

# LANTERN HOUSE

23 MARINE PARADE, BYRON BAY

DRAWING SCALE

A0.01	COVER PAGE & DRAWING SCHEDULE
A0.02	DEVELOPMENT SUMMARY / LOCATION PLAN
A1.01	EXISTING SURVEY
A1.02	EXISTING SITE PLAN
A1.03	PROPOSED SITE STRATAPLAN
A1.04	PROPOSED SITE PLAN
A2.01.1	LOT A - DEMOLITION
A2.01.2	LOT B - DEMOLITION
A2.02.1	LOT A_GL_PROPOSED
A2.02.2	LOT A_FL_PROPOSED
A2.02.3	LOT A_ROOF_PROPOSED
A2.02.4	LOT B_GL_EXISTING

REV

A7.02	LOT B_LANDSCAPING PLAN	05
A8.01	SUNSTUDY PLAN	05
A9.01	PERSPECTIVES	05





Certificate No. 0011604691-02

Scan QR code or follow website link for rating details.

Assessor name

James Cross

Accreditation No.

61671

Property Address

23 Marine Parade, Byron Bay NSW, 2481



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ISSUE DATE	REVISION ID	ISSUE NAME	DRAWN / CHECKED / SCALE / PAPER	VN / HG / A3
16/08/2024	02	Consultant Review		
14/11/2024	03	DA		
5/12/2024	04	DA		
13/12/2024	05	DA		

PROJECT: HGA 265

JOB No: STEPHEN RING

CLIENT: 23 MARINE PARADE, BYRON BAY

ADDRESS:

DRAWING TITLE :	TITLE SHEETS
COVER PAGE & DRAWING SCHEDULE	
STATUS :	LANTERN HOUSE

DRAWING NO.	A0.01
REVISION NO.	05
	13/12/2024



DEVELOPMENT SUMMARY  
23 MARINE PARADE, BYRON BAY

LOT A GFA

GROUND FLOOR: 30m2  
FIRST FLOOR: 137m2

LOT GFA: 167m2  
LOT AREA: 401.6m2

LOT B GFA

GROUND FLOOR: 86m2

LOT GFA: 86m2  
LOT AREA: 401.6m2

TOTAL GFA: 253m2  
SITE AREA: 803.25m2  
FSR: 0.3





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Assessor nameJames Cross

Accreditation No.61671

Property Address23 Marine Parade,Byron Bay  
NSW,2481



QUIREMENTS AS  
IFICATE N#: 1776817M &

E REPORT N# LFA23014 BY  
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



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Accreditation Period 31/03/2024-31/03/2025  
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Assessor Number 61671  
Assessor Signature

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13/12/2024	05	DA		

PROJECT: LANTERN HOUSE	
JOB No: HGA 269	
CLIENT: STEPHEN RING	
ADDRESS: 23 MARINE PARADE, BYRON BAY	

DRAWING TITLE :	TITLE SHEETS
DEVELOPMENT SUMMARY / LOCATION PLAN	
STATUS :	LANTERN HOUSE

DRAWING NO.	A0.02
REVISION NO.	05
	13/12/2024



Tree Schedule				
Tree	Type	Diameter	Spread	Height
T1	EXOTIC	0.2	6	4
T2	EXOTIC	0.1	2	3
T3	EXOTIC	0.1	2	3
T4	EXOTIC	0.4	6	4
T5	EXOTIC	0.2	2	2
T6	PALM	0.3	4	8
T7	EXOTIC	0.3	6	8
T8	EXOTIC	0.3	6	8
T9	PALM	0.2	4	5
T10	PALM	0.2	4	5
T11	EXOTIC	0.2	2	4
T12	PALM	0.2	2	4
T13	PALM	0.2	2	4
T14	EXOTIC	0.5	5	5
T15	PALM	0.2	6	8
T16	EXOTIC	1.2	6	8
T17	PALM	0.2	2	4
T18	JACARANDA	0.2	6	8
T19	PALM	0.3	8	18
T20	PALM	0.5	6	6
T21	LILLI PILLI	0.1	1	2
T22	LILLI PILLI	0.1	1	2
T23	LILLI PILLI	0.1	1	2
T24	LILLI PILLI	0.1	1	2
T25	LILLI PILLI	0.1	1	2
T26	LILLI PILLI	0.1	1	2
T27	LILLI PILLI	0.1	1	2
T28	LILLI PILLI	0.1	1	2
T29	LILLI PILLI	0.1	1	2
T30	LILLI PILLI	0.1	1	2
T31	LILLI PILLI	0.1	1	2
T32	LILLI PILLI	0.1	1	2
T33	LILLI PILLI	0.1	1	2
T34	LILLI PILLI	0.1	1	2
T35	PALM	0.2	4	5
T36	PALM	0.2	4	5
T37	PALM	0.2	2	4
T38	PALM	0.2	6	4
T39	PINE	0.5	4	20
T40	PALM	0.3	4	4
T41	PALM	2.5	16	8
T42	PALM	0.4	8	10
T43	PALM	0.3	8	10
T44	EXOTIC	0.3	8	6
T45	EXOTIC	0.2	16	6
T46	EXOTIC	0.3	8	6
T47	EXOTIC	0.3	8	6
T48	EXOTIC	0.2	8	6
T49	EXOTIC	0.1	1	4
T50	PALM	0.4	7	4
T51	PALM	0.4	7	4
T52	PALM	0.3	6	8
T53	PALM	0.2	6	10
T54	PALM	0.2	6	8
T55	PALM	0.2	6	8
T56	PALM	0.2	6	10
T57	PALM	0.2	6	10
T58	PALM	0.2	6	10
T59	EXOTIC	0.05	2	6
T60	EXOTIC	0.04	2	6
T61	EXOTIC	0.04	2	6
T62	EXOTIC	0.04	2	6
T63	EXOTIC	0.04	2	6
T64	EXOTIC	0.04	2	6
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T96	EXOTIC	0.04	2	6
T97	EXOTIC	0.04	2	6
T98	EXOTIC	0.04	2	6
T99	EXOTIC	0.04	2	6
T100	EXOTIC	0.04	2	6



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LEGEND:

Road

Kerb Back

Kerb Invert

Edge of Blumem

Edge of Gravel

Road Crown

Traffic Park Meter

Traffic Light

Traffic Pill

Traffic Sign

Traffic Post Box

Structures

Building Line

Roof Ridgeline

Fence Line

Gate

Hand Rail

Cattle Grid

Bollard

Sewer

Sewer Line

Valve

Inspection Opening

Manhole

Electrical

Electricity Line

Overhead Line

Pits/Manholes

Pole

Street Light

Light In-Ground

Water

Water Line

Meter

Valve

Fire Hydrant

Tap

Sprinkler

Fuel

Fuel Line

Filling

Terrain

Driveway

Footpath

Retaining Wall Base

Retaining Wall Top

Change of Grade

Top of Bank

Toe of Bank

Waterline

Garden Edge

Creek Top of Bank

Creek Invert

Creek Waterline

Tree

Tree Canopy

Control Point/PSM

Drainage

Drainage line

Open Drain

Manhole

Field Inlet

Downpipe

Communications

Communication Line

Overhead Line

Pits/Manholes

Pillar

Gas

Gas Line

Valve

Marker

Pothole

Subsurface Utility - QL

\* QL-A (Hx50mm,Vx500mm)

\* QL-B (Hx300mm,Vx500mm)

\* QL-C (Hx300mm,Vx500mm)

\* QL-D (Exist Record)

- NOTES:
1. Drawn to scale on an A1 sheet.
  2. Contour Interval... 0.25m
  3. All levels are in metres on the Australian Height Datum referred to SSM90396 - RL 5.813 AHD situated in Marine Parade.
  4. All Boundaries are vide title and subject to confirmation by survey. CT distances shown only.
  5. The Location of Underground services are in accordance with AS5488:2019, the Australian Standard for classification of Subsurface Utility Information (SUI). The exact nature and location of these services should be confirmed prior to construction.
  6. Area vide Title : 796.7m<sup>2</sup>
  7. Field Survey Completed on 15.06.2023.
  8. This Detail Survey is not a 'Survey' as defined by the Surveying Act 2002. If any construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
  9. Tree species should be verified by a suitably qualified professional. Tree spreads are diagrammatic only and may not be symmetrical. Heights and spreads are approximate only.

- (B) Rendered Pizza Oven  
(C) Metal Building Metal Roof  
(D) Timber Awning over Tiled Patio  
(S) Easement for Retaining Wall 0.2 Wide by D.P.1107057  
(R) Easement for Right of Carriageway variable width by D.P.1107057

Level datum: AHD Derived (SSM90396)  
Horiz datum: MGA Derived PLAN (D.P.1078033)  
Coord Origin: SSM (SCIMS) (SSM90396)  
GDA System: GDA2020 Coordinate System: Plane 1:1  
Meridian: +9°31'35" D.P.244699

Title: **DETAIL SURVEY**  
**Lot 4 D.P.244699**  
**23 Marine Parade, Byron Bay**

Client:	Stephen Ring		
Locality:	Byron Bay		
Local Gov:	Byron Shire Council		
Surveyed By:	PB	Approved:	SAT
Date Created:	14/07/23	Scale:	1:200
File Ref:	230684		
Plan No:	230684_001_DET	Rev:	A

Page 1 of 1

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Assessor name James Cross

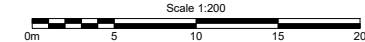
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892

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ISSUE DATE	REVISION ID	ISSUE NAME	DRAWN BY:	CHECKED BY:	SCALE	PAPER
16/08/2024	02	Consultant Review	YN	HG	1:2.31	A3
14/11/2024	03	DA	DA	DA	DA	DA
5/12/2024	04	DA	DA	DA	DA	DA
13/12/2024	05	DA	DA	DA	DA	DA

PROJECT: LANTERN HOUSE  
JOB No: HGA 268  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE: **SITE EXISTING SURVEY**  
STATUS: **LANTERN HOUSE**

DRAWING NO. **A1.01**  
REVISION NO. **05**  
13/12/2024



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Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
  
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**HGA.**  
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13/12/2024	05	DA

