

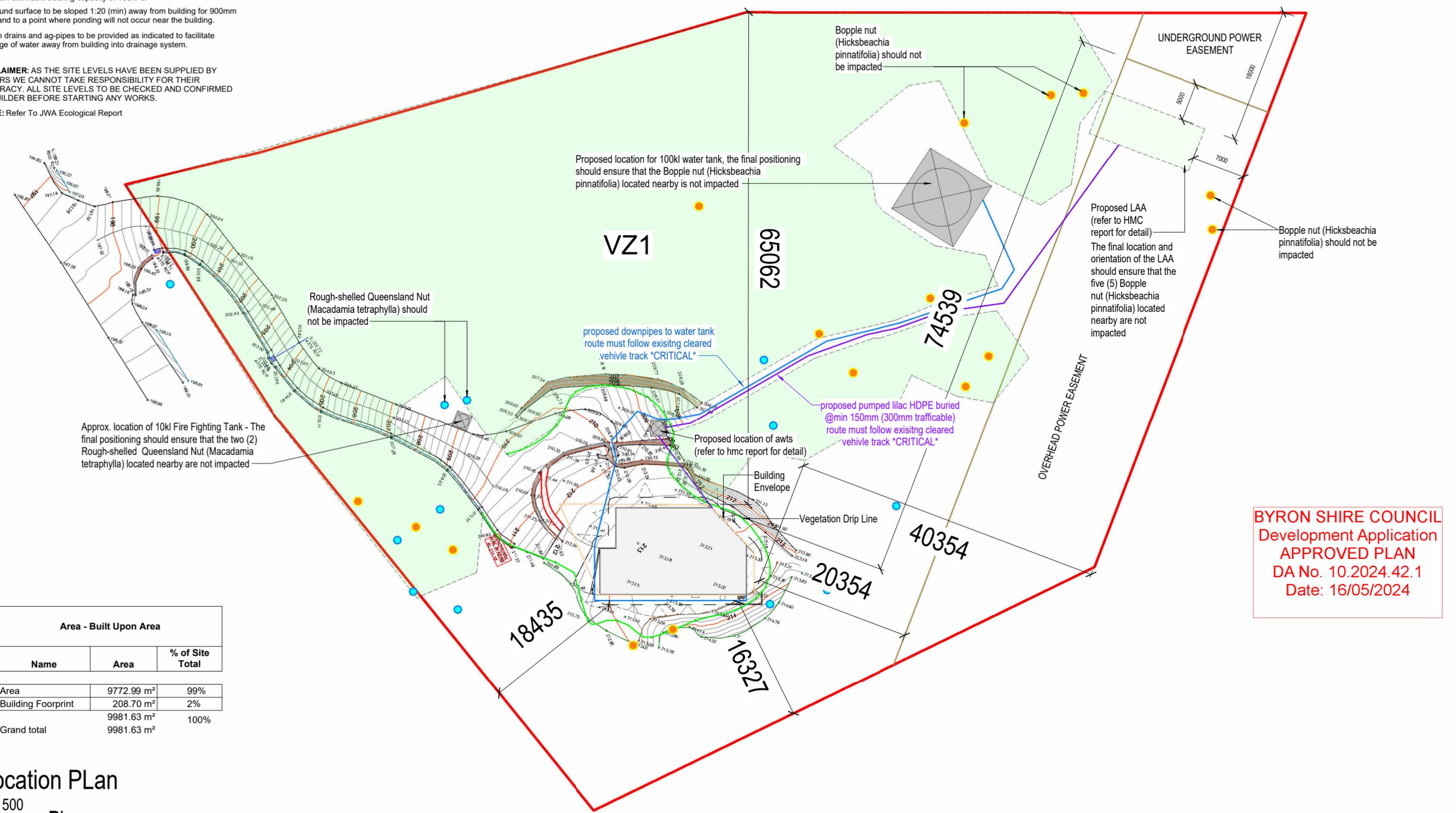
SITE WORKS

These plans are to be read in conjunction with any structural and civil engineering design & detail.

- a. Site to be excavated and or filled to levels shown. Step downs to be excavated 1.0m past actual step down to allow for steel and form works.
- b. Footings shall be placed as per slab plan & engineers details.
- c. Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- d. Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- e. Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

NOTE: Refer To JWA Ecological Report



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Area - Built Upon Area		
Name	Area	% of Site Total
Area	9772.99 m ²	99%
Building Footprint	208.70 m ²	2%
Grand total	9981.63 m ²	100%

