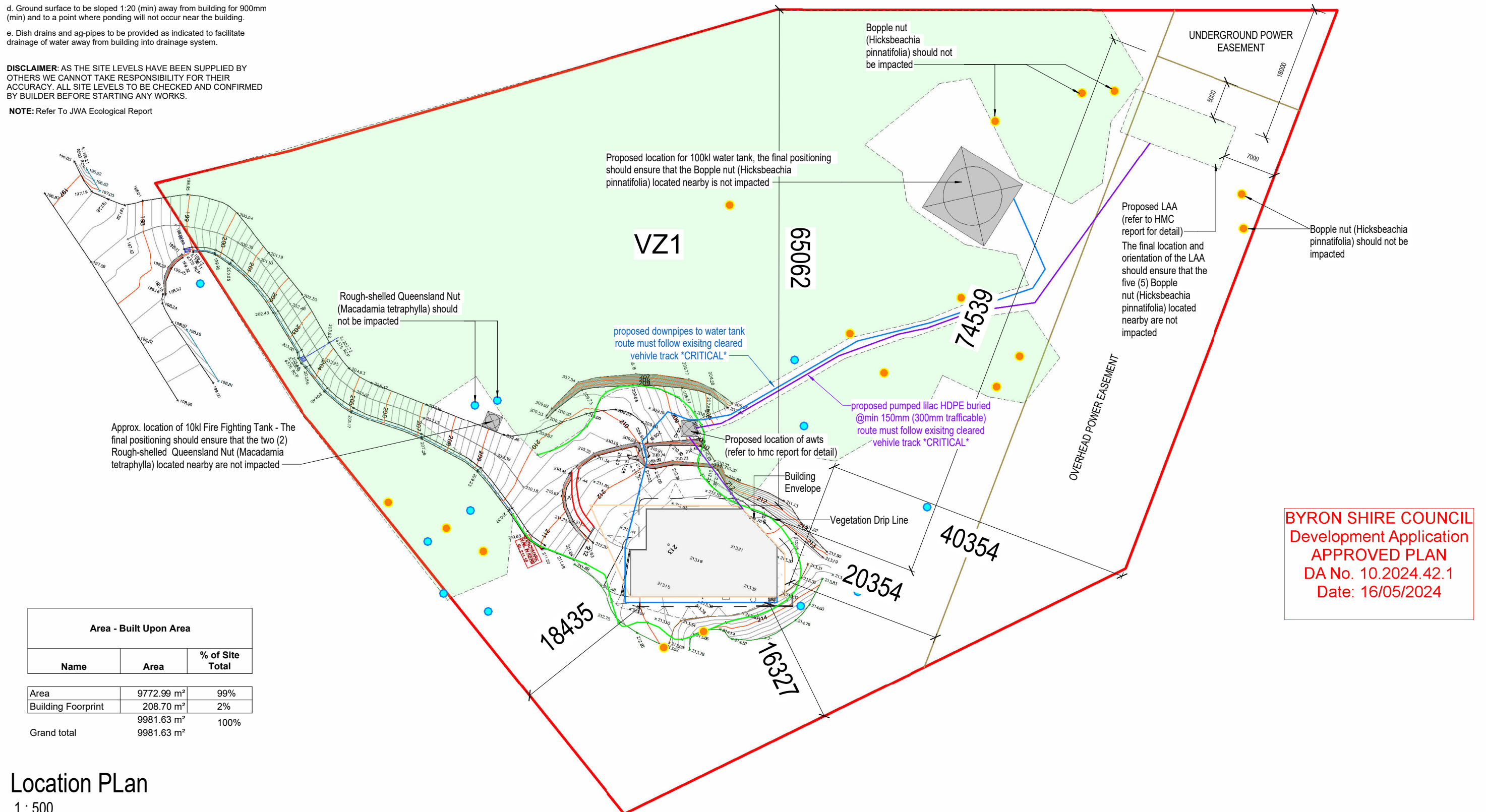


**These plans are to be read in conjunction with any structural and civil engineering design & detail.**

- Site to be excavated and or filled to levels shown. Step downs to be excavated 1.0m past actual step down to allow for steel and form works.
- Footings shall be placed as per slab plan & engineers details.
- Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100KPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

**DISCLAIMER:** AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

**NOTE:** Refer To JWA Ecological Report



| Area - Built Upon Area |                        |                 |
|------------------------|------------------------|-----------------|
| Name                   | Area                   | % of Site Total |
| Area                   | 9772.99 m <sup>2</sup> | 99%             |
| Building Footprint     | 208.70 m <sup>2</sup>  | 2%              |
|                        | 9981.63 m <sup>2</sup> | 100%            |
| Grand total            | 9981.63 m <sup>2</sup> |                 |

## Location P<sub>L</sub>an

1 : 500

## Location Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

|   |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
|---|--|--|---------------------------|---------------------------|--|------------------------|-------------------------|--|---------------|--|--------------------------------|--|--|
| <div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1202684</div> <div>LOCAL AUTH: BYRON SHIRE</div> <div>AREA: 9988m2</div> | <div>BUILDER:</div> <div><div><div><div><div></div><div>Eco-Essence Homes</div></div></div></div><div>ADDRESS: 80 Wommin Bay Road,<br/>Chinderah NSW 2487</div><div>PHONE : 07 5520 0720</div><div>WEB: www.ecoessencehomes.com.au</div><div>ABN: 16141022371</div><div>NSW LIC: 227643C</div><div>QBCC LIC: 1181578</div></div> | <div>PROJECT ADDRESS:</div> <div>LOT 11 # 132 Mafeking Road</div> <div>Goonengerry, NSW 2482</div> |                           |                           | <div>CLIENT:</div> <div>T &amp; T NABUNG</div> <div>BUILDER:</div> |                        |                         | <div>PROJECT:</div> <div>NEW RESIDENCE</div> <div>STAGED PLAN:</div> <div>WORKING DRAWINGS</div> |               |  | <div>ISSUE:</div> <div>I</div> | <div>A 04/04/22 PRELIMINARY PLANS ISSUED</div> | <div>Elevation 2</div> <div><div><div></div><div></div><div></div><div></div></div></div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> |
|   |  |  |                           |                           |  |                        |                         |  |               |  |                                | <div>B 10/05/22 PRELIMINARY PLANS ISSUED</div> |  |
| <div>C 20/07/22 PRELIMINARY PLANS ISSUED</div>  |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>D 09/08/22 PRELIMINARY PLANS ISSUED</div>  |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>E 19/08/22 PRELIMINARY PLANS ISSUED</div>  |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>F 19/10/22 CONTRACT PLANS ISSUED</div>   |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)</div>  |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>I 15/02/24 ECOLOGY RFI</div>   |  |  |                           |                           |  |                        |                         |  |               |  |                                |  |  |
| <div>DWG NO: 104</div>  |  |  | <div>SCALE: 1 : 500</div> | <div>DATE: 23/02/23</div> | <div>DRAWN: BC</div>   | <div>CHECKED: BC</div> | <div>JOB NO: 0256</div> | <div>THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES</div>              | <div>A3</div> |  |                                |  |  |

NOTE: STORMWATER DRAINAGE CALCULATED FOR BUILDING ROOF AREAS AND OR PAVED AREAS SHOWN ON THIS PROPOSED DEVELOPMENT ONLY, AND MAY NOT BE ADEQUATE FOR ANY SUBSEQUENT ROOF OR PAVED AREAS.  
MIN 100x75 DOWNPIPES ( EACH TO DRAIN MAX 40.00m SQU ROOF AREA) DISCHARING INTO 100mm S/W DRAINAGE PIPEWORK (EACH RUN CARRYING MAX CAPACITY OF 8 litres/sec) MIN GRADE TO RUBBLE PITS ON SITE TO BE 1%. ALL STORMWATER & DRAINAGE TO BE IN COMPLIANCE WITH NCC PARTS 3.1.2 & 3.5.2 AS WELL AS ASNZS3500

NOTE: FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.