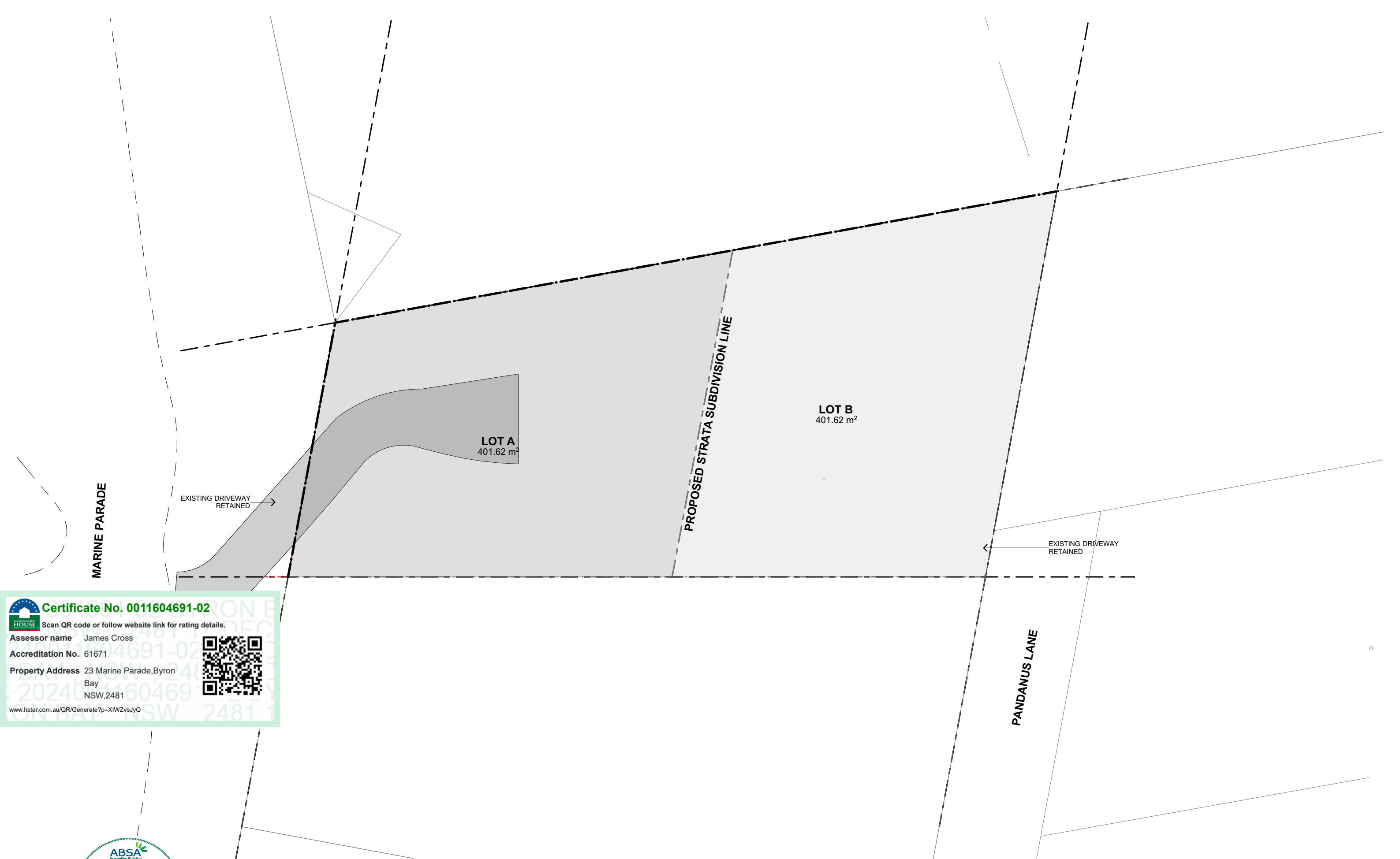


DRAWN BY:	VN
CHECKED BY:	HG
SCALE	A3
PAPER	
PROJECT:	LANTERN HOUSE
JOB No:	HGA 266
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :	SITE
	EXISTING SITE PLAN
STATUS :	LANTERN HOUSE

DRAWING NO.	A1.02
REVISION NO.	05
	13/12/2024





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**Property Address** 23 Marine Parade, Byron Bay NSW, 2481



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<b>SCALE</b> A3	
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<b>PROJECT:</b> LANTERN HOUSE	
<b>JOB No:</b> HGA 266	
<b>CLIENT:</b> STEPHEN RING	
<b>ADDRESS:</b> 23 MARINE PARADE, BYRON BAY	

**DRAWING TITLE :**  
**SITE**  
**PROPOSED SITE STRATA PLAN**  
**STATUS :**  
**LANTERN HOUSE**

**DRAWING NO.**  
**A1.03**  
**REVISION NO.**  
**05**  
13/12/2024







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DRAWN BY: VN

CHECKED BY: HG

SCALE: A3

PAPER: A3

PROJECT: LANTERN HOUSE

JOB No: HGA 266

CLIENT: STEPHEN RING

ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE :

SITE PROPOSED SITE PLAN

STATUS :

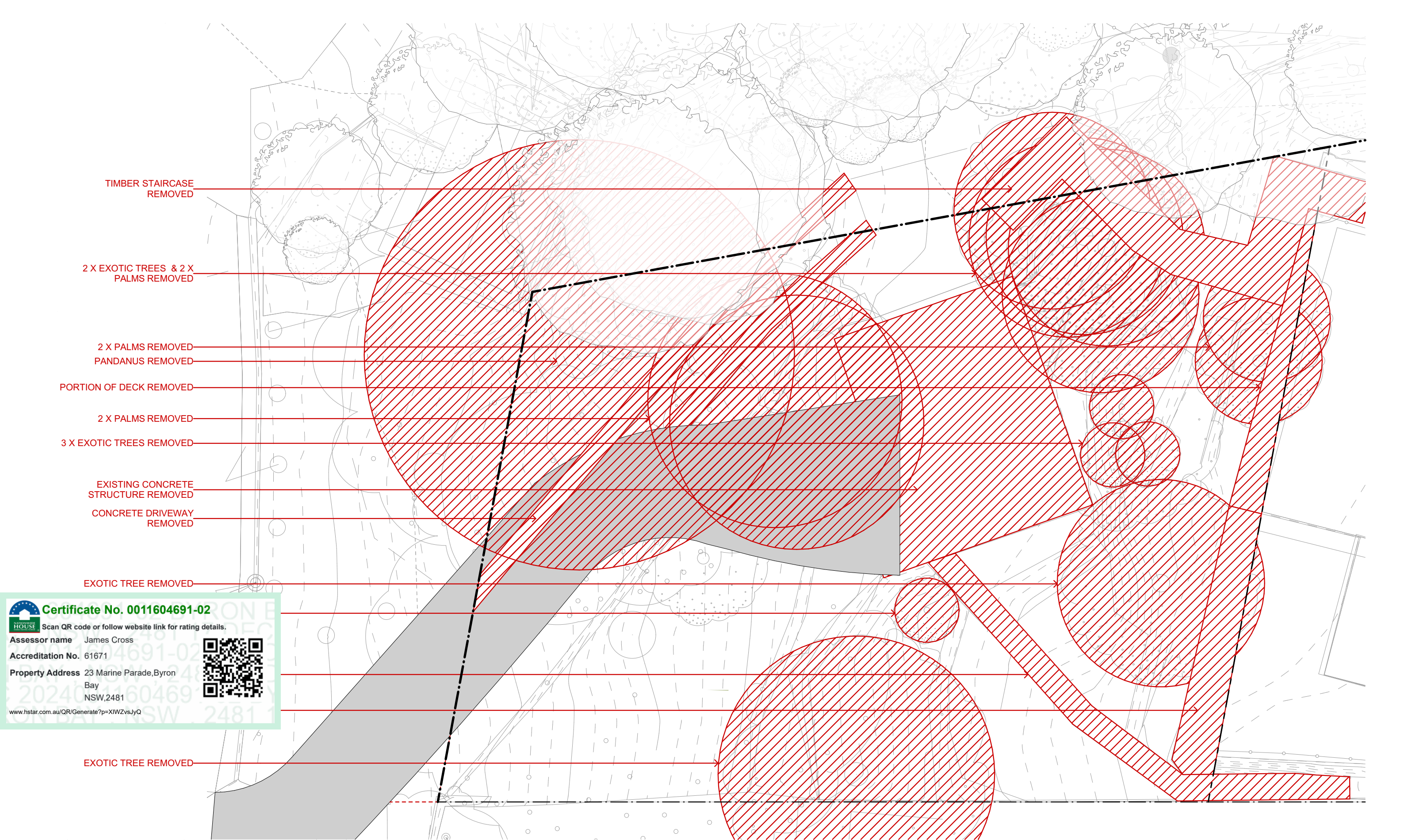
LANTERN HOUSE

DRAWING NO. A1.04

REVISION NO. 05

13/12/2024





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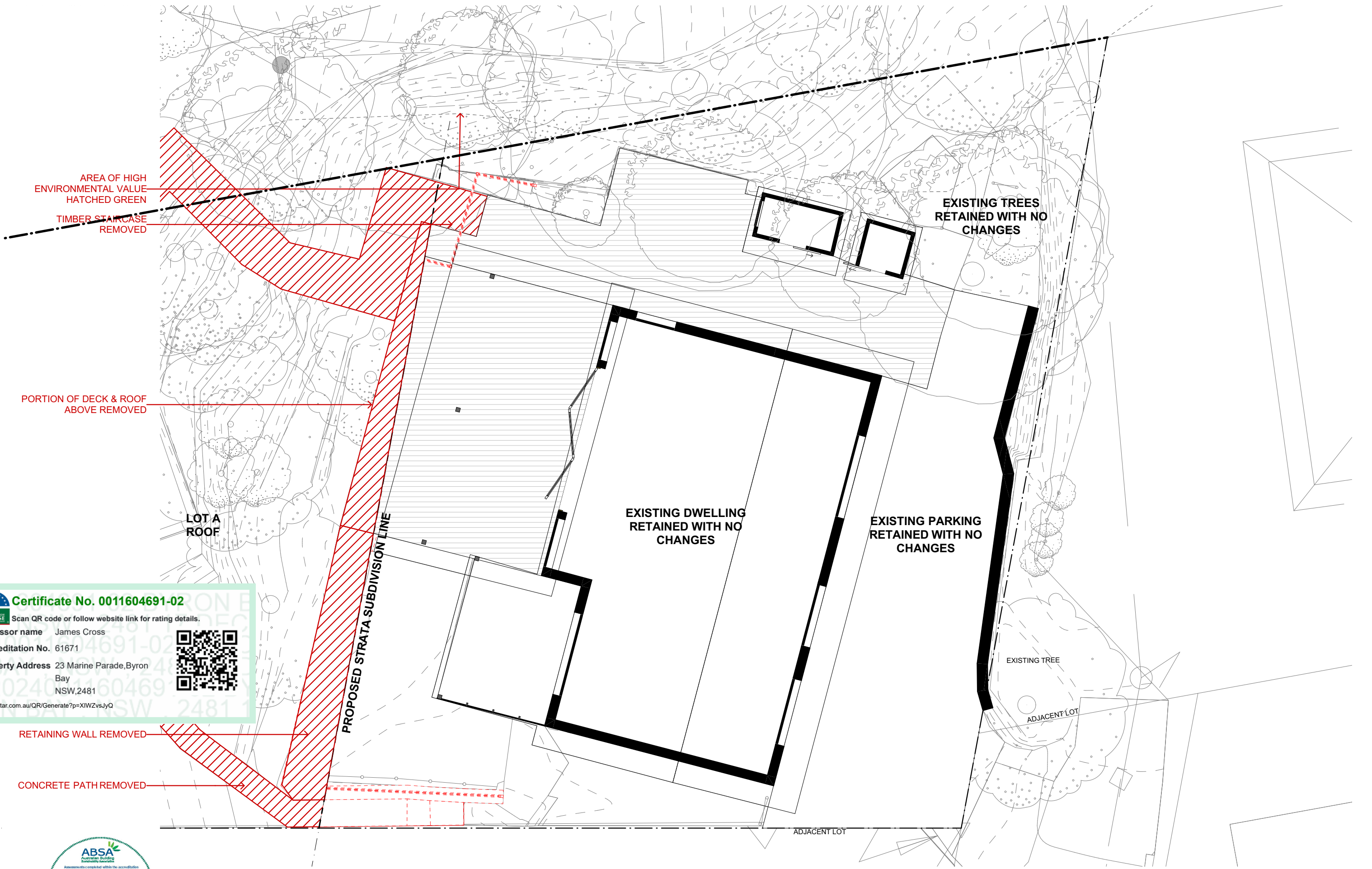



