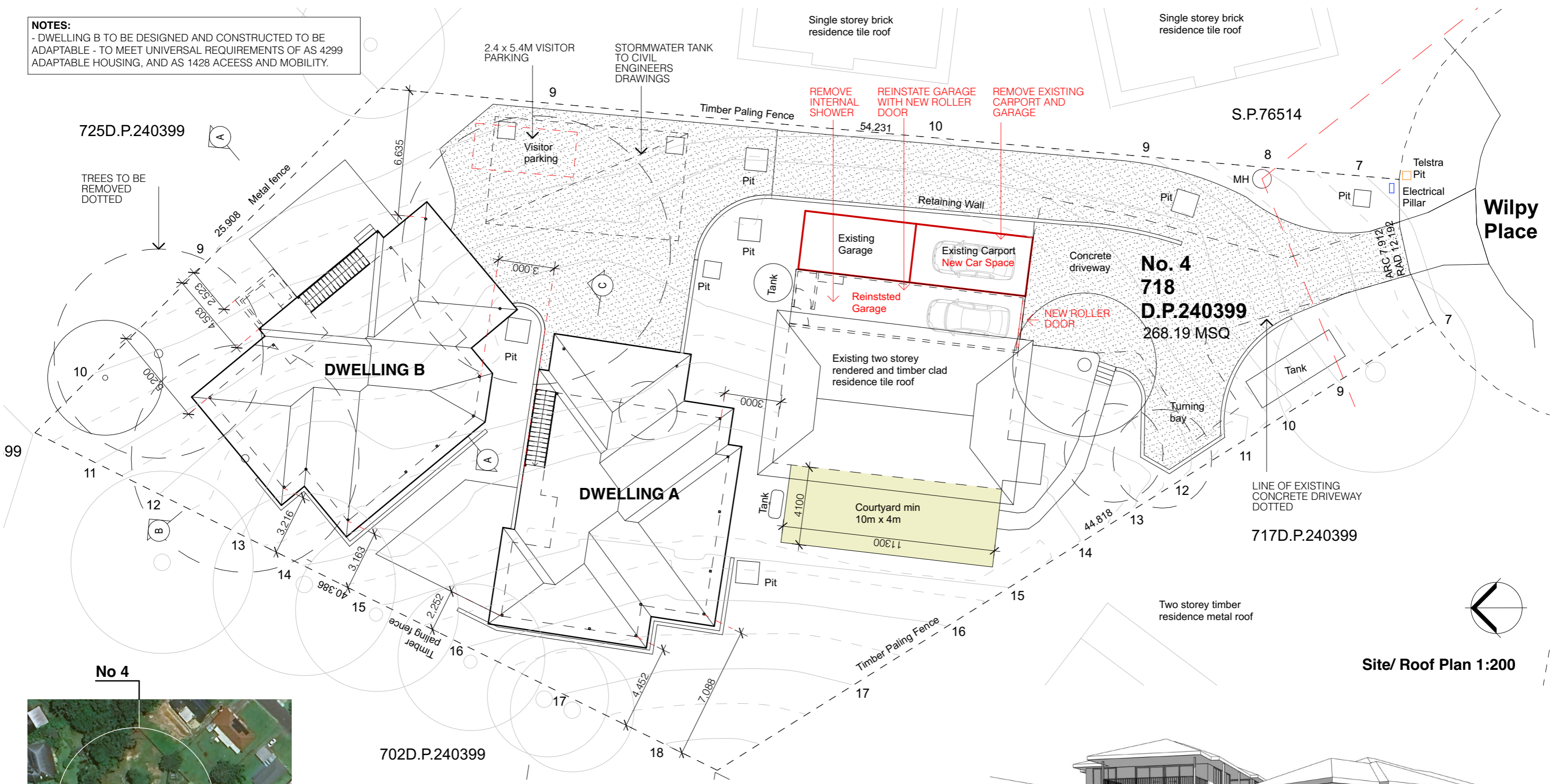
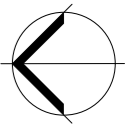


NOTES:
 - DWELLING B TO BE DESIGNED AND CONSTRUCTED TO BE ADAPTABLE - TO MEET UNIVERSAL REQUIREMENTS OF AS 4299 ADAPTABLE HOUSING, AND AS 1428 ACCESS AND MOBILITY.



**No. 4
 718
 D.P.240399
 268.19 MSQ**

Wilpy Place



Site/ Roof Plan 1:200



Location Plan NTS

Site Legend

- NEW CONCRETE DRIVEWAY TO ENGINEER'S DETAILS
- TREE TO BE REMOVED SHOWN DOTTED
- EXISTING TREES TO BE RETAINED
- LAWN SELECTED TURF

NOTES:
 - REFER CIVIL ENGINEERS DRAWINGS FOR SEWER AND STORMWATER DETAILS
 - REFER LANDSCAPE ARCHITECTS DRAWINGS FOR EXISTING VEG AND NEW LANDSCAPING
 - REFER SURVEY FOR LEVELS, EXISTING DWELLINGS AND SERVICES, TREES AND VEGETATION
 - ALL STRUCTURAL SLABS, FOUNDATIONS, FOOTINGS, RETAINING WALLS, FRAMING, TIE-DOWN ETC TO STRUCTURAL ENGINEERS DRAWINGS
 - ALLOW FOR SEDIMENT CONTROL FENCE AROUND SITE PERIMETER DURING CONSTRUCTION TO COUNCIL REQUIREMENTS

AREAS:
 SITE AREA - 1592 MSQ
 GFA EXISTING BUILDING - 268 MSQ
 GFA DWELLING A - 140 MSQ
 GFA DWELLING B - 139 MSQ
 FSR - .34:1



Perspective View NTS

Rev	Notes	Date
H	Revised DA Issue	18.12.24
I	Revised DA Issue	23.04.25
J	Revised DA - Existing carport deleted	14.08.25