ALERT: THIS PROPERTY IS LOCATED IN A BUSHFIRE HAZARD AREA. REFER TO BUSHFIRE REPORT FOR "BAL" RATING

DISCLAIMER: AS THE SITE LEVELS HAVE BEEN SUPPLIED BY OTHERS WE CANNOT TAKE RESPONSIBILITY FOR THEIR ACCURACY. ALL SITE LEVELS TO BE CHECKED AND CONFIRMED BY BUILDER BEFORE STARTING ANY WORKS.

Rough-shelled Queensland Nut (Macadamia tetraphylla) should not be impacted

Approx. location of 10kl Fire Fighting Tank - The final positioning should ensure that the two (2) Rough-shelled Queensland Nut (Macadamia tetraphylla) located nearby are not impacted

SITE WORKS

These plans are to be read in conjunction with any structural and civil engineering design & detail.

- Site to be excavated and or filled to levels shown. Step downs to be excavated **1.0m** past actual step down to allow for steel and form works.
- Footings shall be placed as per slab plan & engineers details.
- Footings to found in non-expansive natural material having a minimum allowable bearing capacity of 100kPa.
- Ground surface to be sloped 1:20 (min) away from building for 900mm (min) and to a point where ponding will not occur near the building.
- Dish drains and ag-pipes to be provided as indicated to facilitate drainage of water away from building into drainage system.

WIND CLASSIFICATION

'N5'

SOIL CLASSIFICATION


'H1/P'

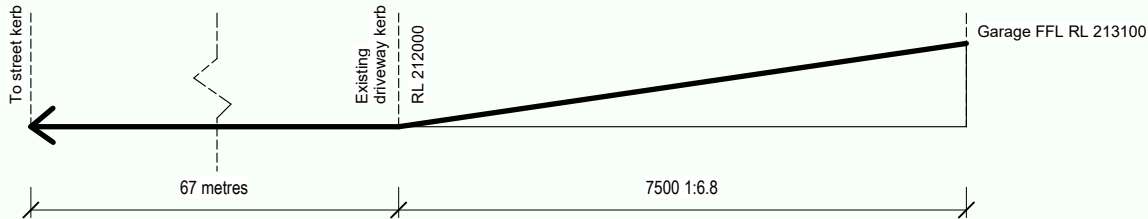
Site Plan

1 : 200

Site Plan

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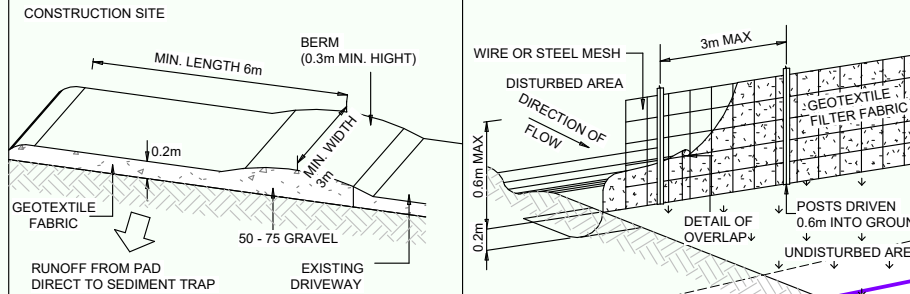
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|---------------------------|-----|--|--------------|---|----------|--------|----|------------------------------|----|---------|------|--|--|--|--|--------|--|---|--|--|--|
| REAL PROPERTY DESCRIPTION |     | BUILDER:   |              | PROJECT ADDRESS:  |          |        |    | CLIENT:                      |    |         |      | PROJECT:   |  |  |  | ISSUE: |  | <div><div>Elevation 2</div><div>Elevation 3</div><div>Elevation 4</div><div>Elevation 1</div></div> |  |  |  |
| PLAN NUMBER: DP1202684    |     | <div></div> |              | LOT 11 # 132 Mafeking Road<br>Goonengerry, NSW 2482       |          |        |    | T & T NABUNG<br><br>BUILDER: |    |         |      | NEW RESIDENCE<br><br>STAGED PLAN:<br>WORKING DRAWINGS                    |  |  |  | I      |  |   |  |  |  |
|                           |     |  |              |   |          |        |    |                              |    |         |      |  |  |  |  |        |  |   |  |  |  |
|                           |     |  |              |   |          |        |    |                              |    |         |      |  |  |  |  |        |  |   |  |  |  |
| LOCAL AUTH: BYRON SHIRE   |     | ADDRESS: 80 Wommin Bay Road,<br>Chinderah NSW 2487   |              | ABN: 16141022371<br>NSW LIC: 227643C<br>QBCC LIC: 1181578 |          |        |    |                              |    |         |      |  |  |  |  |        |  |   |  |  |  |
| AREA: 9988m2              |     | PHONE: 07 5520 0720<br>WEB: www.ecoessencehomes.com.au   |              |   |          |        |    |                              |    |         |      |  |  |  |  |        |  |   |  |  |  |
| DWG NO:                   | 200 | SCALE:   | As indicated | DATE:   | 23/02/23 | DRAWN: | BC | CHECKED:                     | BC | JOB NO: | 0256 | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |  |  |  | A3     |  |   |  |  |  |



Driveway Section

1 : 100

Not part of this DA



TEMPORARY CONSTRUCTION DRIVEWAY (NOT TO SCALE)

SEDIMENT FENCE (NOT TO SCALE) DRAINAGE AREA 0.6 ha MAX. SLOPE GRADIENT 12 MAX. SLOPE LENGTH 60M MAX

proposed pumped lilac HDPE buried @min 150mm (300mm trafficable) ROUTE TO FOLLOW VEHICLE PATH (refer to HMC report for more detail)

BAL 40

APPROX. LOCATION OF AWTS REFER TO HMC REPORT FOR DETAIL



Building Envelope

Vegetation Drip line

Boulder retaining walls max 1300H

Excavate and relocate existing retaining wall. Widen driveway to 5m

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APPROVED PLAN  
DA No. 10.2024.42.1  
Date: 16/05/2024

FILL

CUT

PAD R.L = 212.800 Approx.  
SLAB R.L = 213.185 Approx.