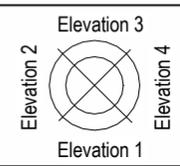
Location Plan

1 : 500

Location Plan

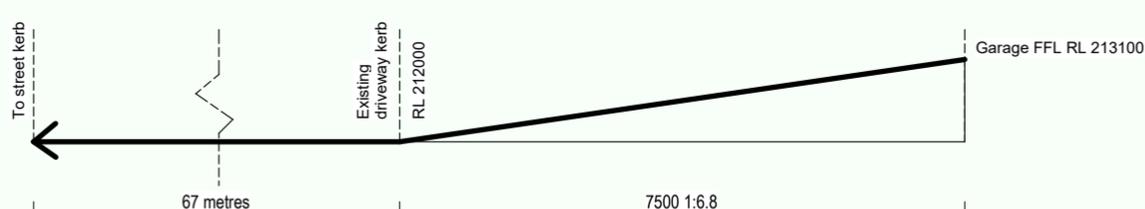
USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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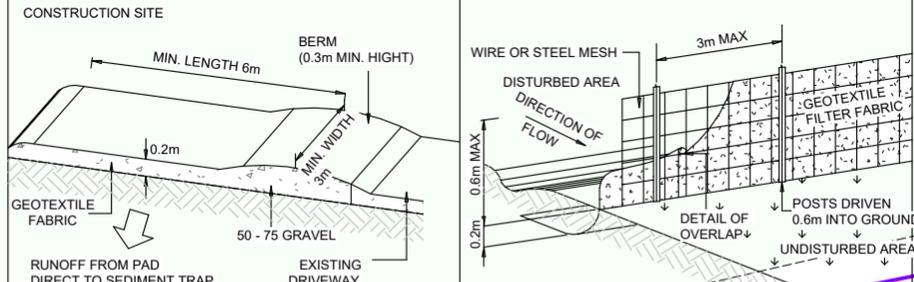
NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.
 MIN 100x75 DOWNPIPES (EACH TO DRAIN MAX 40.00m SQU ROOF AREA) DISCHARGING INTO 100mm S/W DRAINAGE PIPEWORK (EACH RUN CARRYING MAX CAPACITY OF 8 litres/sec) MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.



Driveway Section

1 : 100



TEMPORARY CONSTRUCTION DRIVEWAY (NOT TO SCALE)

SEDIMENT FENCE (NOT TO SCALE) DRAINAGE AREA 0.6 ha MAX. SLOPE GRADIENT 12 MAX. SLOPE LENGTH 60M MAX

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE HAZARD AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

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Rough-shelled Queensland Nut (Macadamia tetraphylla) should not be impacted

Approx. location of 10kl Fire Fighting Tank - The final positioning should ensure that the two (2) Rough-shelled Queensland Nut (Macadamia tetraphylla) located nearby are not impacted

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- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

Excavate and relocate existing retaining wall. Widen driveway to 5m

PERMANENT MARK
 MAIL IN KERB
 RL 211.16

Location of future swim spa
 4.49L x 2.30W x 1.3D
 (by owner)

Not part of this DA

proposed pumped lilac HDPE buried @min 150mm (300mm trafficable) ROUTE TO FOLLOW VEHICLE PATH (refer to HMC report for more detail)

BAL 40

WIND CLASSIFICATION 'N5'
 SOIL CLASSIFICATION 'H1/P'

