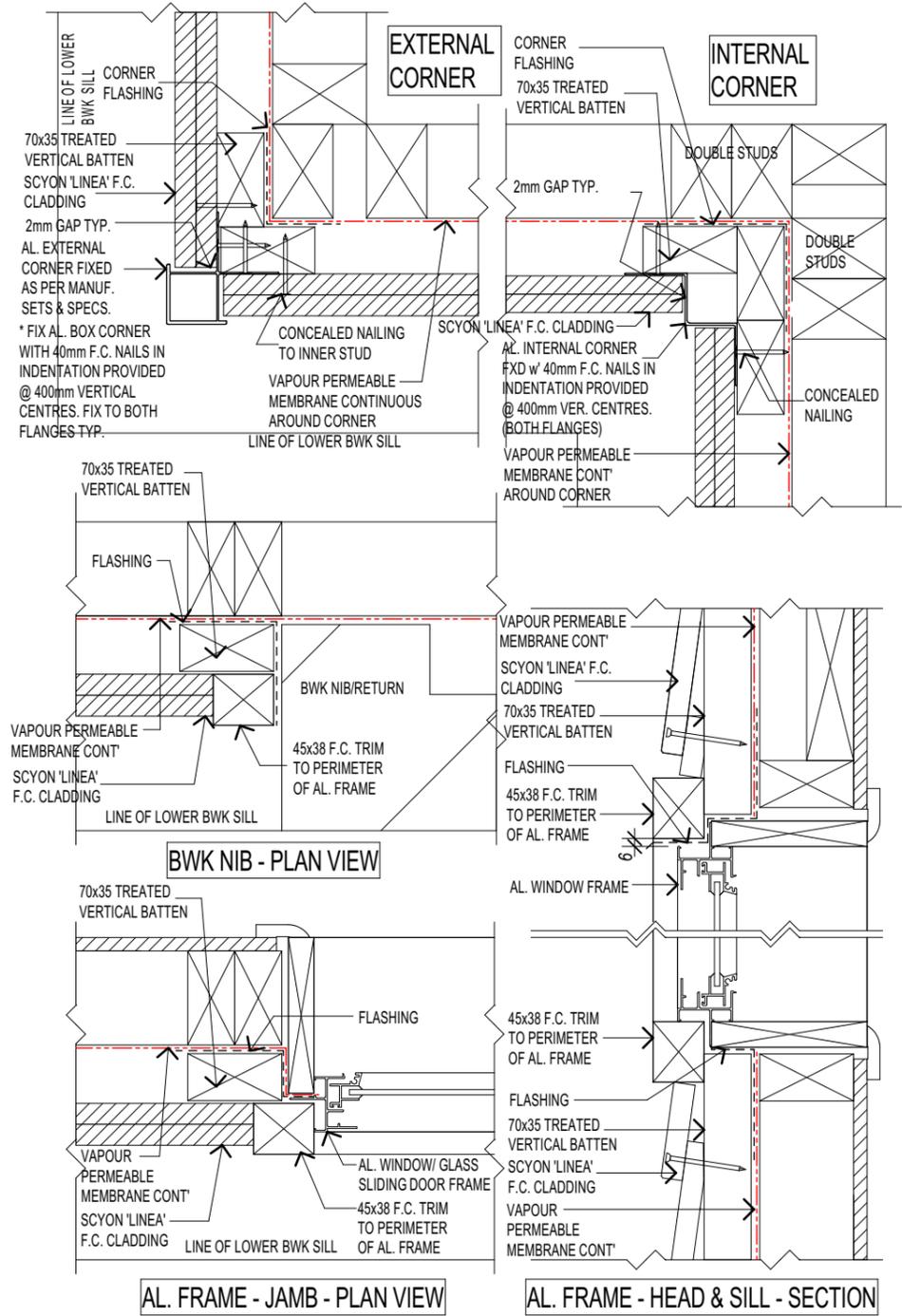
Aria 28 Hampton LH
Section & Details
drawing title

D	01.07.24	PCV-3	JD
C	13.06.24	PCV2	JHB
B	15.05.24	SF6	JHB
A	19.04.24	AMENDED AS PER CHECK	JHB
issue	date	amendment description	by

CONTRACT PLAN 10683
plan issue type
designed: JD
drawn: QL
checked: -
contract number

D as shown
issue no.
1/07/2024
printed date:
13 of 15
dwg scale @ A3
sheets in set

N3 - METAL ROOF/90mm EXT. FRAME @600 CRS.