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<b>CHECKED BY:</b>	HG
<b>SCALE</b>	A3
<b>PAPER</b>	
<b>PROJECT:</b>	LANTERN HOUSE
<b>JOB No:</b>	HGA 205
<b>CLIENT:</b>	STEPHEN RING
<b>ADDRESS:</b>	23 MARINE PARADE, BYRON BAY

<b>DRAWING TITLE :</b>	DEMOLITION <b>LOT A - DEMOLITION</b>
<b>STATUS :</b>	<b>LANTERN HOUSE</b>

<b>DRAWING NO.</b>	<b>A2.01.1</b>
<b>REVISION NO.</b>	<b>05</b>
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Assessor Number 61671

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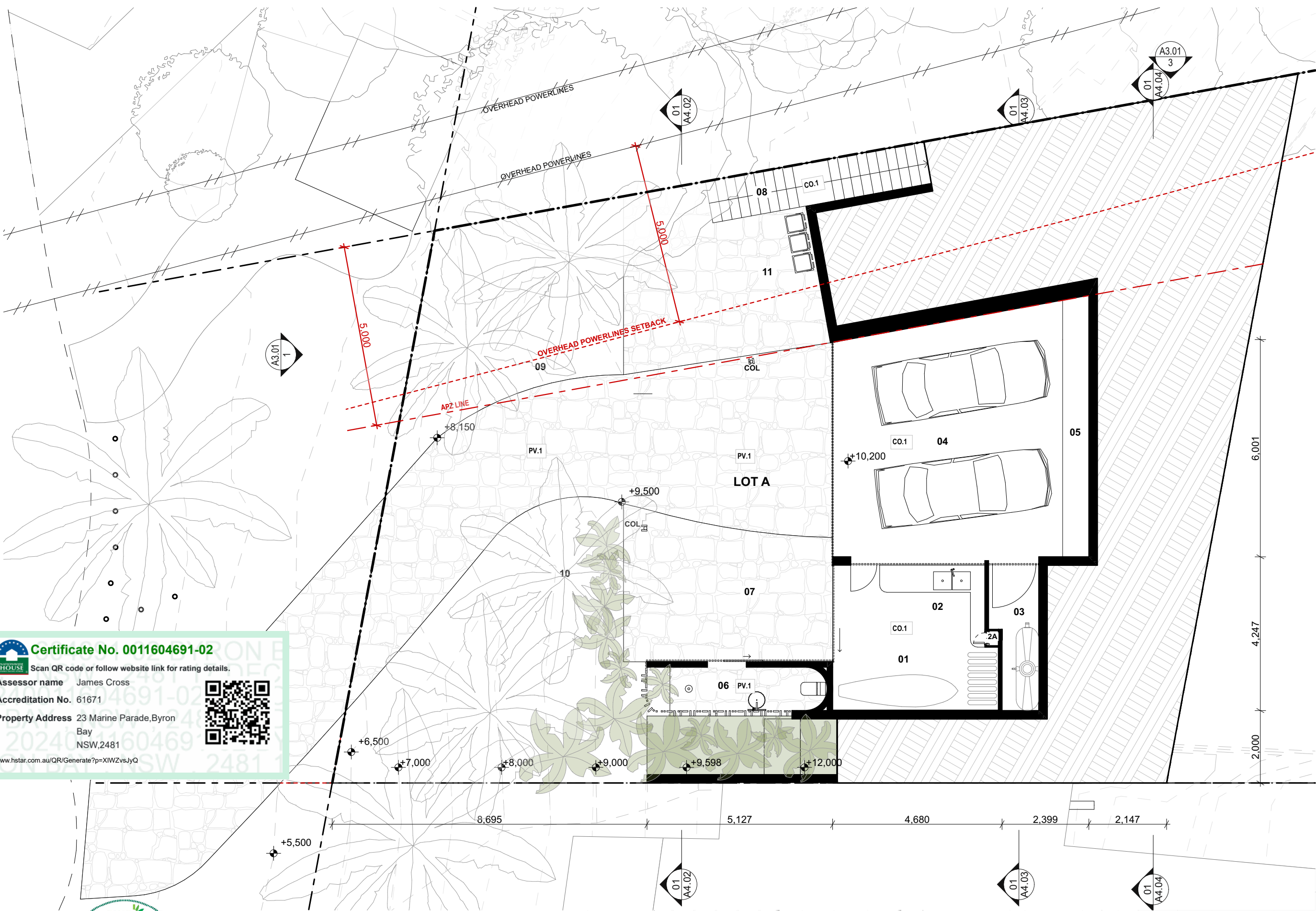


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ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :	DEMOLITION
	LOT B - DEMOLITION
STATUS :	LANTERN HOUSE

DRAWING NO.	A2.01.2
REVISION NO.	05
	13/12/2024





- LAYOUT LEGEND
- 01 SURF STORE
  - 02 LAUNDRY
  - 2A LAUNDRY CHUTE
  - 03 RAINWATER TANK
  - 04 GARAGE
  - 05 STORAGE
  - 06 OUTDOOR SHOWER & WC
  - 07 REVERSING BAY
  - 08 STAIRS UP
  - 09 GARDEN PATH TO BEACH
  - 10 EXIST. PANDANUS
  - 11 BIN STORAGE

- MATERIAL LEGEND
- CT.1 CERAMIC TILES
  - MRS.1 METAL ROOF SHEETING
  - PV.1 COBBLESTONE PAVING
  - TB.1 TIMBER BATTENS
  - TF.1 TIMBER FLOORING
  - CO.1 CONCRETE

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Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
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SED

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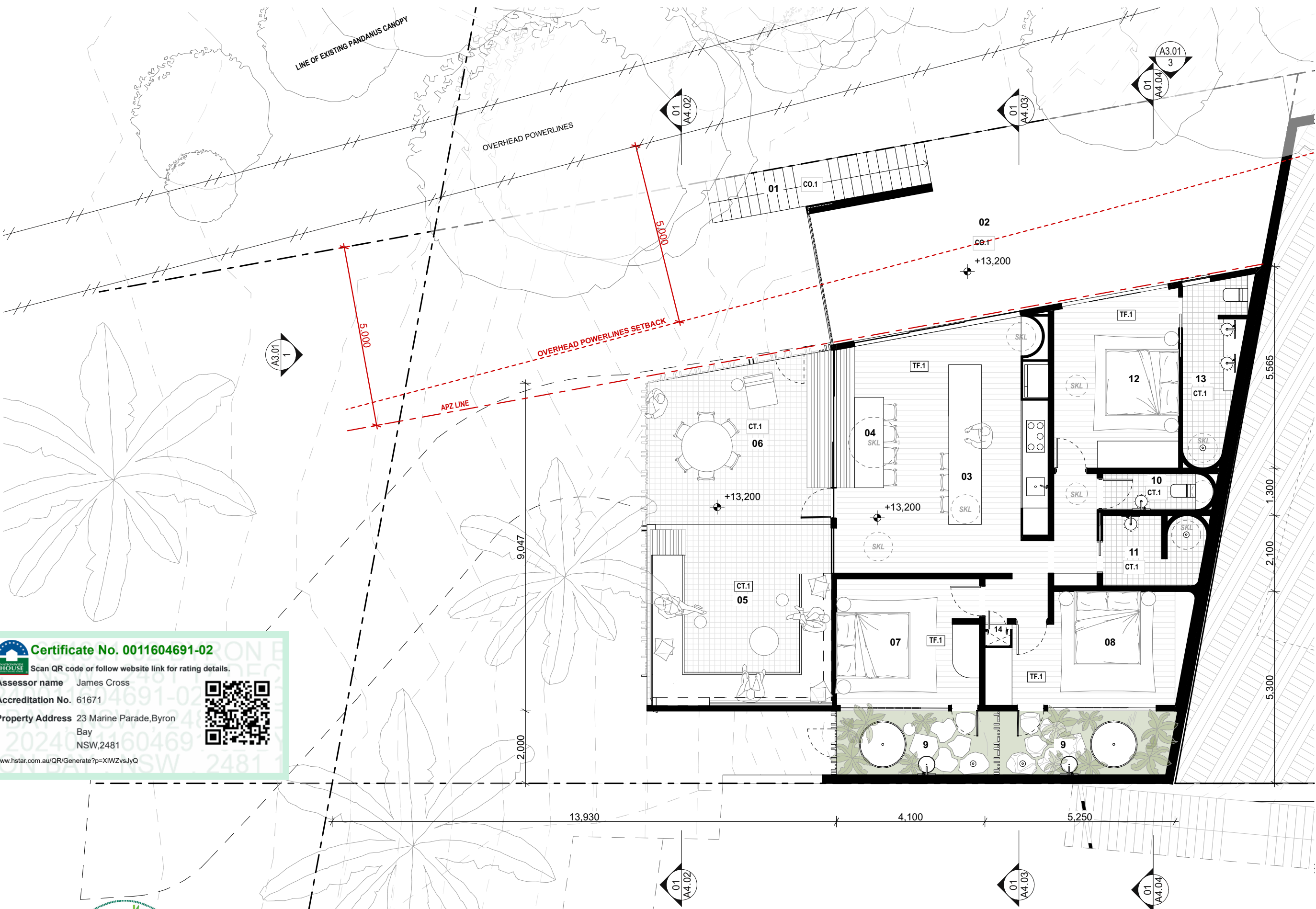
ISSUE DATE	REVISION ID	ISSUE NAME
16/08/2024	02	Consultant Review
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA

DRAWN BY: VN  
CHECKED BY: HG  
SCALE: 1:100  
PAPER: A3  
PROJECT: LANTERN HOUSE  
JOB No: HGA 268  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE :  
PROPOSED  
LOT A\_GL\_PROPOSED  
STATUS:  
LANTERN HOUSE