Site Plan

1 : 200

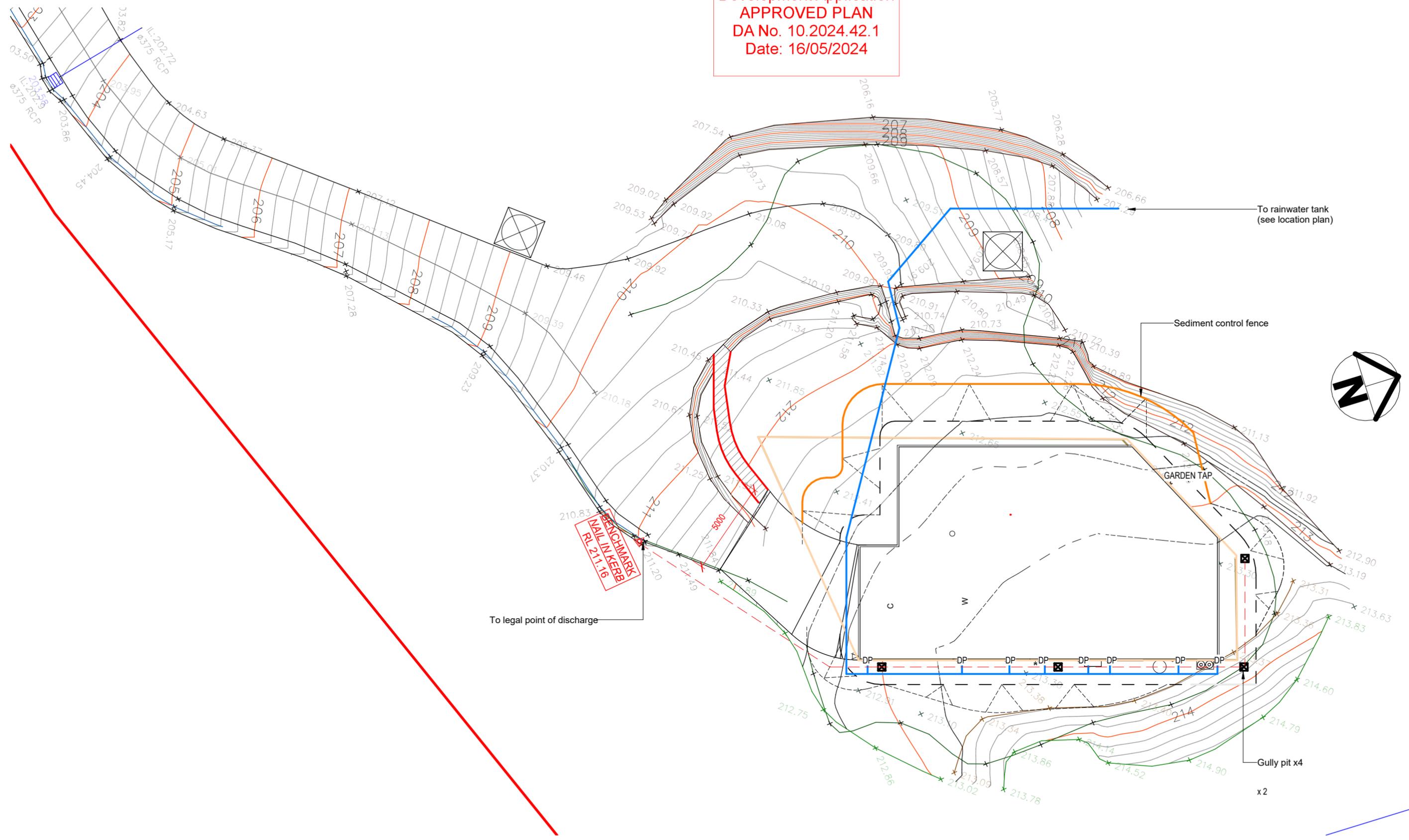
Site Plan

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Stormwater and erosion management plan

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PLAN NUMBER: DP1202684				LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482		T & T NABUNG		NEW RESIDENCE		A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI			
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AREA: 9988m ²		DWG NO: 202		SCALE: 1 : 200		DATE: 23/02/23		JOB NO: 0256		A3			

NOTES:
 - FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.
 - LIFT OFF HINGES TO WC DOOR
 - SARKING TO EXTERNAL WALLS
 - INSULATION TO CEILINGS AS PER SPECIFICATION
 - ALL SHOWER ROSES TO BE AAA RATED
 - WATER PRESSURE LIMITED TO 500 KPA AT THE METER
 - ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED
 - PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE
 - WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER

