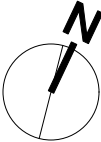
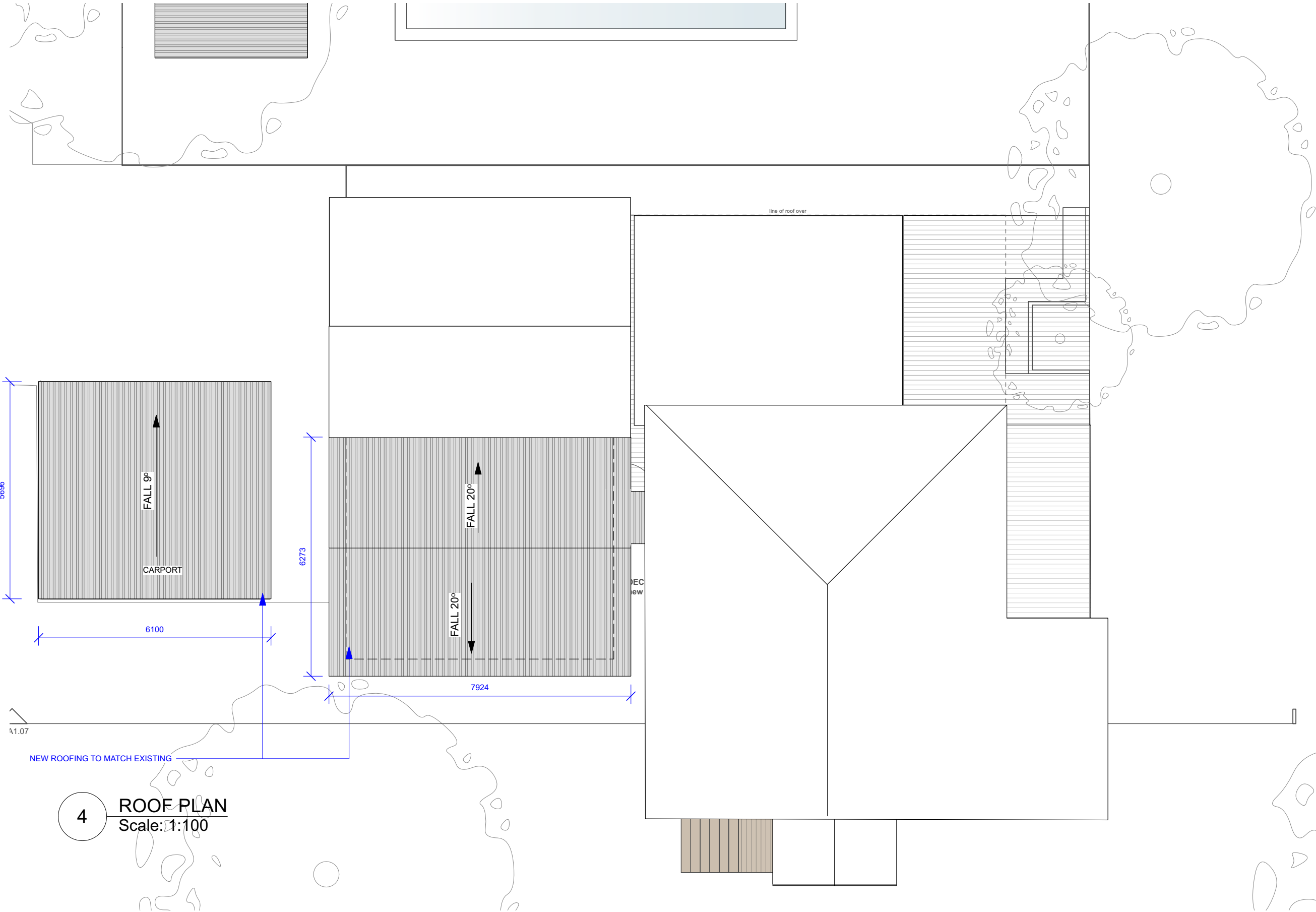


1 SITE PLAN
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DA ISSUE



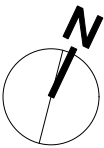
No.	Date	REVISION	By	Stage		Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION	NASHUA HOUSE	DA1.01
B	15/06/2024	REVISED PLAN	TL			
No.	Date	ISSUE	By	Address	Drawing Title	Rev # B SCALE PAGE
				58 TAYLORS ROAD NASHUA	SITE PLAN	ISSUE # 1:250@A3
				Client	Project No.	Dwg Date: 060623 Plot Date:
				RICHARD + DANNIELLE COLLIN		Checked By: MS Drawn By: TL