DRAWING NO.  
A2.02.1  
REVISION NO.  
05  
13/12/2024





- LAYOUT LEGEND
- 01 STAIRS DOWN
  - 02 SLAB ON GROUND
  - 03 KITCHEN
  - 04 DINING
  - 05 OUTDOOR ROOM
  - 06 BALCONY
  - 07 BED 2
  - 08 BED 3
  - 09 LANDSCAPED TERRACE
  - 10 POWDER ROOM
  - 11 BATHROOM
  - 12 BED 1
  - 13 ENSUITE
  - 14 LAUNDRY CHUTE

- MATERIAL LEGEND
- CT.1 CERAMIC TILES
  - MRS.1 METAL ROOF SHEETING
  - PV.1 COBBLESTONE PAVING
  - TB.1 TIMBER BATTENS
  - TF.1 TIMBER FLOORING
  - CO.1 CONCRETE

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Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
www.hstar.com.au/QR/Generate?p=XIWZvsJyQ

**01.** **SED**  
ABSA Australian Building Sustainability Association  
Assessments completed within the accreditation period are part of the ABSA quality audit system.  
Accreditation Period 31/03/2024-31/03/2025  
Assessor Name James Cross  
Assessor Number 61671  
Assessor Signature

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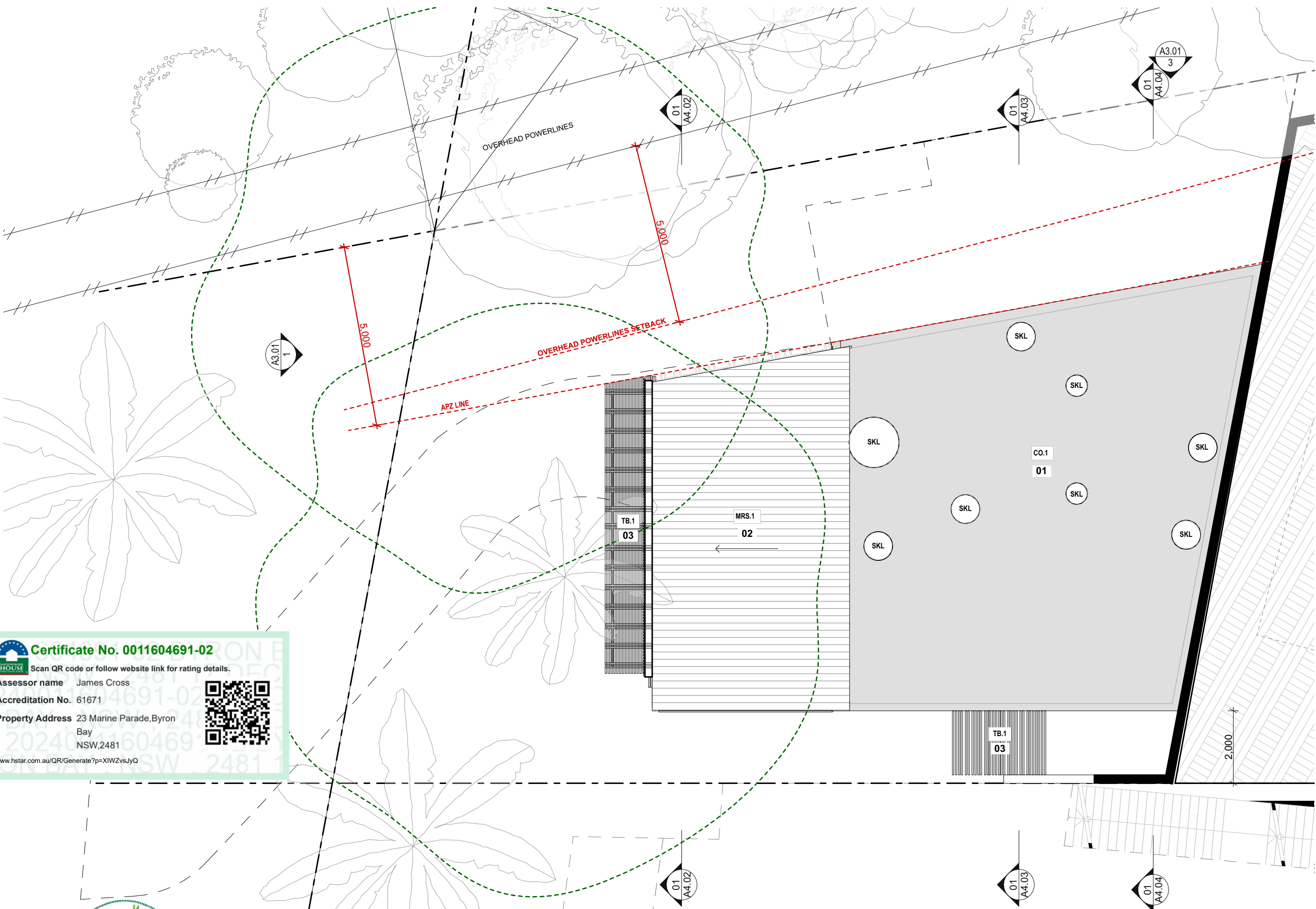
ISSUE DATE	REVISION ID	ISSUE NAME
16/08/2024	02	Consultant Review
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5/12/2024	04	DA
13/12/2024	05	DA

DRAWN BY: VN  
CHECKED BY: HG  
SCALE: 1:100  
PAPER: A3  
PROJECT: LANTERN HOUSE  
JOB No: HGA 208  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE: PROPOSED LOT A FL PROPOSED  
STATUS: LANTERN HOUSE  
DRAWING NO. A2.02.2  
REVISION NO. 05  
13/12/2024

**HGA.**  
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892







LAYOUT LEGEND

- 01 FLAT ROOF  
02 PITCHED ROOF  
03 AWNING

MATERIAL LEGEND

- CT.1 CERAMIC TILES  
MRS.1 METAL ROOF SHEETING  
PV.1 COBBLESTONE PAVING  
TB.1 TIMBER BATTENS  
TF.1 TIMBER FLOORING  
CO.1 CONCRETE

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Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
  
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Australian Building Sustainability Association  
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Accreditation Period 31/03/2024-31/03/2025  
Assessor Name James Cross  
Assessor Number 61671  
Assessor Signature

PROPOSED

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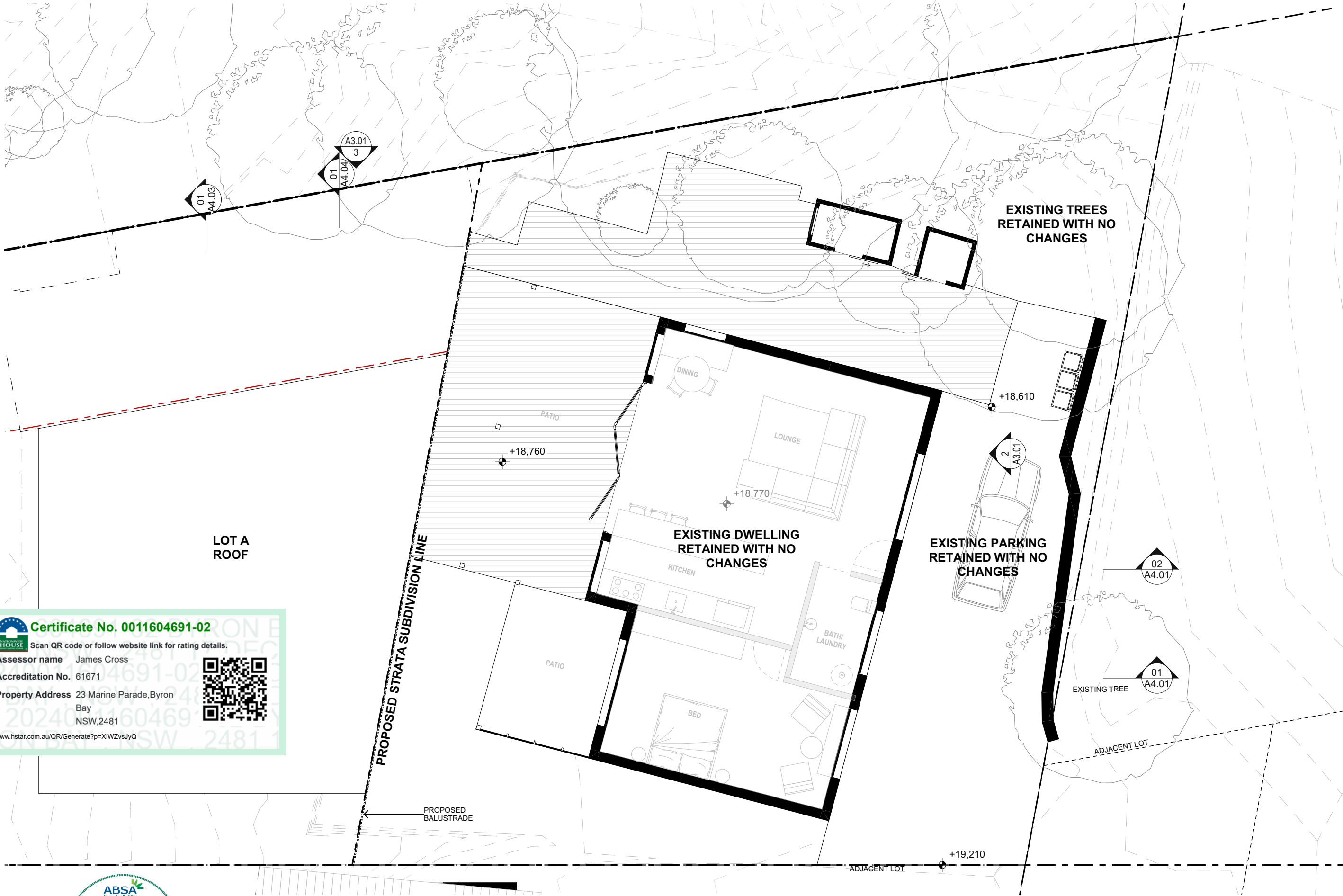
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CHECKED BY:	HG
SCALE	1:100
PAPER	A3
PROJECT:	LANTERN HOUSE
JOB No:	HGA 268
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY



DRAWING TITLE :  
PROPOSED  
**LOT A ROOF PROPOSED**  
STATUS :  
**LANTERN HOUSE**

DRAWING NO.  
**A2.02.3**  
REVISION NO.  
**05**  
13/12/2024


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Accreditation Period 31/03/2024-31/03/2025  
Assessor Name James Cross  
Assessor Number 61671  
Assessor Signature  
**HGA.**  
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T: 02 66809690 | A/N: 85198246003 | E: OFFICE@HARLEYGRAHAM.COM  
NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892