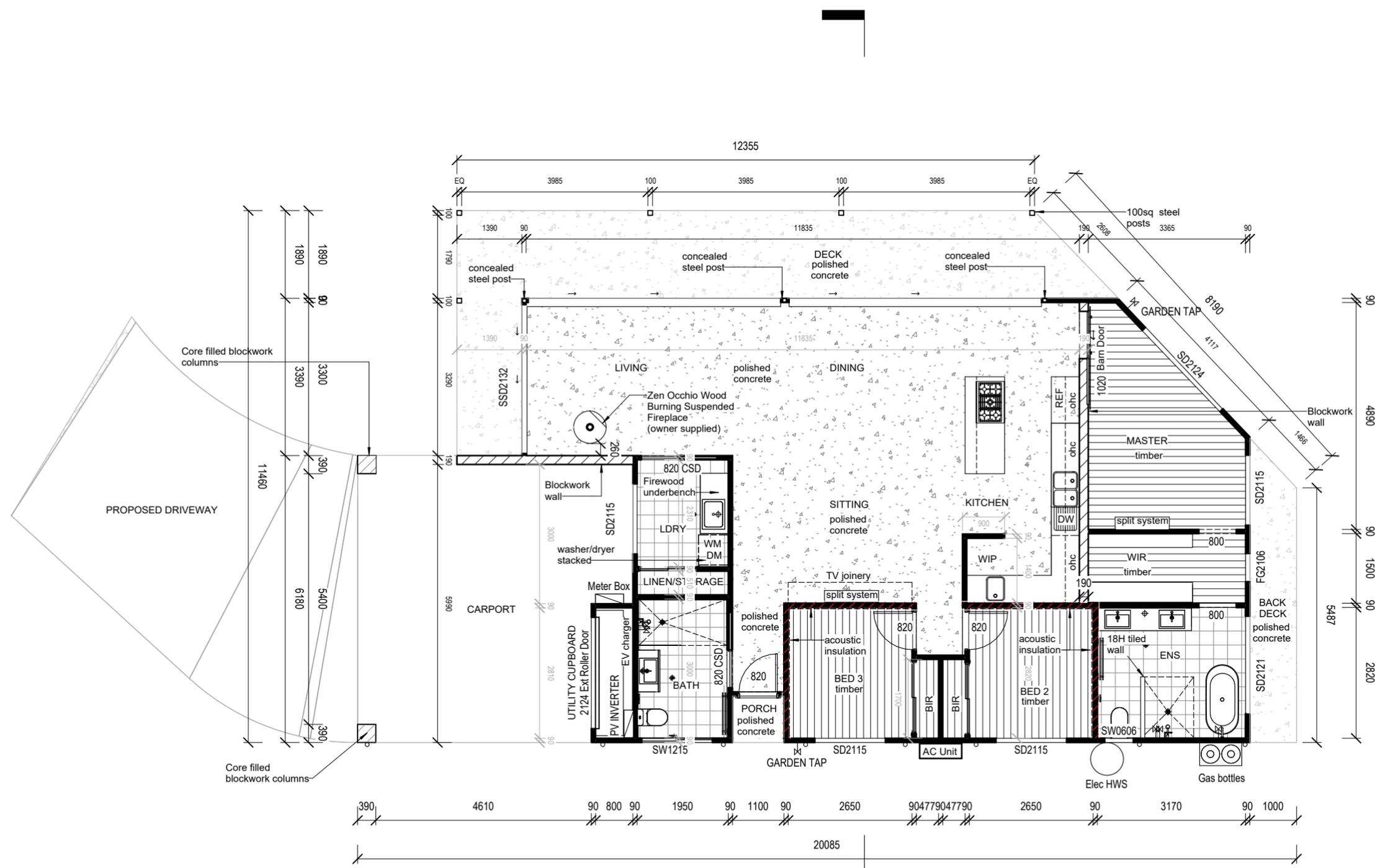
BAL 40

HEIGHTS:
 * INTERNAL DOORS - 2040H UNO
 * WINDOW H.HEIGHT - 2100H UNO

Conditioned	113.75
Unconditioned	12.09

ROOF:
 Trimdeck - 200sqm

Area Schedule	
Back Deck	6.02 m ²
Carport	36.23 m ²
Deck	29.70 m ²
Main House	128.91 m ²
Porch	1.24 m ²
Grand total	202.11 m²



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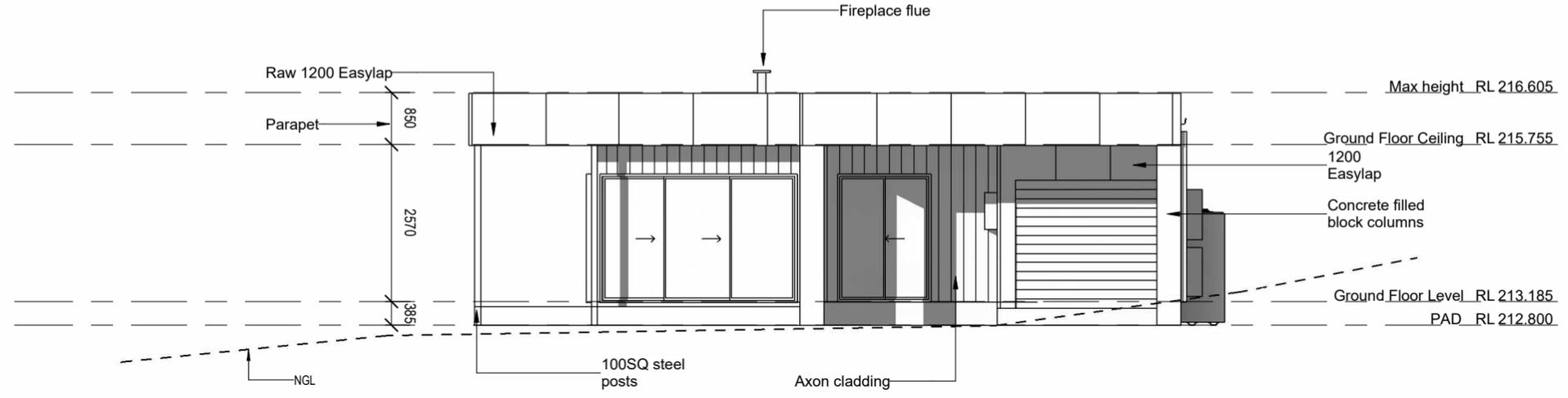
Ground Floor Plan