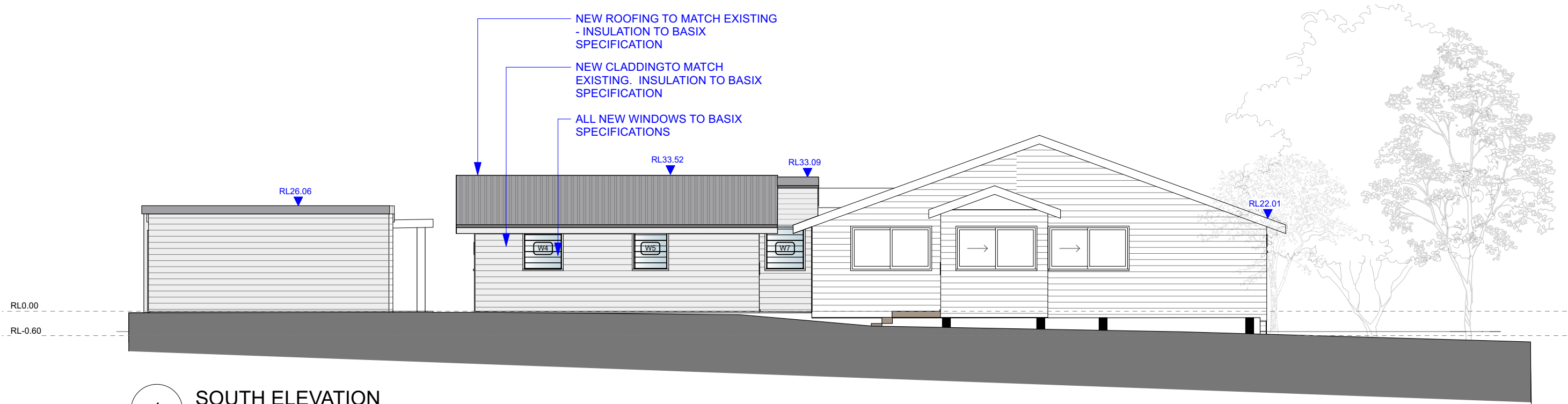
4 ROOF PLAN
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DA ISSUE

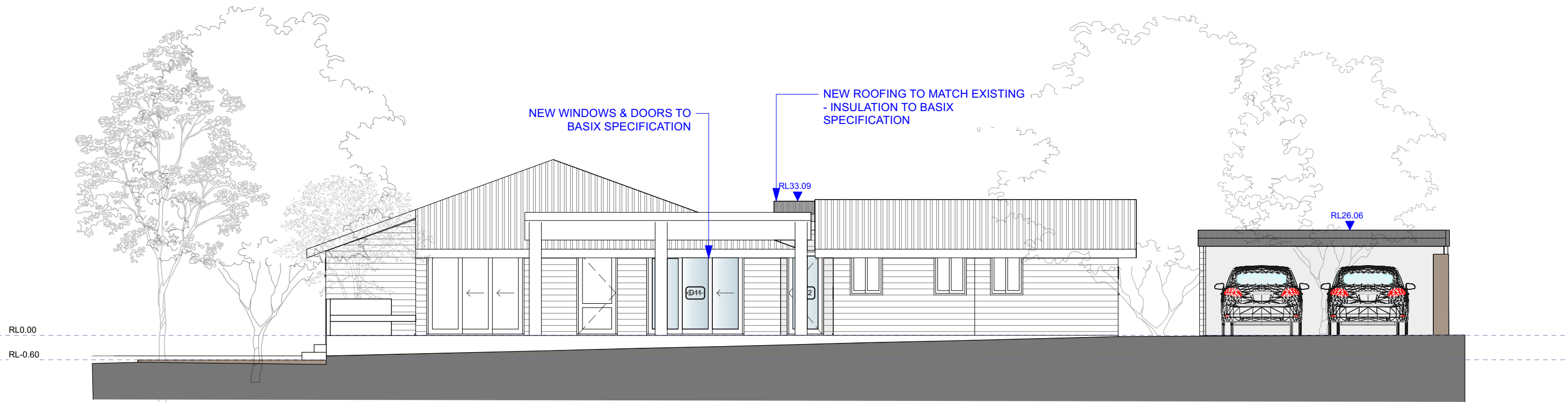
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No.	Date	REVISION	By	Stage		Drawing No.
A	TL	DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION	NASHUA HOUSE	DA1.03
B	15/06/2024	REVISED PLAN	TL	Address	58 TAYLORS ROAD NASHUA	Rev # B SCALE PAGE
						ISSUE # 1:100@A3
No.	Date	ISSUE	By	Client	Project No.	Dwg Date: 060623 Plot Date:
				RICHARD + DANNIELLE COLLIN		Checked By: MS Drawn By: TL

