

1 SITE PLAN
Scale: 1:250

DA ISSUE

DESIGN TRIBE PROJECTS

TP

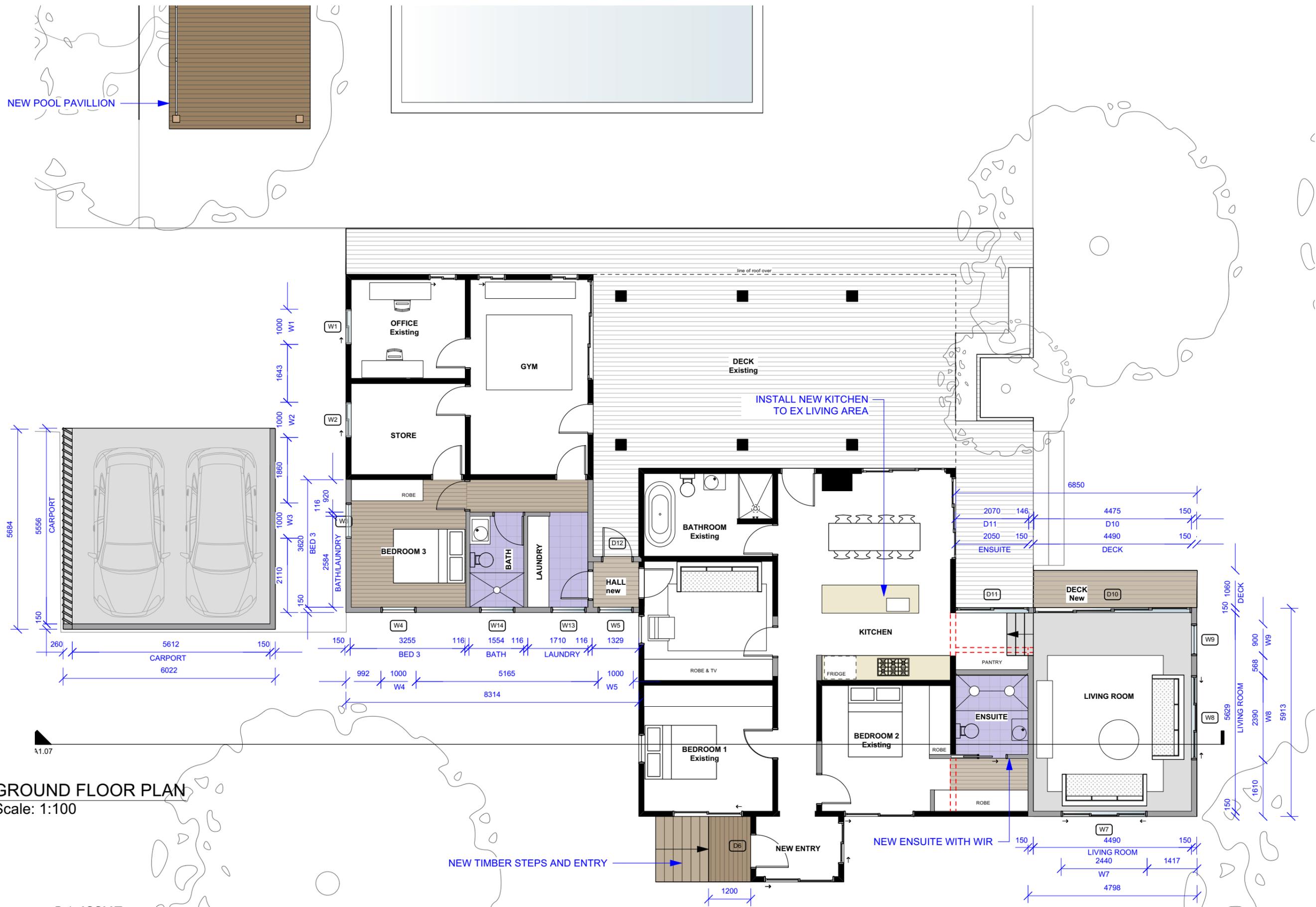
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Notes

SURVEY INFORMATION FROM INFOTRACK.COM.AU



No.	Date	REVISION	By	Stage	Drawing Title	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION		
No.	Date	ISSUE	By	Client	Project No.	Rev # A SCALE PAGE
				RICHARD + DANNIELLE COLLIN		ISSUE # 1:250@A3
						Dwg Date: 06/02/23 Plot Date:
						Checked By: MS Drawn By: TL