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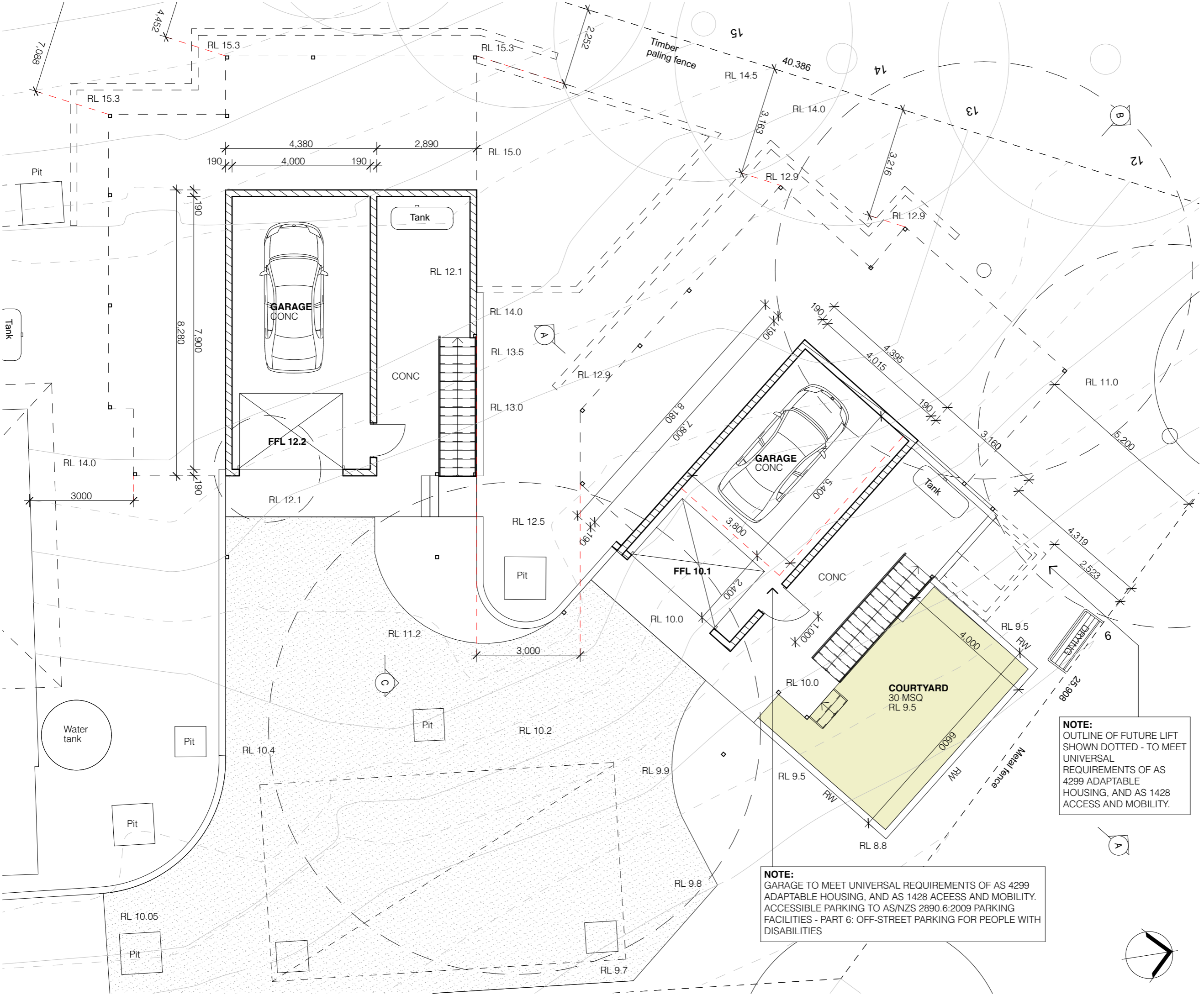
Contact Architect

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Drawing Site / Roof Plan
Project 4 Wilpy Place, Ocean Shores, NSW.
 Lot 718, DP 240399

Scale	Drawn	Date
indicated	CF	14-08-25
Drawing	Checked	Revision
DA00	CF	J



Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
F	Revised DA Issue	14.12.24
G	Revised DA Issue	16.12.24
H	Revised DA Issue	18.12.24

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Materials Legend

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- MG METAL GUTTER
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- TF TIMBER FENCE
- PS PRIVACY SCREEN
- GD GARAGE DOOR
- TD TIMBER DOOR
- RW TIMBER/ MASONRY RETAINING WALL

NOTE:
OUTLINE OF FUTURE LIFT SHOWN DOTTED - TO MEET UNIVERSAL REQUIREMENTS OF AS 4299 ADAPTABLE HOUSING, AND AS 1428 ACCESS AND MOBILITY.

NOTE:
GARAGE TO MEET UNIVERSAL REQUIREMENTS OF AS 4299 ADAPTABLE HOUSING, AND AS 1428 ACCESS AND MOBILITY. ACCESSIBLE PARKING TO AS/NZS 2890.6:2009 PARKING FACILITIES - PART 6: OFF-STREET PARKING FOR PEOPLE WITH DISABILITIES

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Drawing Ground Floor Plan





Project 4 Wilpy Place,
Ocean Shores, NSW.
Lot 718, DP 240399

Scale	Drawn	Date
1:100@A3	CF	18-12-24
Drawing	Checked	Revision
DA01	CF	H

Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
F	Revised DA Issue	14.12.24
G	Revised DA Issue	16.12.24
H	Revised DA Issue	18.12.24