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NOTE: ALL EXTERIOR WINDOWS + DOORS ALUMINIUM

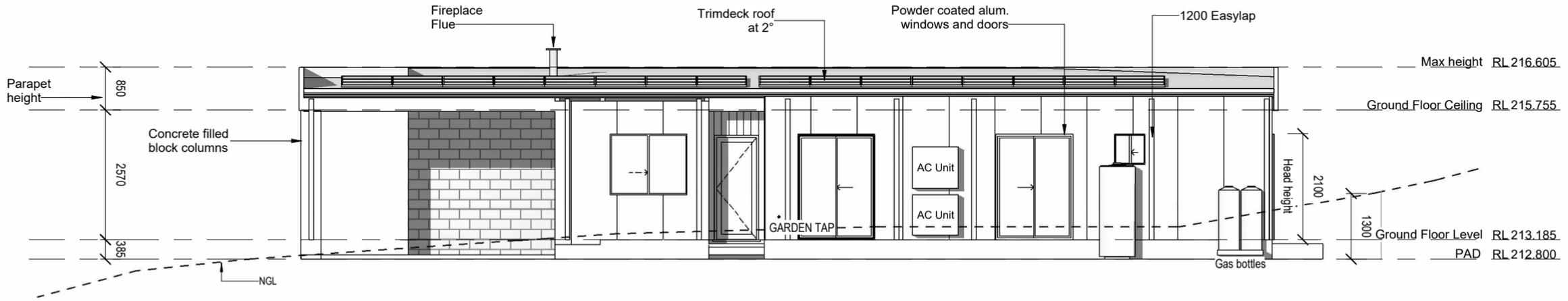
NOTE: ALL WINDOWS BRADNAMS CERTIFIED TO BAL40



Elevation 2 (South)
1 : 100

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BAL 40



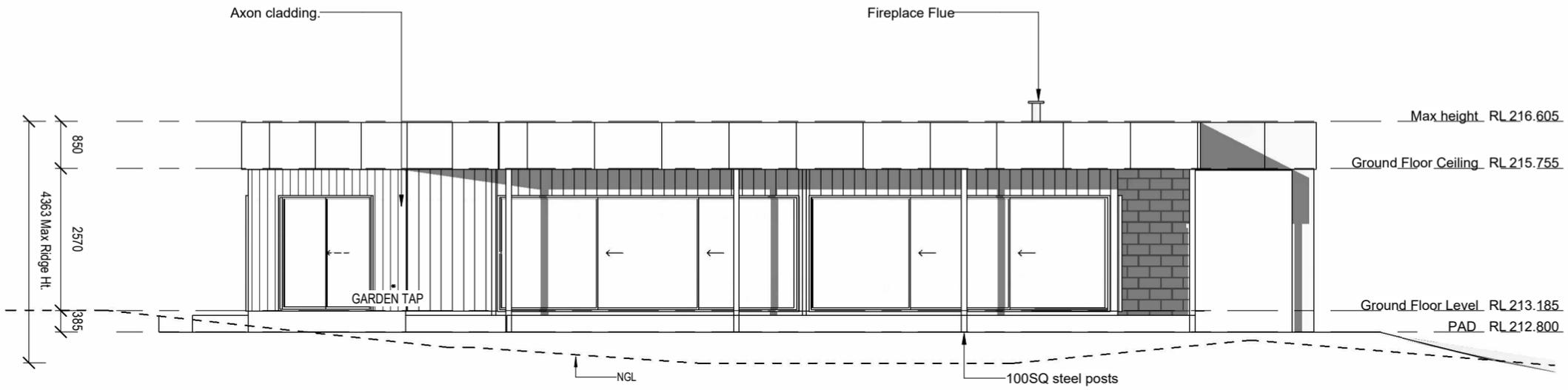
Elevation 1 (East)
1 : 100

Elevations

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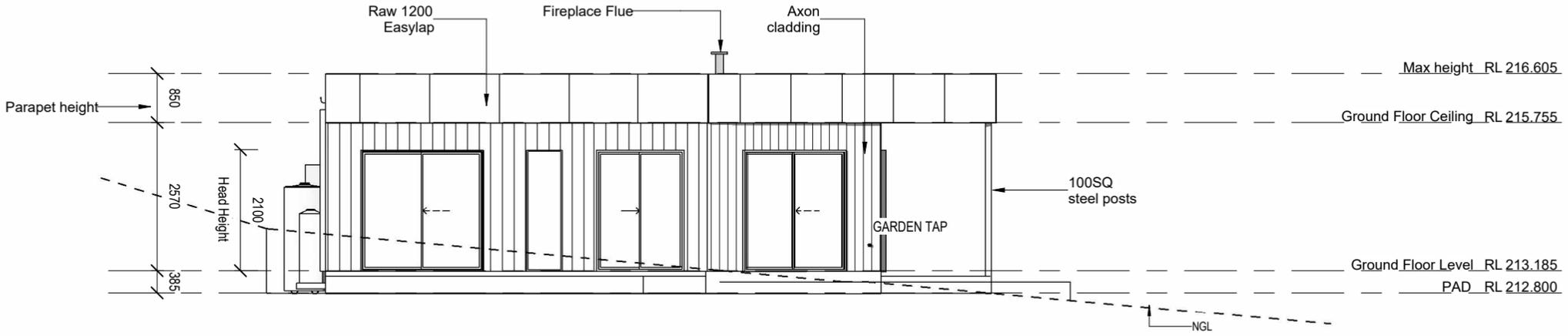
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NOTE: ALL WINDOWS BRADNAMS CERTIFIED TO BAL40



Elevation 3 (West)
1 : 100

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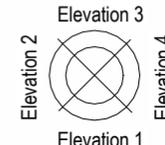