GARDEN TAP \*

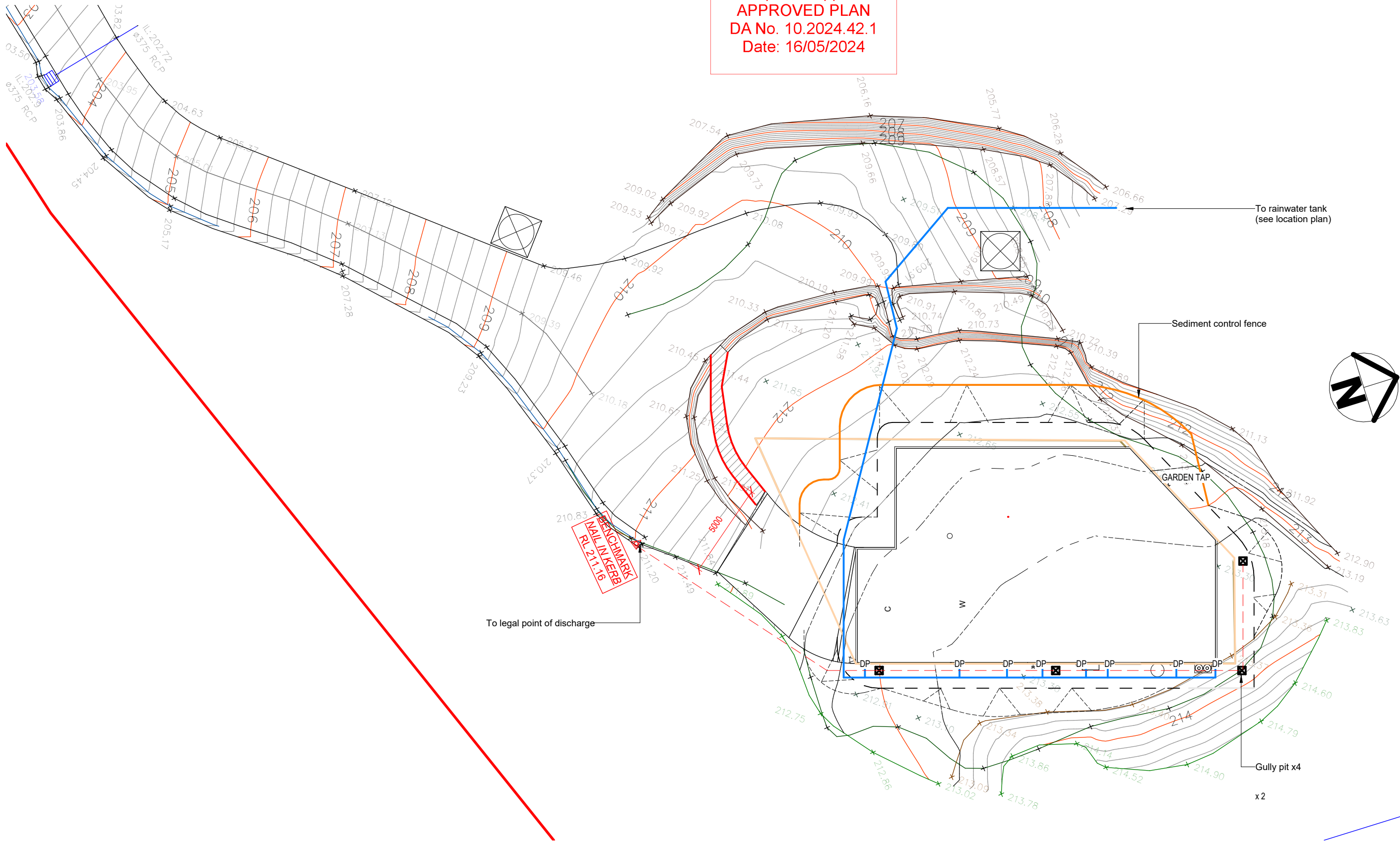
AC

Elec HWS

Gas bottles




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Date: 16/05/2024



# Stormwater and erosion management plan

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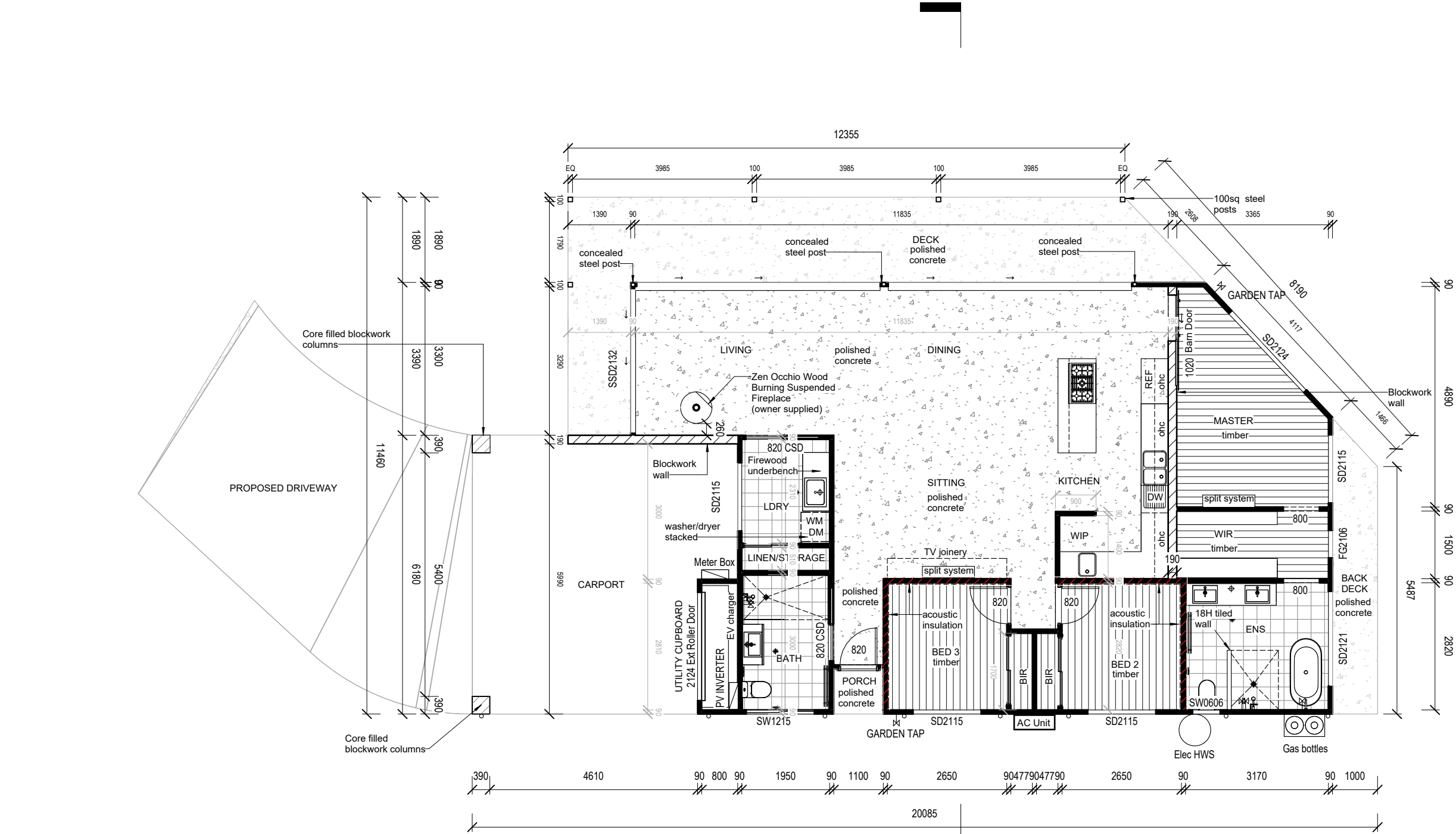
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| REAL PROPERTY DESCRIPTION |  | BUILDER:  |  | PROJECT ADDRESS:           |  | CLIENT:        |  | PROJECT:   |  | ISSUE:  |  |
| PLAN NUMBER: DP1202684    |  |  |  | LOT 11 # 132 Mafeking Road |  | T & T NABUNG   |  | NEW RESIDENCE  |  | I   |  |
| LOCAL AUTH: BYRON SHIRE   |  | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487                                     |  | Goonengerry, NSW 2482      |  | BUILDER:       |  | STAGED PLAN:   |  | 15/02/24 ECOLOGY RFI                                |  |
| AREA: 9988m2              |  | ABN: 16141022371<br>NSW LIC: 227643C<br>QBCC LIC: 1181578                           |  | DWG NO: 202                |  | SCALE: 1 : 200 |  | DATE: 23/02/23   |  | DRAWN: BC   |  |
|                           |  | PHONE: 07 5520 0720<br>WEB: www.ecoessencehomes.com.au                              |  | CHECKED: BC                |  | JOB NO: 0256   |  | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |  | A3  |  |
|                           |  |   |  |                            |  |                |  |  |  | A 04/04/22 PRELIMINARY PLANS ISSUED                 |  |
|                           |  |   |  |                            |  |                |  |  |  | B 10/05/22 PRELIMINARY PLANS ISSUED                 |  |
|                           |  |   |  |                            |  |                |  |  |  | C 20/07/22 PRELIMINARY PLANS ISSUED                 |  |
|                           |  |   |  |                            |  |                |  |  |  | D 09/08/22 PRELIMINARY PLANS ISSUED                 |  |
|                           |  |   |  |                            |  |                |  |  |  | E 19/08/22 PRELIMINARY PLANS ISSUED                 |  |
|                           |  |   |  |                            |  |                |  |  |  | F 19/10/22 CONTRACT PLANS ISSUED                    |  |
|                           |  |   |  |                            |  |                |  |  |  | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) |  |
|                           |  |   |  |                            |  |                |  |  |  | H 15/02/24 ECOLOGY RFI                              |  |
|                           |  |   |  |                            |  |                |  |  |  | Elevation 2   |  |
|                           |  |   |  |                            |  |                |  |  |  | Elevation 3   |  |
|                           |  |   |  |                            |  |                |  |  |  | Elevation 4   |  |
|                           |  |   |  |                            |  |                |  |  |  | Elevation 1   |  |