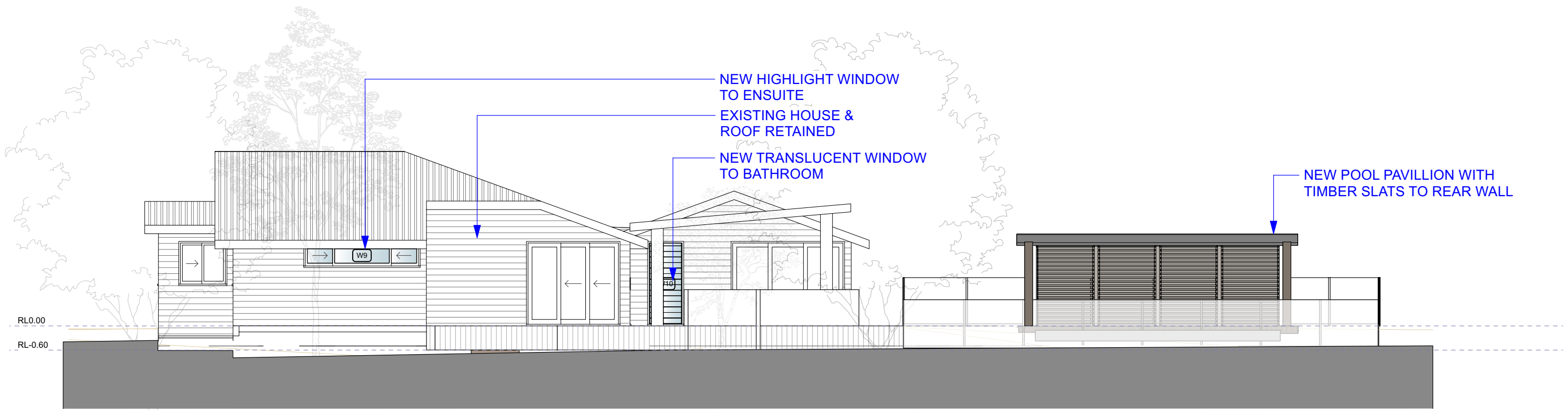


1 SOUTH ELEVATION
Scale: 1:100

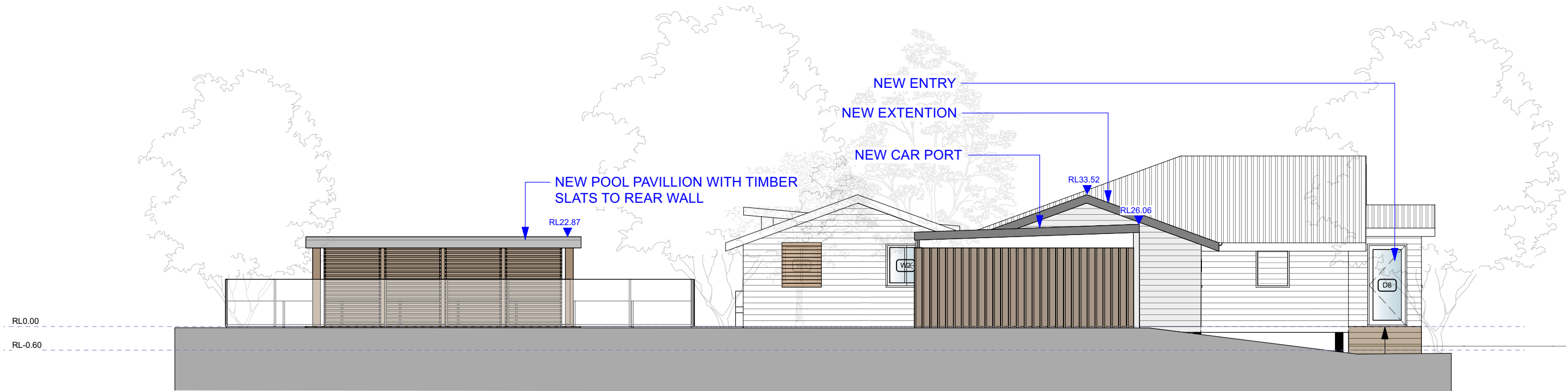


2 NORTH ELEVATION
Scale: 1:100

DA ISSUE



1 EAST ELEVATION
Scale: 1:100



2 WEST ELEVATION
Scale: 1:100

DA ISSUE

Notes

ALL HEIGHTS TAKEN FROM EXISTING FINISHED FLOOR LEVEL

ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	NASHUA HOUSE	Drawing Title ELEVATIONS	Drawing No. DA1.05
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION			
B	15/06/2024	REVISED PLAN	TL	Address 58 TAYLORS ROAD NASHUA			Rev # B SCALE PAGE ISSUE # 1:100@A3
No.	Date	ISSUE	By	Client RICHARD + DANNIELLE COLLIN	Project No.		Dwg Date: 060623 Plot Date: Checked By: MS Drawn By: TL