Elevation 4 (North)
1 : 100

BAL 40

Elevations

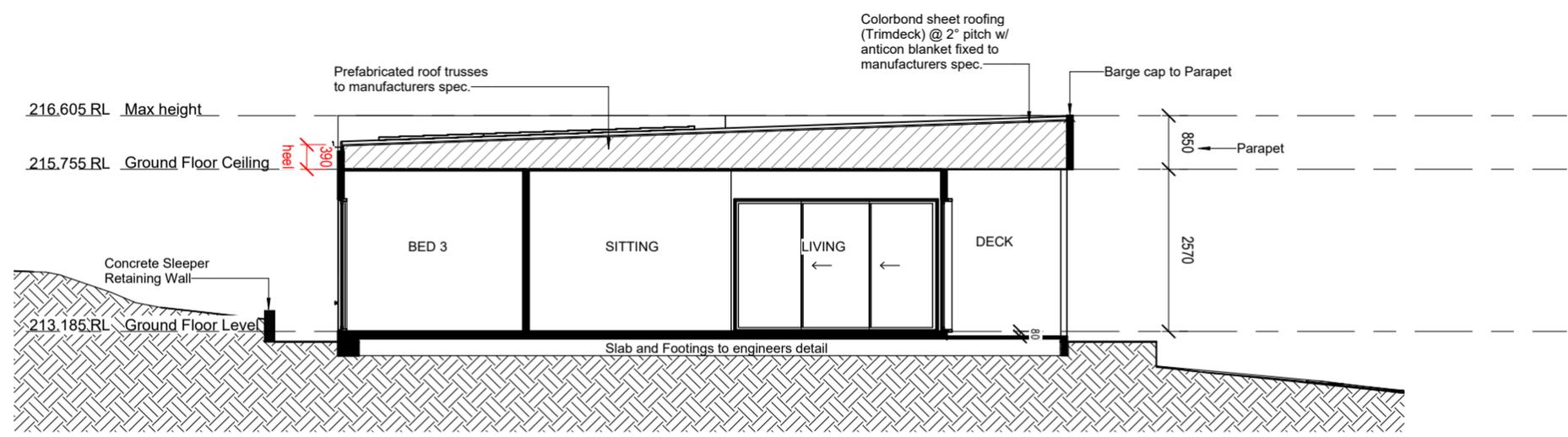
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- NOTES:**
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
 - BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
 - ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
 - SLAB & FOOTINGS TO ENGINEERS DETAIL
 - FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL

- INSULATION NOTES:**
- CEILING INSULATION - R3.5 CEILING BATTS EXCLUDING DECK.
 - WAFFLE POD SLAB 300MM
 - MINIMUM R2.0 INSULATION TO EXTERNAL WALLS(EXCLUDING CONCRETE BLOCK)
 - R3.5 INSULATION TO CEILINGS
 - R2.0 INSULATION TO THE INTERNAL WALLS OF THE BATH & LAUNDRY
 - FOIL + R1.0 INSULATION BLANKET TO UNDERSIDE OF ROOF

- THERMAL COMFORT NOTES:**
- MEDIUM WALL & MEDIUM ROOF COLOURS
 - WEATHERSEALS TO ALL EXTERNAL DOORS & WINDOWS
 - FLOOR COVERINGS AS PER DETAIL ON FLOOR PLANS
 - INSULATION MUST BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS.
 - RECESSED DOWNLIGHTS HAVE BEEN INCLUDED IN THE NATHERS RATING(TO BE SEALED LED DOWNLIGHTS & COVERED BY INSULATION)
 - LAUNDRY 2115M, BATH 1215, BED 2 2115, BED 3 2115 TO HAVE A U VALUE LESS THAN OR = TO 5.60 & WITHIN 10% OF SHGC 0.41
 - ALL OTHER WINDOWS & GLAZED DOORS TO BE SINGLE GLAZED CLEAR WITH ALUMINIUM FRAME(LESS THAN OR = TO U 6.70, WITHIN 10% OF SHGC 0.70/0.57)
 - CEILING FANS TO DINING, SITTING, MASTER, BED 2 & BED 3



