

# LANTERN HOUSE

23 MARINE PARADE, BYRON BAY

## DRAWING SCALE

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**Certificate No. 0011604691-02**

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Assessor name James Cross

Accreditation No. 61671

Property Address 23 Marine Parade, Byron Bay NSW, 2481

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ISSUE DATE	REVISION ID	ISSUE NAME	DRAWN / CHECKE	SCALE	PAPER	PROJECT:	JOB No:	CLIENT:	ADDRESS:
16/08/2024	02	Consultant Review	VN	HG	A3	LANTERN HOUSE	HGA 205	STEPHEN RING	23 MARINE PARADE, BYRON BAY
14/11/2024	03								
5/12/2024	04								
13/12/2024	05								

DRAWING TITLE : TITLE SHEETS  
**COVER PAGE & DRAWING SCHEDULE**

STATUS : **LANTERN HOUSE**

# DEVELOPMENT SUMMARY

## 23 MARINE PARADE, BYRON BAY

### LOT A GFA

GROUND FLOOR: 30m2  
FIRST FLOOR: 137m2

LOT GFA: 167m2  
LOT AREA: 401.6m2

### LOT B GFA

GROUND FLOOR: 86m2

LOT GFA: 86m2  
LOT AREA: 401.6m2

**TOTAL GFA:** 253m2  
**SITE AREA:** 803.25m2  
**FSR:** 0.3



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Accreditation No. 61671  
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REQUIREMENTS AS  
CERTIFICATE N#: 1776817M &  
E REPORT N# LFA23014 BY  
SIGN



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HGA.

LVL 1/144 JONSON STREET | BYRON BAY | NSW 2481  
T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892

ISSUE DATE	REVISION ID	ISSUE NAME	DRAWN / CHECKE SCALE PAPER	VN HG 1:2.85 A3
16/08/2024	02	Consultant Review		
14/11/2024	03	DA		
5/12/2024	04	DA		
13/12/2024	05	DA		

DRAWING TITLE: TITLE SHEETS  
**DEVELOPMENT SUMMARY / LOCATION PLAN**

STATUS: **LANTERN HOUSE**

DRAWING NO. **A0.02**  
REVISION NO. **05**  
13/12/2024

Tree Schedule				
Tree	Type	Diameter	Spread	Height
T1	EXOTIC	0.2	6	4
T2	EXOTIC	0.1	2	3
T3	EXOTIC	0.1	2	3
T4	EXOTIC	0.4	6	4
T5	EXOTIC	0.2	2	2
T6	PALM	0.3	4	8
T7	EXOTIC	0.3	6	8
T8	EXOTIC	0.3	6	8
T9	PALM	0.2	4	5
T10	PALM	0.2	4	5
T11	EXOTIC	0.2	2	4
T12	PALM	0.2	2	4
T13	PALM	0.2	2	4
T14	EXOTIC	0.5	5	5
T15	PALM	0.2	6	8
T16	EXOTIC	1.2	6	8
T17	PALM	0.2	2	4
T18	JACARANDA	0.2	6	8
T19	PALM	0.3	8	18
T20	PALM	0.5	6	6
T21	LILLI PILLI	0.1	1	2
T22	LILLI PILLI	0.1	1	2
T23	LILLI PILLI	0.1	1	2
T24	LILLI PILLI	0.1	1	2
T25	LILLI PILLI	0.1	1	2
T26	LILLI PILLI	0.1	1	2
T27	LILLI PILLI	0.1	1	2
T28	LILLI PILLI	0.1	1	2
T29	LILLI PILLI	0.1	1	2
T30	LILLI PILLI	0.1	1	2
T31	LILLI PILLI	0.1	1	2
T32	LILLI PILLI	0.1	1	2
T33	LILLI PILLI	0.1	1	2
T34	LILLI PILLI	0.1	1	2
T35	PALM	0.2	4	5
T36	PALM	0.2	4	5
T37	PALM	0.2	2	4
T38	PALM	0.2	6	4
T39	PINE	0.5	4	20
T40	PALM	0.3	4	4
T41	PALM	2.5	16	8
T42	PALM	0.4	8	10
T43	PALM	0.3	8	10
T44	EXOTIC	0.3	8	6
T45	EXOTIC	0.2	16	6
T46	EXOTIC	0.3	8	6
T47	EXOTIC	0.3	8	6
T48	EXOTIC	0.2	8	6
T49	EXOTIC	0.1	1	4
T50	PALM	0.4	7	4
T51	PALM	0.4	7	4
T52	PALM	0.3	6	8
T53	PALM	0.2	6	10
T54	PALM	0.2	6	8
T55	PALM	0.2	6	8
T56	PALM	0.2	6	10
T57	PALM	0.2	6	10
T58	PALM	0.2	6	10
T59	EXOTIC	0.05	2	6
T60	EXOTIC	0.05	2	6
T61	EXOTIC	0.05	2	6
T62	EXOTIC	0.05	2	6
T63	EXOTIC	0.05	2	6
T64	EXOTIC	0.05	2	6
T65	EXOTIC	0.05	2	6
T66	EXOTIC	0.05	2	6
T67	EXOTIC	0.05	2	6
T68	EXOTIC	0.05	2	6
T69	EXOTIC	0.05	2	6
T70	EXOTIC	0.05	2	6



**LEGEND:**

<b>Road</b>	Kerb Back	<b>Terrain</b>	Driveway
	Kerb Invert		Footpath
	Edge of Blumem		Slab Edge
	Edge of Gravel		Retaining Wall Top
	Road Crown		Change of Grade
	Traffic Park Meter		Top of Bank
	Traffic Light		Toe of Bank
	Traffic Sign		Waterline
	Traffic Post Box		Garden Edge
			Creek Top of Bank
<b>Structures</b>	Building Line		Creek Invert
	Fence Line		Creek Waterline
	Gate		Tree
	Hand Rail		Tree Canopy
	Cattle Grid		Control Point/PSM
	Bollard		
<b>Sewer</b>	Sewer Line		Drainage line
	Valve		Open Drain
	Inspection Opening		Manhole
	Manhole		Field Inlet
			Downpipe
<b>Electrical</b>	Electricity Line		Communications Line
	Overhead Line		Overhead Line
	Pits/Manholes		Pits/Manholes
	Pole		Pillar
<b>Water</b>	Street Light In-Ground		Gas Line
	Water Line		Valve
	Water Meter		Marker
	Valve		Pothole
	Fire Hydrant		
	Tap		Subsurface Utility - QL
	Sprinkler		* QL-A (Hx50mm, Vx500mm)
<b>Fuel</b>	Fuel Line		* QL-B (Hx300mm, Vx500mm)
	Filling		* QL-C (Hx300mm, Vx500mm)
			* QL-D (Exist Record)

- NOTES:**
1. Drawn to scale on an A1 sheet.
  2. Contour Interval... 0.25m
  3. All levels are in metres on the Australian Height Datum referred to SSM90396 - RL 5.813 AHD situated in Marine Parade.
  4. All Boundaries are vide title and subject to confirmation by survey CT distances shown only.
  5. The Location of Underground services are in accordance with AS5488:2019, the Australian Standard for classification of Subsurface Utility Information (SUJ). The exact nature and location of these services should be confirmed prior to construction.
  6. Area vide Title : 796.7m<sup>2</sup>
  7. Field Survey Completed on 15.06.2023.
  8. This Detail Survey is not a 'Survey' as defined by the Surveying Act 2002. If any construction is planned it would be advisable to carry out further survey work to determine the boundary dimensions.
  9. Tree species should be verified by a suitably qualified professional. Tree spreads are diagrammatic only and may not be symmetrical. Heights and spreads are approximate only.

- (B) Rendered Pizza Oven  
 (C) Metal Building Metal Roof  
 (D) Timber Awning over Tiled Patio  
 (S) Easement for Retaining Wall 0.2 Wide by D.P. 1107057  
 (R) Easement for Right of Carriageway variable width by D.P. 1107057

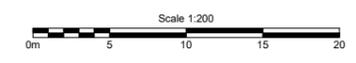
Level datum: AHD Derived (SSM90396)  
 Horiz datum: MGA Derived PLAN (D.P. 1078033)  
 Coord Origin: SSM (SCHMS) (SSM90396)  
 GDA System: GDA2020 Coordinate System: Plane 1:1  
 Meridian: +9°31'35" D.P. 244699

Title:  
**DETAIL SURVEY**  
 Lot 4 D.P. 244699  
 23 Marine Parade, Byron Bay

Client:	<b>Stephen Ring</b>
Locality:	Byron Bay
Local Gov:	Byron Shire Council
Surveyed By:	PB
Approved:	SAT
Date Created:	14/07/23
Scale:	1:200
File Ref:	230684
Plan No:	<b>230684_001_DET</b> Rev: <b>A</b>

**Certificate No. 0011604691-02**  
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**ABSA**  
 Australian Building Sustainability Association  
 Assessments completed within the accreditation period are part of the ABSA quality audit system  
 Accreditation Period 31/03/2024-31/03/2025  
 Assessor name James Cross  
 Assessor Number 61671  
 Assessor's signature



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ISSUE DATE	REVISION ID	ISSUE NAME	DRAWN BY:	CHECKED BY:	SCALE:	PAPER:
16/08/2024	02	Consultant Review	YN	HG	1:231	A3
14/11/2024	03		DA			
5/12/2024	04		DA			
13/12/2024	05		DA			

DRAWING TITLE: **SITE EXISTING SURVEY**  
 STATUS: **LANTERN HOUSE**  
 DRAWING NO. **A1.01**  
 REVISION NO. **05**  
 13/12/2024



7009  
D.P.1026798

139°47'35"  
44.01

70°36'35"  
15.515

EXISTING GARAGE

4 D.P.244699

EXISTING HOUSE

23.52  
250°36'35"

5  
D.P.115435

41.845  
330°06'35"

6  
D.P.249231

3  
D.P.244699

MARINE PARADE

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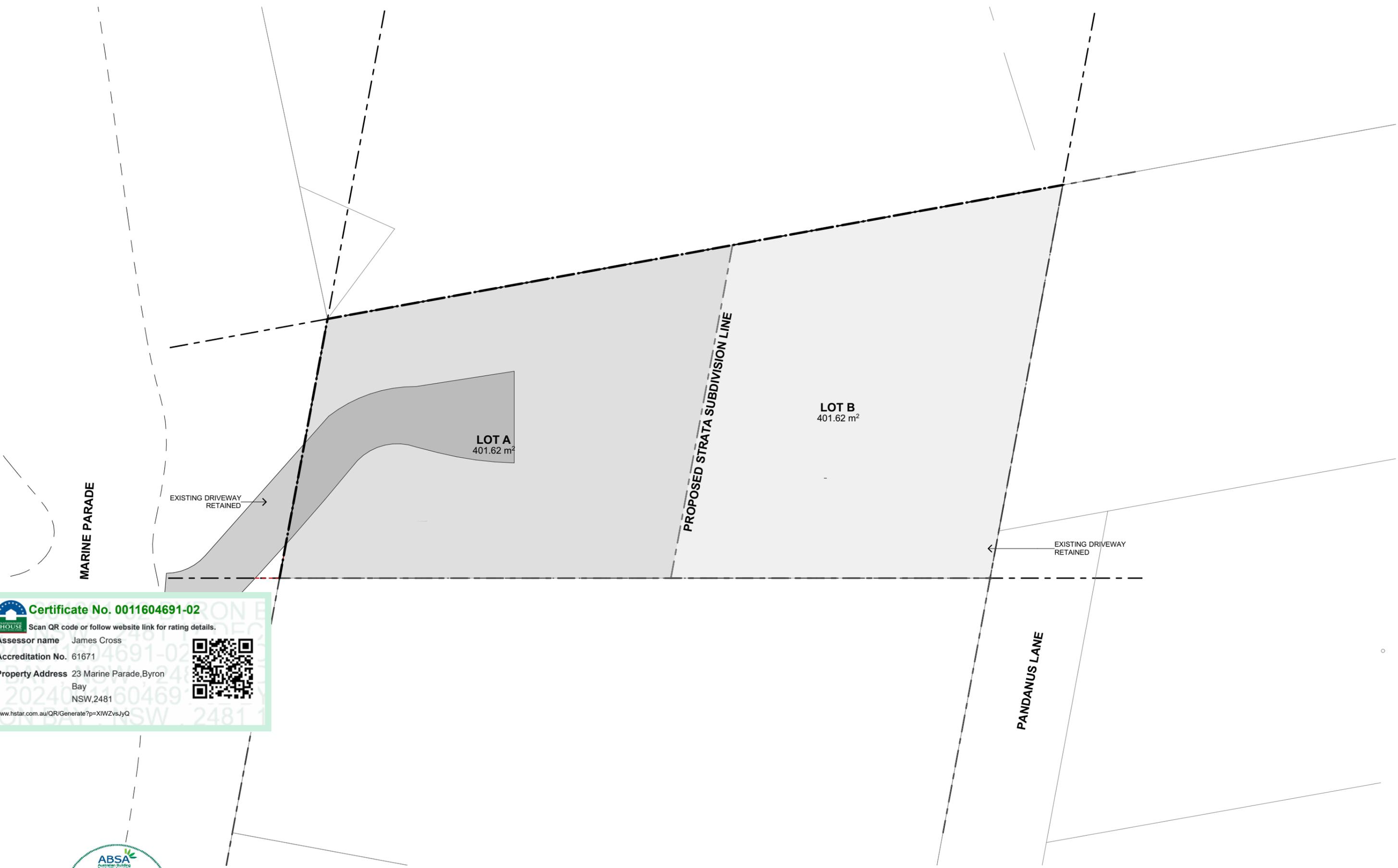
<b>DRAWN BY:</b>	VN
<b>CHECKED BY:</b>	HG
<b>SCALE</b>	A3
<b>PAPER</b>	
<b>PROJECT:</b>	LANTERN HOUSE
<b>JOB No:</b>	HGA 205
<b>CLIENT:</b>	STEPHEN RING
<b>ADDRESS:</b>	23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:**  
 SITE  
**EXISTING SITE PLAN**