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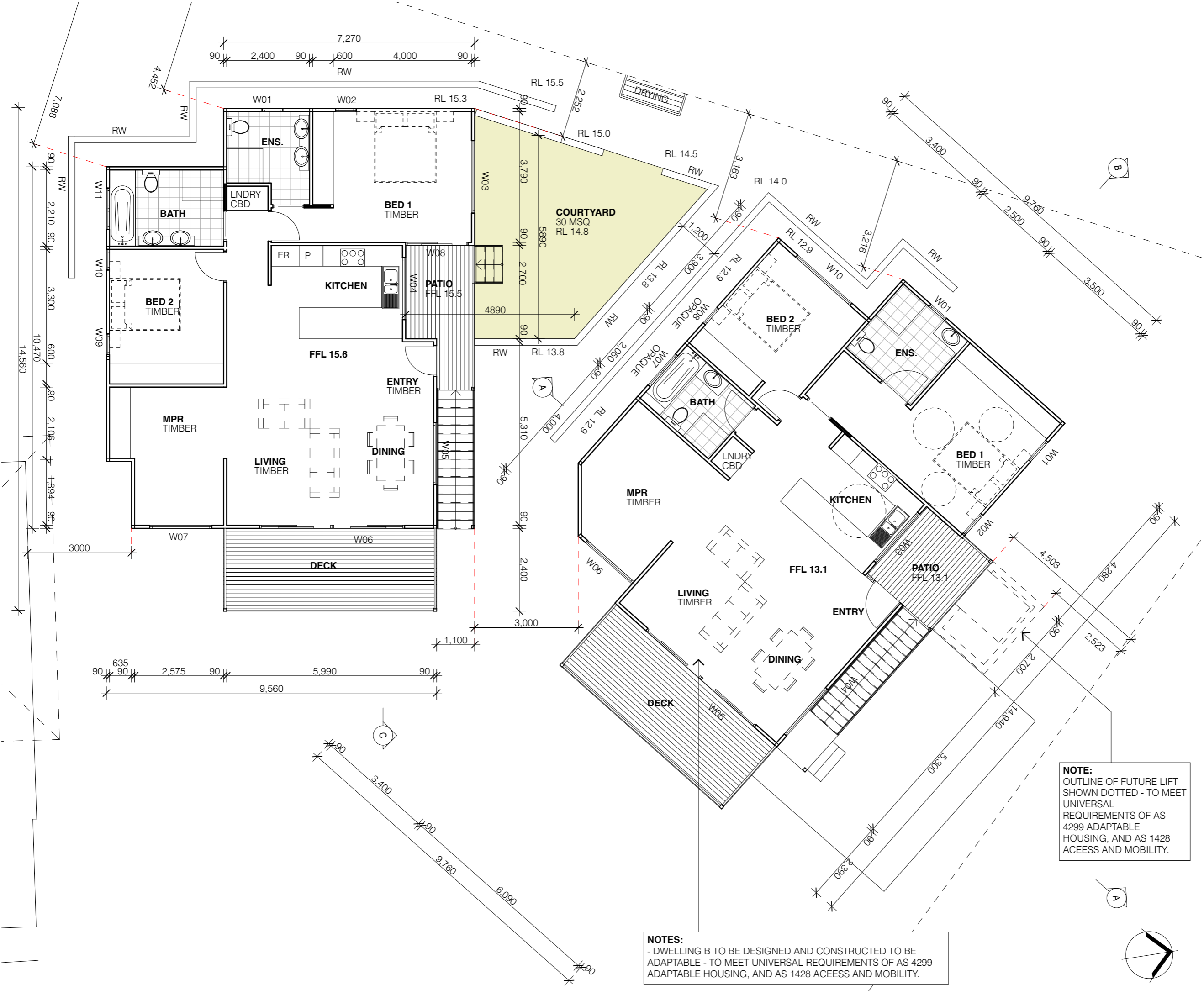
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Drawing **Upper Floor Plan**

Project 4 Wilpy Place,
Ocean Shores, NSW.
Lot 718, DP 240399

Scale	Drawn	Date
1:100@A3	CF	18-12-24
Drawing	Checked	Revision
DA02	CF	H






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NOTE:
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Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
F	Revised DA Issue	14.12.24
G	Revised DA Issue	16.12.24
H	Revised DA Issue	18.12.24

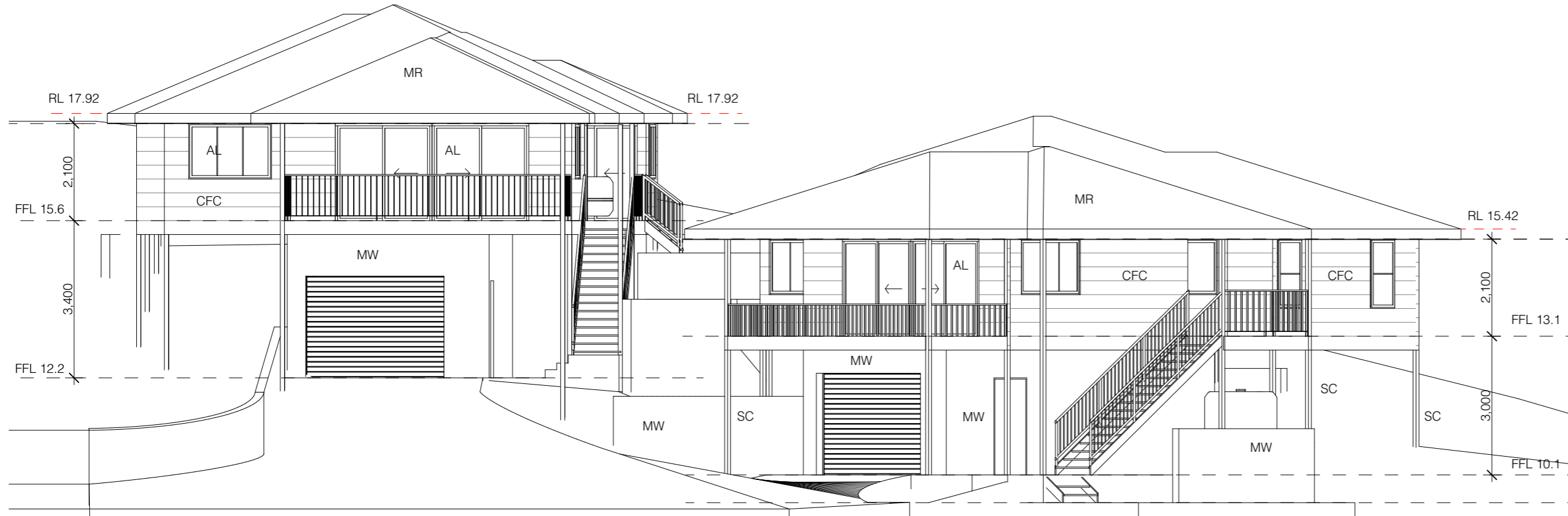
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Site Legend