NOTES:  
- FINAL POSITIONS OF DOWNPIPES, METERBOX, TAPS, AC ODU, WATERTANK, GAS BOTTLES AND HOT WATER SYSTEM, MAY DIFFER TO PLAN DUE TO SITE CONDITIONS.  
- LIFT OFF HINGES TO WC DOOR  
- SARKING TO EXTERNAL WALLS  
- INSULATION TO CEILINGS AS PER SPECIFICATION  
- ALL SHOWER ROSES TO BE AAA RATED  
- WATER PRESSURE LIMITED TO 500 KPA AT THE METER  
- ROOMS WITH NO NATURAL VENTILATION TO HAVE MECHANICAL VENTILATION INSTALLED  
- PROVIDE WATER AND POWER PROVISION TO DISHWASHER SPACE  
- WINDOW, SGD & INTERNAL DOOR SIZES ARE NOMINAL ONLY & TO BE CONFIRMED WITH MANUFACTURER

BAL 40

|   |        |
|---|--------|
| HEIGHTS:<br>* INTERNAL DOORS - 2040H UNO<br>* WINDOW H.HEIGHT - 2100H UNO |        |
| Conditioned   | 113.75 |
| Unconditioned   | 12.09  |
| ROOF:<br>Trimdeck - 200sqm  |        |

| Area Schedule |           |
|---------------|-----------|
| Back Deck     | 6.02 m²   |
| Carport       | 36.23 m²  |
| Deck          | 29.70 m²  |
| Main House    | 128.91 m² |
| Porch         | 1.24 m²   |
| Grand total   | 202.11 m² |

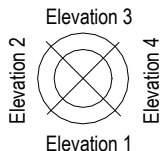


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Date: 16/05/2024

Ground Floor Plan

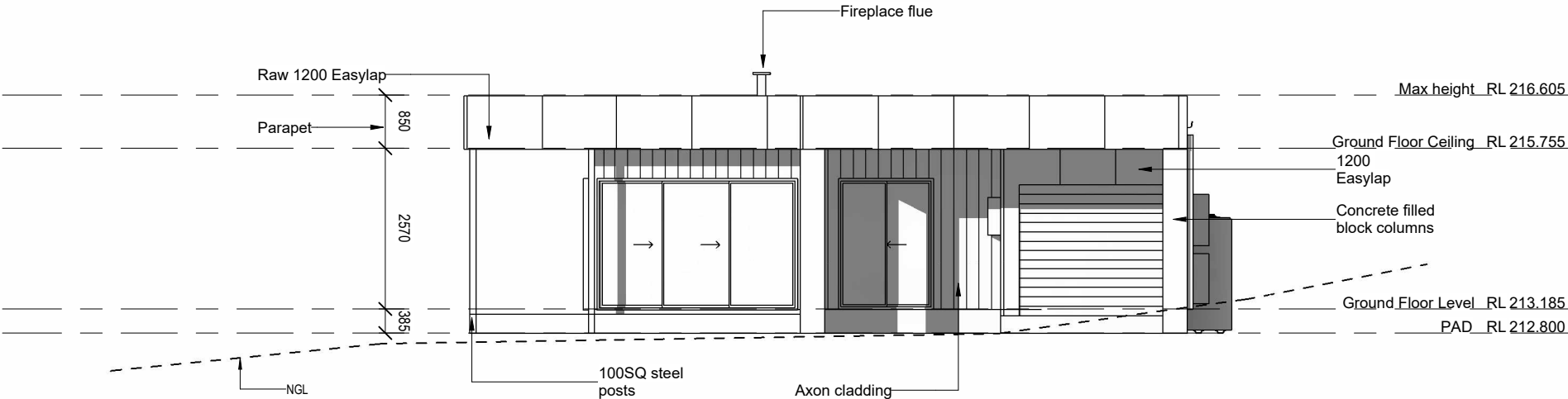
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|                           |  |  |  |  |  |                |  |                                  |  |  |  |
|---------------------------|--|--|--|--|--|----------------|--|----------------------------------|--|--|--|
| REAL PROPERTY DESCRIPTION |  | BUILDER:   |  | PROJECT ADDRESS:   |  | CLIENT:        |  | PROJECT:                         |  | ISSUE:   |  |
| PLAN NUMBER: DP1202684    |  | Eco-Essence Homes  |  | LOT 11 # 132 Mafeking Road<br>Goonengerry, NSW 2482                      |  | T & T NABUNG   |  | NEW RESIDENCE                    |  | I  |  |
| LOCAL AUTH: BYRON SHIRE   |  | ADDRESS: 80 Wommin Bay Road,<br>Chinderah NSW 2487<br>PHONE: 07 5520 0720<br>WEB: www.ecoessencehomes.com.au |  | ABN: 16141022371<br>NSW LIC: 227643C<br>QBCC LIC: 1181578                |  | BUILDER:       |  | STAGED PLAN:<br>WORKING DRAWINGS |  | A 04/04/22 PRELIMINARY PLANS ISSUED<br>B 10/05/22 PRELIMINARY PLANS ISSUED<br>C 20/07/22 PRELIMINARY PLANS ISSUED<br>D 09/08/22 PRELIMINARY PLANS ISSUED<br>E 19/08/22 PRELIMINARY PLANS ISSUED<br>F 19/10/22 CONTRACT PLANS ISSUED<br>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)<br>I 15/02/24 ECOLOGY RFI |  |
| AREA: 9988m2              |  | DWG NO: 301  |  | SCALE: 1:100   |  | DATE: 23/02/23 |  | DRAWN: BC                        |  | CHECKED: BC  |  |
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NOTE: ALL EXTERIOR WINDOWS + DOORS  
ALUMINIUM