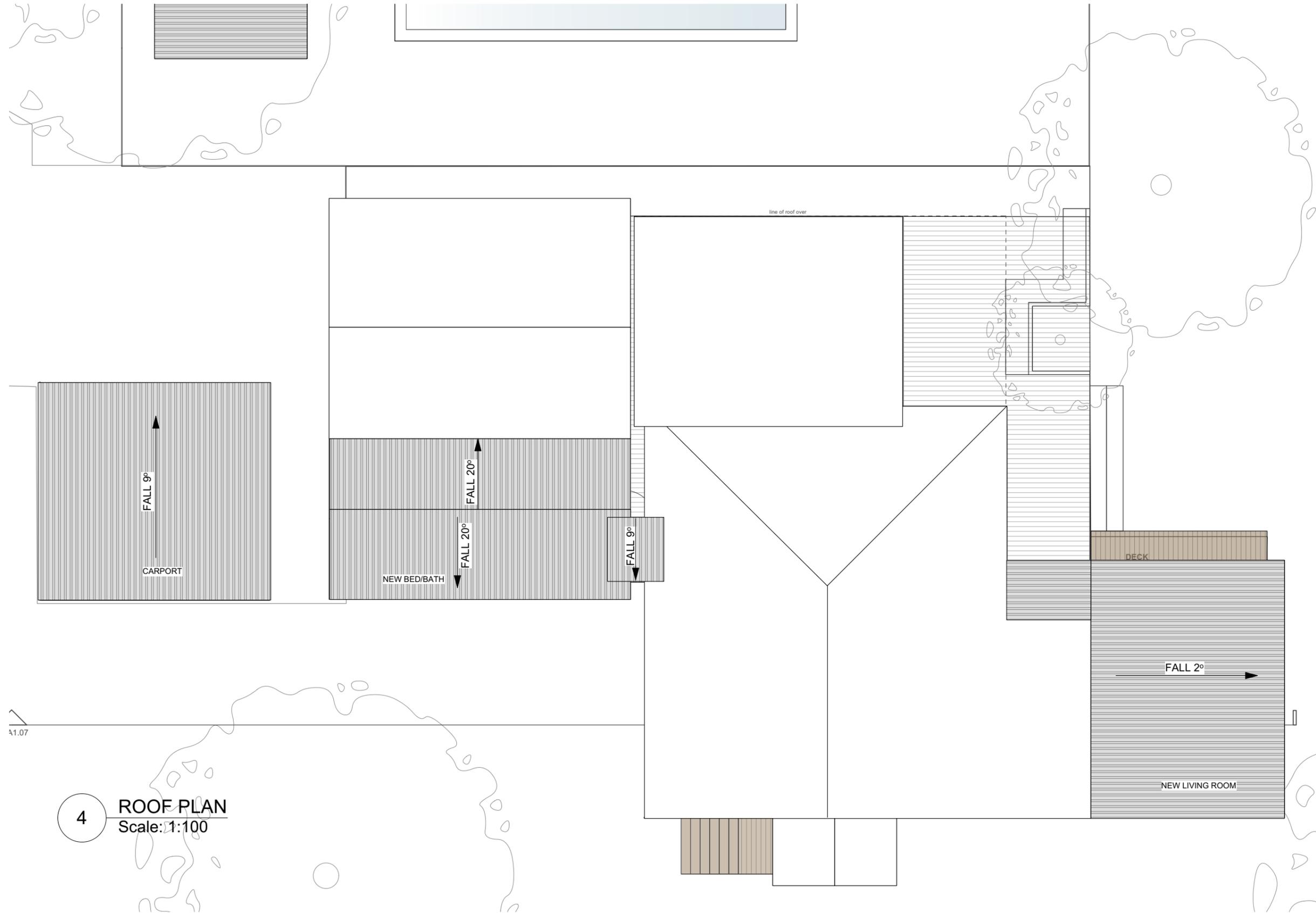
1 GROUND FLOOR PLAN
Scale: 1:100

DA ISSUE

Notes
ALL WINDOWS & DOORS TO BASIX SPECIFICATION



No.	Date	REVISION	By	Stage	NASHUA HOUSE	Drawing No. DA1.02
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION		
No.	Date	ISSUE	By	Client	Drawing Title GROUND FLOOR PLAN	Rev # A SCALE PAGE ISSUE # 1:100@A3
				RICHARD + DANNIELLE COLLIN		
Address 58 TAYLORS ROAD NASHUA					Project No.	Dwg Date: 06/02/23 Plot Date:
						Checked By: MS Drawn By: TL