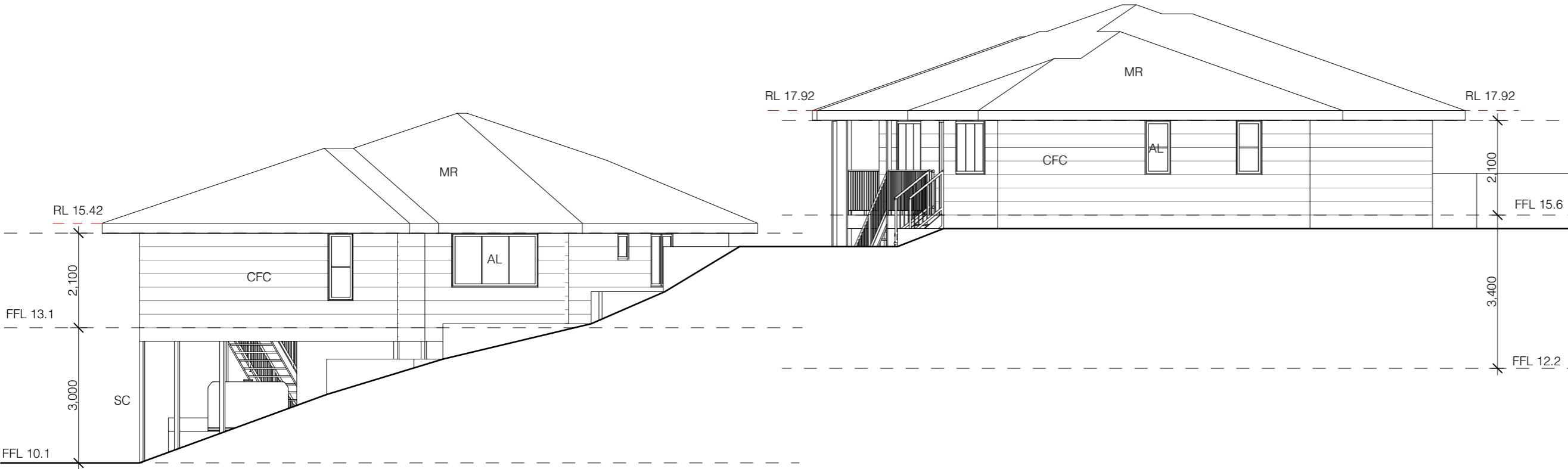
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East Elevation 1:100@A3



West Elevation 1:100@A3

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


Drawing Elevations 01
Project 4 Wilpy Place,
 Ocean Shores, NSW.
 Lot 718, DP 240399

Scale 1:100@A3	Drawn CF	Date 18-12-24
Drawing DA03	Checked CF	Revision H

Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
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Site Legend

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Materials Legend

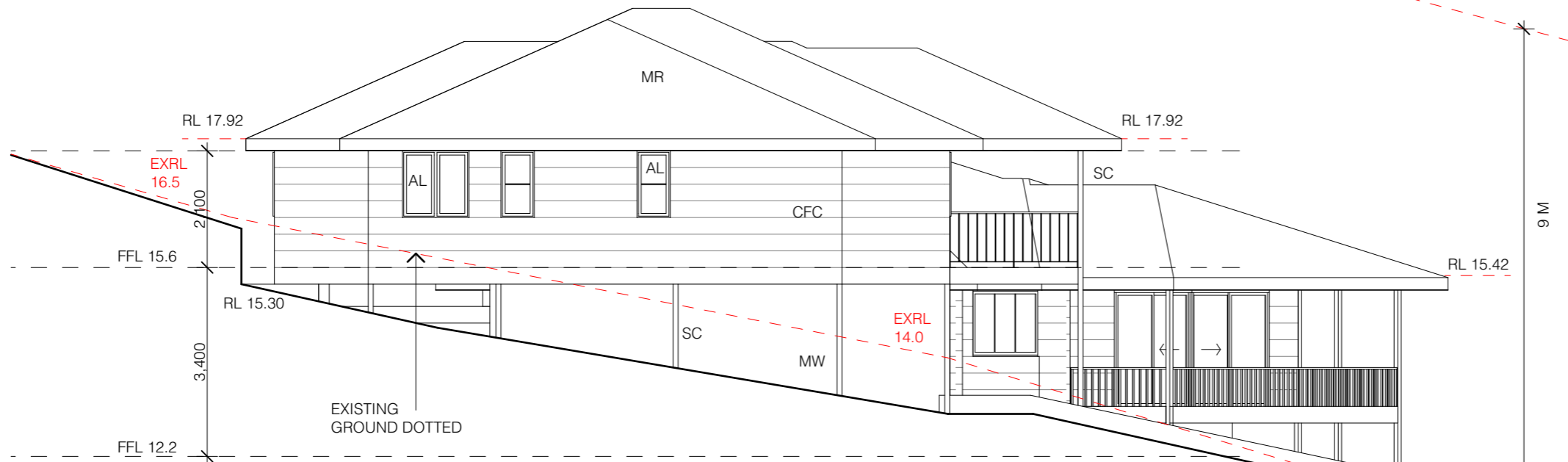
- AL POWDERCOATED ALUMINIUM FRAMED WINDOWS & DOORS
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FOR DA ONLY

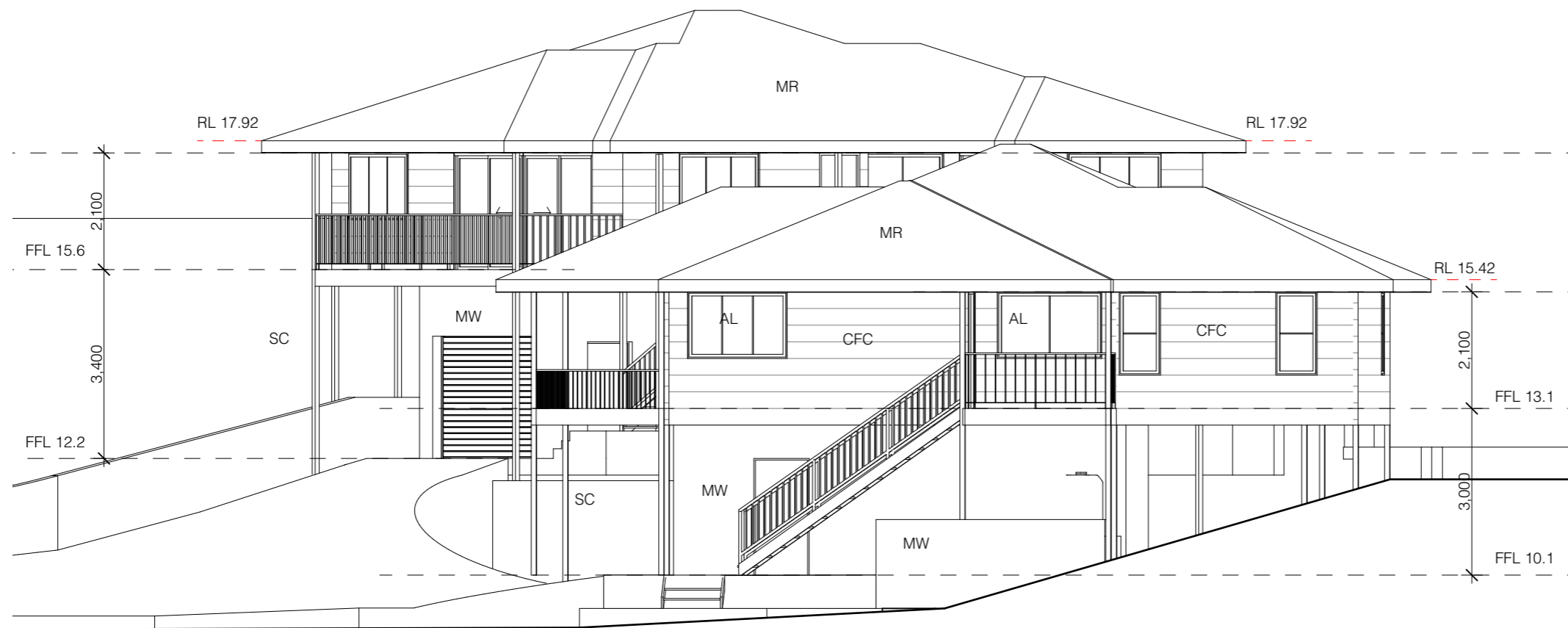
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Drawing Elevations 02
Project 4 Wilpy Place,
 Ocean Shores, NSW.
 Lot 718, DP 240399