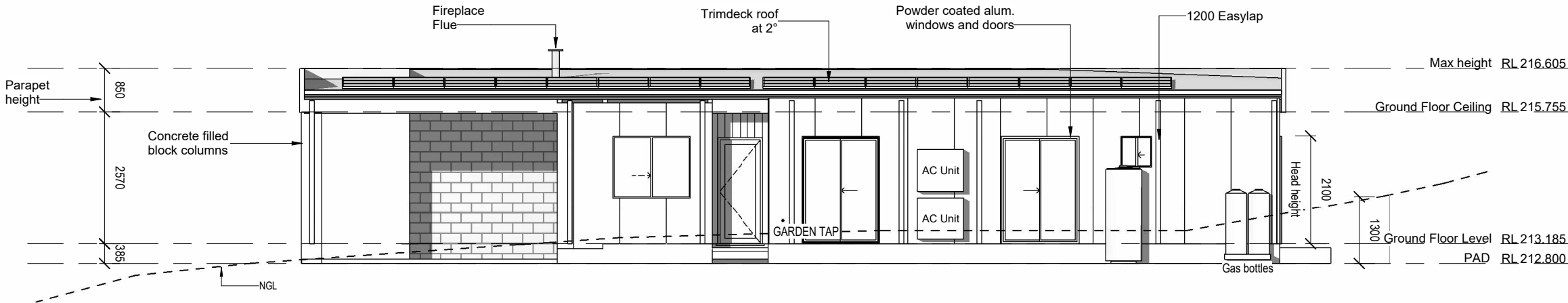
NOTE: ALL WINDOWS BRADNAMS  
CERTIFIED TO BAL40



Elevation 2 (South)  
1 : 100

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Date: 16/05/2024


BAL 40



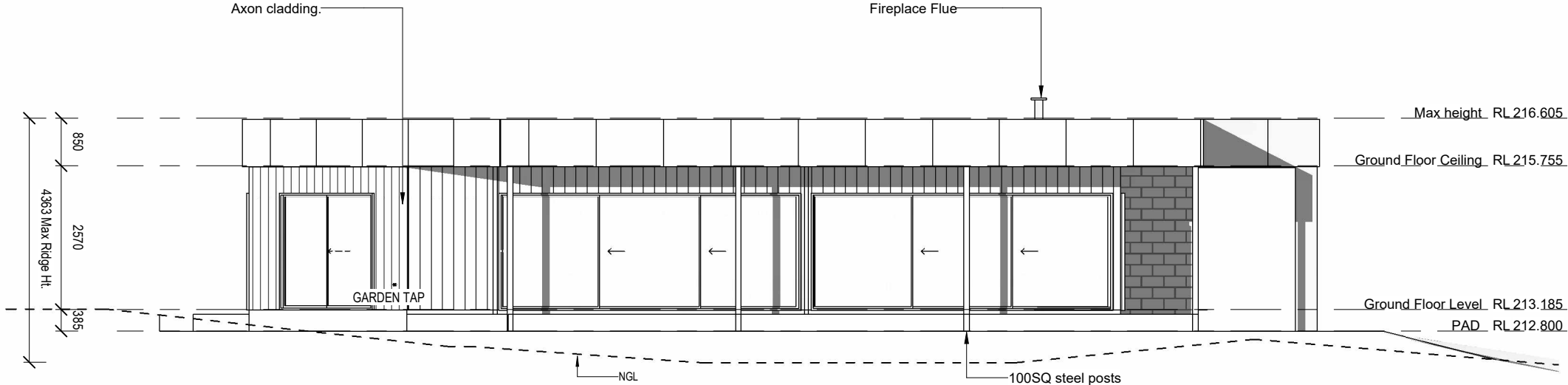
Elevation 1 (East)  
1 : 100

Elevations

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|                           |  |   |  |                            |                |                |           |                  |              |  |  |
|---------------------------|--|---|--|----------------------------|----------------|----------------|-----------|------------------|--------------|--|--|
| REAL PROPERTY DESCRIPTION |  | BUILDER:  |  | PROJECT ADDRESS:           |                | CLIENT:        |           | PROJECT:         |              | ISSUE:   |  |
| PLAN NUMBER: DP1202684    |  |  |  | LOT 11 # 132 Mafeking Road |                | T & T NABUNG   |           | NEW RESIDENCE    |              | I  |  |
| LOCAL AUTH: BYRON SHIRE   |  | ADDRESS: 80 Wommin Bay Road, Chinderah NSW 2487                                     |  | Goonengerry, NSW 2482      |                | BUILDER:       |           | WORKING DRAWINGS |              |  |  |
| AREA: 9988m2              |  | ABN: 16141022371<br>NSW LIC: 227643C<br>QBCC LIC: 1181578                           |  | DWG NO: 303                | SCALE: 1 : 100 | DATE: 23/02/23 | DRAWN: BC | CHECKED: BC      | JOB NO: 0256 | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES   |  |
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|                           |  |   |  |                            |                |                |           |                  |              | A 04/04/22 PRELIMINARY PLANS ISSUED<br>B 10/05/22 PRELIMINARY PLANS ISSUED<br>C 20/07/22 PRELIMINARY PLANS ISSUED<br>D 09/08/22 PRELIMINARY PLANS ISSUED<br>E 19/08/22 PRELIMINARY PLANS ISSUED<br>F 19/10/22 CONTRACT PLANS ISSUED<br>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)<br>I 15/02/24 ECOLOGY RFI |  |
|                           |  |   |  |                            |                |                |           |                  |              | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div>  |  |

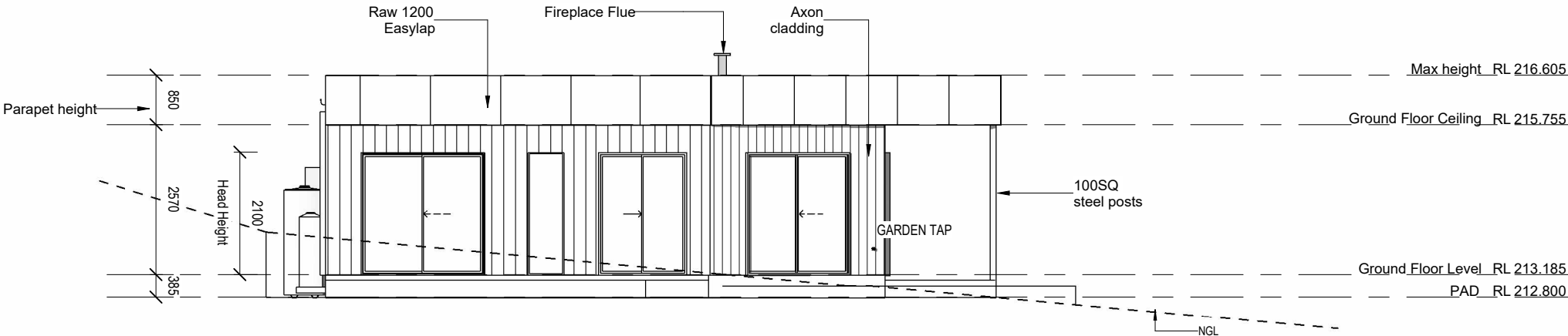
**NOTE: ALL WINDOWS BRANDNAMS  
CERTIFIED TO BAL40**



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Development Application  
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DA No. 10.2024.42.1  
Date: 16/05/2024