4 ROOF PLAN
Scale: 1:100

DA ISSUE

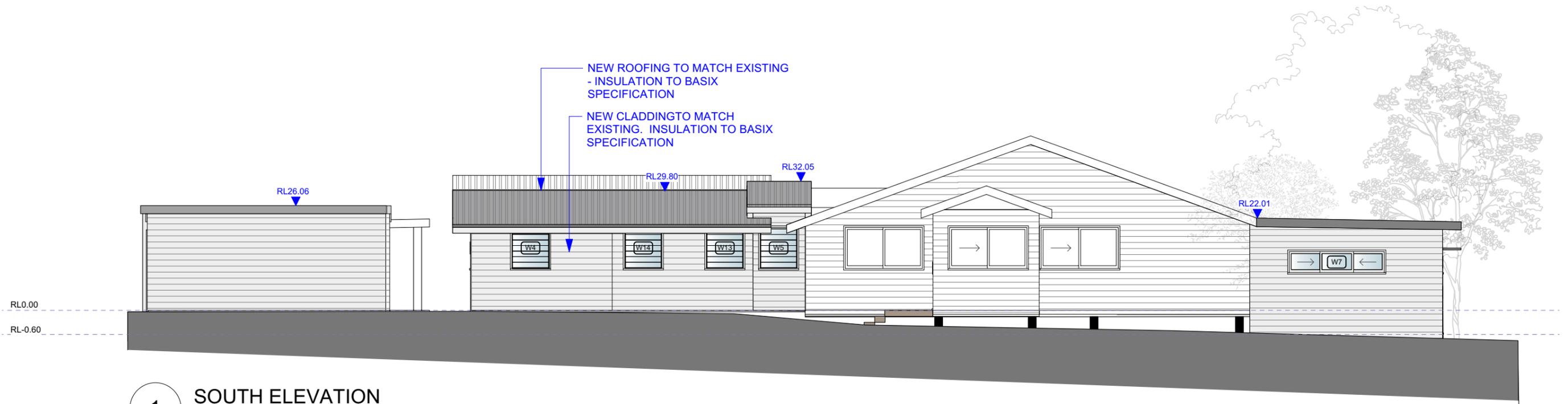
Notes



No.	Date	REVISION	By	Stage	Drawing Title	Drawing No.
A	TL	DEVELOPMENT APPLICATION		DEVELOPMENT APPLICATION	NASHUA HOUSE	DA1.03
				Address	58 TAYLORS ROAD NASHUA	Rev # A SCALE PAGE
				Client	RICHARD + DANNIELLE COLLIN	ISSUE # 1:100@A3
				Project No.		Dwg Date: 06/02/23 Plot Date:
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1 SOUTH ELEVATION
Scale: 1:100