Scale	Drawn	Date
1:100@A3	CF	18-12-24
Drawing	Checked	Revision
DA04	CF	H



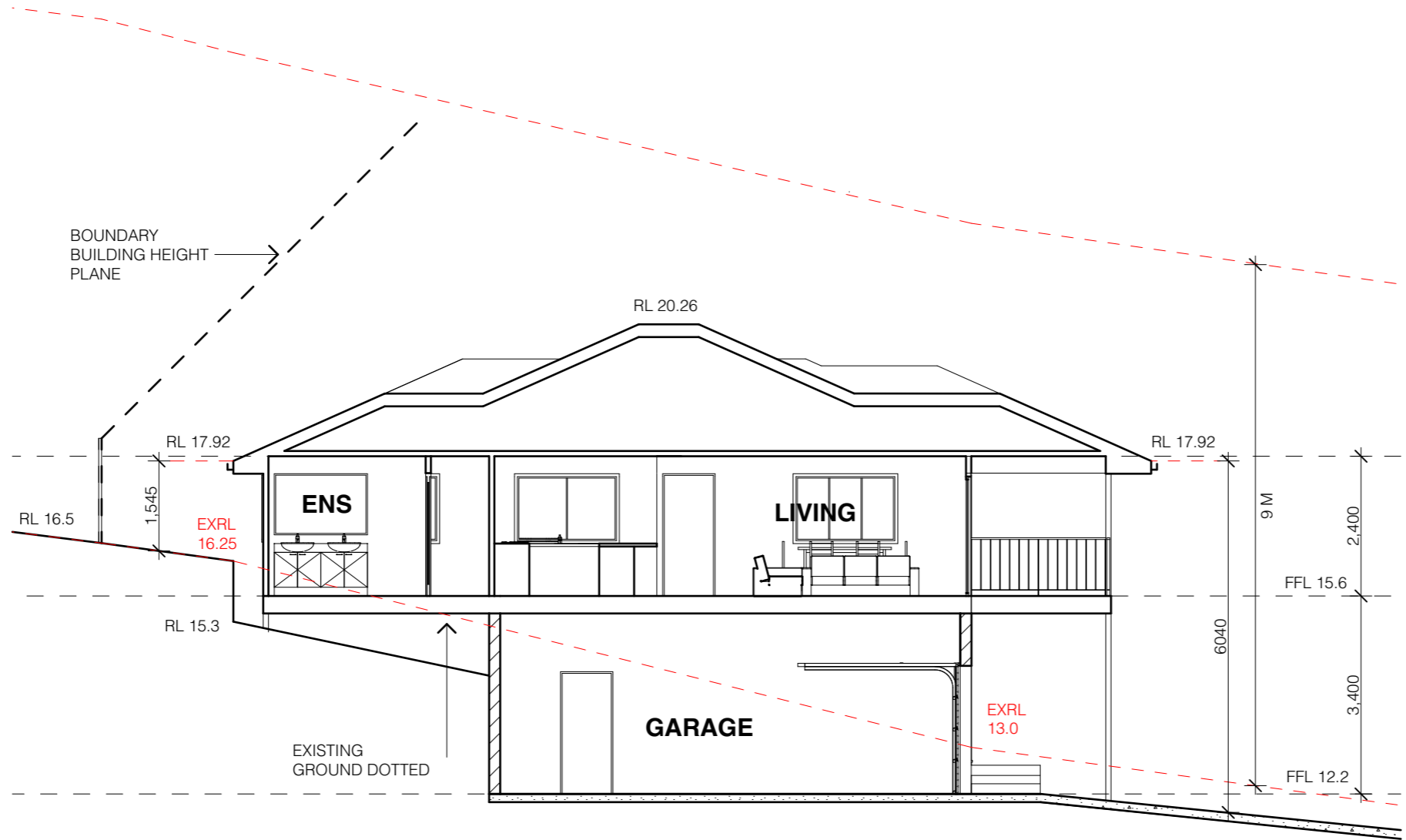
South Elevation 1:100@A3



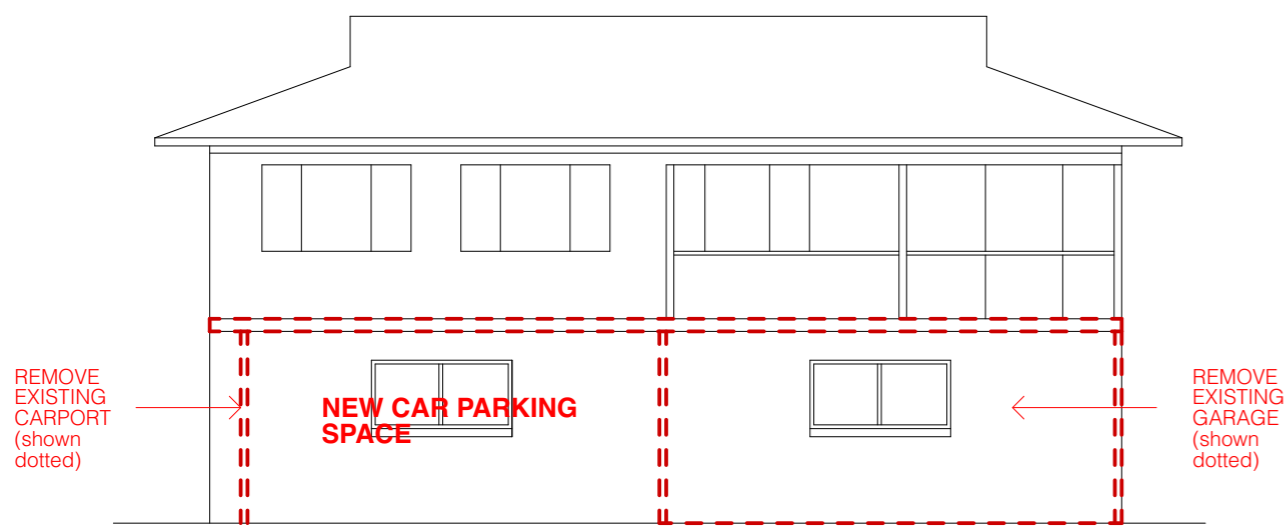
North Elevation 1:100@A3

Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
F	Revised DA Issue	14.12.24
G	Revised DA Issue	16.12.24
H	Revised DA Issue	18.12.24
I	Revised DA - Existing carport deleted	14.08.25

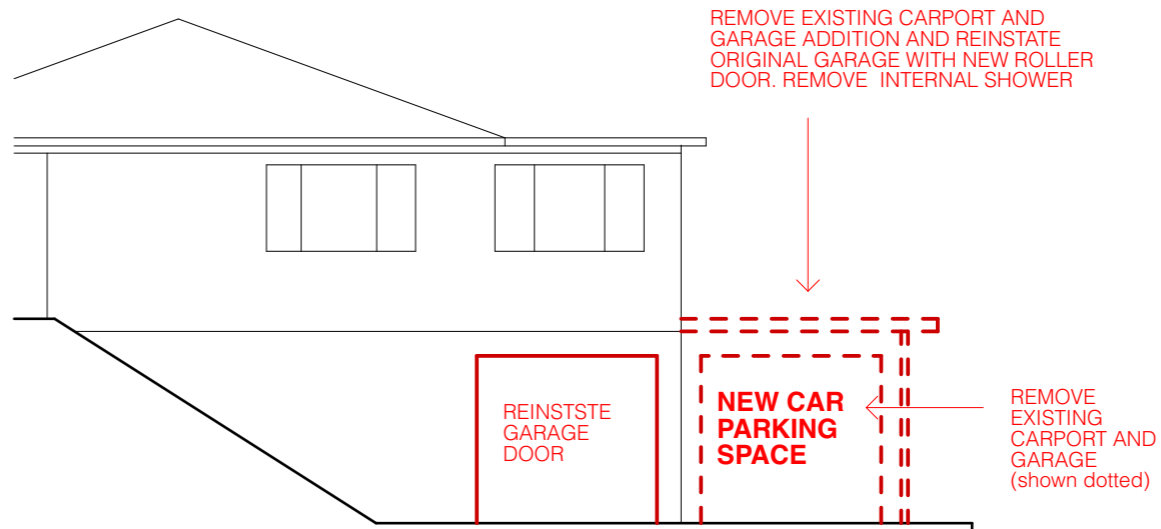
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**Dwelling A
 Section C
 1:100@A3**



**West Elevation - Existing Residence
 1:100@A3**



**South Elevation - Existing Residence
 1:100@A3**

FOR DA ONLY

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Drawing
Project 4 Wilpy Place,
 Ocean Shores, NSW.
 Lot 718, DP 240399

Scale 1:100@A3	Drawn CF	Date 14-08-25
Drawing DA06	Checked CF	Revision I

Drawings + Specification

Architectural drawings to be read in conjunction with specifications and with all other consultant drawings. Figured dimensions are to be taken in preference to scaled. Do not scale from drawings.

Site

All levels and dimensions are to be checked by builder and confirmed on site and if required clarified by the consultant team prior to construction. Subsoil conditions to be confirmed by builder prior to construction. Builder to confirm suitability of structure for site conditions.

Survey

Refer survey for existing buildings, roads, fences, vegetation, services, and levels.

DA Conditions