**STATUS:**  
**LANTERN HOUSE**

**DRAWING NO.**  
**A1.02**

**REVISION NO.**  
**05**  
 13/12/2024



MARINE PARADE

EXISTING DRIVEWAY RETAINED

LOT A  
401.62 m<sup>2</sup>

PROPOSED STRATA SUBDIVISION LINE

LOT B  
401.62 m<sup>2</sup>

EXISTING DRIVEWAY RETAINED

PANDANUS LANE

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16/08/2024	02	Consultant Review
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA



DRAWN BY: VN  
 CHECKED BY: HG  
 SCALE: A3  
 PAPER: A3  
 PROJECT: LANTERN HOUSE HGA 200  
 JOB No: STEPHEN RING  
 CLIENT: 23 MARINE PARADE, BYRON BAY  
 ADDRESS:

DRAWING TITLE: SITE PROPOSED SITE STRATA PLAN  
 STATUS: LANTERN HOUSE

DRAWING NO. A1.03  
 REVISION NO. 05  
 13/12/2024



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 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892

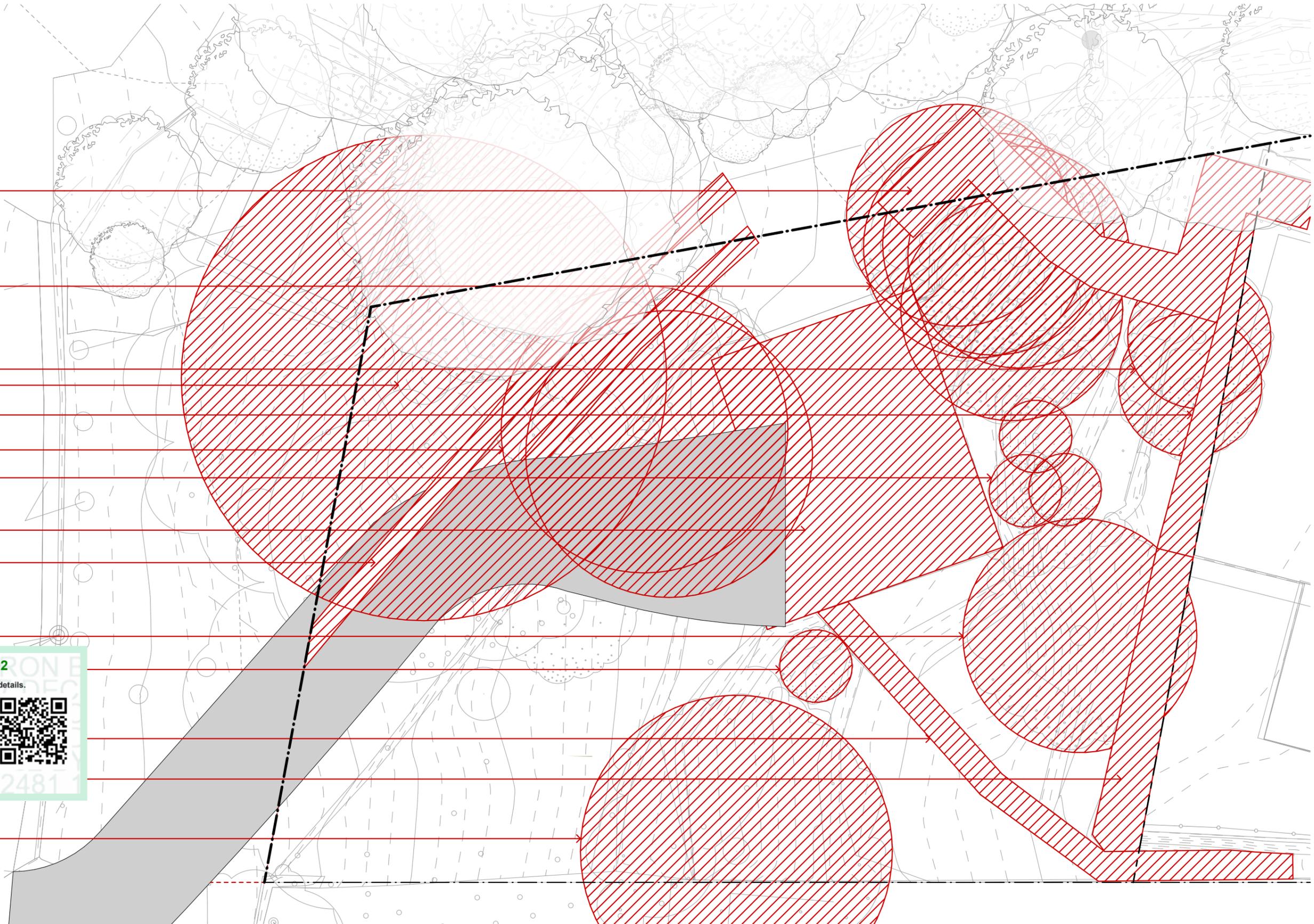
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5/12/2024	04	DA
13/12/2024	05	DA

**DRAWN BY:** VN  
**CHECKED BY:** HG  
**SCALE:** A3  
**PAPER:** A3  
**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 205  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** SITE PROPOSED SITE PLAN  
**STATUS:** LANTERN HOUSE

**DRAWING NO.** A1.04  
**REVISION NO.** 05  
 13/12/2024



TIMBER STAIRCASE  
REMOVED

2 X EXOTIC TREES & 2 X  
PALMS REMOVED

2 X PALMS REMOVED  
PANDANUS REMOVED

PORTION OF DECK REMOVED

2 X PALMS REMOVED

3 X EXOTIC TREES REMOVED

EXISTING CONCRETE  
STRUCTURE REMOVED

CONCRETE DRIVEWAY  
REMOVED

EXOTIC TREE REMOVED

EXOTIC TREE REMOVED

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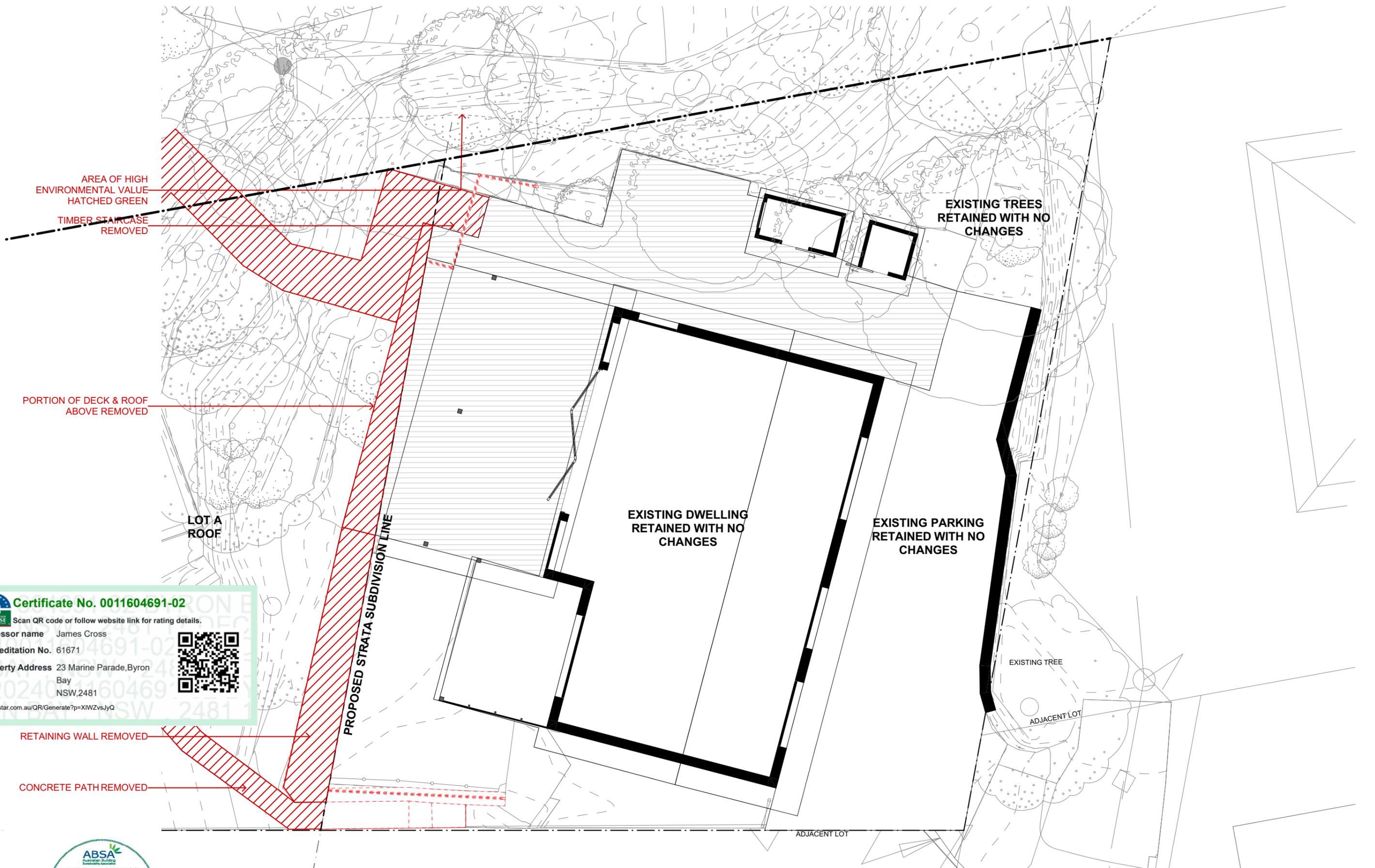
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<b>DRAWN BY:</b>	VN
<b>CHECKED BY:</b>	HG
<b>SCALE PAPER:</b>	A3
<b>PROJECT:</b>	LANTERN HOUSE HGA 205
<b>JOB No:</b>	STEPHEN RING
<b>CLIENT:</b>	23 MARINE PARADE, BYRON BAY
<b>ADDRESS:</b>	