Linea Cladding Details

Scale 1:5

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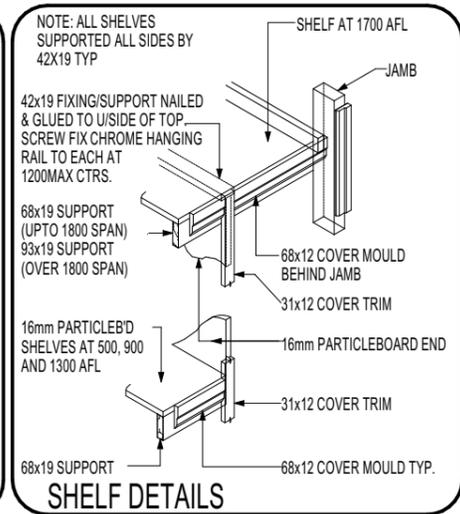
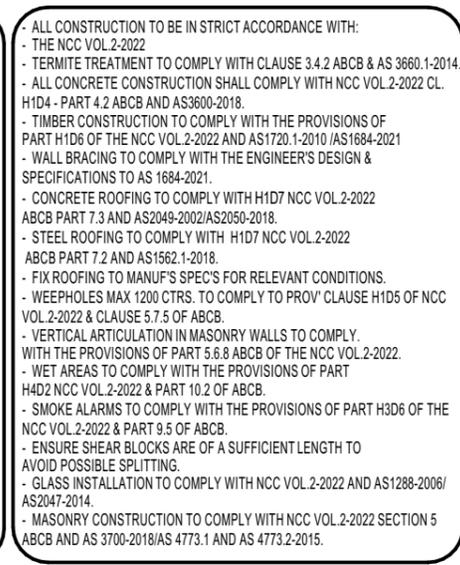
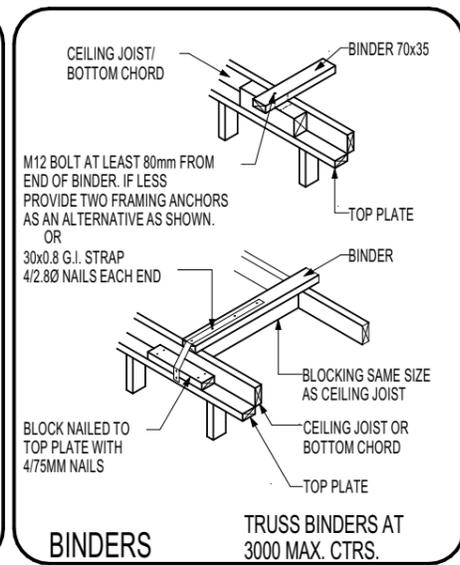
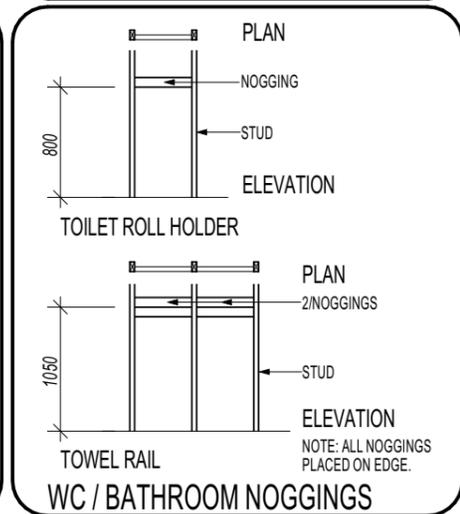
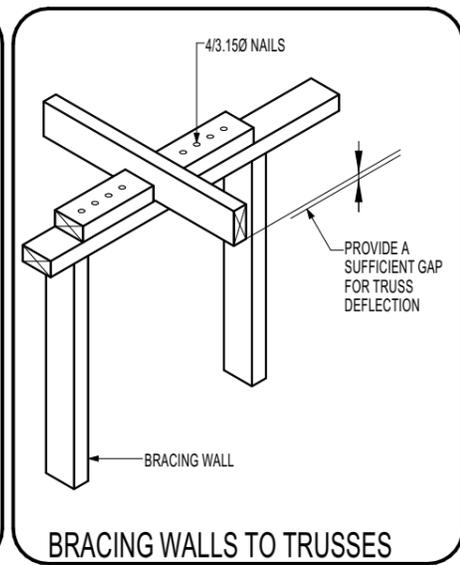