USED

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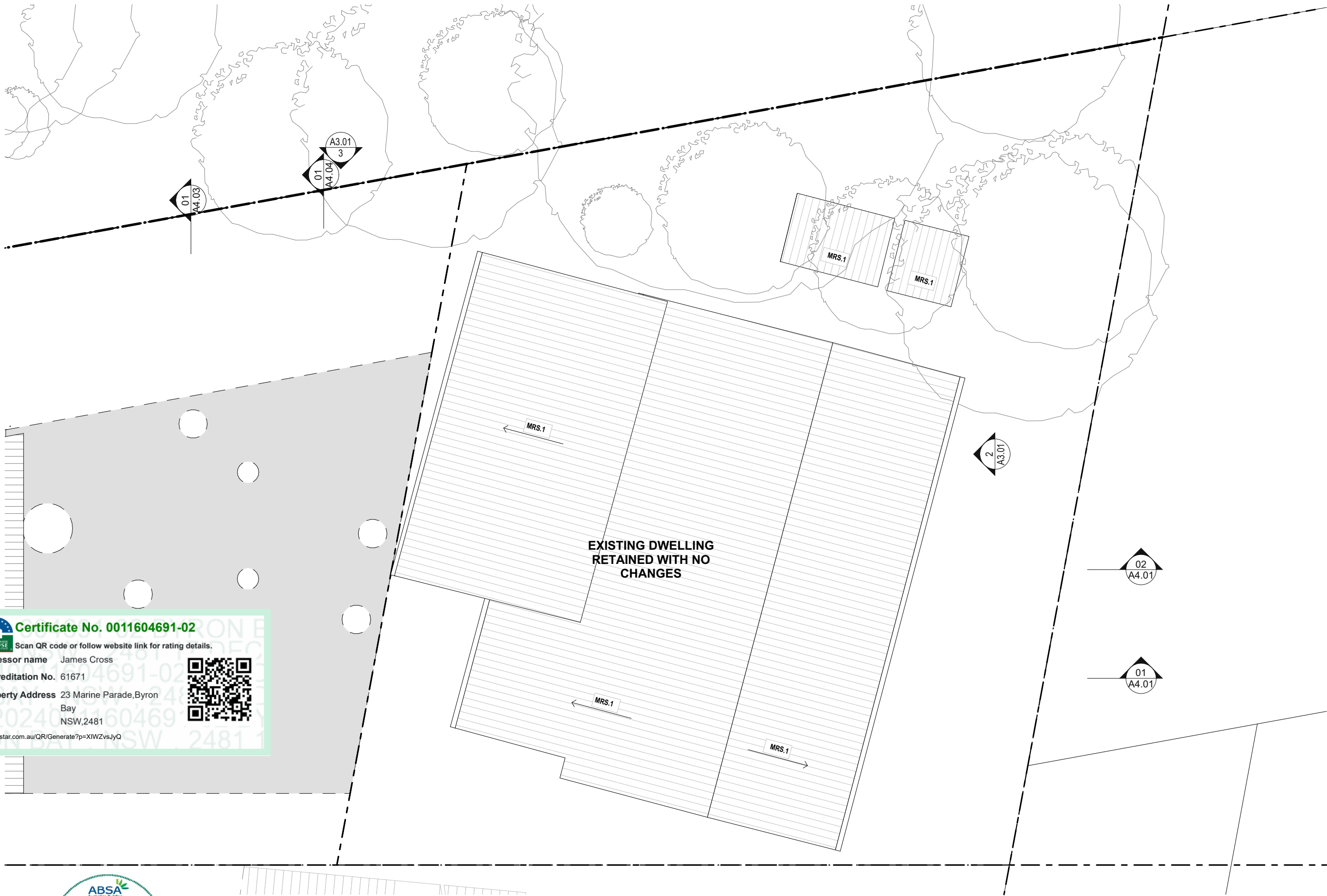
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5/12/2024	04	DA
13/12/2024	05	DA

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---	--

<b>DRAWING TITLE :</b>	<b>PROPOSED</b> <b>LOT B_GL_EXISTING</b>
<b>STATUS :</b>	<b>LANTERN HOUSE</b>

<b>DRAWING NO.</b> <b>A2.02.4</b>
<b>REVISION NO.</b> <b>05</b> 13/12/2024





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PROPOSED

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T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
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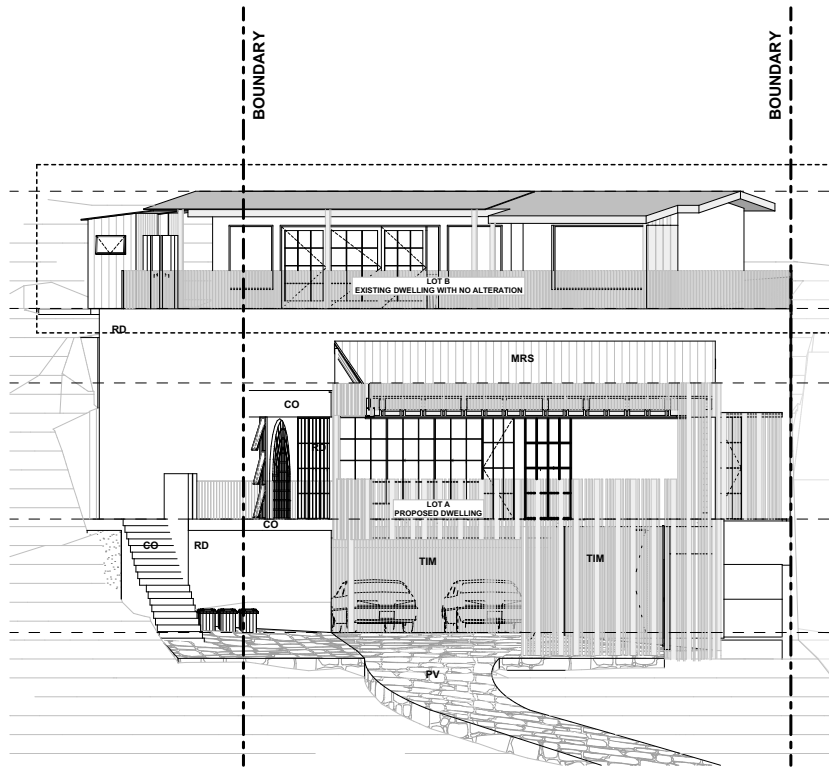
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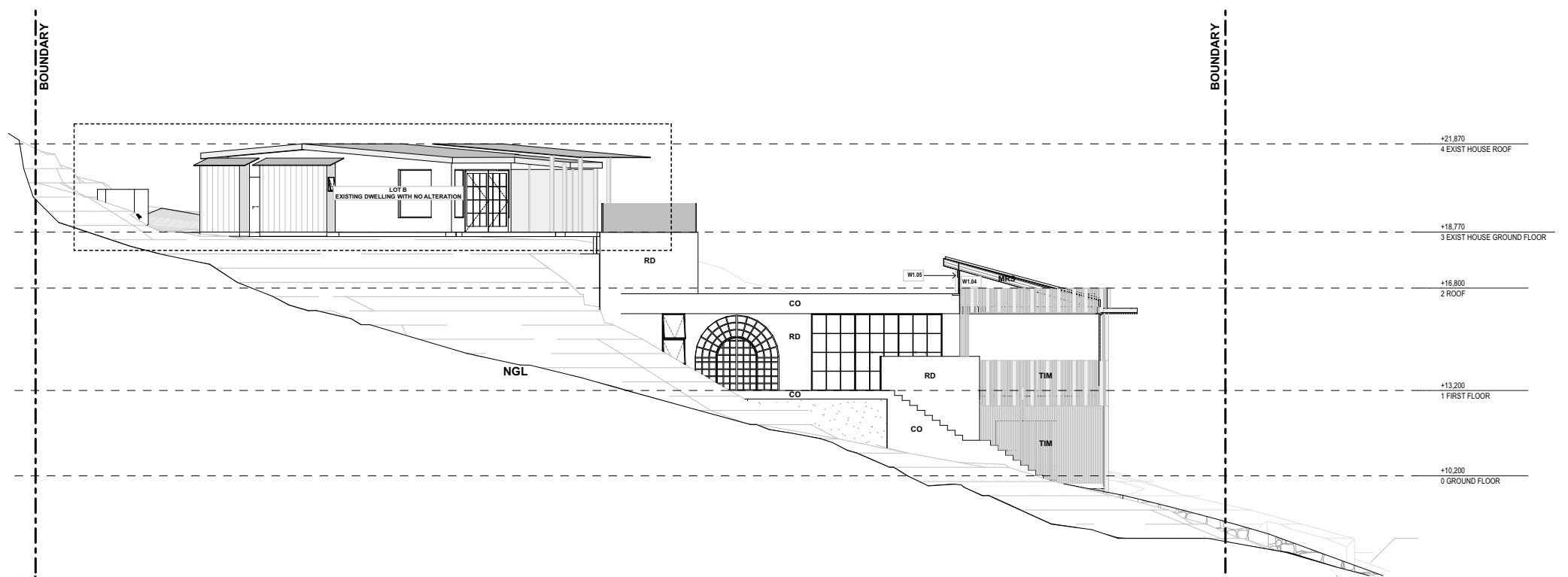
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**JOB No:** HGA 266  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE :**  
**PROPOSED**  
**LOT B\_ROOF\_EXISTING**  
**STATUS :**  
**LANTERN HOUSE**

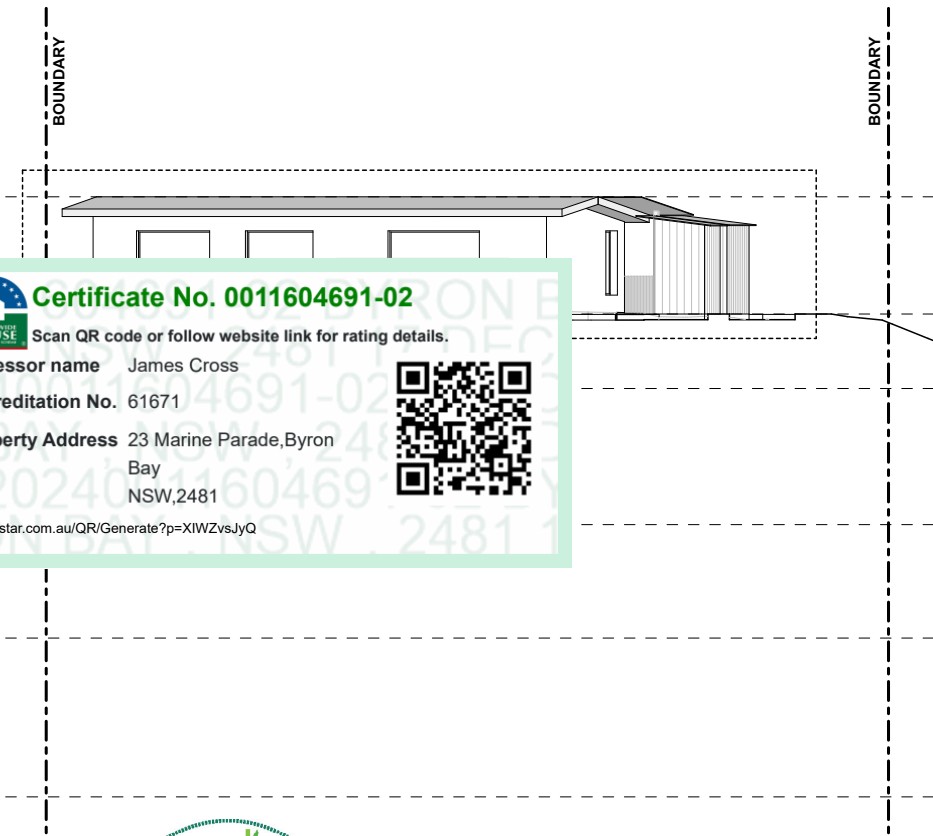
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**A2.02.5**  
**REVISION NO.**  
**05**  
13/12/2024



