



SHIRLEY ST

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G	L&E ISSUE	SE 25/09/25

client	approved	Checker	scale
VITALE PROPERTY GROUP			1 : 500 @A3
prepared	Author	project no	0899SHI

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 29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481
 drawing
 GROUND LEVEL PLAN
 drawing no. AR-902001
 revision G

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MILTON ST

SHIRLEY ST

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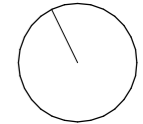
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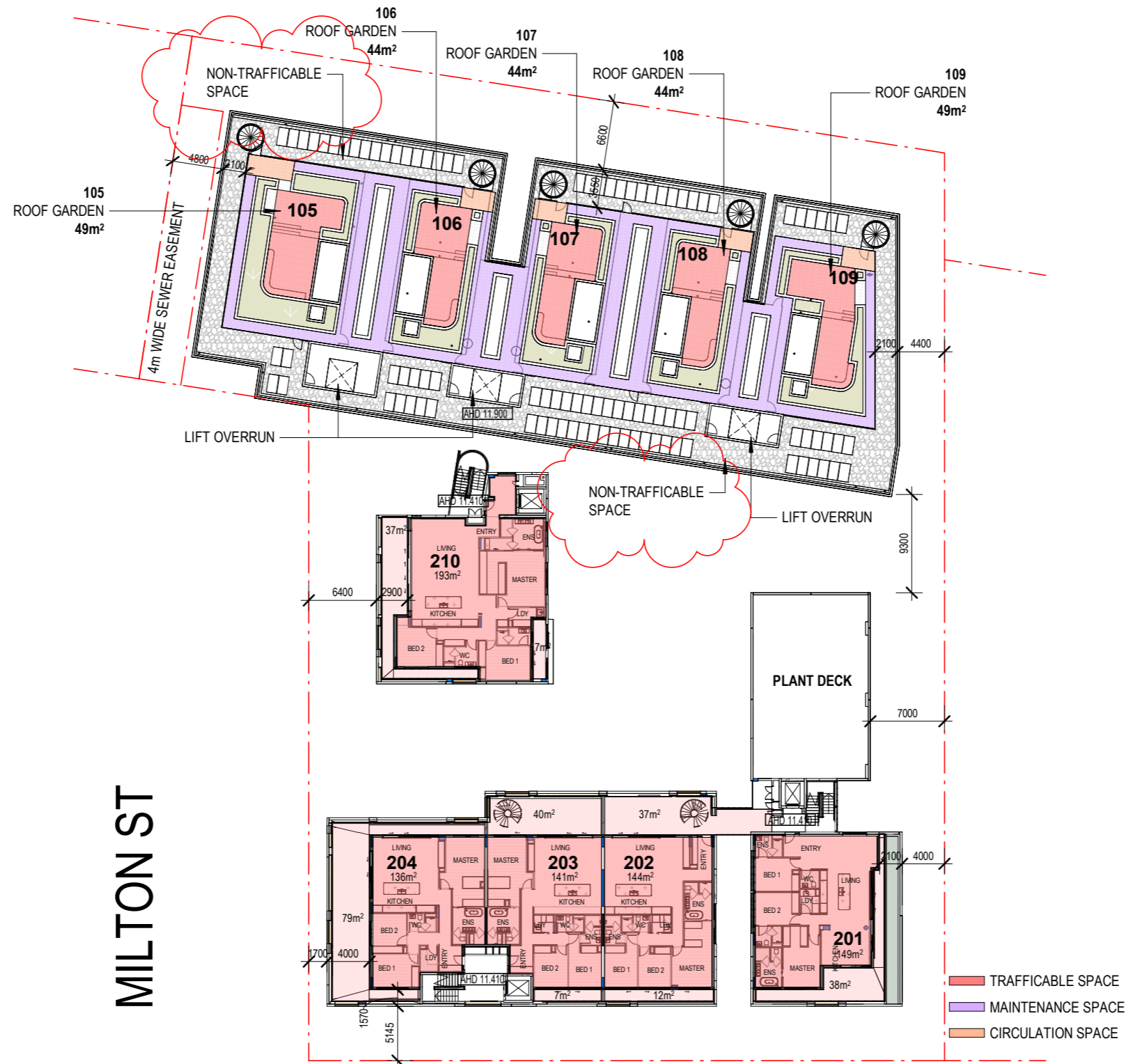
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client	VITALE PROPERTY GROUP	
approved	Checker	scale 1 : 500 @A3
prepared	Author	project no 0899SHI