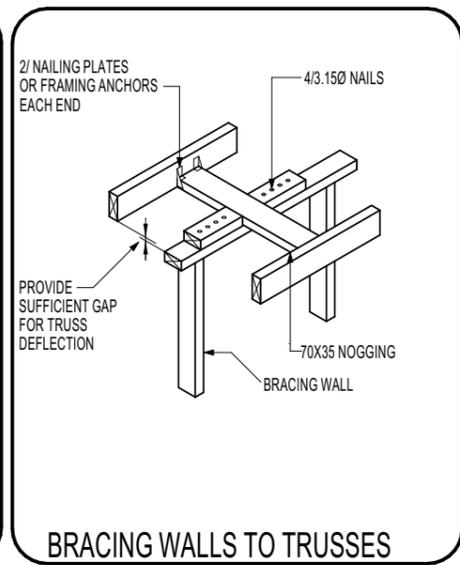
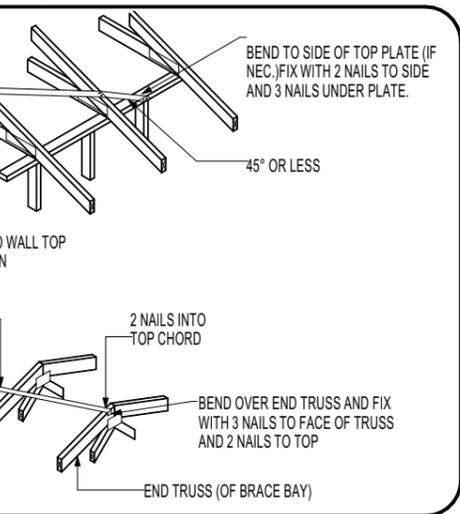
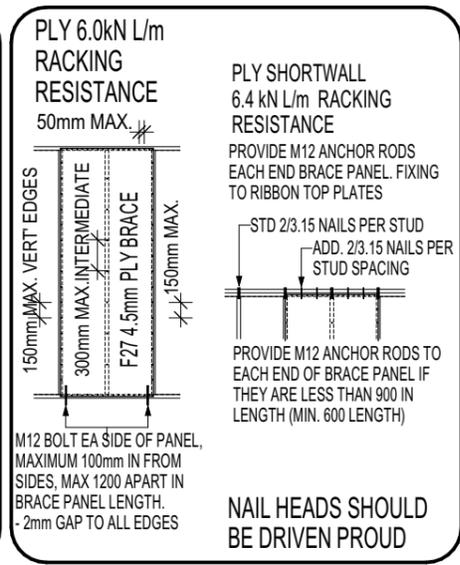
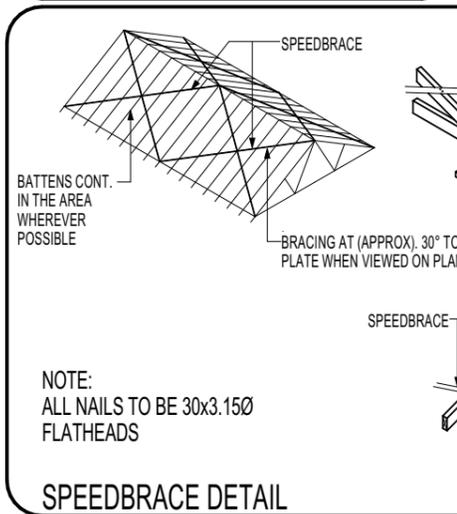
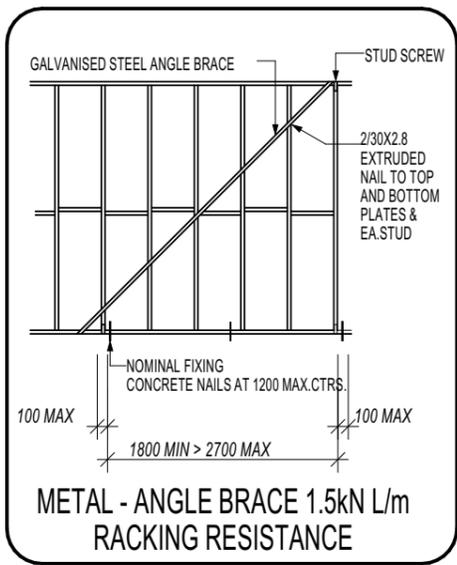
Aria 28 Hampton LH
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 drawing title