# Elevation 3 (West)

1 : 100

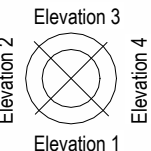


# BAL 40

# Elevations

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|   |  |  |  |  |  |           |  |  |  |              |  |  |  |  |  |
|---|--|--|--|--|--|-----------|--|--|--|--------------|--|--|--|--|--|
| <div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1202684</div> <div>LOCAL AUTH: BYRON SHIRE</div> <div>AREA: 9988m2</div> |  | <div>BUILDER:</div> <div><div><div><div><div></div><div>Eco-Essence Homes</div></div></div><div><div>ADDRESS: 80 Wommin Bay Road,<br/>Chinderah NSW 2487</div><div>PHONE : 07 5520 0720</div><div>WEB: www.ecoessencehomes.com.au</div></div><div><div>ABN: 16141022371</div><div>NSW LIC: 227643C</div><div>QBCC LIC: 1181578</div></div></div></div> <div>PROJECT ADDRESS:</div> <div>LOT 11 # 132 Mafeking Road<br/>Goonengerry, NSW 2482</div> |  | <div>CLIENT:</div> <div>T &amp; T NABUNG</div> <div>BUILDER:</div> |  |           |  | <div>PROJECT:</div> <div>NEW RESIDENCE</div> <div>STAGED PLAN:</div> <div>WORKING DRAWINGS</div> |  |              |  | <div>ISSUE:</div> <div>I</div> <div><div>A 04/04/22 PRELIMINARY PLANS ISSUED</div><div>B 10/05/22 PRELIMINARY PLANS ISSUED</div><div>C 20/07/22 PRELIMINARY PLANS ISSUED</div><div>D 09/08/22 PRELIMINARY PLANS ISSUED</div><div>E 19/08/22 PRELIMINARY PLANS ISSUED</div><div>F 19/10/22 CONTRACT PLANS ISSUED</div><div>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)</div><div>I 15/02/24 ECOLOGY RFI</div></div> |  | <div><div>Elevation 3</div><div>Elevation 2</div><div>Elevation 4</div><div>Elevation 1</div></div> <div><div></div></div> |  |
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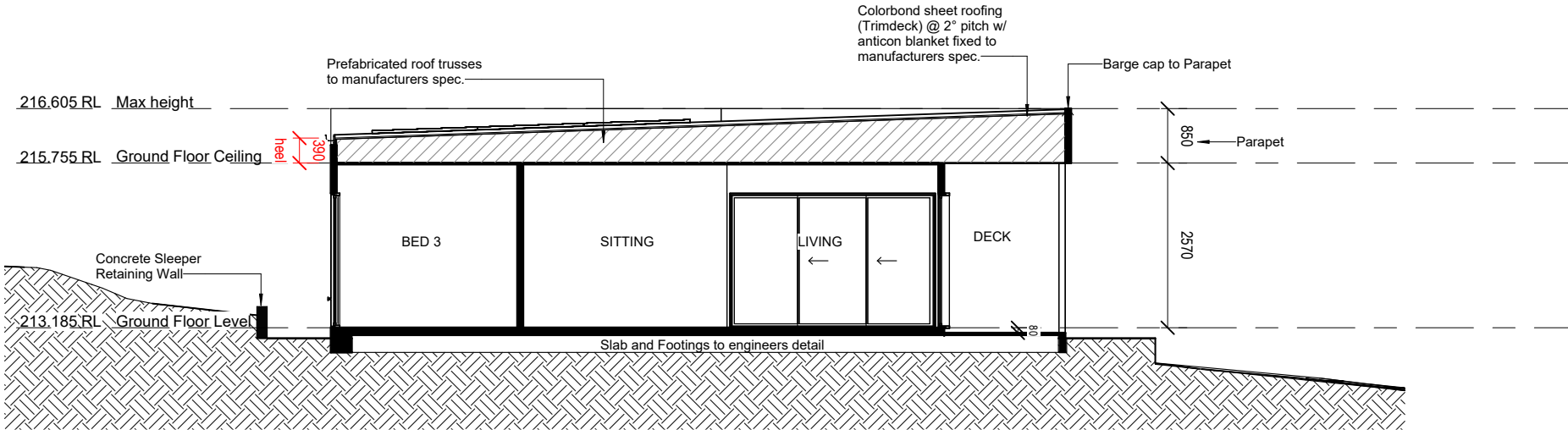
- SELECTED ROOF FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ROOF BATTENS FIXED IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ROOF TRUSSES TO MANUFACTURERS SPECIFICATION
- BRACING OF TRUSSES TO BE IN ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS
- ALL TIMBER SIZES TO CONFORM WITH NCC STANDARDS
- SLAB & FOOTINGS TO ENGINEERS DETAIL
- FLOORING MEMBERS TO ENGINEERS/MANUFACTURERS DETAIL

**INSULATION NOTES:**

- CEILING INSULATION - R3.5 CEILING BATTS EXCLUDING DECKS.
- WAFFLE POD SLAB 300MM
- MINIMUM R2.0 INSULATION TO EXTERNAL WALLS( EXCLUDING CONCRETE BLOCK)
- R3.5 INSULATION TO CEILINGS
- R2.0 INSULATION TO THE INTERNAL WALLS OF THE BATH & LAUNDRY
- FOIL + R1.0 INSULATION BLANKET TO UNDERSIDE OF ROOF

**THERMAL COMFORT NOTES:**

- MEDIUM WALL & MEDIUM ROOF COLOURS
- WEATHERSEALS TO ALL EXTERNAL DOORS & WINDOWS
- FLOOR COVERINGS AS PER DETAIL ON FLOOR PLANS
- INSULATION MUST BE INSTALLED IN ACCORDANCE WITH NCC AND RELEVANT AUSTRALIAN STANDARDS.
- RECESSED DOWNLIGHTS HAVE BEEN INCLUDED IN THE NATHERS RATING( TO BE SEALED LED DOWNLIGHTS & COVERED BY INSULATION)
- LAUNDRY 2115M, BATH 1215, BED 2 2115, BED 3 2115 TO HAVE A U VALUE LESS THAN OR = TO 5.60 & WITHIN 10% OF SHGC 0.41
- ALL OTHER WINDOWS & GLAZED DOORS TO BE SINGLE GLAZED CLEAR WITH ALUMINIUM FRAME(LESS THAN OR = TO U 6.70, WITHIN 10% OF SHGC 0.70/0.57)
- CEILING FANS TO DINING, SITTING, MASTER, BED 2 & BED 3