**DRAWING TITLE:**  
 DEMOLITION  
**LOT A - DEMOLITION**  
**LANTERN HOUSE**

**STATUS:**

**DRAWING NO.**  
**A2.01.1**  
**REVISION NO.**  
**05**  
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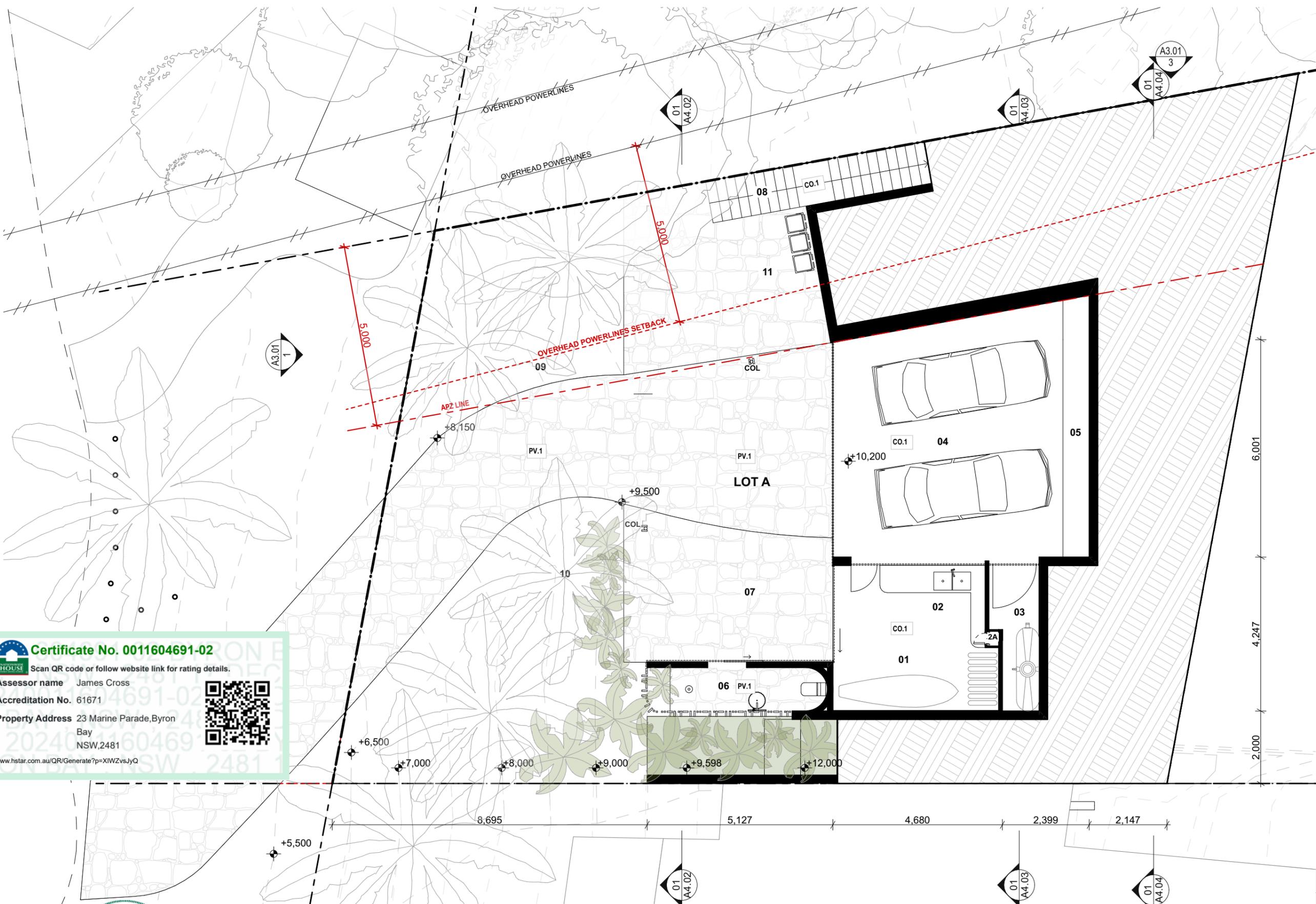
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**DRAWN BY:** VN  
**CHECKED BY:** HG  
**SCALE PAPER:** A3  
**PROJECT:** LANTERN HOUSE HGA 205  
**JOB NoR:** STEPHEN RING  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** DEMOLITION LOT B - DEMOLITION  
**STATUS:** LANTERN HOUSE

**DRAWING NO.:** A2.01.2  
**REVISION NO.:** 05  
 13/12/2024



- LAYOUT LEGEND**
- 01 SURF STORE
  - 02 LAUNDRY
  - 2A LAUNDRY CHUTE
  - 03 RAINWATER TANK
  - 04 GARAGE
  - 05 STORAGE
  - 06 OUTDOOR SHOWER & WC
  - 07 REVERSING BAY
  - 08 STAIRS UP
  - 09 GARDEN PATH TO BEACH
  - 10 EXIST. PANDANUS
  - 11 BIN STORAGE

- MATERIAL LEGEND**
- CT.1 CERAMIC TILES
  - MRS.1 METAL ROOF SHEETING
  - PV.1 COBBLESTONE PAVING
  - TB.1 TIMBER BATTENS
  - TF.1 TIMBER FLOORING
  - CO.1 CONCRETE

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**01. SED**

Assessment completed within the accreditation period as part of the ABSA quality audit system.  
 Accreditation Period 31/03/2024-31/03/2025  
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 Assessor Number 61671

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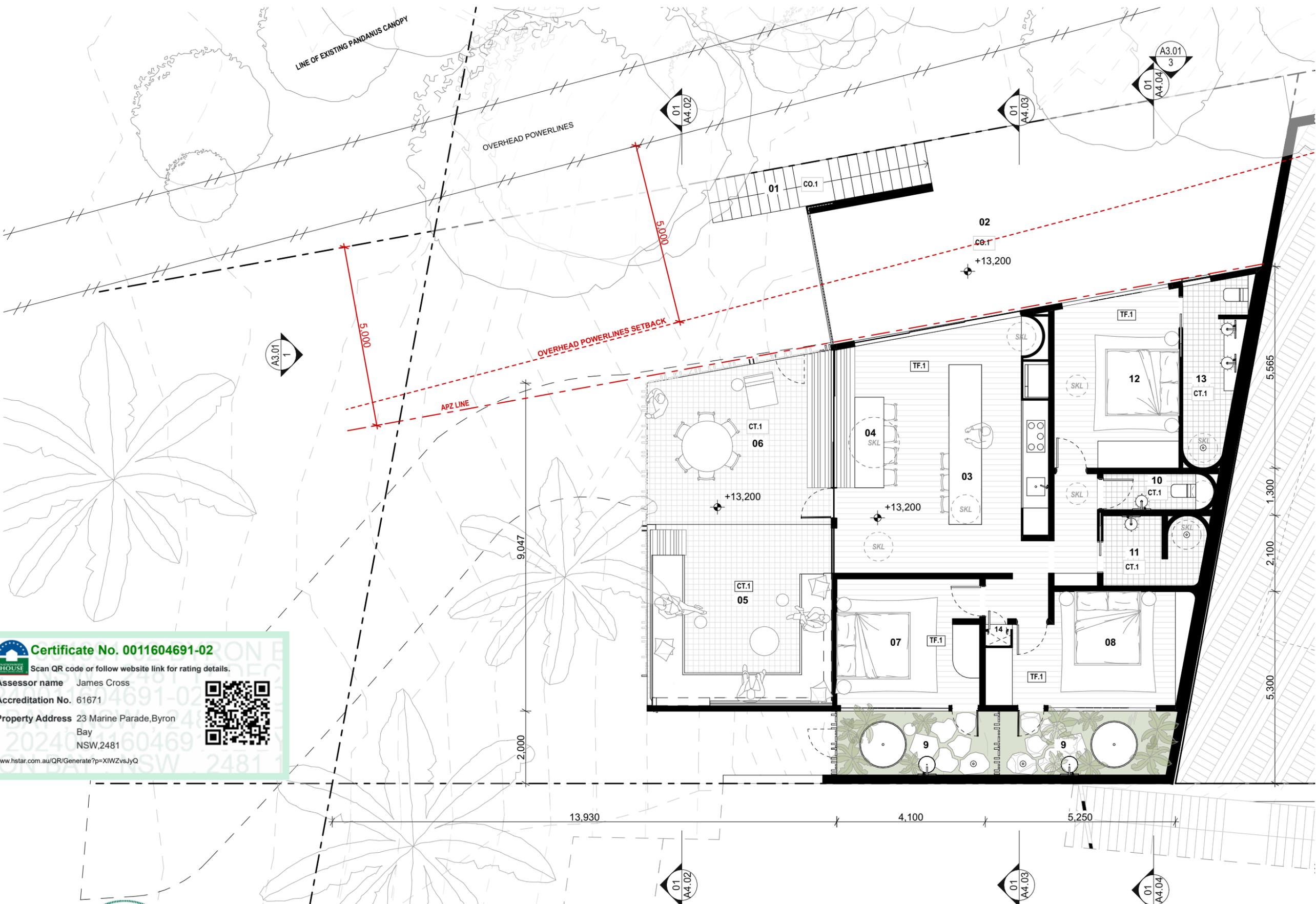
**DRAWN BY:** VN  
**CHECKED BY:** HG  
**SCALE:** 1:100  
**PAPER:** A3

**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 266  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** PROPOSED LOT A\_GL\_PROPOSED  
**STATUS:** LANTERN HOUSE

**DRAWING NO. A2.02.1**  
**REVISION NO. 05**  
 13/12/2024

**HGA.**  
 LVL 1/144 JONSON STREET | WYUNGA BAY | VIC 3242  
 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



- LAYOUT LEGEND**
- 01 STAIRS DOWN
  - 02 SLAB ON GROUND
  - 03 KITCHEN
  - 04 DINING
  - 05 OUTDOOR ROOM
  - 06 BALCONY
  - 07 BED 2
  - 08 BED 3
  - 09 LANDSCAPED TERRACE
  - 10 POWDER ROOM
  - 11 BATHROOM
  - 12 BED 1
  - 13 ENSUITE
  - 14 LAUNDRY CHUTE

- MATERIAL LEGEND**
- CT.1 CERAMIC TILES
  - MRS.1 METAL ROOF SHEETING
  - PV.1 COBBLESTONE PAVING
  - TB.1 TIMBER BATTENS
  - TF.1 TIMBER FLOORING
  - CO.1 CONCRETE

**Certificate No. 0011604691-02**  
 Scan QR code or follow website link for rating details.  
 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
 www.hstar.com.au/QR/Generate?p=XIWZvsJyQ



**01.** **SED**



Assessment completed within the accreditation period as part of the ABSA quality audit system.  
 Accreditation Period 31/03/2024-31/03/2025  
 Assessor Name James Cross  
 Assessor Number 61671  
 Assessor Signature

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ISSUE DATE	REVISION ID	ISSUE NAME
16/08/2024	02	Consultant Review
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA