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 drawing
 drawing no. AR-902002
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LEVEL 1 PLAN



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prepared Author project no 0899SHI

project

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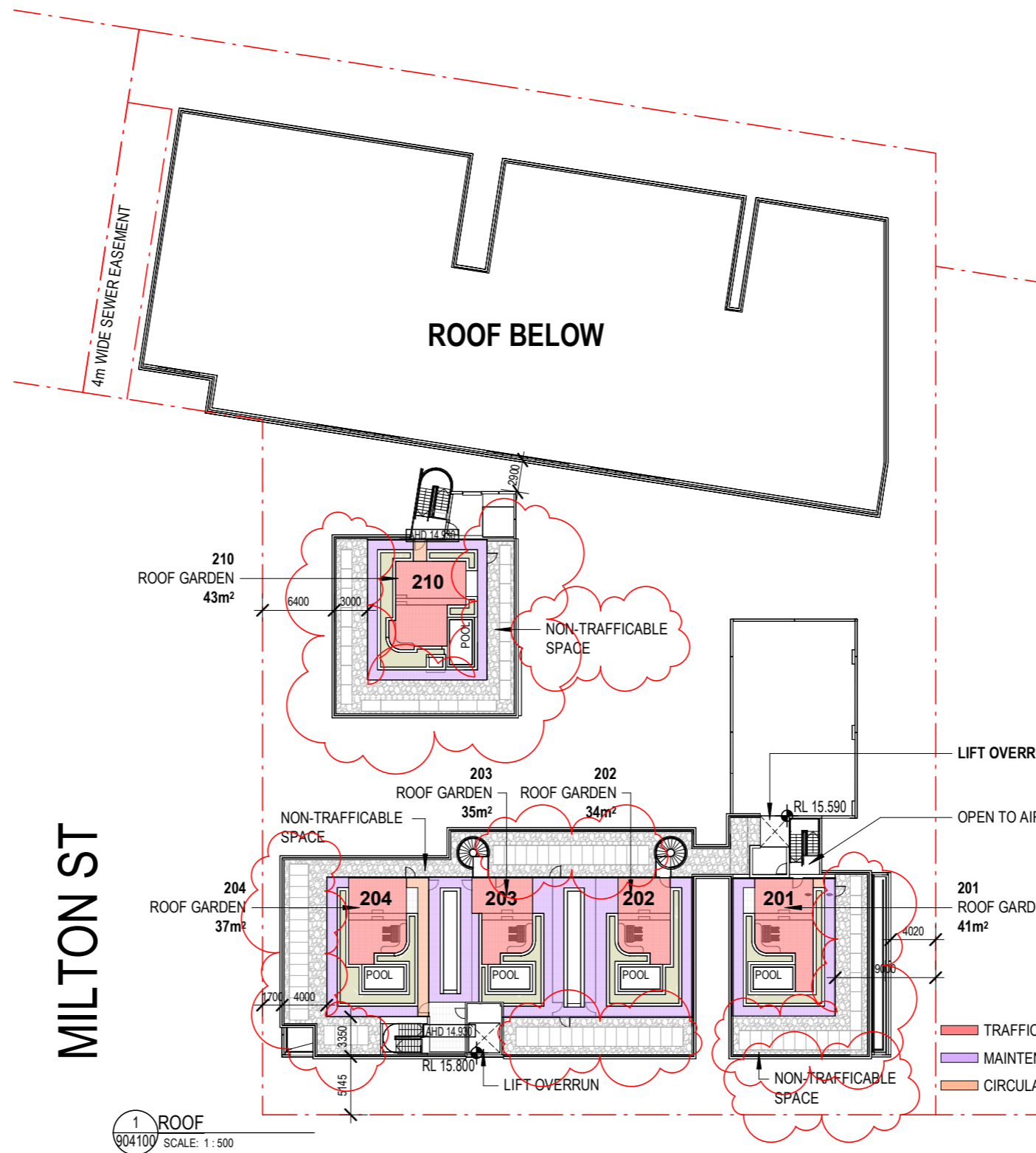
29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