**BYRON SHIRE COUNCIL**  
Development Application  
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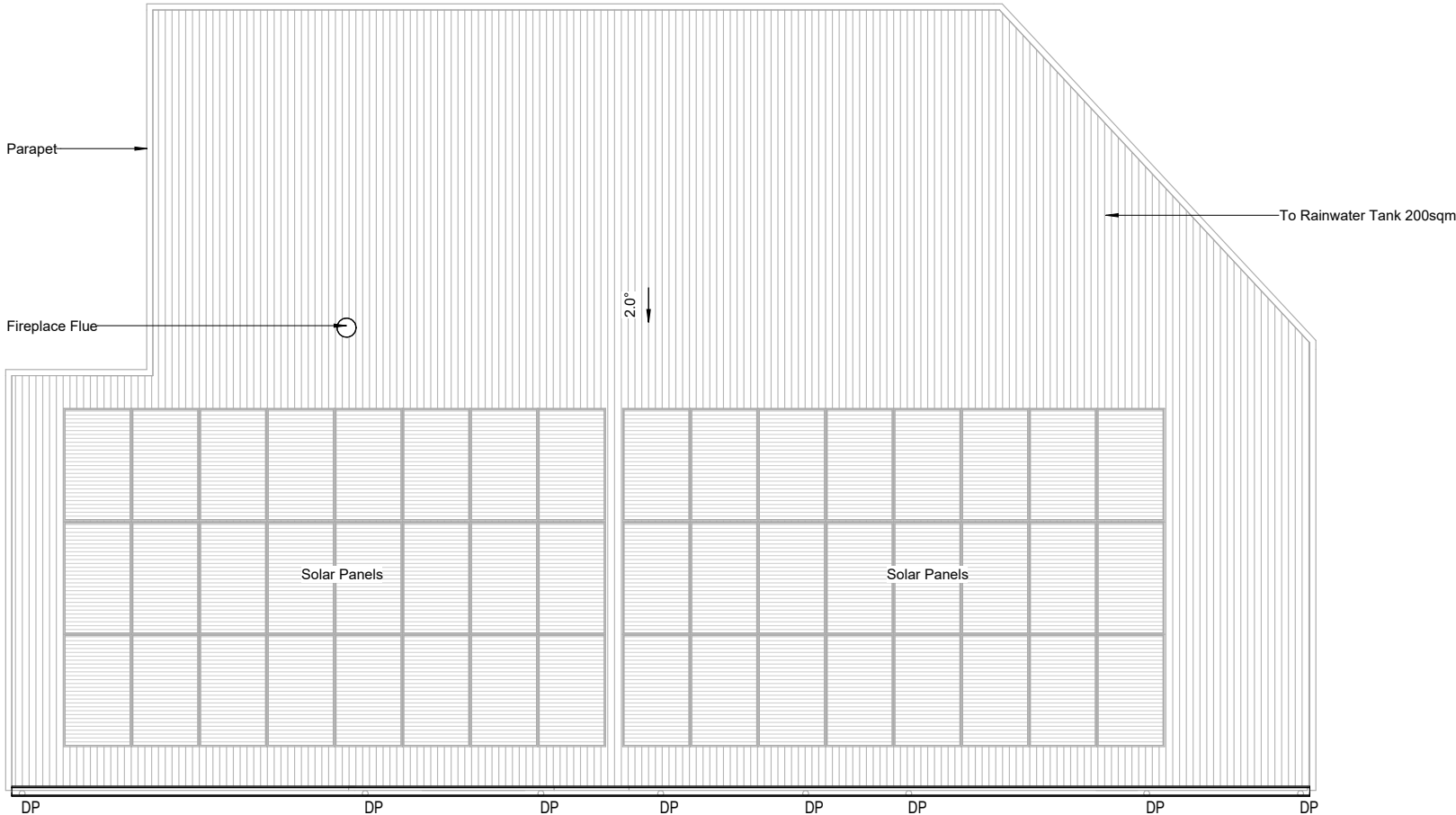
## Section

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO **ECO ESSENCE HOMES**. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

|   |  |   |  |   |  |  |  |  |  |              |  |  |  |   |  |
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| <div>REAL PROPERTY DESCRIPTION</div> <div>PLAN NUMBER: DP1202684</div> <div>LOCAL AUTH: BYRON SHIRE</div> <div>AREA: 9988m2</div> |  | <div>BUILDER:</div> <div><div><div>Eco-Essence Homes</div><div>ADDRESS: 80 Wommin Bay Road,<br/>Chinderah NSW 2487<br/>PHONE : 07 5520 0720<br/>WEB: www.ecoessencehomes.com.au</div><div>ABN: 16141022371<br/>NSW LIC: 227643C<br/>QBCC LIC: 1181578</div></div></div> |  | <div>PROJECT ADDRESS:</div> <div>LOT 11 # 132 Mafeking Road<br/>Goonengerry, NSW 2482</div> |  | <div>CLIENT:</div> <div>T &amp; T NABUNG</div> <div>BUILDER:</div> |  | <div>PROJECT:</div> <div>NEW RESIDENCE</div> <div>STAGED PLAN:</div> <div>WORKING DRAWINGS</div> |  |              |  | <div>ISSUE:</div> <div><div></div><div>A 04/04/22 PRELIMINARY PLANS ISSUED<br/>B 10/05/22 PRELIMINARY PLANS ISSUED<br/>C 20/07/22 PRELIMINARY PLANS ISSUED<br/>D 09/08/22 PRELIMINARY PLANS ISSUED<br/>E 19/08/22 PRELIMINARY PLANS ISSUED<br/>F 19/10/22 CONTRACT PLANS ISSUED<br/>G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES)<br/>I 15/02/24 ECOLOGY RFI</div></div> |  | <div>Elevation 2</div> <div><div></div><div>Elevation 3</div><div>Elevation 4</div><div>Elevation 1</div></div> |  |
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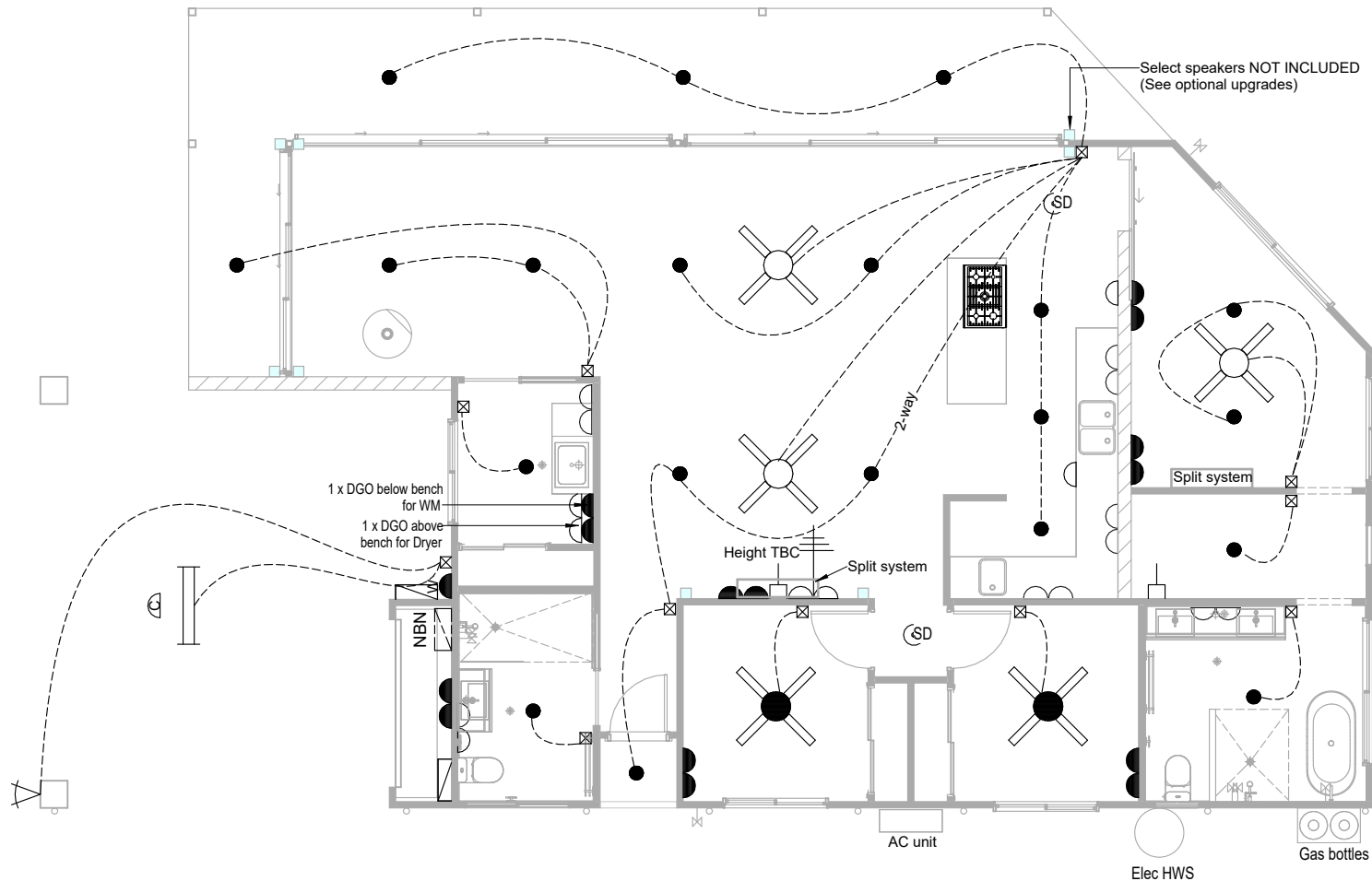
## Upper Roof Plan