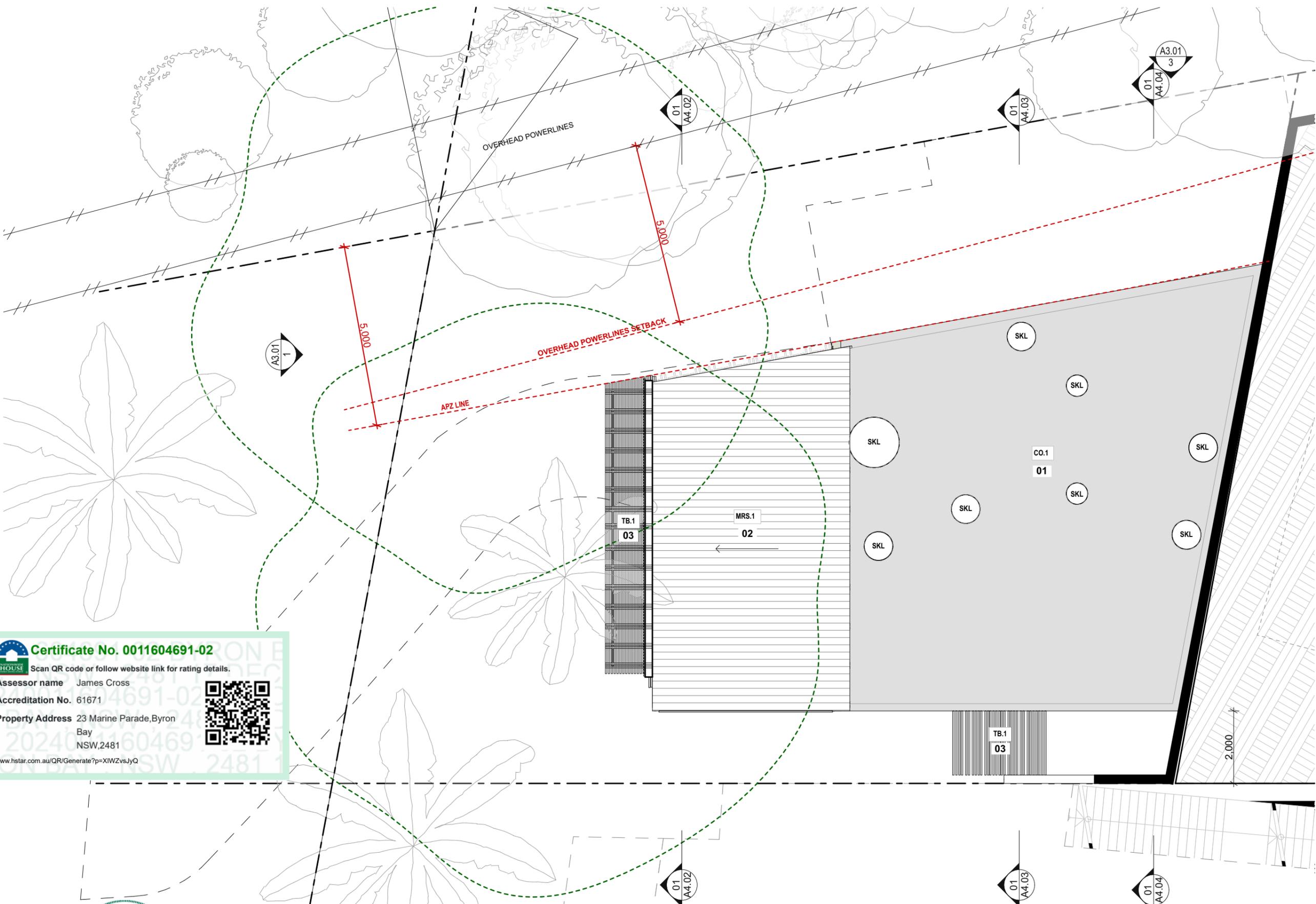
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**CHECKED BY:** HG  
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**PAPER:** A3

**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 205  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** PROPOSED LOT A\_FL\_PROPOSED  
**STATUS:** LANTERN HOUSE

**DRAWING NO.:** A2.02.2  
**REVISION NO.:** 05  
 13/12/2024

**HGA.**  
 LVL 1/144 JONSON STREET | WYUNGAH | PO BOX 1282 WYUNGA NSW 2481  
 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



- LAYOUT LEGEND**
- 01 FLAT ROOF
  - 02 PITCHED ROOF
  - 03 AWNING

- MATERIAL LEGEND**
- CT.1 CERAMIC TILES
  - MRS.1 METAL ROOF SHEETING
  - PV.1 COBBLESTONE PAVING
  - TB.1 TIMBER BATTENS
  - TF.1 TIMBER FLOORING
  - CO.1 CONCRETE

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 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
 www.hstar.com.au/QR/Generate?p=XIWZvsJyQ



**01.**



**IPOSED**

Assessment completed within the accreditation period as part of the ABSA quality audit system.  
 Accreditation Period 31/03/2024-31/03/2025  
 Assessor Name James Cross  
 Assessor Number 61671

**HGA.**  
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 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892

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5/12/2024	04	DA
13/12/2024	05	DA

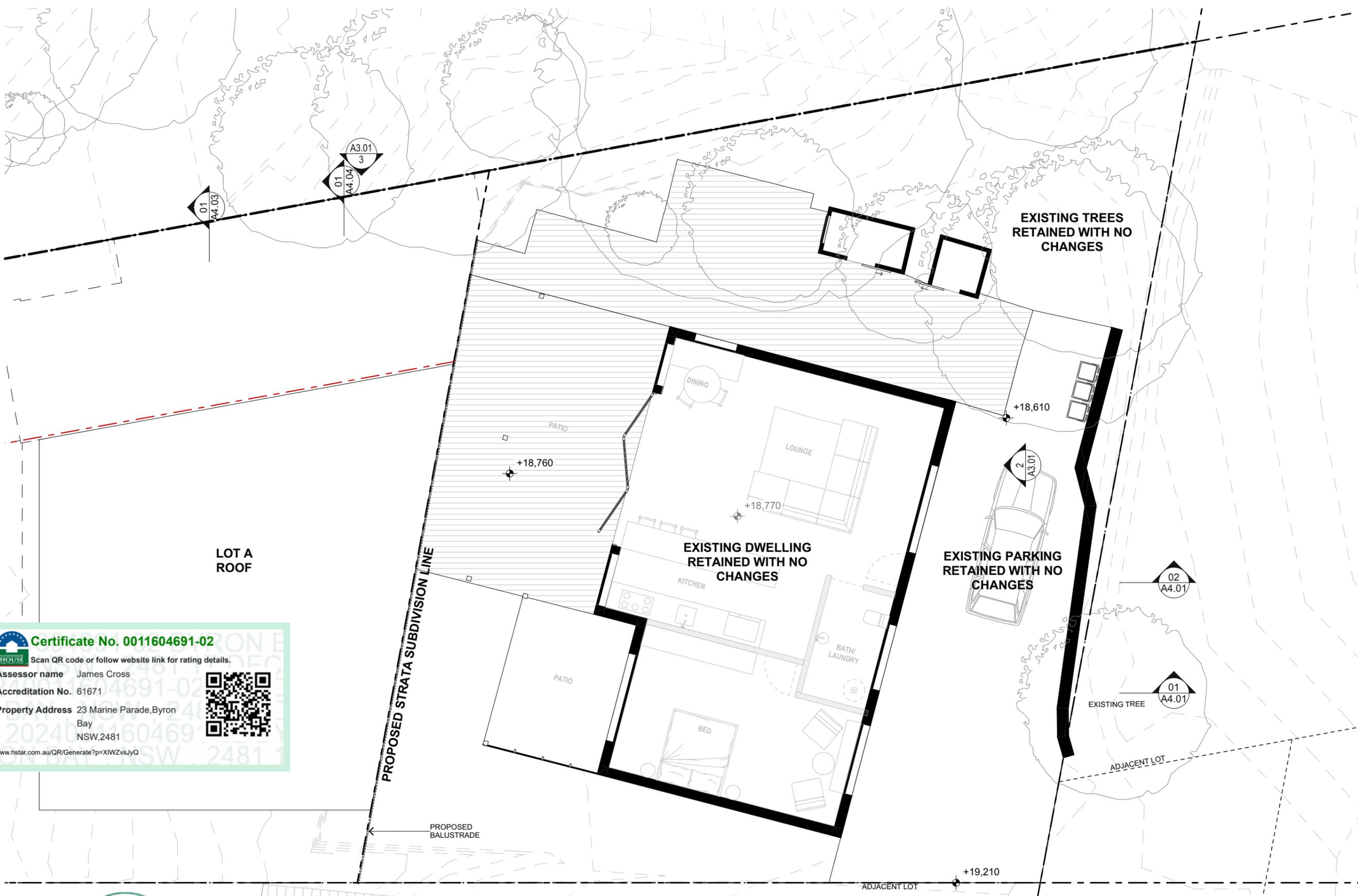
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**CHECKED BY:** HG  
**SCALE:** 1:100  
**PAPER:** A3

**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA\_205  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** PROPOSED LOT A ROOF PROPOSED

**STATUS:** LANTERN HOUSE

**DRAWING NO.:** A2.02.3  
**REVISION NO.:** 05  
 13/12/2024



**Certificate No. 0011604691-02**  
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 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
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01. USED

**HGA.**  
 LVL 1/144 JONSON STREET | WYUNGAH | PO BOX 1282 WYUNGA NSW 2481  
 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



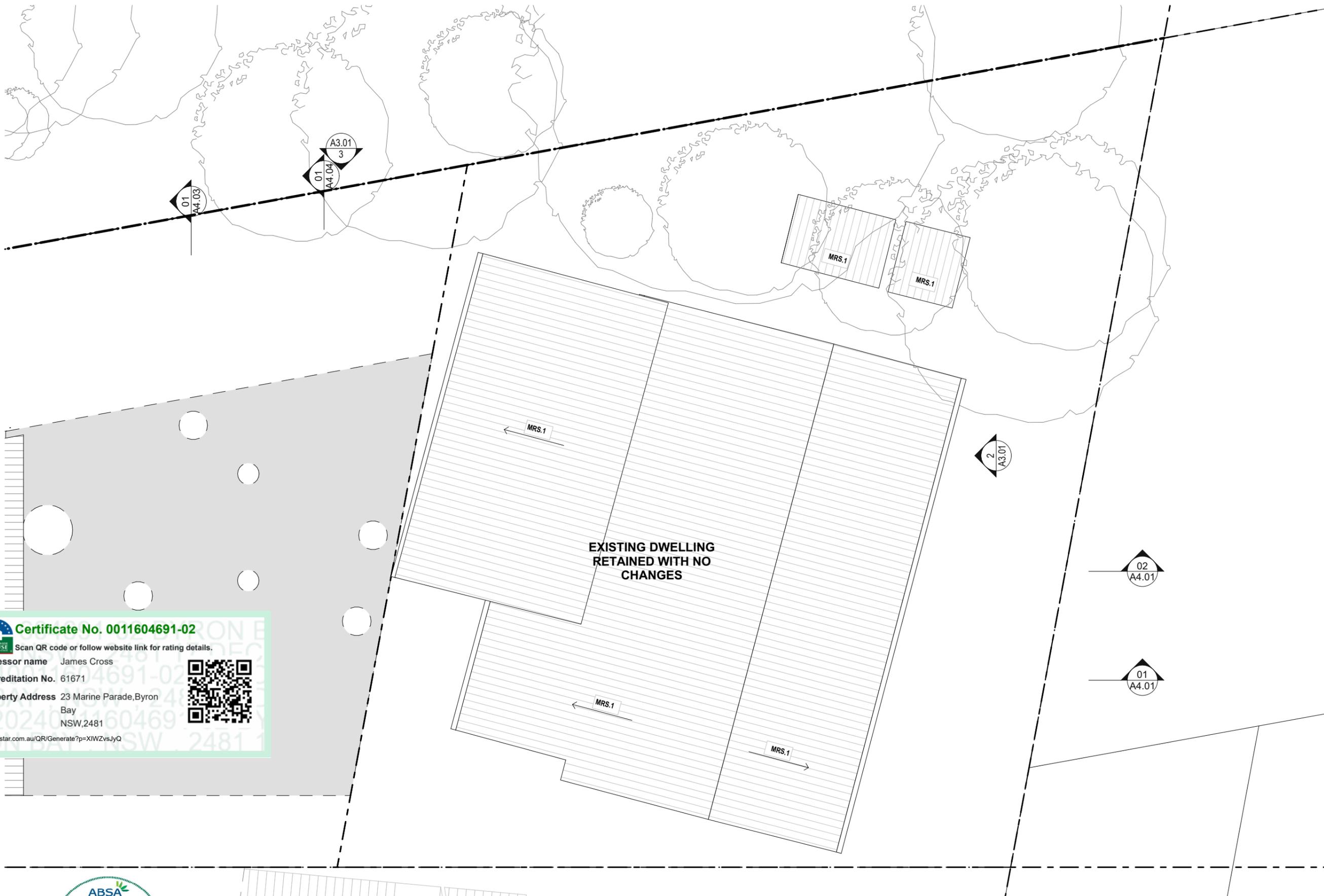
The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by iContact Company and is to be used only for work when authorised in writing by iContact Company. All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Laws.

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5/12/2024	04	DA
13/12/2024	05	DA

DRAWN BY: VN  
 CHECKED BY: HG  
 SCALE: 1:100  
 PAPER: A3  
 PROJECT: LANTERN HOUSE  
 JOB No: HGA 268  
 CLIENT: STEPHEN RING  
 ADDRESS: 23 MARINE PARADE, BYRON BAY

DRAWING TITLE: PROPOSED LOT B\_GL\_EXISTING  
 STATUS: LANTERN HOUSE

DRAWING NO. **A2.02.4**  
 REVISION NO. **05**  
 13/12/2024



**Certificate No. 0011604691-02**  
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 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
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01.