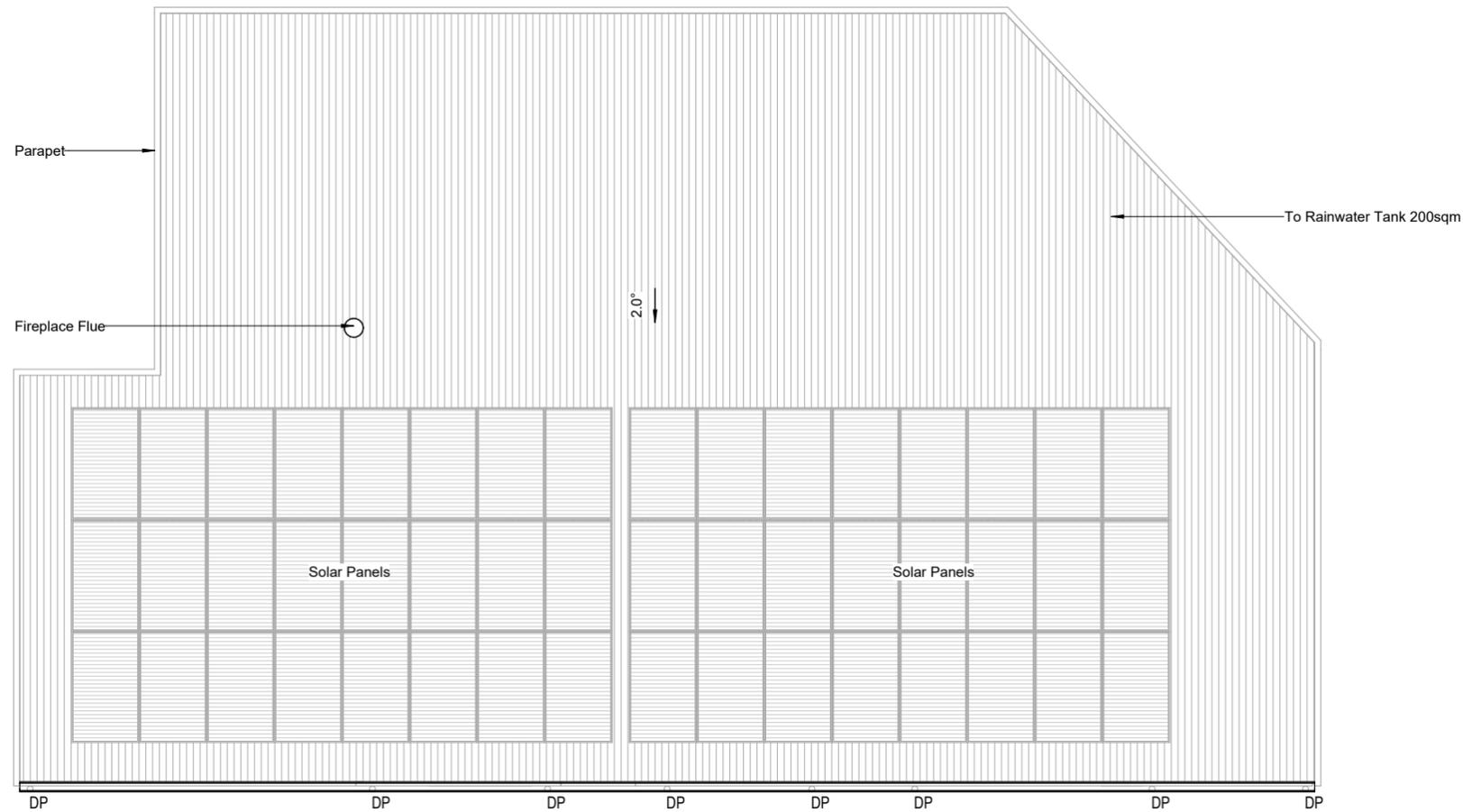
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Section