The development shall be carried out in accordance with all issued Development Consent Conditions, and the architectural and structural plans and supporting documents endorsed with the Council stamp and authorised signature.

Demolition

Detect and allow for removal of any existing foundation or footing material below ground level where demolition is required.

Excavation

Where required all excavation to be in accordance with NCC and engineers requirements.

NCC

- All building works are to be in accordance with but not limited to NCC 2022 requirements.
- The intention is to deliver the building on the basis of a design that complies with the DTS provisions of the NCC, unless indicated and supported by a Performance Solution.
- All building works are to be in accordance with but not limited to:

- ALL RELEVANT AUSTRALIAN STANDARDS (IF NOT LISTED)
- REQUIREMENTS OF COUNCIL AND ANY OTHER AUTHORITY
- AS 1428 DESIGN FOR ACCESS AND MOBILITY
- AS 2890 OFFSTREET PARKING
- FIRE RESISTANCE TO NCC REQUIREMENTS
- AS1670 FIRE DETECTION, WARNING, CONTROL AND INTERCOM SYSTEMS
- AS 2118 FIRE SPRINKLER SYSTEMS
- AS 2293.1 EMERGENCY ESCAPE LIGHTING AND EXIT SIGNS
- AS 3500 PLUMBING AND DRAINAGE
- AS 3000 ELECTRICAL INSTALLATIONS
- AS 3740 WATERPROOFING WET AREAS
- AS 3661 SLIP RESISTANCE OF SURFACES
- AS 3700 MASONRY
- AS 3600 CONCRETE CONSTRUCTION
- AS 1720.1, 1684.2, 3 & 4 TIMBER CONSTRUCTION
- AS 2047 & 1288 GLAZING
- AS 3660.1 TERMITE RISK MANAGEMENT
- AS 1562.1 ROOF CLADDING
- AS 2908.2 WALL CLADDING
- AS 3660.0 DAMP PROOFING