**PROPOSED**

**HGA.**  
 LVL 1/144 JONSON STRE...  
 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892

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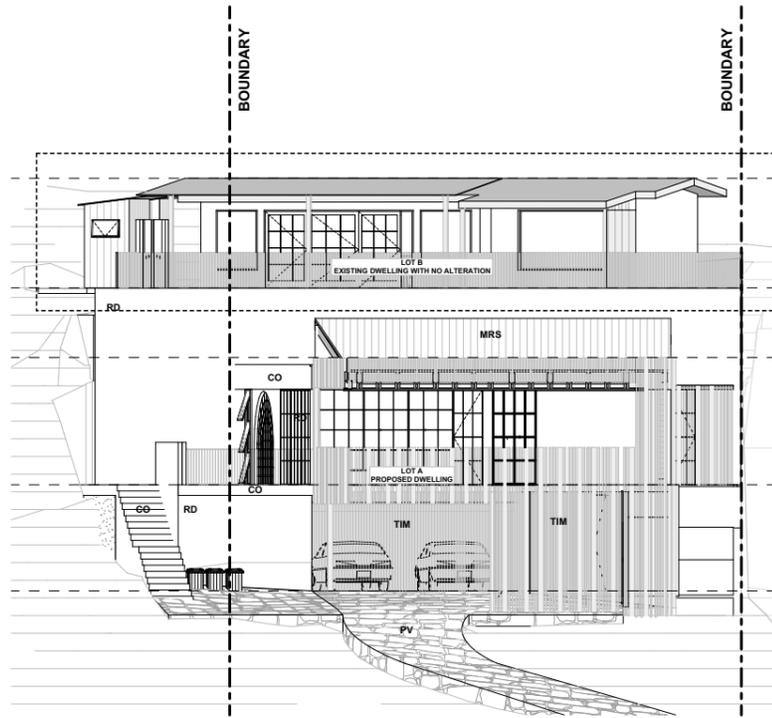
ISSUE DATE	REVISION ID	ISSUE NAME
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13/12/2024	05	DA



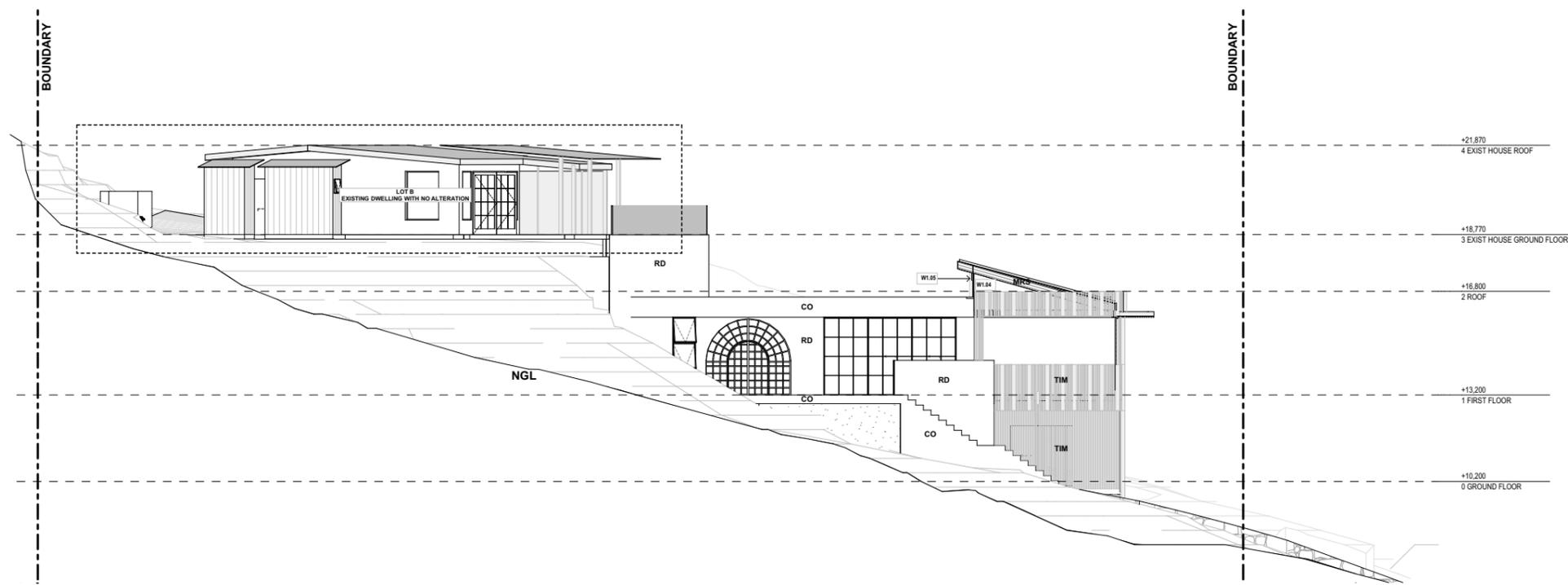
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**CHECKED BY:** HG  
**SCALE:** 1:100  
**PAPER:** A3  
**PROJECT:** LANTERN HOUSE HGA 205  
**JOB NoR:** STEPHEN RING  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:** PROPOSED LOT B ROOF EXISTING  
**STATUS:** LANTERN HOUSE

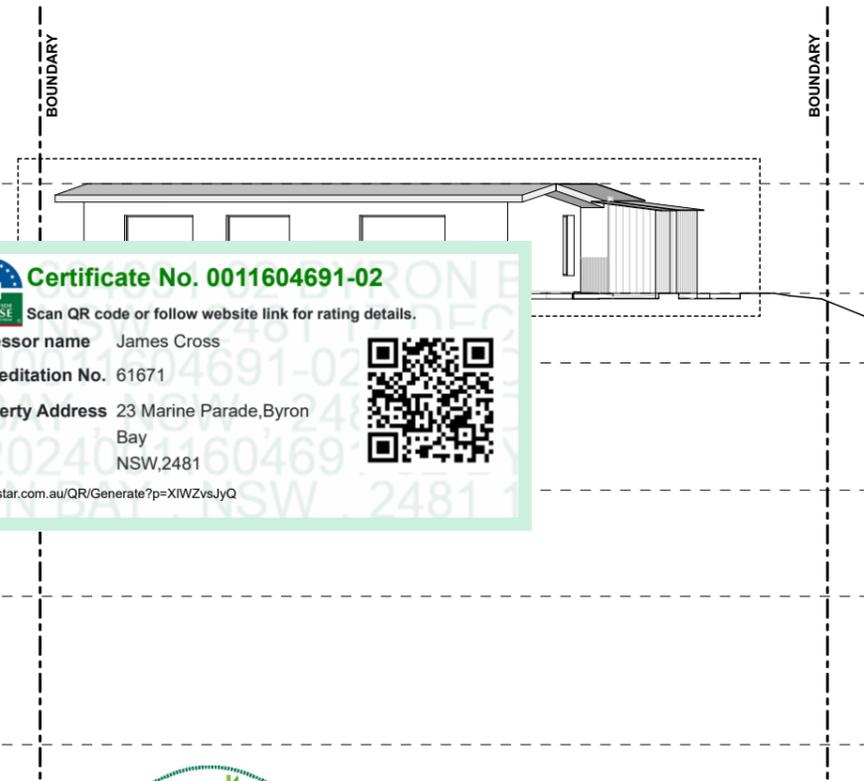
**DRAWING NO. A2.02.5**  
**REVISION NO. 05**  
 13/12/2024



1. NORTH ELEVATION  
1:200



3. EAST ELEVATION  
1:200



4. WEST ELEVATION  
1:200

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Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481

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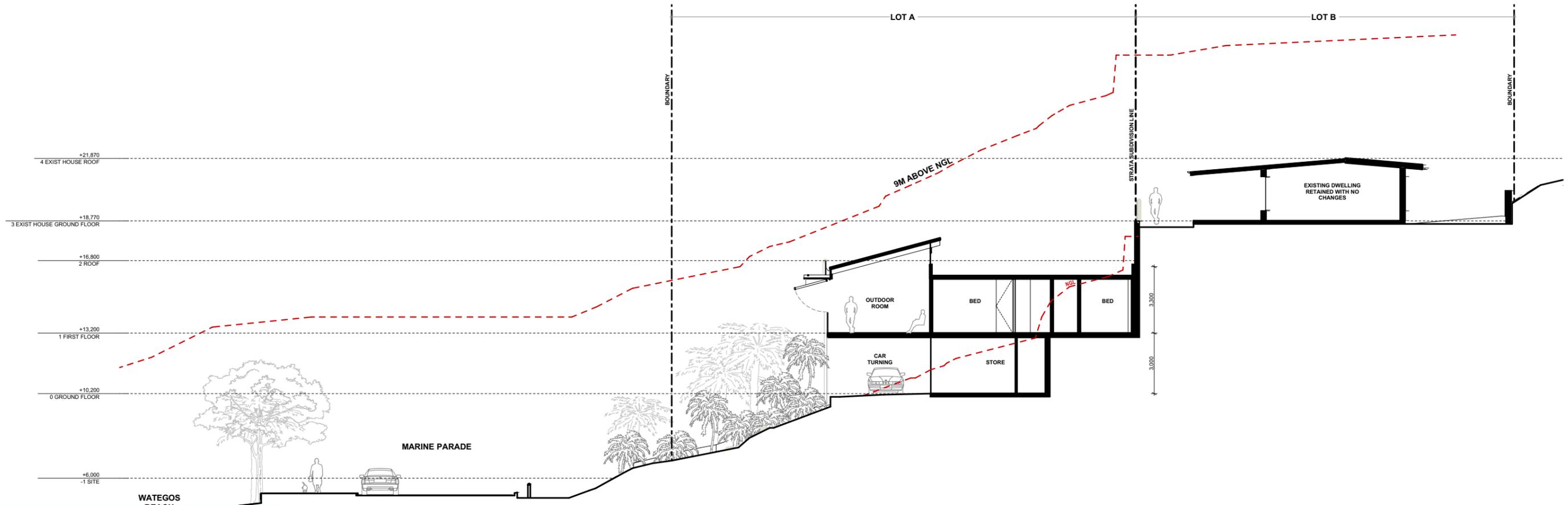
ISSUE DATE	REVISION ID	ISSUE NAME
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA

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<b>SCALE:</b>	1:200
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<b>PROJECT:</b>	LANTERN HOUSE
<b>JOB No:</b>	HGA 205
<b>CLIENT:</b>	STEPHEN RING
<b>ADDRESS:</b>	23 MARINE PARADE, BYRON BAY