2 NORTH ELEVATION
Scale: 1:100

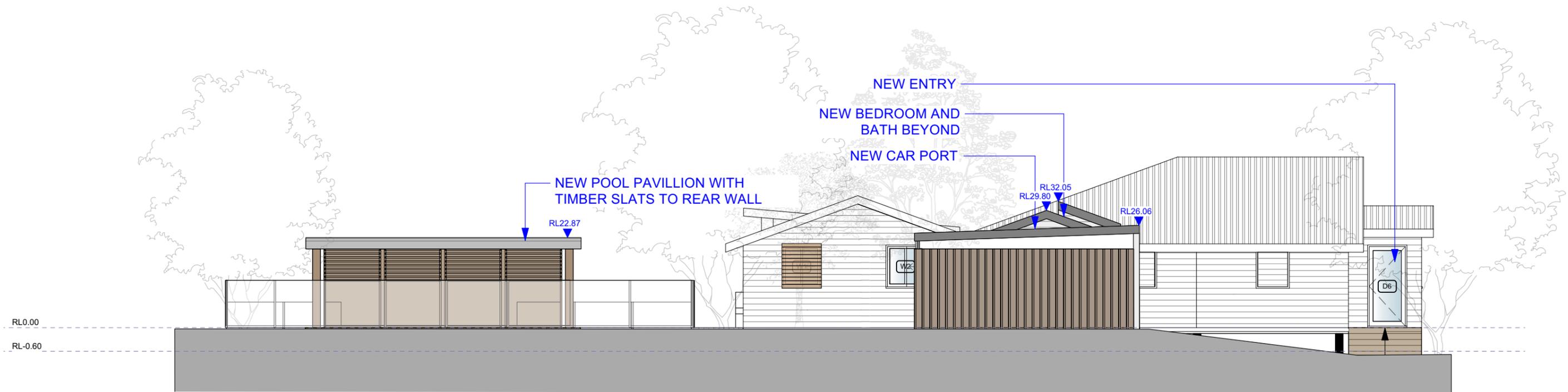
DA ISSUE

Notes
ALL HEIGHTS TAKEN FROM EXISTING FINISHED FLOOR LEVEL
ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	Drawing Title	Project No.	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION			
No.	Date	ISSUE	By	Client	Address	Plot Date:	Page
				RICHARD + DANNIELLE COLLIN	58 TAYLORS ROAD NASHUA	06/023	1



1 EAST ELEVATION
Scale: 1:100

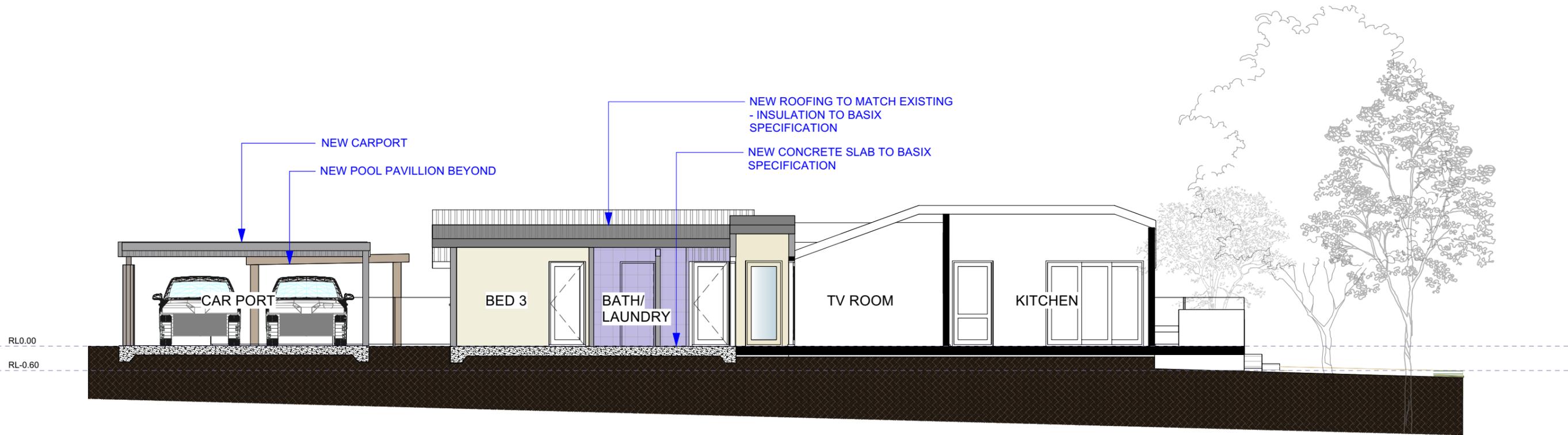


2 WEST ELEVATION
Scale: 1:100

DA ISSUE

Notes
ALL HEIGHTS TAKEN FROM EXISTING FINISHED FLOOR LEVEL
ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	Drawing Title	Project No.	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION			
No.	Date	ISSUE	By	Client	Address	Rev #	A SCALE PAGE
				RICHARD + DANNIELLE COLLIN	58 TAYLORS ROAD NASHUA	ISSUE #	1:100@A3
						Dwg Date: 06/023	Plot Date:
						Checked By: MS	Drawn By: TL



1 SECTION A
Scale: 1:100

BASIX Certificate
Alterations and Additions
Certificate number: A1730291_02

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Saturday, 10 February 2024
To be valid, this certificate must be lodged within 3 months of the date of issue.