Structure

- All foundations, slabs and footings, walls and retaining walls, and roof and tie down structure to engineers drawings and all manufacturers specification.
- Certified plans to be provided by engineer, to comply with NCC Part H1 – Structure requirements.
- All structural components to AS1170.0-2002, AS 170.1-2002, AS1170.2-2011, AS3700-2011, AS1720.1-2010 AS1684.2, 3, and 4-2010, AS2047-1999, AS1288-2006, AS3660.1-2000, and AS1562.1-1992.
- All sub floor construction - underfloor fill, termite treatment, vapour barrier, drainage etc to be in accordance with NCC requirements and engineers and plumbing contractors specifications.
- All reinforcement, concrete and curing, ground floor and suspended slabs, and foundation walls to NCC requirements and engineers details.
- Except where otherwise approved by an engineer, structural concrete shall be in accordance with the NCC. Pre-mixed concrete shall be manufactured in accordance with the NCC, with delivery dockets kept on site or available for inspection.
- All concrete slabs shall be cured in accordance with the NCC. Concrete slabs and footings shall not be placed until approval to do so is given by the engineer.
- All concrete slabs, other than those supported on solid ground or properly compacted fill, shall be constructed as suspended slabs. These slabs shall be constructed in accordance with the NCC.
- Where specified, masonry foundation walls are to be built on specified footings to the thickness indicated on the plans and to the height of the underside of the floor bearer or bottom wall plate.

Damp Proofing + Weatherproofing

- All building rainwater management, drainage, weatherproofing, rising damp to be in accordance NCC.
- Roof and wall cladding to NCC AS 1562.1.
- Sarking for walls must comply with NCC and AS 4200.1 and AS 4200.2.
- Damp proofing to comply with NCC and with AS/NZS 2904 or AS3660.0. Vapour barrier under slab required.

Fire Safety

- All building works to meet the Fire safety requirements of NCC - detection and early warning, automatic smoke detection and alarm system installed in accordance with AS 1670.1.

Health and Amenity

- All building works to meet the Health and amenity requirements of NCC.

Safe Movement and Access

- All building works to meet the Safe movement and access requirements of NCC.

Stairs + Handrails

- Stairs to comply with NCC, AS1428.1, and AS1428.2
- Riser 190mm max, 115 min, going 250mm- 2r+g=700 max 550 min. Handrails and balustrades to NCC and AS 1428.1-2009.
- Stairways, landings and ramps to have minimum slip resistance.

Basix

All construction, building thermal performance, and energy usage to meet Basix requirements. Refer Basix notes and certificate.

Universal Housing Design

- Dwelling B to be constructed to Universal/ Adaptable housing requirements

Waterproofing Wet Areas

- Waterproofing membranes to NCC and to AS4654.1 and AS4654.2.
- Waterproofing of wet areas to comply with NCC and AS3740.
- Floor Wastes to NCC with fall requirements for floors to wastes under AS3740.

Windows, Doors + Skylights

Windows and sliding doors to Basix requirements, manufacturers specification, NCC requirements, and to as 2047. Skylights to AS 1288.

- Any openable windows in bedrooms above 2m from the surface beneath require fall protection if the sill is less than 1.7m to floor level.

Roof Cladding + Sarking

- Metal sheet roofing to comply with NCC, and AS1562.1 or AS1288.
- Sarking to roofs + walls to comply with NCC, and AS/NZS 4200 parts 1 & 2.
- Provide and install a metal roof together with accessories as determined in the contract documents in accordance with the NCC and the manufacturer's recommendations- except where design prohibits, sheets shall be in single lengths from fascia to ridge. Fixing of sheets shall be in accordance with the manufacturer's instructions as required for the appropriate design and wind speed
- Gutters and downpipes as determined in the contract documents shall be manufactured and installed in accordance with the NCC.
- Materials used for flashings, fasteners, gutters and downpipes and shall be compatible
- sarking under roof coverings must comply with and be fixed in accordance with the NCC.
- Appropriate sealants shall be used where necessary and in accordance with NCC and manufacturer's specifications.
- Flashings shall comply with, and be installed in accordance with the NCC.

Wall Cladding + Linings

- Sheet materials or other external cladding shall be fixed in accordance with the manufacturer's recommendations and any applicable special details.
- Unless otherwise specified, internal linings to walls and ceilings in other than wet areas shall be of gypsum plasterboard. Plasterboard sheets are to be of a minimum 10 mm thick with recessed edges to facilitate a smooth set finish.
- Internal angles to walls are to be set from floor to ceiling. Wall to ceilings square set.
- All internal wet areas are to be waterproofed in accordance with the NCC. Wet area linings are to be fixed in accordance with the manufacturer's recommendations.
- The ceiling access hole where required shall be of similar material to the adjacent ceiling.

Insulation

- All insulation to be to Basix requirements, and where required must comply with AS/NZS 4859.1.
- Abut or overlap adjoining insulation other than at supporting members such as studs, noggings, joists, furring channels where the insulation must be against the member, form a continuous barrier with ceilings, walls, bulkheads, floors or the like that contribute to the thermal barrier.
- Insulation must no affect the safe or effective operation of a service or fitting. Reflective insulation must be installed with the necessary airspace between the reflective side of the insulation and the lining or cladding. Reflective insulation must be installed closely against any penetration, door or window opening.
- Bulk insulation where required must be installed so that it maintains its position and thickness, other than when it is compressed between cladding and supporting members, water pipes, electrical cabling or the like
- When selecting insulation caution should be taken to clearly identify the total R-value of the installed roofing and ceiling system or wall system.

Timber Framing

- All timber framing to NCC and manufacturers details.
- Alternative structural framing shall be to structural engineer's details and certification.
- Timber Engineered products may be used provided their design comply with the NCC and they are installed in accordance with the manufacturer's instructions.
- The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.
- Wall framing is to be erected plumb and straight and securely fastened to the floor framing or floor slab.The interface between masonry and wall framing will conform with the NCC.
- Where roof timber construction is used, framing shall be designed in accordance with AS 1720 and be erected, fixed and braced in accordance with the manufacturer's instructions.
- Bracing units shall be determined and installed in accordance with the NCC as appropriate for the design wind velocity for the site. Bracing shall be evenly distributed throughout the building.
- Roofs shall be pitched to the slope shown on plan. The work shall be carried out in a proper and tradesperson like manner and shall be in accordance with recognised and accepted building practices.
- Metal fascias shall be installed in accordance with the manufacturer's instructions and shall meet the requirements of the NCC.
- All metal brackets, facing plates and other associated fixings used in structural timber joints and bracing must have corrosion protection appropriate to the site in accordance with the NCC.