<b>DRAWING TITLE:</b>	ELEVATIONS
<b>STATUS:</b>	LANTERN HOUSE

**DRAWING NO.**  
A3.01

**REVISION NO.**  
05  
13/12/2024



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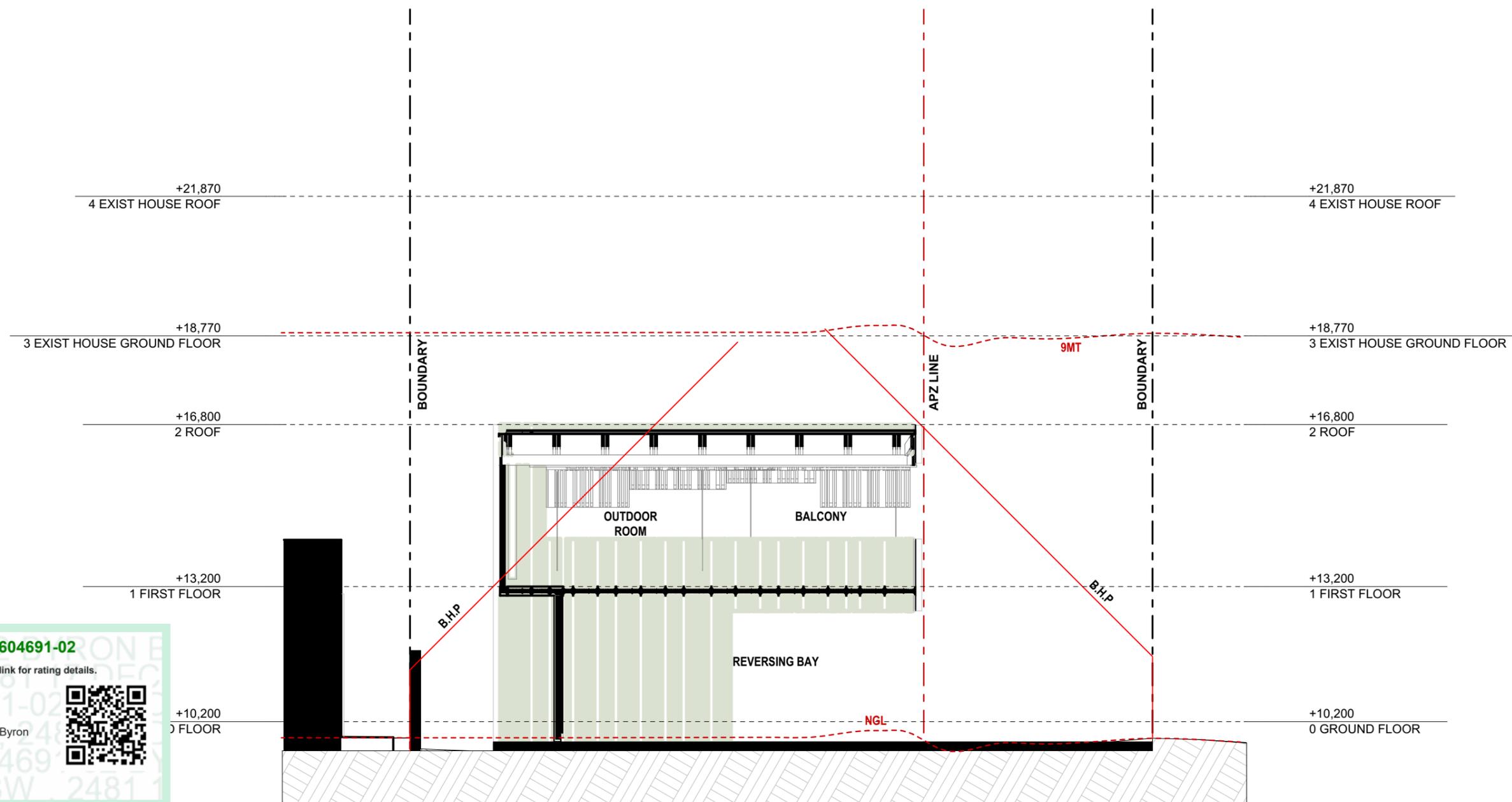
ISSUE DATE	REVISION ID	ISSUE NAME
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5/12/2024	04	DA
13/12/2024	05	DA

DRAWN	IN
CHECKE	HG
SCALE	1:200
PAPER	A3
PROJECT:	LANTERN HOUSE
JOB No:	HGA 266
CLIENT:	STEPHEN RING
ADDRESS:	23 MARINE PARADE, BYRON BAY

DRAWING TITLE :  
 SECTIONS  
**LONG SECTION**  
 STATUS :  
**LANTERN HOUSE**

DRAWING NO.  
**A4.01**  
 REVISION NO.  
**05**  
 13/12/2024

**HGA.**  
 LVL 1/144 JONSON STREET | BYRON BAY | PCU SUIT 1202 NSW 2481  
 T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION No: 7892



**01. SHORT SECTION 01**  
1:100

**Certificate No. 0011604691-02**  
Scan QR code or follow website link for rating details.

Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481



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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892



**ABSA**  
Australian Building Sustainability Association  
Assessments completed within the accreditation period are part of the ABSA quality audit system  
Accreditation Period: 31/03/2024-31/03/2025  
Assessor Name: James Cross  
Assessor Number: 61671

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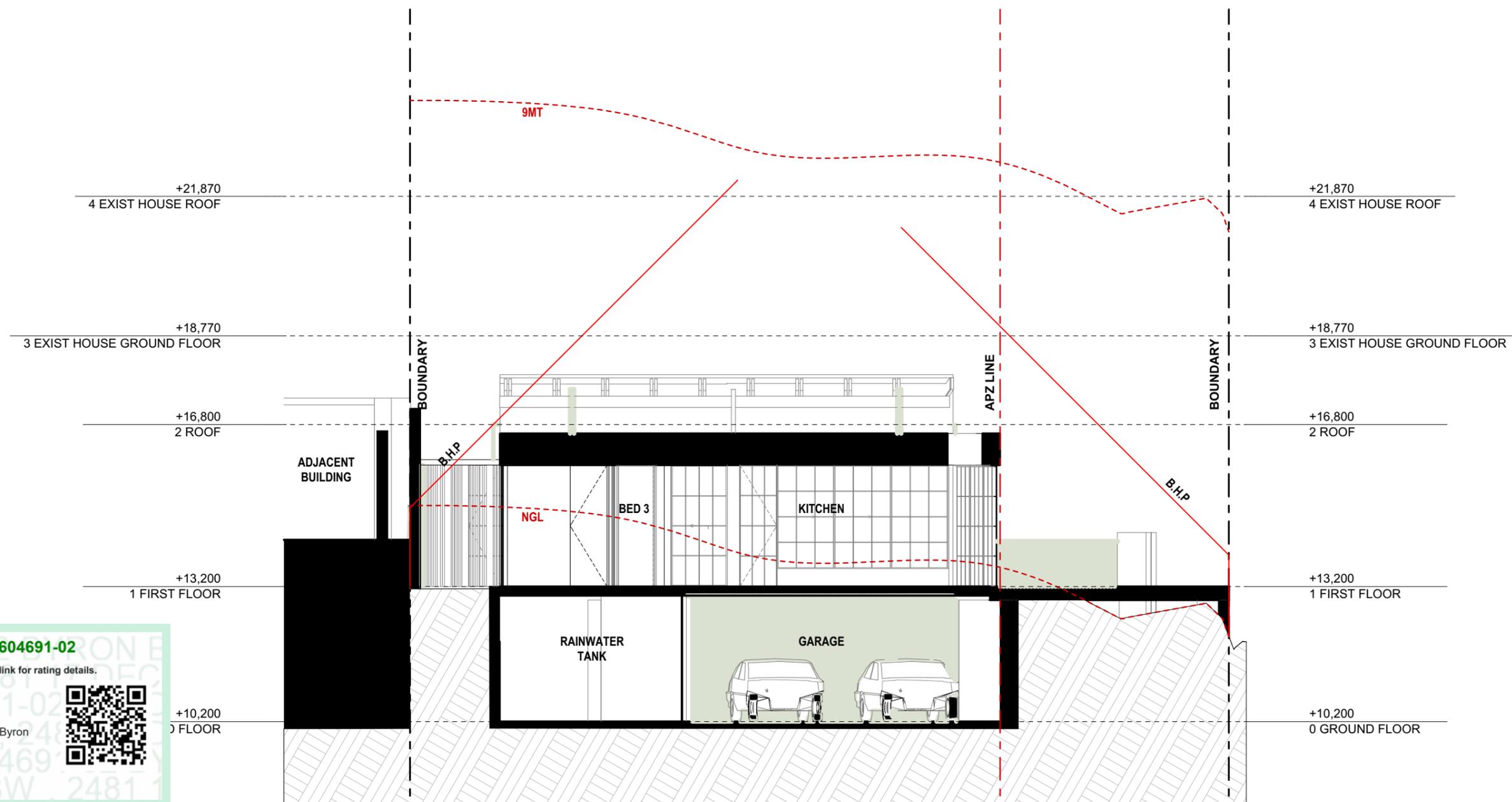
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PROJECT: LANTERN HOUSE HGA 205  
JOB NoR: STEPHEN RING  
CLIENT: 23 MARINE PARADE, BYRON BAY  
ADDRESS:

DRAWING TITLE: SECTIONS  
**SHORT SECTIONS SHEET 1**

STATUS: **LANTERN HOUSE**

DRAWING NO. **A4.02**  
REVISION NO. **05**  
13/12/2024



**01. SHORT SECTION 02**  
1:100

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Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
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**HGA.**  
LVL 1/144 JONSON STREET | BYRON BAY | PCU SUIT 1202 NSW 2481  
T: 02 66809690 | ABN: 85158246003 | E: OFFICE@HARLEYGRAHAM.COM  
NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892

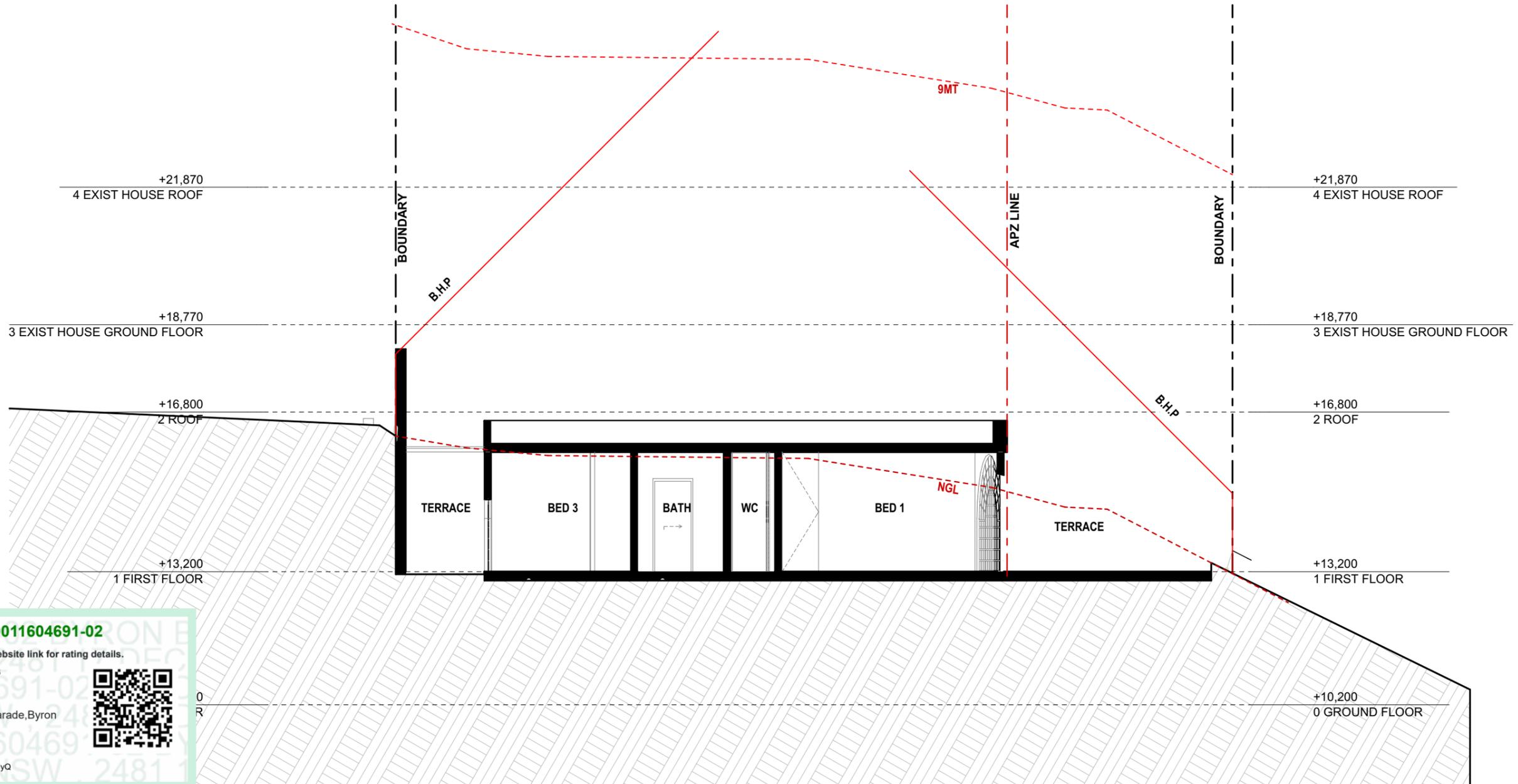
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5/12/2024	04	DA
13/12/2024	05	DA