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPANCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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|--|--|------------------------------|----------------------------|----------------|--------------|---------------|---------------|----------------|--------|--------------|-------------------------------------|--|---|--------------|--|--|--|---|--|-------------------------------------|--|--|
| REAL PROPERTY DESCRIPTION                          |  | BUILDER:                     | PROJECT ADDRESS:           |                | CLIENT:      |               | PROJECT:      |                | ISSUE: |              | A 04/04/22 PRELIMINARY PLANS ISSUED |  | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> |              |  |  |  |   |  |                                     |  |  |
| PLAN NUMBER: DP1202684                             |  | <div>Eco-Essence Homes</div> | LOT 11 # 132 Mafeking Road |                | T & T NABUNG |               | NEW RESIDENCE |                |        |              | B 10/05/22 PRELIMINARY PLANS ISSUED |  |   |              |  |  |  |   |  |                                     |  |  |
| LOCAL AUTH: BYRON SHIRE                            |  |                              | Goonengerry, NSW 2482      |                | BUILDER:     |               | STAGED PLAN:  |                |        |              | C 20/07/22 PRELIMINARY PLANS ISSUED |  |   |              |  |  |  |   |  |                                     |  |  |
| ADDRESS: 80 Wommin Bay Road,<br>Chinderah NSW 2487 |  | ABN: 16141022371             |                            | DWG NO: 311    |              | SCALE: 1: 100 |               | DATE: 23/02/23 |        | DRAWN: BC    |                                     | CHECKED: BC  |   | JOB NO: 0256 |  | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |  | A3  |  | D 09/08/22 PRELIMINARY PLANS ISSUED |  |  |
| PHONE : 07 5520 0720                               |  | NSW LIC: 227643C             |                            | DATE: 23/02/23 |              | DRAWN: BC     |               | CHECKED: BC    |        | JOB NO: 0256 |                                     | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |   | A3           |  |  |  | E 19/08/22 PRELIMINARY PLANS ISSUED                 |  |                                     |  |  |
| WEB: www.ecoessencehomes.com.au                    |  | QBCC LIC: 1181578            |                            | DATE: 23/02/23 |              | DRAWN: BC     |               | CHECKED: BC    |        | JOB NO: 0256 |                                     | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |   | A3           |  |  |  | F 19/10/22 CONTRACT PLANS ISSUED                    |  |                                     |  |  |
|  |  |                              |                            | DATE: 23/02/23 |              | DRAWN: BC     |               | CHECKED: BC    |        | JOB NO: 0256 |                                     | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |   | A3           |  |  |  | G 15/11/22 CONTRACT PLANS RE-ISSUED (NaTHERS NOTES) |  |                                     |  |  |
|  |  |                              |                            | DATE: 23/02/23 |              | DRAWN: BC     |               | CHECKED: BC    |        | JOB NO: 0256 |                                     | THIS DESIGN IN PART OR WHOLE IS SUBJECT TO COPYRIGHT © ECO ESSENCE HOMES |   | A3           |  |  |  | I 15/02/24 ECOLOGY RFI                              |  |                                     |  |  |
| AREA: 9988m2                                       |  |                              |                            |                |              |               |               |                |        |              |                                     |  |   |              |  |  |  |   |  |                                     |  |  |



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- CEILING FAN
- CEILING FAN/LIGHT
- LED DOWNLIGHT (IC-4 Rated)
- SELECT SPEAKER
- PENDANT LIGHT
- LED BATTEN LIGHT
- LED FLOOD LIGHT
- WALL LIGHT (HEIGHT TBC)
- BATTEN POINT FOR TRACK LIGHTING
- ELECTRICAL WIRING LINE
- SWITCH LIGHT
- DIMMER LIGHT SWITCH
- PHONE POINT (300 AFFL)
- DATA POINT
- TELEVISION POINT (300 AFFL)
- EXHAUST FAN
- SINGLE GPO ( 300 AFFL)
- DOUBLE GPO ( 300 AFFL)
- SINGLE GPO ( refer to notes)
- DOUBLE GPO ( refer to notes)
- WATERPROOF GPO
- CEILING MOUNTED GPO
- JUNCTION BOX
- INTERCOM
- ALARM

**NOTE:**  
- REFER TO JOINERY DRAWINGS WHERE APPLICABLE

**NOTE:**  
-NON STANDARD HEIGHTS TO BE CONFIRMAED ON SITE BY CLIENT WITH SUPERVISOR/ ELECTRICIAN

REFER TO BASIX CERTIFICATE (NSW) / QDC MP4.1 FOR LIGHTING ENERGY EFFICIANCY REQUIREMENTS

## Electrical Plan - Ground Floor

USE FIGURED DIMENSIONS AT ALL TIMES. REFER ANY DISCREPENCIES TO ECO ESSENCE HOMES. FAILURE TO DO SO WILL VOID DESIGNERS RESPONSIBILITIES. ALL DIMENSIONS TO BE VERIFIED ON SITE PRIOR TO CONSTRUCTION. ALL WORK TO COMPLY WITH LOCAL AUTHORITY REGULATIONS AND BCA. ANY 3D PERSPECTIVES ARE FOR ILLUSTRATION PURPOSES ONLY.

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| REAL PROPERTY DESCRIPTION   |  | BUILDER:  |  | PROJECT ADDRESS:  |  |           |  | CLIENT:      |  |              |  | PROJECT:   |  |  |  | ISSUE: |  | <div>Elevation 2</div> <div>Elevation 3</div> <div>Elevation 4</div> <div>Elevation 1</div> |  |
| PLAN NUMBER: DP1202684  |  | <div>Eco-Essence Homes</div>                            |  | LOT 11 # 132 Mafeking Road<br>Goonengerry, NSW 2482       |  |           |  | T & T NABUNG |  |              |  | NEW RESIDENCE  |  |  |  | I      |  |   |  |
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| AREA: 9988m2  |  | PHONE : 07 5520 0720<br>WEB: www.ecoessencehomes.com.au |  |   |  |           |  |              |  |              |  |  |  |  |  |        |  |   |  |
|   |  |   |  |   |  |           |  |              |  |              |  |  |  |  |  |        |  |   |  |
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