Project address	Nashua_02
Street address	58 TAYLORS ROAD NASHUA 2479
Local Government Area	Byron Shire Council
Plan type and number	Deposited Plan DP967603
Lot number	1
Section number	N/A
Project type	Separate dwelling house
Dwelling type	My renovation work is valued at \$50,000 or more, and does not include a pool (and/or spa).
Type of alteration and addition	N/A
Value	N/A

Certificate Prepared by
Name / Company Name: M Mathew Stubbs
ABN (if applicable):

BASIX Certificate number: A1730291_02

Fixtures and systems	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Lighting The applicant must ensure a minimum of 40% of new or altered light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Fixtures The applicant must ensure new or altered showerheads have a flow rate no greater than 9 litres per minute or a 3 star water rating. The applicant must ensure new or altered toilets have a flow rate no greater than 4 litres per average flush or a minimum 3 star water rating. The applicant must ensure new or altered taps have a flow rate no greater than 9 litres per minute or minimum 3 star water rating.		✓	✓

BASIX Certificate number: A1730291_02

Construction	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Insulation requirements The applicant must construct the new or altered construction (floors, walls, and ceilings/roofs) in accordance with the specifications listed in the table below, except that additional insulation is not required where the area of new construction is less than 2m ² . If insulation specified is not required for parts of altered construction where insulation already exists.	✓	✓	✓
Construction			
concrete slab on ground floor	nil	N/A	
suspended floor with open soffits/bracket (R1.7)	nil	N/A	
external wall: framed (weatherboard, fibre, metal clad)	R1.00 (or R1.40 including construction)		
ceiling: R3.00 (down), roof: fullraking	medium (solar absorptance 0.475 - 0.70)		

BASIX Certificate number: A1730291_02

Glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check
Windows and glazed doors The applicant must install the windows, glazed doors and shading devices, in accordance with the specifications listed in the table below. Relevant overshadowing specifications must be satisfied for each window and glazed door. The following requirements must also be satisfied in relation to each window and glazed door: Each window or glazed door with standard aluminium or timber frames and single clear or tinted glass may either match the description, or have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. Each window or glazed door with improved frames, or polyfolic low-e glass, or clear or tinted glass, or low-e or gas-filled glass must have a U-value and a Solar Heat Gain Coefficient (SHGC) no greater than that listed in the table below. Total system U-values and SHGCs must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions. The description is provided for information only. Alternative systems with complying U-value and SHGC may be substituted. For projections described in millimetres, the leading edge of each eave, pergola, verandah, balcony or awning must be no more than 500 mm above the head of the window or glazed door and no more than 2400 mm above the sill. Pergolas with polycarbonate roof or similar translucent material must have a shading coefficient of less than 0.35. External louvers and blinds must fully shade the window or glazed door beside which they are situated when fully down or closed. Pergolas with fixed bottom must have bottom parallel to the window or glazed door above which they are situated, unless the pergola also shades a perpendicular window. The spacing between bottom must not be more than 50 mm. Overshadowing buildings or vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column in the table below.	✓	✓	✓

BASIX Certificate number: A1730291_02

Windows and glazed doors glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check					
Windows and glazed doors glazing requirements								
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
W1	NW	1	0	0	external louver/ blind (adjustable)	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W2	SW	1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W3	SW	1	2.6	2	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W6	SE	1.8	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W4	SW	1.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

BASIX Certificate number: A1730291_02

Glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check					
Glazing requirements								
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
W5	S	1.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W7	SE	1.4	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W8	NE	1.4	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or UPVC, tinted air gap/clear, (U-value: 3.64, SHGC: 0.42)		
W9	NE	1.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or UPVC, tinted air gap/clear, (U-value: 3.98, SHGC: 0.4)		
W10	NE	10.7	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or UPVC, tinted air gap/clear, (U-value: 3.64, SHGC: 0.42)		