	<b>DRAWN</b> VN	<b>SCALE</b> 1:100
<b>CHECKE</b> AS	<b>PAPER</b> A3	
<b>PROJECT:</b> LANTERN HOUSE	<b>HGA No:</b> HGA 266	
<b>JOB No:</b> STEPHEN RING		
<b>CLIENT:</b> 23 MARINE PARADE, BYRON BAY		
<b>ADDRESS:</b>		

**DRAWING TITLE:** SECTIONS  
**SHORT SECTION SHEET 2**  
**STATUS:** LANTERN HOUSE

**DRAWING NO.** A4.03  
**REVISION NO.** 05  
13/12/2024



**01. SHORT SECTION 03**  
1:100

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Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481



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NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892



**ABSA**  
Australian Building Sustainability Association  
Assessments completed within the accreditation period are part of the ABSA quality audit system  
Accreditation Period: 31/03/2024-31/03/2025  
Assessor Name: James Cross  
Assessor Number: 61671  
Assessor Signature: [Signature]

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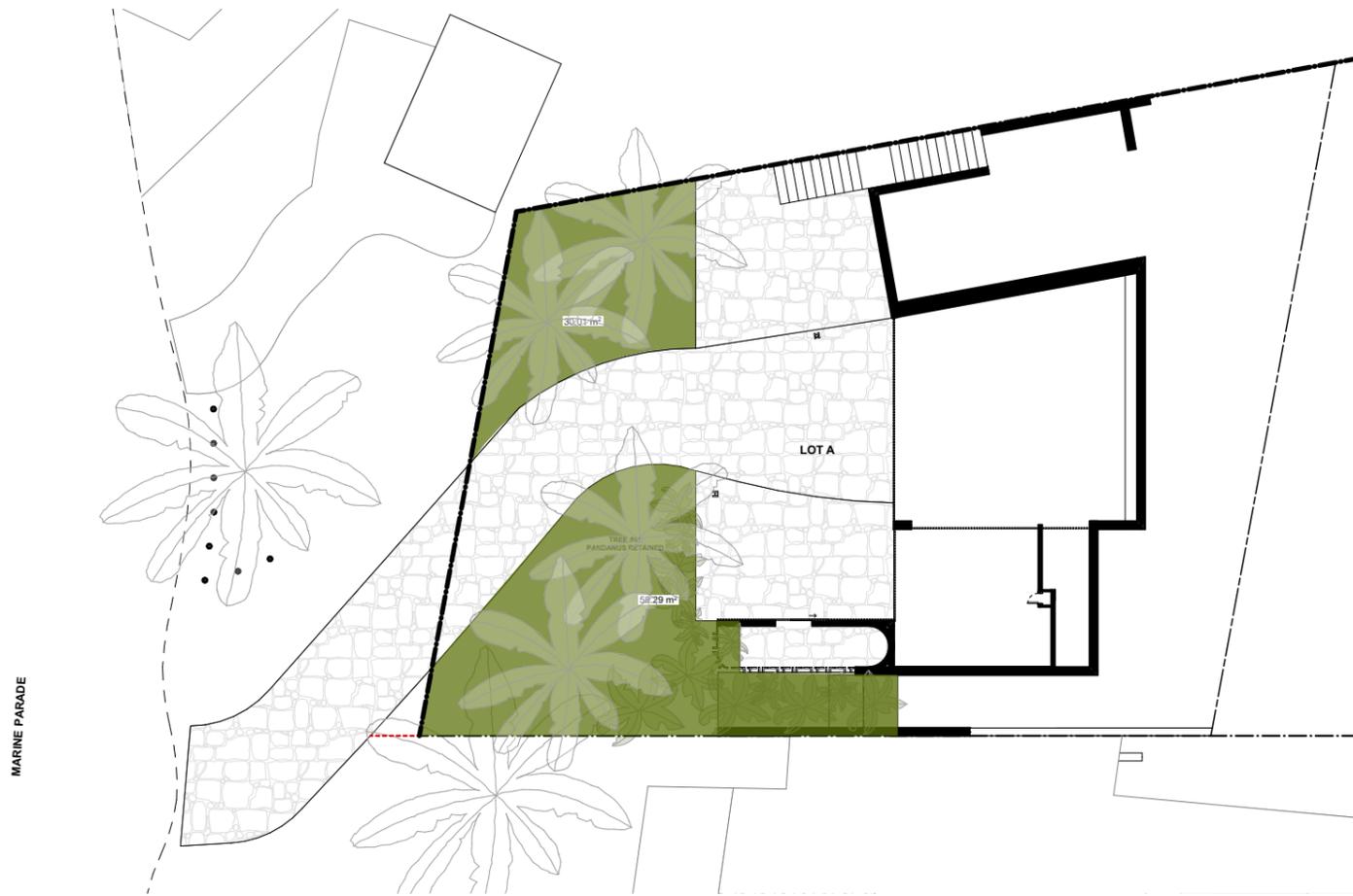
ISSUE DATE	REVISION ID	ISSUE NAME
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5/12/2024	04	DA
13/12/2024	05	DA

 DRAWN CHECKE SCALE PAPER V/N HG 1:100 A3  
PROJECT: LANTERN HOUSE HGA 205  
CLIENT: STEPHEN RING  
ADDRESS: 23 MARINE PARADE, BYRON BAY

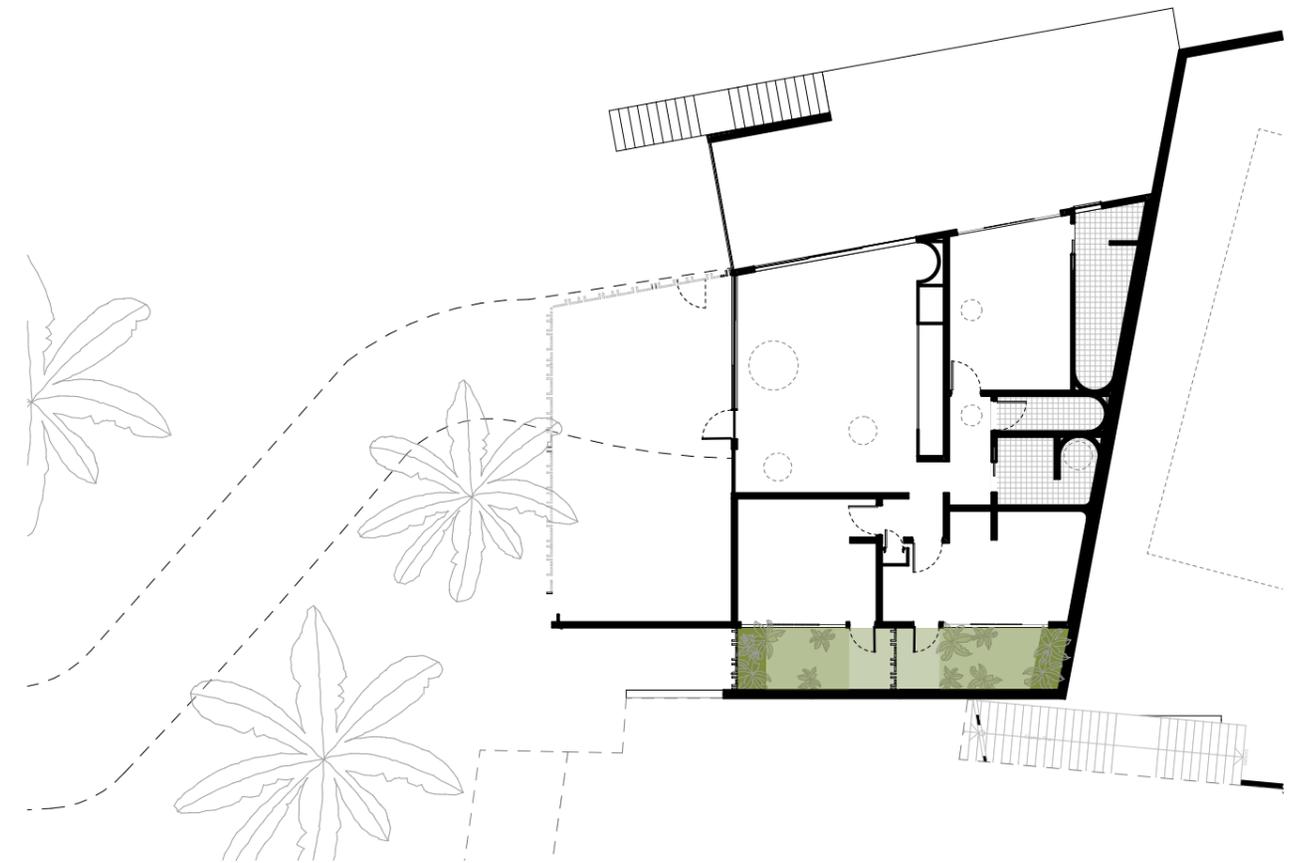
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**SHORT SECTIONS SHEET 3**  
STATUS: **LANTERN HOUSE**

DRAWING NO. **A4.04**  
REVISION NO. **05**  
13/12/2024

**LOT A LANDSCAPE PLAN**



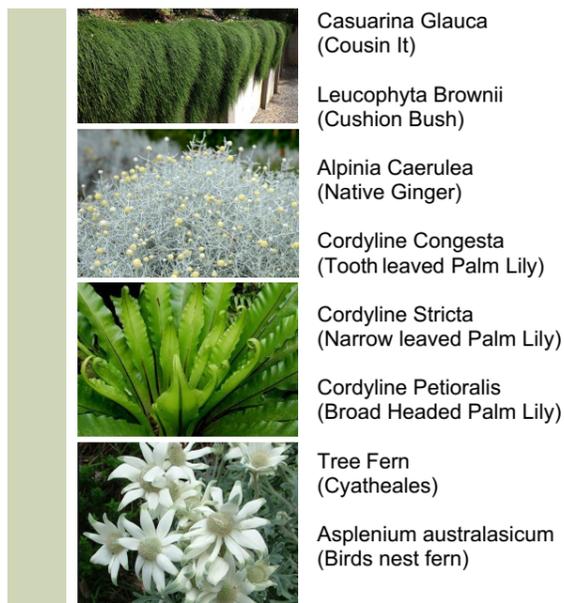
**01. LOT A LANDSCAPE PLAN GL**  
1:200



**02. LOT A - LANDSCAPE PLAN FL**  
1:200

**Certificate No. 0011604691-02**  
Scan QR code or follow website link for rating details.  
Assessor name James Cross  
Accreditation No. 61671  
Property Address 23 Marine Parade, Byron Bay NSW, 2481  
www.hstar.com.au/QR/Generate?p=XIWZvsJyQ