BASIX Certificate number: A1752107				page 4/8
Glazing requirements	Show on DA Plans	Show on GC/CDC Plans & Specs	Complier Check	
Windows and glazed doors				
The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door.	✓	✓	✓	
The following requirements must also be satisfied in relation to each window and glazed door:				
Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions.	✓	✓	✓	
Each window or glazed door with improved frames, or polyethylene-glass, or clearstar polycarbonate glazing, or bonded glass glazing must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Performance Rating Council (NPRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may still be suitable.	✓	✓	✓	
For translucent descriptions in millimetres, the leading edge of each pane, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill.	✓	✓	✓	
Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35.	✓	✓	✓	
External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully drawn or closed.	✓	✓	✓	
Pergolas with fixed battens must have battens parallel to the window or glazed door above which they are situated, unless the pergola shows a perpendicular view. The spacing between battens must not be more than 10 mm.	✓	✓	✓	
Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓			

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BASIX Certificate Number: A1751207


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Legend

In-Basis commitments, "applicant" means the person carrying out the developments.

Commitments identified with a  in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).

Commitments identified with a  in the "Show on CC/CDC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate / complying development certificate for the proposed development.

Commitments identified with a  in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

Planning Industry And Environment

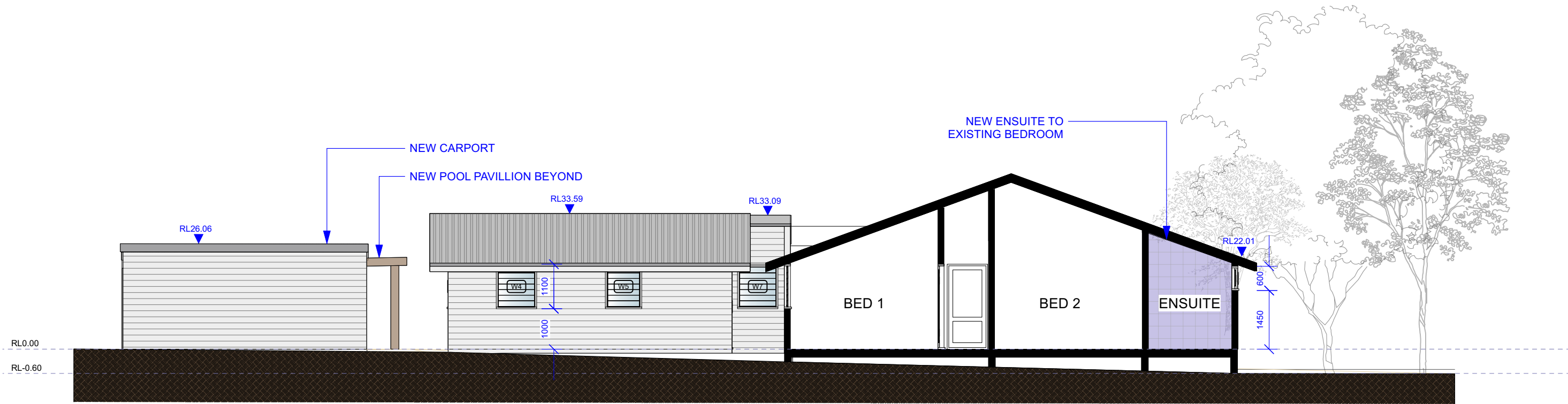
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No.	Date	REVISION	By	Stage	NASHUA HOUSE	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION	NASHUA HOUSE	DA1.06
B	15/06/2024	REVISED PLAN	TL			
No.	Date	ISSUE	By	Address	Drawing Title	Rev # B SCALE PAGE
				58 TAYLORS ROAD NASHUA	SECTIONS	ISSUE # 1:100@A3
				Client RICHARD + DANNIELLE COLLIN	Project No.	Dwg Date: 060623 Plot Date: Checked By MS Drawn By TL



1 SECTION B
Scale: 1:100

DA ISSUE

Notes

ALL HEIGHTS TAKEN FROM EXISTING FINISHED FLOOR LEVEL

ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	NASHUA HOUSE	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION		DA1.07
B	15/06/2024	REVISED PLAN	TL	Address 58 TAYLORS ROAD NASHUA		
No.	Date	ISSUE	By	SECTIONS	Drawing Title	Rev # B SCALE PAGE
					ISSUE # 1:100@A3	
				Client RICHARD + DANNIELLE COLLIN	Project No.	Dwg Date: 060623 Plot Date:
						Checked By MS Drawn By TL