1. NORTH ELEVATION  
1:200



3. EAST ELEVATION  
1:200



4. WEST ELEVATION  
1:200

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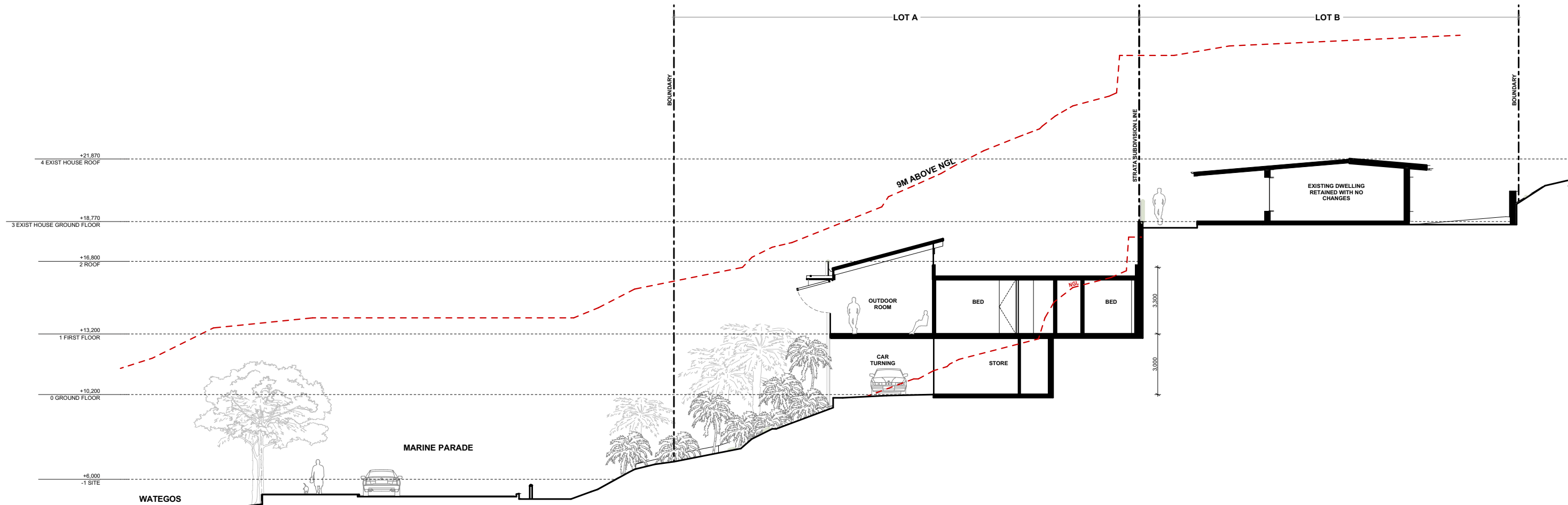
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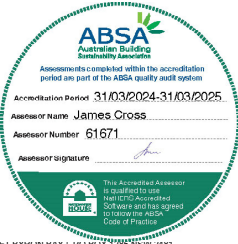
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<b>CLIENT:</b> STEPHEN RING	<b>ADDRESS:</b> 23 MARINE PARADE, BYRON BAY

<b>DRAWING TITLE:</b> ELEVATIONS	<b>DRAWING NO.:</b> A3.01
<b>STATUS:</b> LANTERN HOUSE	<b>REVISION NO.:</b> 05
	<b>13/12/2024</b>





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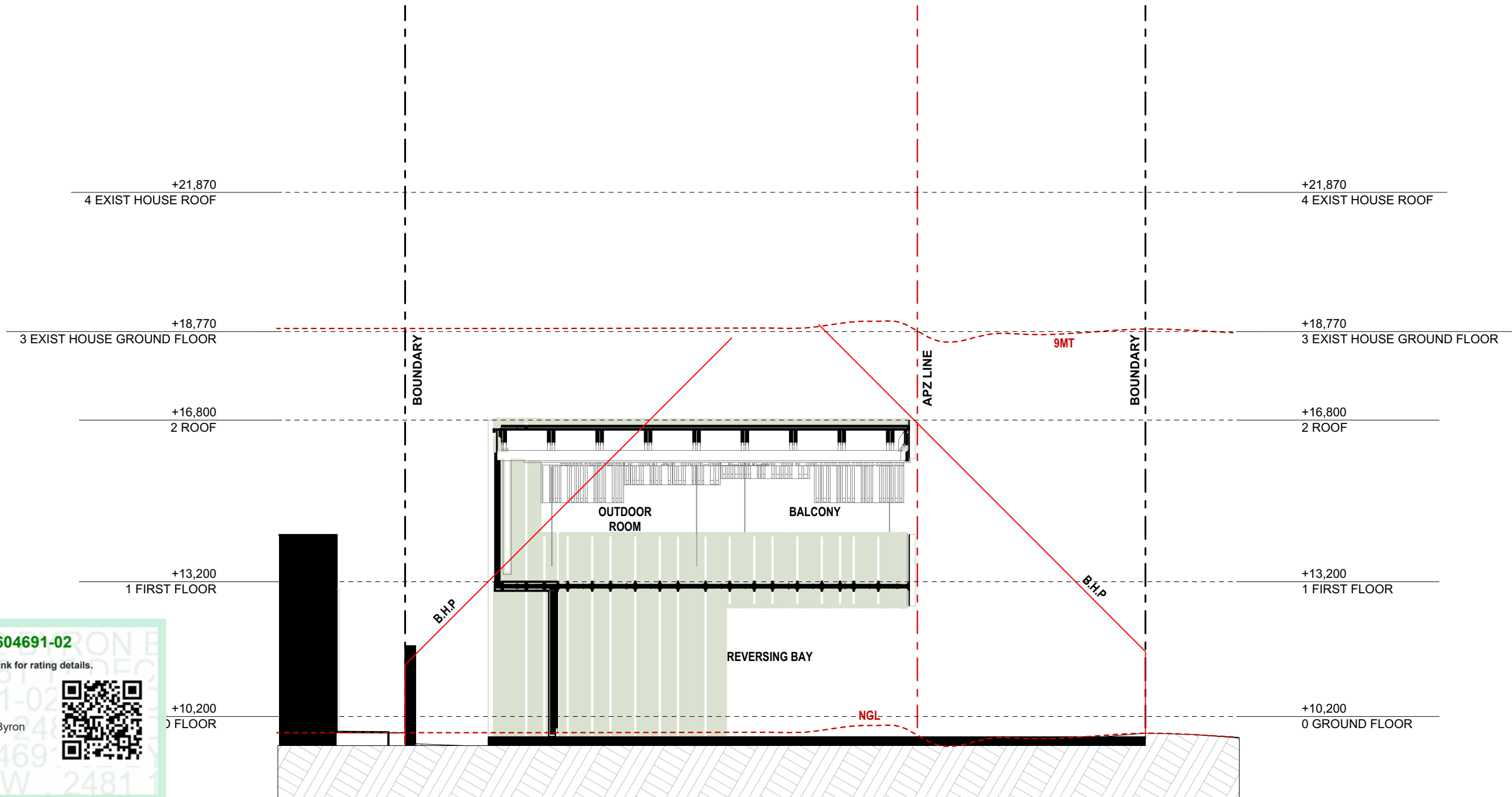
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**CHECKE** HG  
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**PAPER** A3  
**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 266  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE :**  
**STATUS :**

**SECTIONS**  
**LONG SECTION**  
**LANTERN HOUSE**

**DRAWING NO.**  
**A4.01**  
**REVISION NO.**  
**05**  
13/12/2024

**HGA.**  
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T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
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01. SHORT SECTION 01  
1:100

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**HGA.**  
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T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892

**ABSA**  
Australian Building Sustainability Association  
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Accreditation Period 31/03/2024-31/03/2025  
Assessor Name James Cross  
Assessor Number 61671  
Assessor Signature 

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14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA



DRAWN CHECKED SCALE PAPER	VN HG 1:100 A3
PROJECT: JOB No: CLIENT: ADDRESS:	LANTERN HOUSE HGA 205 STEPHEN RING 23 MARINE PARADE, BYRON BAY

DRAWING TITLE :	SECTIONS SHORT SECTIONS SHEET 1
STATUS :	LANTERN HOUSE

DRAWING NO. A4.02
REVISION NO. 05 13/12/2024





Certificate No. 0011604691-02

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Assessor name James Cross

Accreditation No. 61671

Property Address 23 Marine Parade, Byron Bay NSW, 2481

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01.