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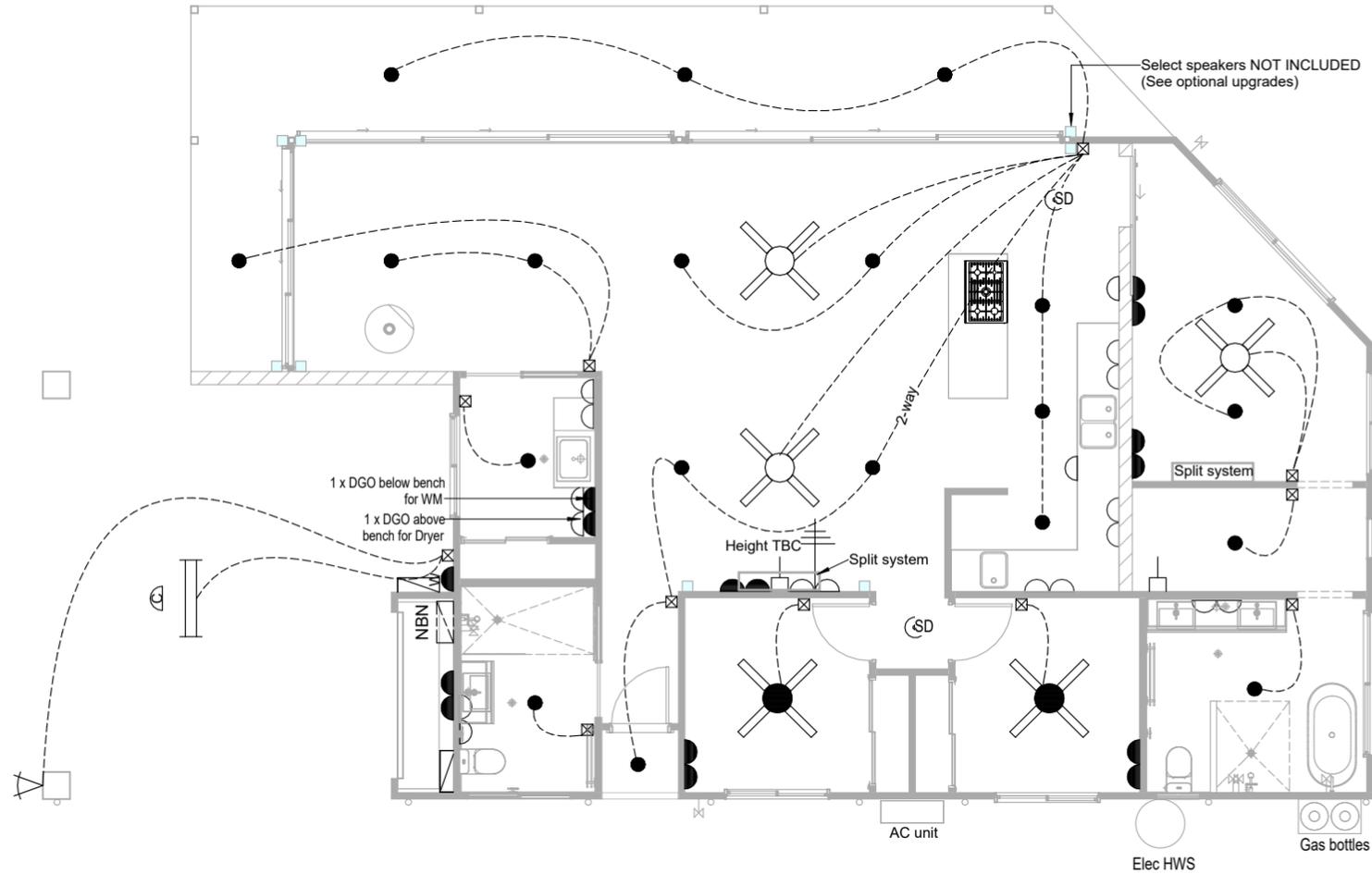


Upper Roof Plan

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-  CEILING FAN
-  CEILING FAN/LIGHT
-  LED DOWNLIGHT (IC-4 Rated)
-  SELECT SPEAKER
-  PENDANT LIGHT
-  LED BATTEN LIGHT
-  LED FLOOD LIGHT
-  WALL LIGHT (HEIGHT TBC)
-  BATTEN POINT FOR TRACK LIGHTING
-  ELECTRICAL WIRING LINE
-  SWITCH LIGHT
-  DIMMER LIGHT SWITCH
-  PHONE POINT (300 AFFL)
-  DATA POINT
-  TELEVISION POINT (300 AFFL)
-  EXHAUST FAN
-  SINGLE GPO (300 AFFL)
-  DOUBLE GPO (300 AFFL)
-  SINGLE GPO (refer to notes)
-  DOUBLE GPO (refer to notes)
-  WATERPROOF GPO
-  CEILING MOUNTED GPO
-  JUNCTION BOX
-  INTERCOM
-  ALARM

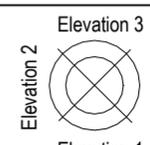
NOTE:
 - REFER TO JOINERY DRAWINGS WHERE APPLICABLE

NOTE:
 -NON STANDARD HEIGHTS TO BE CONFIRMED ON SITE BY CLIENT WITH SUPERVISOR/ ELECTRICIAN

REFER TO BASIX CERTIFICATE (NSW) / QDC MP4.1 FOR LIGHTING ENERGY EFFICIENCY REQUIREMENTS

Electrical Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

REAL PROPERTY DESCRIPTION PLAN NUMBER: DP1202684 LOCAL AUTH: BYRON SHIRE AREA: 9988m2	BUILDER:  ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487 PHONE: 07 5520 0720 WEB: www.ecoessencehomes.com.au ABN: 16141022371 NSW LIC: 227643C QBCC LIC: 1181578	PROJECT ADDRESS: LOT 11 # 132 Mafeking Road Goonengerry, NSW 2482		CLIENT: T & T NABUNG BUILDER:		PROJECT: NEW RESIDENCE STAGED PLAN: WORKING DRAWINGS		ISSUE: A 04/04/22 PRELIMINARY PLANS ISSUED B 10/05/22 PRELIMINARY PLANS ISSUED C 20/07/22 PRELIMINARY PLANS ISSUED D 09/08/22 PRELIMINARY PLANS ISSUED E 19/08/22 PRELIMINARY PLANS ISSUED F 19/10/22 CONTRACT PLANS ISSUED G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) I 15/02/24 ECOLOGY RFI	Elevation 2  Elevation 3 Elevation 4 Elevation 1
		DWG NO: 801 SCALE: 1 : 100 DATE: 23/02/23 DRAWN: BC CHECKED: BC JOB NO: 0256 THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES A3							