**AREA 2 - Shrubs and Ground Covers**



**AREA 3 - Dense Planting, Medium Trees**



LANDSCAPE AREAS	
LOT A_LAND 01	4.53
LOT A_LAND 02	9.07
LOT A_LAND 03	91.15
	<b>104.75 m<sup>2</sup></b>

**LOT AREA: 401.6m2**  
**TOTAL SITE AREA: 803.2m2**

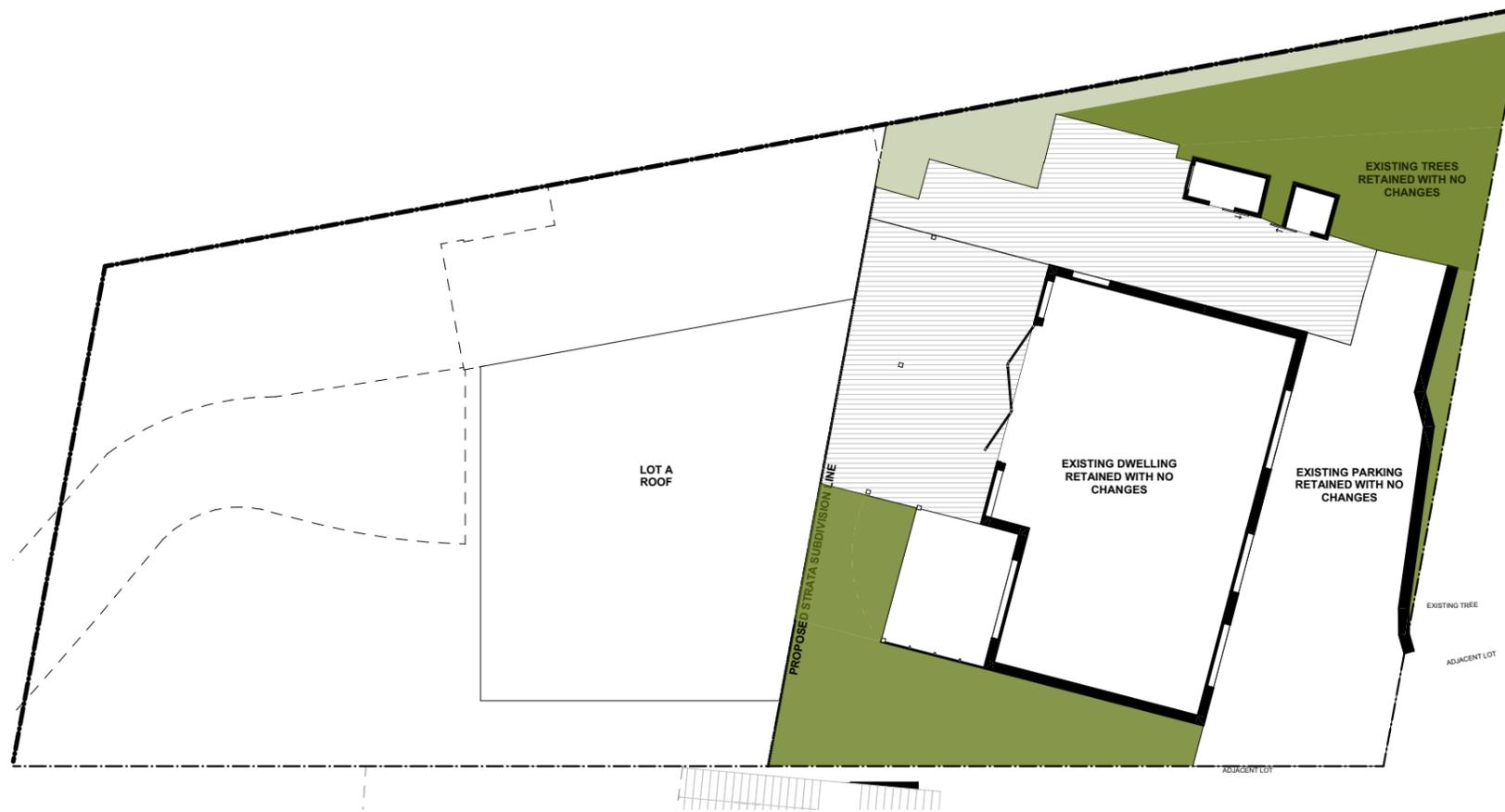
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5/12/2024	04	DA
13/12/2024	05	DA

<b>DRAWN BY:</b>	VN
<b>CHECKED BY:</b>	HG
<b>SCALE:</b>	1:200
<b>PAPER:</b>	A3
<b>PROJECT:</b>	LANTERN HOUSE
<b>JOB No:</b>	HGA_205
<b>CLIENT:</b>	STEPHEN RING
<b>ADDRESS:</b>	23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:**  
LANDSCAPE PLAN  
**LOT A LANDSCAPING PLAN**  
**STATUS:**  
**LANTERN HOUSE**

LOT B\_LANDSCAPE PLAN



01. LOT B\_LANDSCAPE PLAN  
1:200

AREA 1 - Grass

AREA 2 - Shrubs and Ground Covers

AREA 3 - Dense Planting, Medium Trees

**Certificate No. 0011604691-02**  
 Scan QR code or follow website link for rating details.  
 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
 www.hstar.com.au/QR/Generate?p=XIWZvsJyQ

- Casuarina Glauca (Cousin It)
- Leucophyta Brownii (Cushion Bush)
- Alpinia Caerulea (Native Ginger)
- Cordyline Congesta (Tooth leaved Palm Lily)
- Cordyline Stricta (Narrow leaved Palm Lily)
- Cordyline Petioralis (Broad Headed Palm Lily)
- Tree Fern (Cyatheaales)
- Asplenium australasicum (Birds nest fern)

- Eucalyptus Cinerea (Silver Dollar Tree)
- Archntophoenix cunnighamiana (Bangalow Palm)
- Banksia Integrifolia (Coastal Banksia)
- Pandaneus
- Eucalyptus Caesia (Silver Princess)

LANDSCAPE AREAS	
LOT B_LAND 02	69.74
LOT B_LAND 03	109.36
	<b>179.10 m<sup>2</sup></b>

LOT AREA: 401.6m2  
 TOTAL SITE AREA: 803.2m2



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14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA

DRAWN BY: VN  
 CHECKED BY: HG  
 SCALE: 1:200, 1:1  
 PAPER: A3  
 PROJECT: LANTERN HOUSE  
 JOB No: HGA 205  
 CLIENT: STEPHEN RING  
 ADDRESS: 23 MARINE PARADE, BYRON BAY

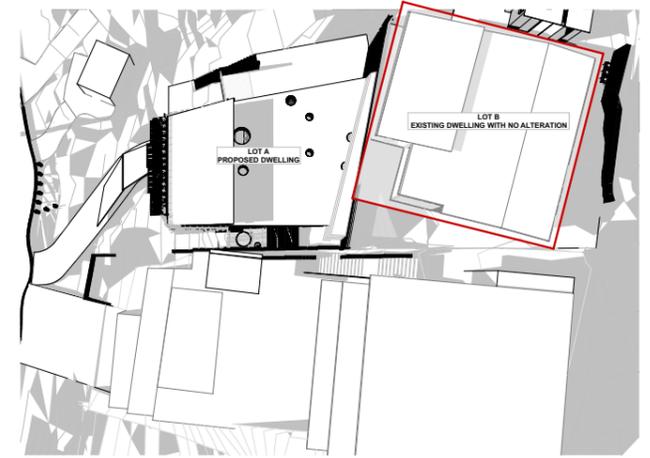
DRAWING TITLE: LANDSCAPE PLAN  
**LOT B\_LANDSCAPING PLAN**  
 STATUS: **LANTERN HOUSE**



**01.** 22 JUNE 9AM  
1:200



**02.** 22 JUNE 12PM  
1:200



**03.** 22 JUNE 3PM  
1:200



**04.** 22 DEC 9AM  
1:200



**05.** 22 DEC 12PM  
1:200



**06.** 22 DEC 3PM  
1:200

**Certificate No. 0011604691-02**  
 Scan QR code or follow website link for rating details.  
 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
 www.hstar.com.au/QR/Generate?p=XIWZvsJyQ




The Builder shall check all dimensions and levels on site prior to construction. Notify any errors, discrepancies or omissions to the architect. Refer to written dimensions only. Do not scale drawings. Drawings shall not be used for construction purposes until issued for construction. This drawing reflects a design by iContact Company and is to be used only for work when authorised in writing by iContact Company. All boundaries and contours are subject to survey drawing W-01. All levels to Australian Height Data. It is the contractor's responsibility to confirm all measurements on site and locations of any services prior to work on site. All documents here within are subject to Australian Copyright Laws.

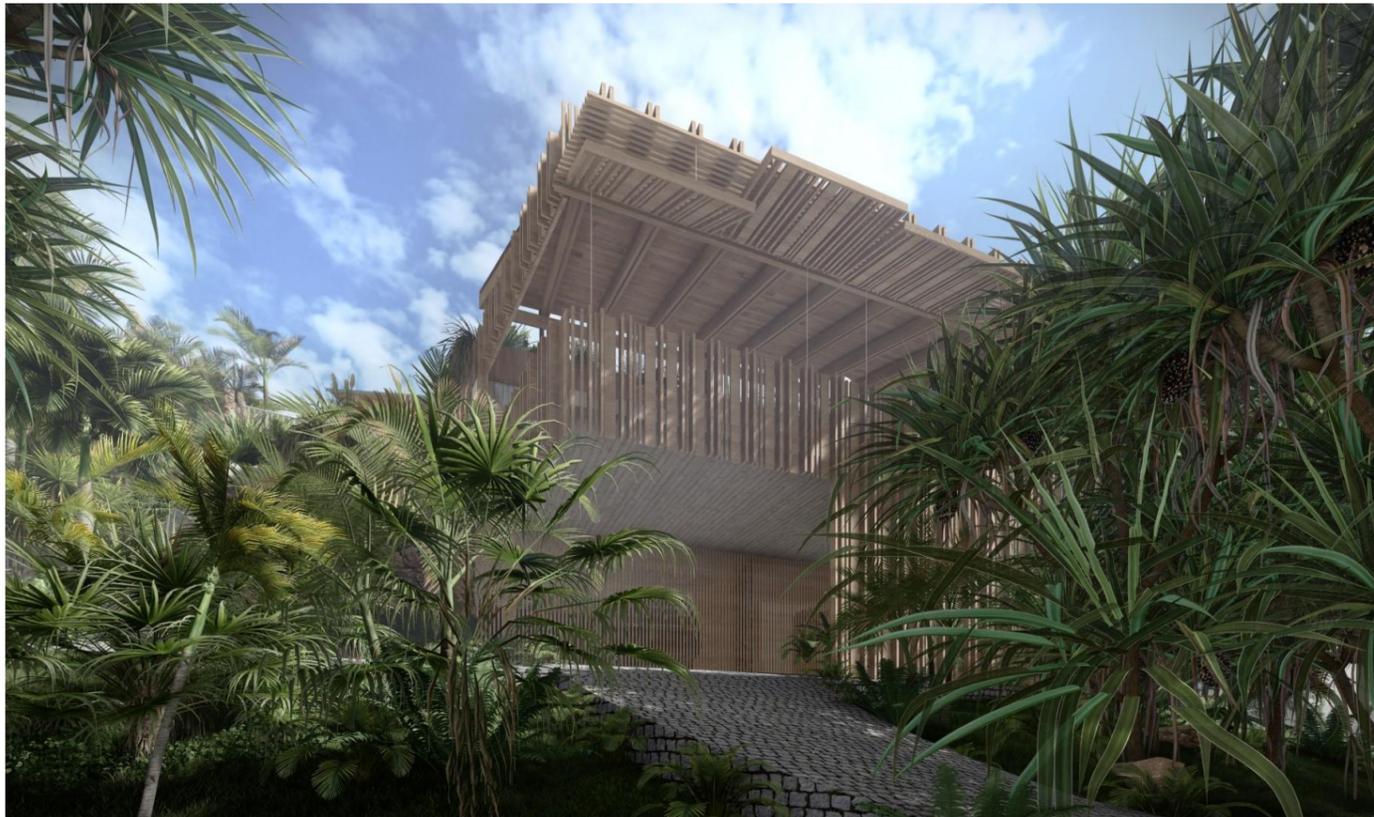
ISSUE DATE	REVISION ID	ISSUE NAME
14/11/2024	03	DA
5/12/2024	04	DA
13/12/2024	05	DA



**DRAWN BY:** VN  
**CHECKED BY:** HG  
**SCALE:** 1:200  
**PAPER:** A3  
**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 205  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE:**  
 SUNSTUDIES  
**SUNSTUDY PLAN**  
**STATUS:**  
**LANTERN HOUSE**

**DRAWING NO.**  
**A8.01**  
**REVISION NO.**  
**05**  
 13/12/2024



**Certificate No. 0011604691-02**  
 Scan QR code or follow website link for rating details.  
 Assessor name James Cross  
 Accreditation No. 61671  
 Property Address 23 Marine Parade, Byron Bay NSW, 2481  
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**HGA.**  
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 NOMINATED ARCHITECT: HARLEY GRAHAM NSW REGISTRATION NoR: 7892

ISSUE DATE	REVISION ID	ISSUE NAME
13/12/2024	05	DA



**DRAWN BY:** VN  
**CHECKED BY:** HG  
**SCALE:** A3  
**PAPER:** A3  
**PROJECT:** LANTERN HOUSE  
**JOB No:** HGA 205  
**CLIENT:** STEPHEN RING  
**ADDRESS:** 23 MARINE PARADE, BYRON BAY

**DRAWING TITLE :** PERSPECTIVES  
**PERSPECTIVES**  
**STATUS :** LANTERN HOUSE

**DRAWING NO. A9.01**  
**REVISION NO. 05**  
 13/12/2024