BASIX Certificate number: A1730291_02

Glazing requirements	Show on DA Plans	Show on CC/DC Plans & specs	Certifier Check					
Glazing requirements								
Window/door number	Orientation	Area of glass including frame (m ²)	Overshadowing height (m)	Overshadowing distance (m)	Shading device	Frame and glass type		
W11	NE	4.3	0	0	eave/ verandah/ pergola/balcony >=450 mm	timber or UPVC, tinted air gap/clear, (U-value: 3.64, SHGC: 0.42)		
W12	NW	1.8	0	0	eave/ verandah/ pergola/balcony >=450 mm	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W13	S	1.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		
W14	S	1.1	0	0	none	standard aluminium, single clear, (or U-value: 7.63, SHGC: 0.75)		

BASIX Certificate number: A1730291_02

Legend
In these commitments, "applicant" means the person carrying out the development.
Commitments identified with a ✓ in the "Show on DA plans" column must be shown on the plans accompanying the development application for the proposed development (if a development application is to be lodged for the proposed development).
Commitments identified with a ✓ in the "Show on CC/DC plans & specs" column must be shown in the plans and specifications accompanying the application for a construction certificate/ complying development certificate for the proposed development.
Commitments identified with a ✓ in the "Certifier check" column must be certified by a certifying authority as having been fulfilled, before a final occupation certificate for the development may be issued.

DA ISSUE

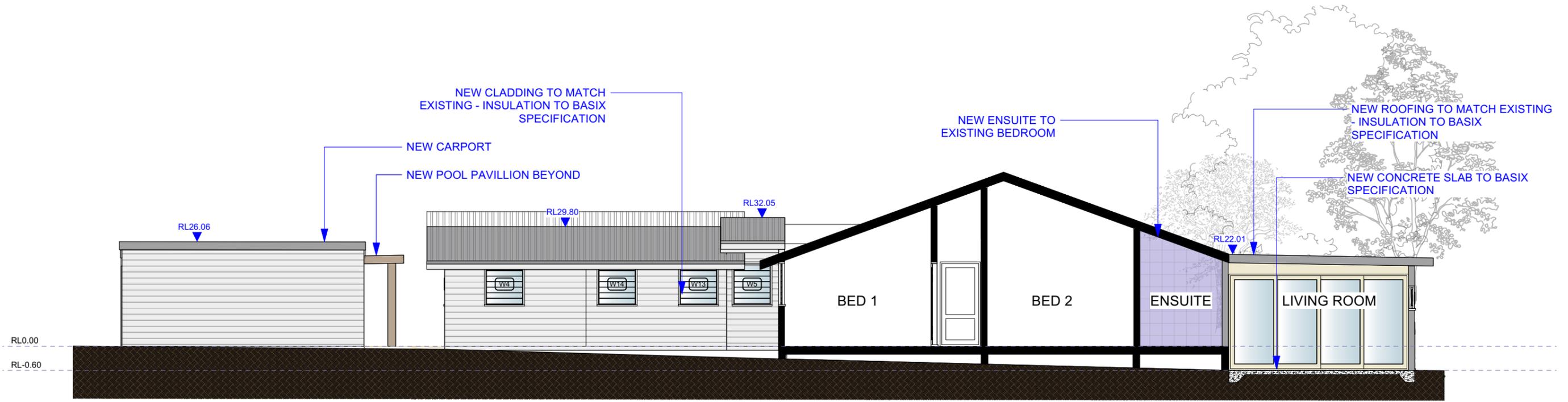
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Notes
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ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION	NASHUA HOUSE DA1.06
				Address 58 TAYLORS ROAD NASHUA	Drawing Title SECTIONS
		ISSUE	By	Client RICHARD + DANNIELLE COLLIN	Project No.
					Rev # A SCALE PAGE ISSUE # 1:100@A3 Dwg Date: 06/02/23 Plot Date: Checked By MS Drawn By TL



1 SECTION B
Scale: 1:100

DA ISSUE

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Notes
ALL HEIGHTS TAKEN FROM EXISTING FINISHED FLOOR LEVEL
ALL WINDOWS & DOORS TO BASIX SPECIFICATION

No.	Date	REVISION	By	Stage	Drawing Title	Drawing No.
A	9/02/2024	DEVELOPMENT APPLICATION	TL	DEVELOPMENT APPLICATION		
No.	Date	ISSUE	By	Client	Project No.	Rev # A SCALE PAGE
				RICHARD + DANNIELLE COLLIN		ISSUE # 1:100@A3
						Dwg Date: 06/02/23 Plot Date:
						Checked By: MS Drawn By: TL