Steel Framing

- Steel framing where required shall be to engineers details and installed in accordance with the manufacturer's recommendations and the NCC.

Masonry

- All masonry construction and units shall comply with the NCC.
- Tolerances shall only be applied to the total measurements over 20 units, and not to the individual units. As clay masonry units are natural kiln fired products their individual size may vary due to the manufacturing process.
- Concrete blockwork shall be constructed in accordance with the NCC.
- All damp proof courses shall comply with the NCC. The damp proof membrane shall be visible in the external face of the masonry in which it is placed and shall not be bridged by any applied coatings, render or the like.
- Where required open vertical joints (weepholes) must be created in the course immediately above any Damp Proof Course or flashing at centres in accordance with the NCC.
- Mortar and joint tolerances shall comply with the NCC.
- Masonry accessories shall comply with the NCC and accepted building practices. Articulated joints shall be constructed in accordance with the NCC.
- Lintels used to support masonry above openings in walls must be suitable for the purpose as required by the NCC.
- Lintels are to be provided to each wall leaf and are to be corrosion protected appropriate for the site environment and location of the lintel within the structure in accordance with the NCC.

Masonry Control Joints

- Projection in horizontal surfaces (balconies, etc) required to NCC and AS4654.2.
- Vertical control joints to comply with NCC and to engineers specification. Builder to confirm location prior to construction. Provide brickwork joints on line of changes of section generally, and at 6m max spacing.

Joinery

- All joinery work, metal or timber shall be manufactured and installed according to accepted building practices, NCC and manufacturers instructions.
- External door frames shall be suitable for the exposed conditions and to receive doors.
- Internal jamb linings shall be suitable to receive doors as specified in the contract documents.
- Manufactured door frames shall be installed in accordance with the manufacturer's instructions.
- All internal and external timber door and door sets shall be installed in accordance with accepted building practice and specific manufacturer's instructions.
- Architraves and skirting as nominated on the plans and shall be installed in accordance with accepted building practice.
- Units shall be installed to manufacturer's recommendations. Bench tops shall be of a water resistant material.

Landscape

- All external landscape works to landscape architects drawings, all services drawings, local authority requirements, and NCC.
- Arborist to be consulted for all tree works and protection during construction.

Civil

- All civil works - works to road and gutters, car parking, street drainage, concrete driveway, overland flow and site drainage to be to Civil engineers drawings and NCC and AS/NZS 2293.1 requirements.
- All civil works to be confirmed with engineer prior to construction.

Electrical

- All lighting/ electrical to be to electrical contractors drawings and specification, and to be coordinated by builder and confirmed with client prior to construction.

Hydraulic + Plumbing

- All hydraulics- roof drainage, dp's and gutters, finished ground surface overland flow to civil engineers documents, plumbing contractors details, to comply with NCC requirements, and coordinated by builder and confirmed with client prior to construction.
- Stormwater drainage to AS 3500.3-2003. Sarking to roofs and walls to AS/NZ4200 parts 1 and 2.
- Water connection, meter and valve assembly to comply with local water authority requirements.
- Cold water services are to be in accordance with AS 3500.1-2003
- Heated water services are to be in accordance with AS 3500.4.
- Mechanical ventilation is required to the bathrooms in accordance with as 1668.2-2012.
- Exhaust systems to NCC.
- Sanitary plumbing to be in accordance with AS 3500.2-2003

Termite Barrier

Equal to:
Termi-Mesh Aust. P/L / Granitgard P/L
Kordon Termite Barrier (Bayer CropScience Pty Ltd)

Rev	Notes	Date
A	Preliminary Issue	20.08.24
B	Revised DA Prelim Issue	17.09.24
C	Revised DA Prelim Issue	10.10.24
D	DA Issue	13.11.24
E	Revised DA Issue	22.11.24
F	Revised DA Issue	14.12.24
G	Revised DA Issue	16.12.24
H	Revised DA Issue	18.12.24

Notes

Do not scale off drawings. Use figured dimensions only. Check all dimensions on site. Report any discrepancies to the architect. These designs must not be used, reproduced, or copied wholly or in part, other than for the procurement of this

Basix Notes:

DWELLING A

Conditioned Floor Area <300 msq
LOW WATER USAGE SPECIES OF VEGETATION TO BE THROUGHOUT 100 MSQ OF SITE

DWELLING B

Conditioned Floor Area <300 msq
LOW WATER USAGE SPECIES OF VEGETATION TO BE THROUGHOUT 120 MSQ OF SITE

DWELLING A + B INSULATION

R 2.0 INSULATION TO EXTERNAL WALLS.
R 2.0 FIBREGLASS BATT CEILING
INSULATION + 55mm FOIL BACKED BLANKET TO ROOF

FIXTURES

SHOWER HEADS- 4 STAR RATING
TOILET- 4 STAR RATING
KITCHEN /BATHROOM TAPWARE- 4 STAR RATING

COOLING + HEATING

CEILING FANS TO ALL LIVING ROOMS AND BEDROOMS. NO ACTIVE HEATING TO BEDROOMS OR LIVING ROOMS

COLOURS

LIGHT COLOURS SOLAR ABSORBTANCE < 0.475

WINDOWS + DOORS

ALL WINDOWS IMPROVED ALUMINIUM SINGLE CLEAR UNLESS INDICATED ON DRAWINGS.

HOT WATER SYSTEM/ APPLIANCES

ELECTRIC HEAT PUMP HOT WATER SYSTEM - 21 N- 25 STC
ELECTRIC COOK TOP/ELECTRIC OVEN
WELL VENTILATED REFRIGERATOR SPACE
OUTDOOR CLOTHES LINE

VENTILATION

BATHROOMS, KITCHEN, AND LAUNDRY- INDIVIDUAL FAN DUCTED TO OUTSIDE, MANUAL SWITCH

LIGHTING

ALL LIGHTING LED/ FLOURESCENT

RAINWATER TANK

MIN 3000 LTR WATER TANK. 100% FROM ROOF (165 MSQ.) TANK WATER SUPPLY TO GARDEN TAPS.

Contact Architect



Nominated Architect Christian Fisher NSW Reg 7613
02 6655 0191 0412 314 537 www.fisherdesign.com.au

Drawing	Specification Notes	
Project	4 Wilpy Place, Ocean Shores, NSW. Lot 718, DP 240399	
Scale	Drawn	Date
1:100@A3	CF	18-12 -24
Drawing	Checked	Revision
DA07	CF	H