SHORT SECTION 02

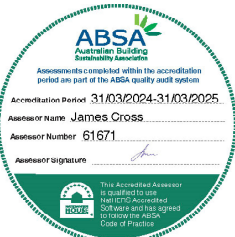
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Assessor Number 61671

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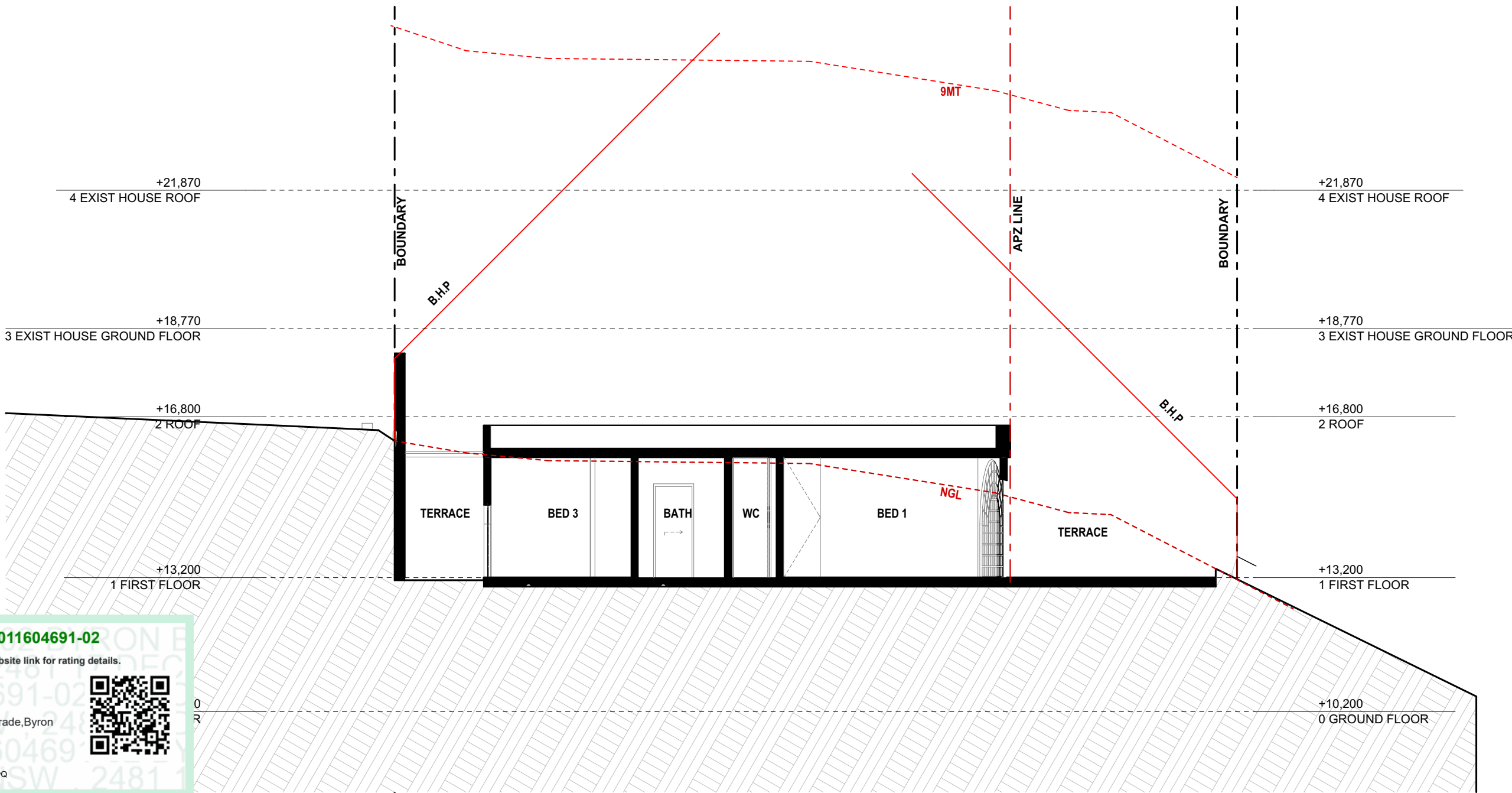
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DRAWN	VN
CHECKE	HG
SCALE	1:100
PAPER	A3
PROJECT:	LANTERN HOUSE
JOB No:	HGA 266
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :  
SECTION  
SHORT SECTION SHEET 2  
STATUS :  
LANTERN HOUSE

DRAWING NO.  
A4.03  
REVISION NO.  
05  
13/12/2024



01. **SHORT SECTION 03**  
1:100



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**HGA.**  
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892

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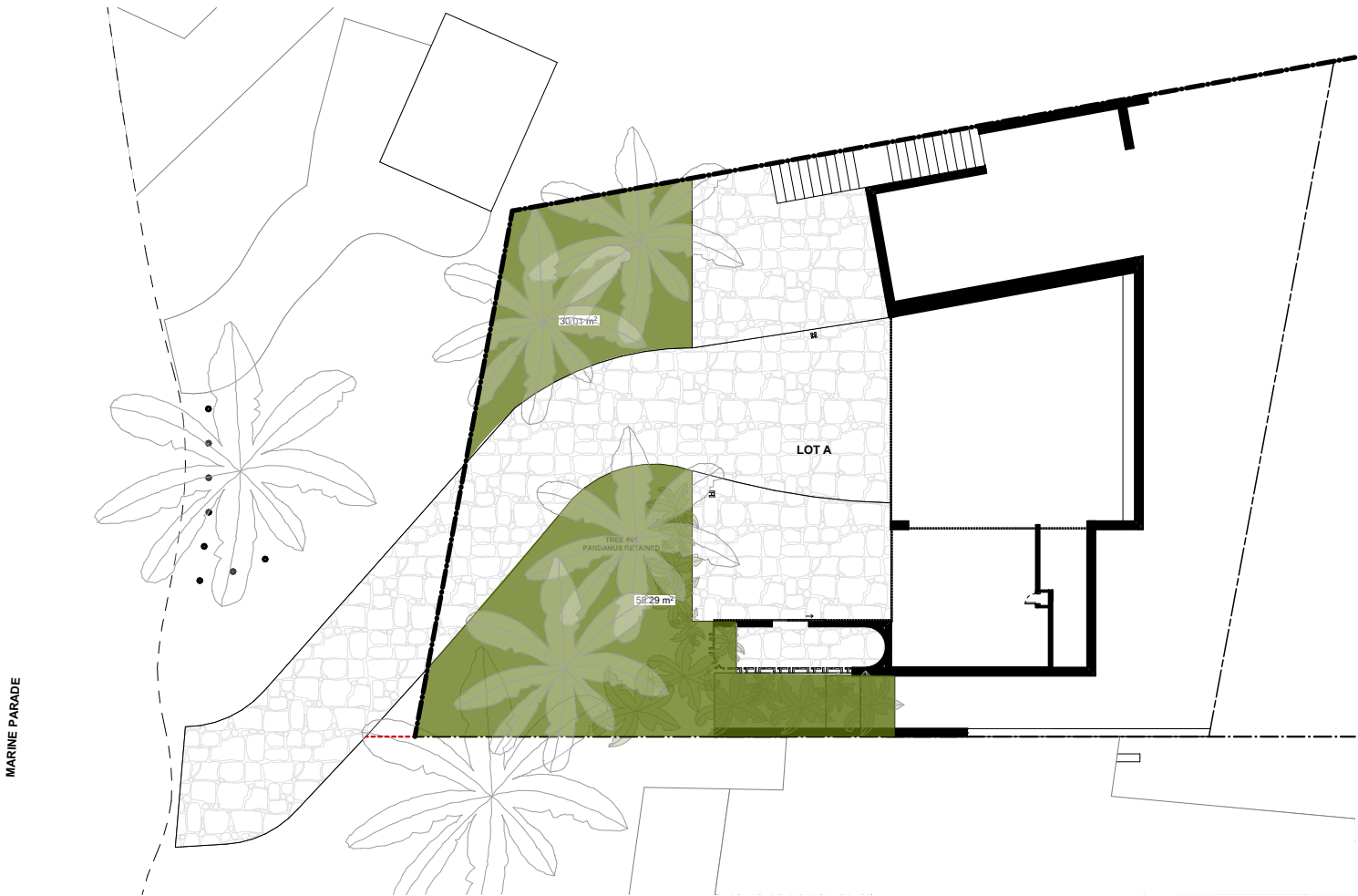
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CHECKE	HG
SCALE	1:100
PAPER	A3
PROJECT:	LANTERN HOUSE
JOB No:	HGA 266
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :	SECTIONS
	<b>SHORT SECTIONS SHEET 3</b>
STATUS :	<b>LANTERN HOUSE</b>

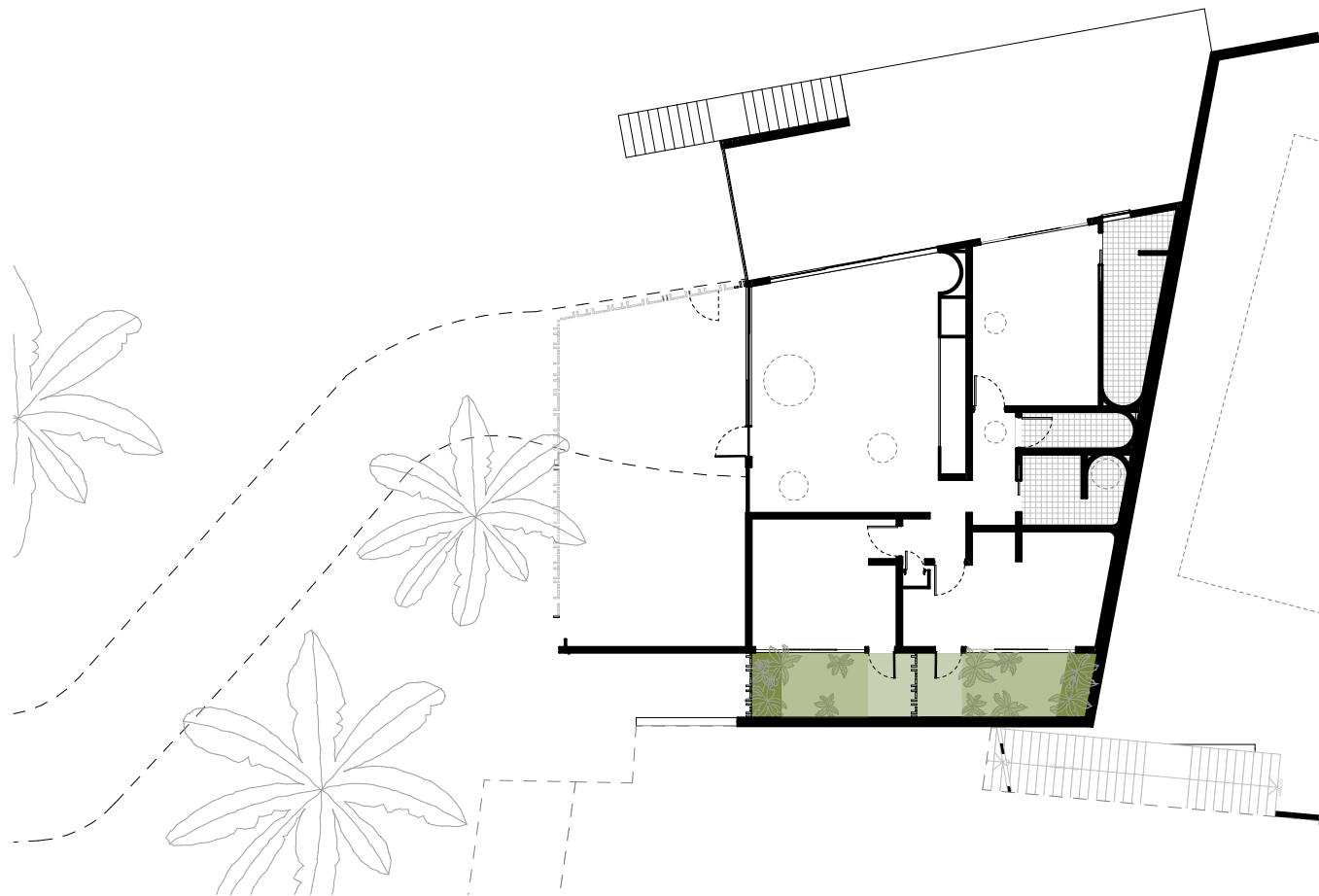
DRAWING NO.
<b>A4.04</b>
REVISION NO.
<b>05</b>
13/12/2024