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C	13.06.24	PCV2	JHB
B	15.05.24	SF6	JHB
A	19.04.24	AMENDED AS PER CHECK	JHB
issue	date	amendment description	by

designed: JD
 drawn: QL
 checked: -

CONTRACT PLAN 10683
 plan issue type
 contract number

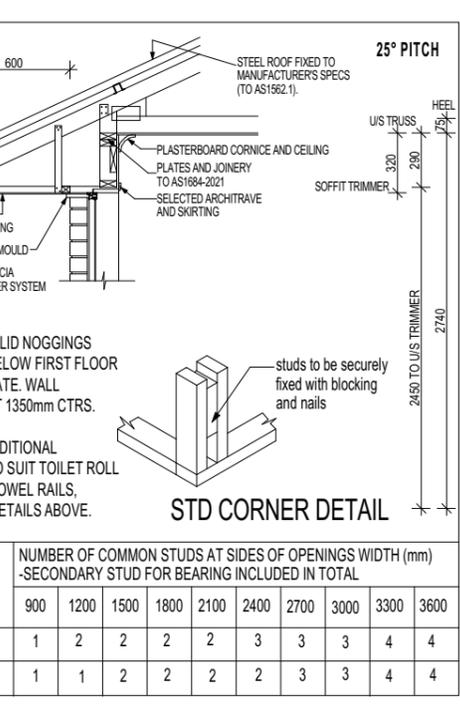
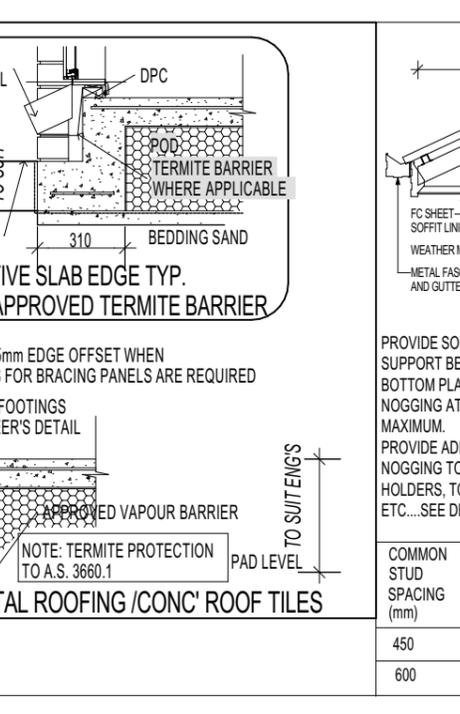
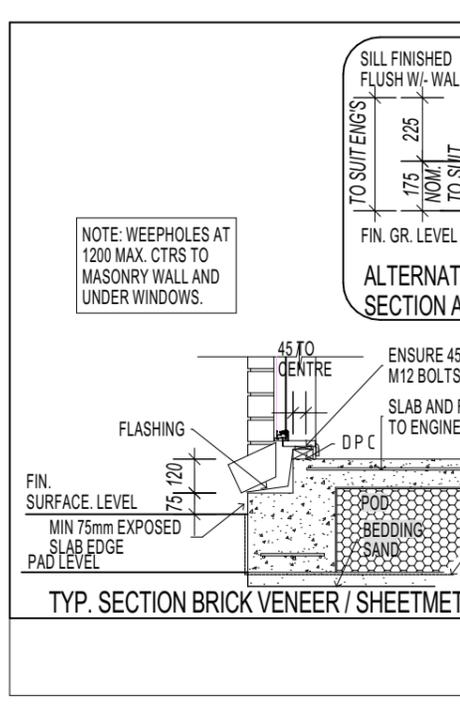
D as shown
 issue no. dwg scale @ A3
 1/07/2024
 printed date: 14 of 15
 sheets in set



MEMBER CONNECTION - JD4 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	GENERAL NOTES
METAL ROOF TO BATTENS: TO MANUFACTURER'S SPECIFICATIONS			ROOF FRAMING
ROOF BATTENS TO TRUSSES: TO MANUFACTURER'S SPECIFICATIONS			SOFFIT LININGS
ROOF TRUSSES TO TOP PLATE: @ 600 CRS 2 No. FRAMING ANCHOR WITH 3/2.8Ø NAILS MIN. TO EACH LEG AT INTERFACE OR: 2 x MULTI GRIP OR: 1 x CYCLONE STRAP FIXED TO PL. WITH 4/2.8Ø NAILS	NOM. AS PER Table 9.13	NOM. AS PER Table 9.21(b)	METAL ROOF SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT ROOF BATTENS SHALL BE SUPPLIED METAL BATTENS FIXED AS PER MANUFACTURER'S SPECIFICATION ENTIRE ROOF SHALL BE TRUSS CONSTRUCTION AT 600 CTRS. MAX. DESIGNED AND INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS TO SUIT N3 CONDITIONS UNLESS NOTED OTHERWISE ON PLANS CEILING BINDERS SHALL BE 70x35 AT 3000 CTRS. MAXIMUM.
WALL FRAMING - GROUND FLOOR: TOP AND BOTTOM PLATES TO STUDS: @ 600 CRS. PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38-50mm THICK - 2/90mm NAILS NAILS THRU PLATE IN BOTH CASES. NOGGINGS TO STUDS: 2/75mm NAILS SKEW NAILED OR THRU NAILED. BOTTOM PLATES TO CONCRETE SLAB: NAILS AT MAX. 1200 CTRS.	NOM. FIXING AS PER AS 1684 TABLE 15	NOM. FIXING AS PER AS 1684 TABLE 15	CEILING SHALL BE LINED WITH 10mm THICK SUPACEIL LINING, FOR FRAME SPACING OF 600mm AND 10mm THICK PLASTERBOARD FOR FRAME SPACINGS OF 450mm (eg UNDERSIDE OF FIRST FLOOR JOISTS). WALLS SHALL BE LINED WITH 10mm THICK PLASTERBOARD OR 6mm THICK VILLABOARD TO WET AREAS. FIXED @ 300 CTRS OR 200 CTRS WHEN TILED. REFER TO BRACING PLANS FOR POSSIBLE VARIATIONS TO WALL LININGS OR FIXING METHODS. ALL ABOVE LININGS SHALL APPLY UNLESS NOTED OTHERWISE ON FLOOR PLANS.
OR CHEMICAL EXPANSION OR FIRED PROP. FASTENERS. BOTTOM PLATE TO JOISTS: PLATES UP TO 38mm THICK - 2/75mm NAILS PLATES 38 - 50mm THICK - 2/90mm NAILS RIBBON PLATE TO TOP PLATE - REFER TO AS 1684	AS 1684, Table 9.11 7.2	BOLT 12x100-10.8	WALL FRAMING

MEMBER CONNECTION - JD4 TYP. u.n.o	UPLIFT REQ.	UPLIFT RESIST	GENERAL NOTES
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WE APPROVE THESE DRAWINGS TO BE CORRECT AS PER CONTRACT
M. McGrane
Lot 199 (No. 158) Skinners Shoot Road
Skinners Shoot, NSW. 2481
client details:

Aria 28 Hampton LH
Tie-Down/Const. Details
drawing title

issue	date	amendment description	by	designed	drawn	checked
D	01.07.24	PCV-3	JD			
C	13.06.24	PCV2	JHB			
B	15.05.24	SF6	JHB			
A	19.04.24	AMENDED AS PER CHECK	JHB			

CONTRACT PLAN 10683
plan issue type
1/07/2024
15 of 15
as shown
dwg scale @ A3
printed date:
sheets in set