LOT A\_LANDSCAPE PLAN



01. LOT A\_LANDSCAPE PLAN GL  
1:200



02. LOT A - LANDSCAPE PLAN FL  
1:200

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AREA 2 - Shrubs and Ground Covers



- Casuarina Glauca (Cousin It)
- Leucophyta Brownii (Cushion Bush)
- Alpinia Caerulea (Native Ginger)
- Cordyline Congesta (Tooth leaved Palm Lily)
- Cordyline Stricta (Narrow leaved Palm Lily)
- Cordyline Petiolaris (Broad Headed Palm Lily)
- Tree Fern (Cyatheales)
- Asplenium australasicum (Birds nest fern)

AREA 3 - Dense Planting, Medium Trees



- Eucalyptus Cinerea (Silver Dollar Tree)
- Archntophoenix cunnighnamiana (Bangalow Palm)
- Banksia Integrifolia (Coastal Banksia)
- Pandaneus
- Eucalyptus Caesia (Silver Princess)

LANDSCAPE AREAS	
LOT A_LAND 01	4.53
LOT A_LAND 02	9.07
LOT A_LAND 03	91.15
104.75 m²	

LOT AREA: 401.6m2  
TOTAL SITE AREA: 803.2m2

HGA.

LVL 1/144 JONSON STREET WYNDHAM VIC 3208  
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



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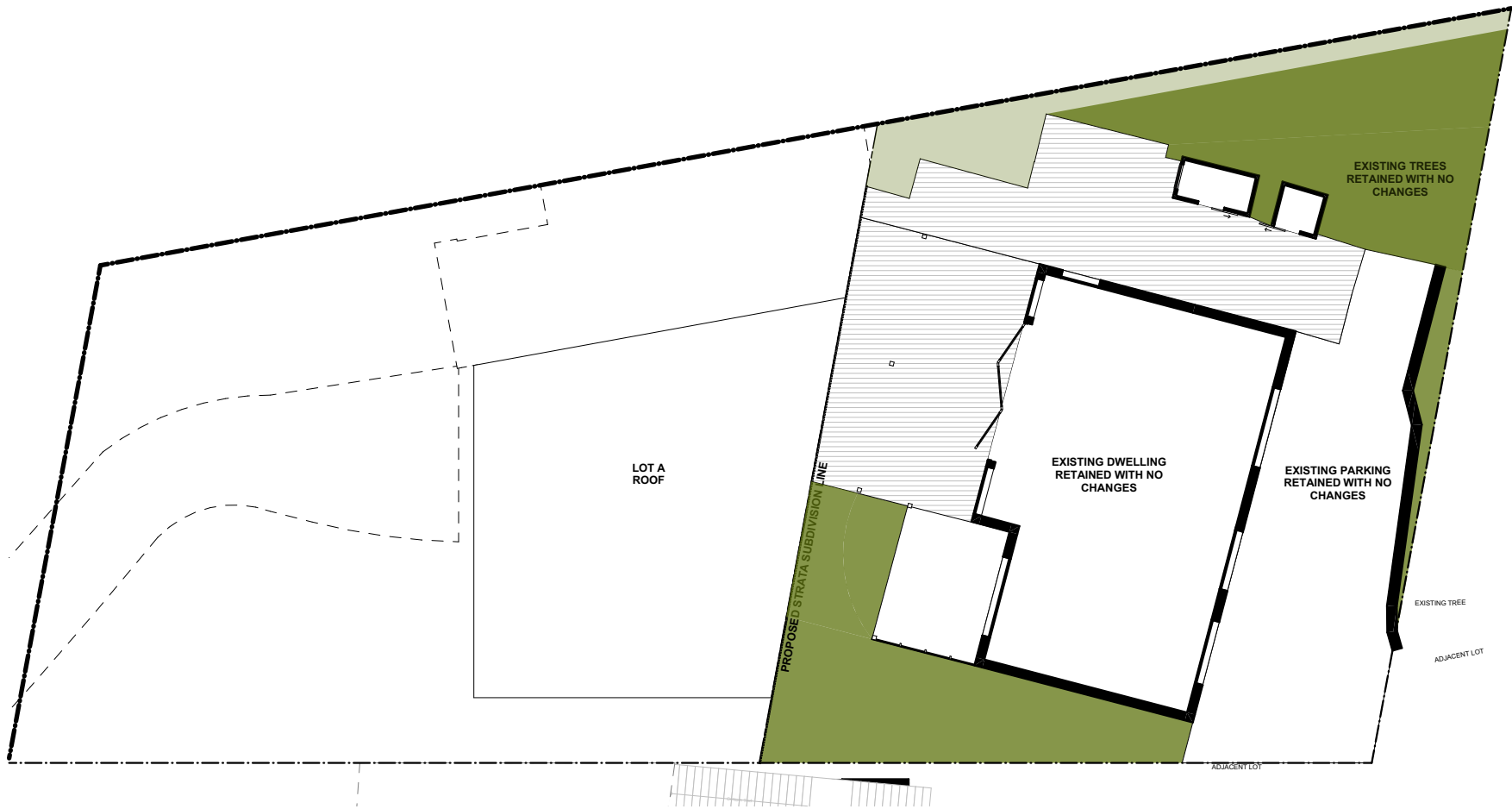


DRAWN BY: VN  
CHECKED BY: HG  
SCALE: 1:200  
PAPER: A3  
PROJECT: LANTERN HOUSE  
JOB No: HGA 266  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE :  
LANDSCAPE PLAN  
LOT A LANDSCAPING PLAN  
STATUS :  
LANTERN HOUSE

DRAWING NO.  
A7.01  
REVISION NO.  
05  
13/12/2024

LOT B\_LANDSCAPE PLAN



AREA 1 - Grass

AREA 2 - Shrubs and Ground Covers

AREA 3 - Dense Planting, Medium Trees

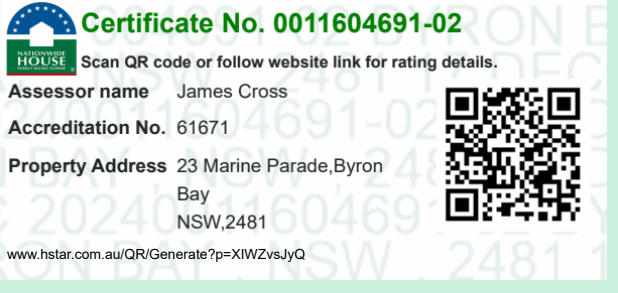
LANDSCAPE AREAS

LOT B_LAND 02	69.74
LOT B_LAND 03	109.36
	179.10 m <sup>2</sup>

LOT AREA: 401.6m2  
TOTAL SITE AREA: 803.2m2

- Casuarina Glauca (Cousin It)
- Leucophyta Brownii (Cushion Bush)
- Alpinia Caerulea (Native Ginger)
- Cordyline Congesta (Tooth leaved Palm Lily)
- Cordyline Stricta (Narrow leaved Palm Lily)
- Cordyline Petioralis (Broad Headed Palm Lily)
- Tree Fern (Cyatheaales)
- Asplenium australasicum (Birds nest fern)

- Eucalyptus Cinerea (Silver Dollar Tree)
- Archntophoenix cunnighnamiana (Bangalow Palm)
- Banksia Integrifolia (Coastal Banksia)
- Pandaneus
- Eucalyptus Caesia (Silver Princess)



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ISSUE DATE	REVISION ID	ISSUE NAME
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA



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PROJECT: LANTERN HOUSE  
JOB No: HGA 266  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE :  
LANDSCAPE PLAN  
LOT B\_LANDSCAPING PLAN  
STATUS :  
LANTERN HOUSE

DRAWING NO.  
A7.02  
REVISION NO.  
05  
13/12/2024

HGA.  
LVL 1/144 JONSON STREET | WYUNBAT | PO BOX 1280 WYUNBAT  
T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892





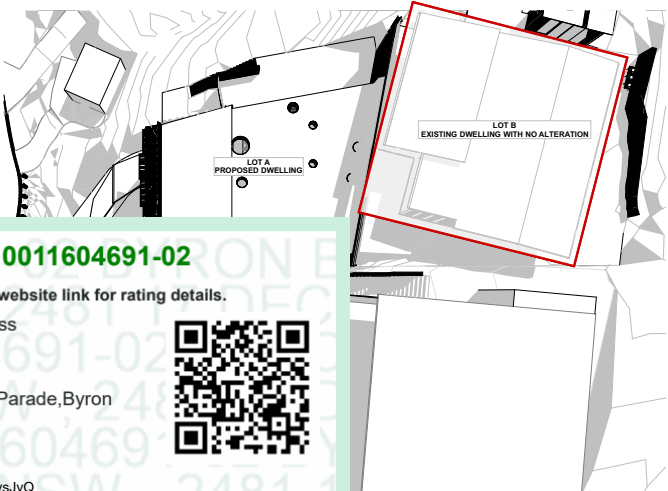
01. 22 JUNE 9AM  
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02. 22 JUNE 12PM  
1:200



03. 22 JUNE 3PM  
1:200





04. 1:200



05. 22 DEC 12PM  
1:200



06. 22 DEC 3PM  
1:200

**Certificate No. 0011604691-02**  
Scan QR code or follow website link for rating details.  
Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
  
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**SCALE:** 1:200  
**PAPER:** A3  
**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 265  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE :**  
**SUNSTUDIES**  
**SUNSTUDY PLAN**

**STATUS :**  
**LANTERN HOUSE**

**DRAWING NO.**  
**A8.01**  
**REVISION NO.**  
**05**  
13/12/2024

**HGA.**  
LVL 1/144 JONSON STREET WYUN BAY NSW 2481  
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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892





**Certificate No. 0011604691-02**  
Scan QR code or follow website link for rating details.

Assessor name

James Cross

Accreditation No.

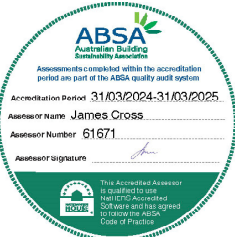
61671

Property Address

23 Marine Parade, Byron Bay NSW, 2481



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13/12/2024	05	DA



DRAWN BY:	VN
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SCALE	A3
PAPER	
PROJECT:	LANTERN HOUSE
JOB No:	HGA 205
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :	PERSPECTIVES
	PERSPECTIVES
STATUS :	LANTERN HOUSE

DRAWING NO.	A9.01
REVISION NO.	05
	13/12/2024