drawing LEVEL 2 & DEFERRED MATTER ZONE - ROOF PLAN

drawing no. AR-902003

revision L

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M	L&E ISSUE	SE 18/09/25
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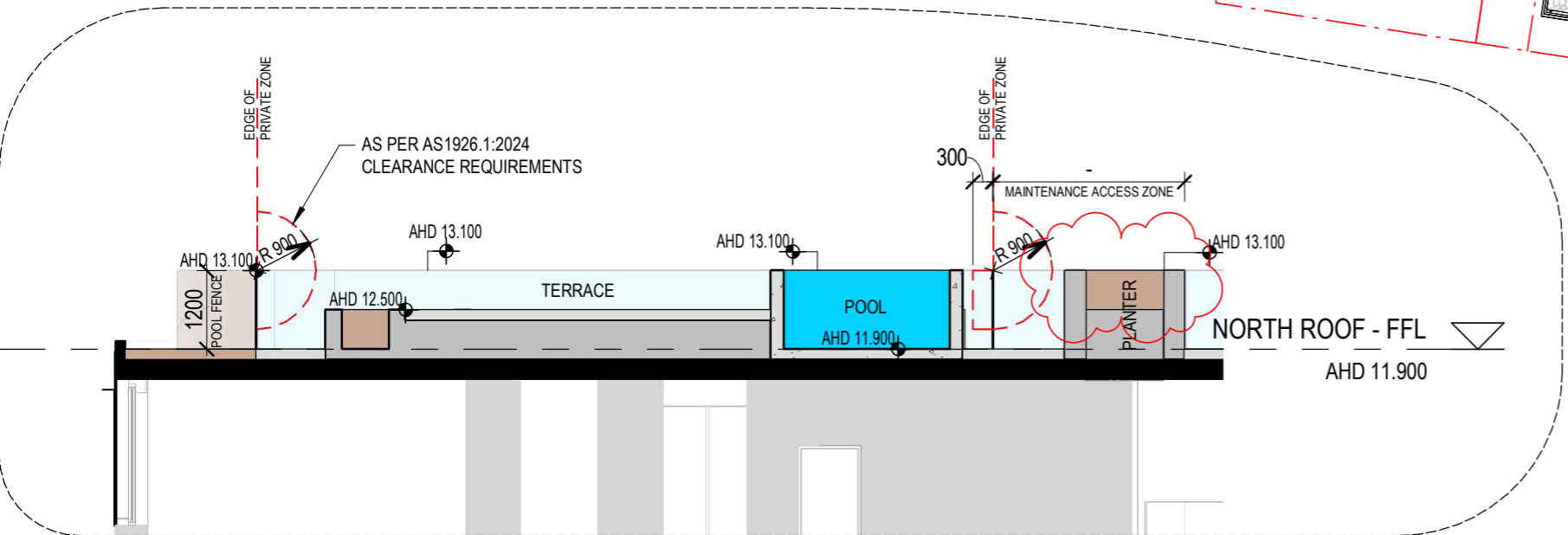
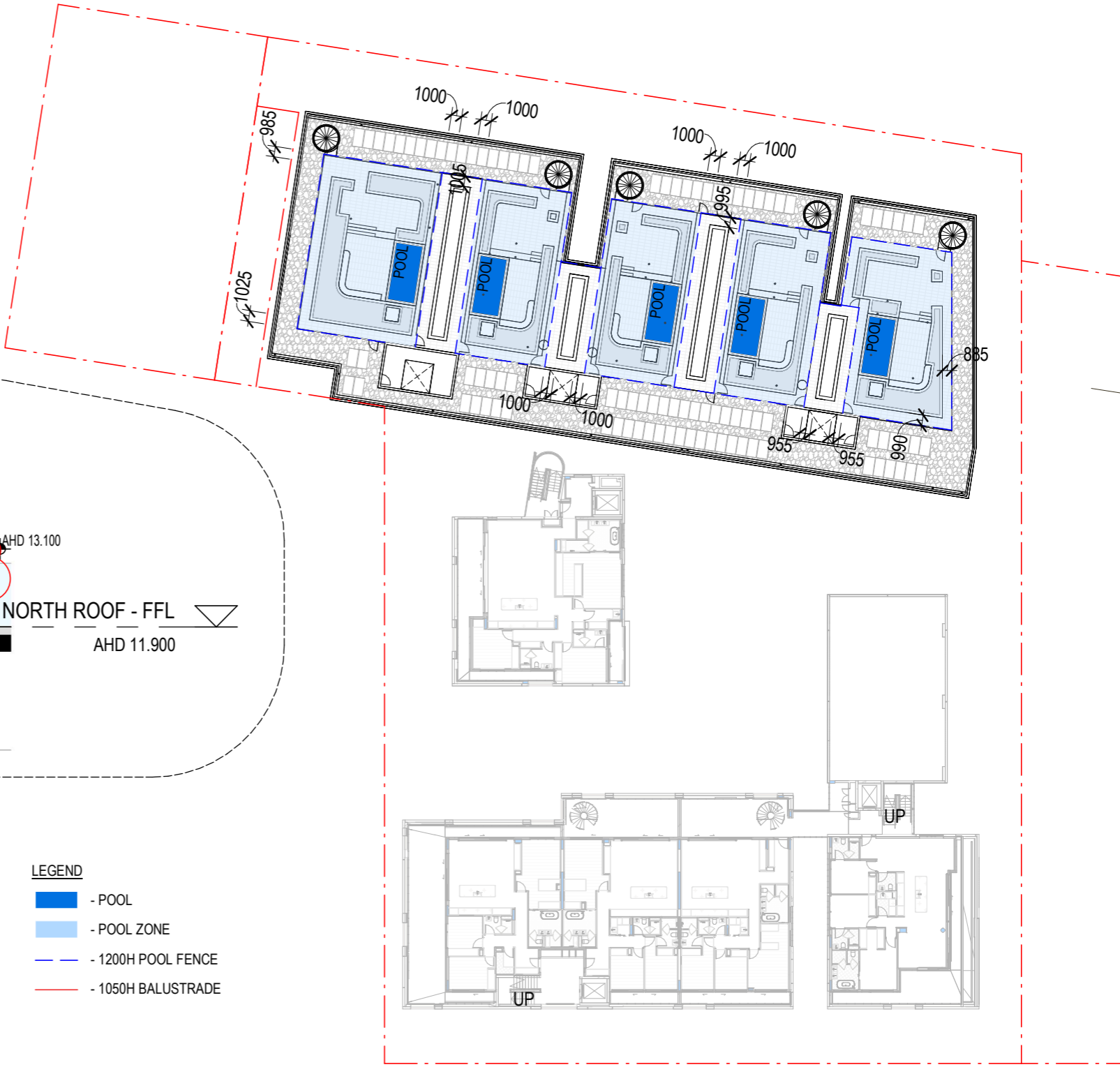
29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

drawing
R3 ZONE - ROOF PLAN

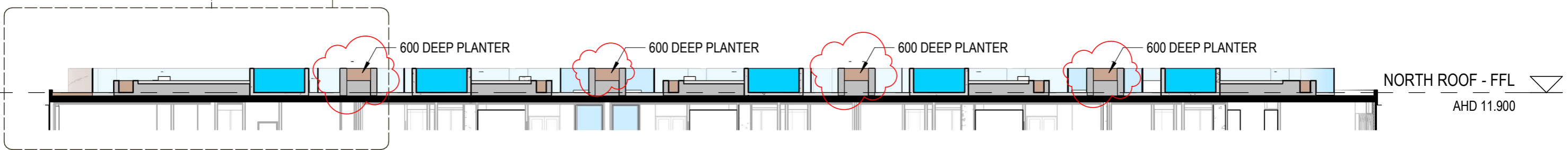
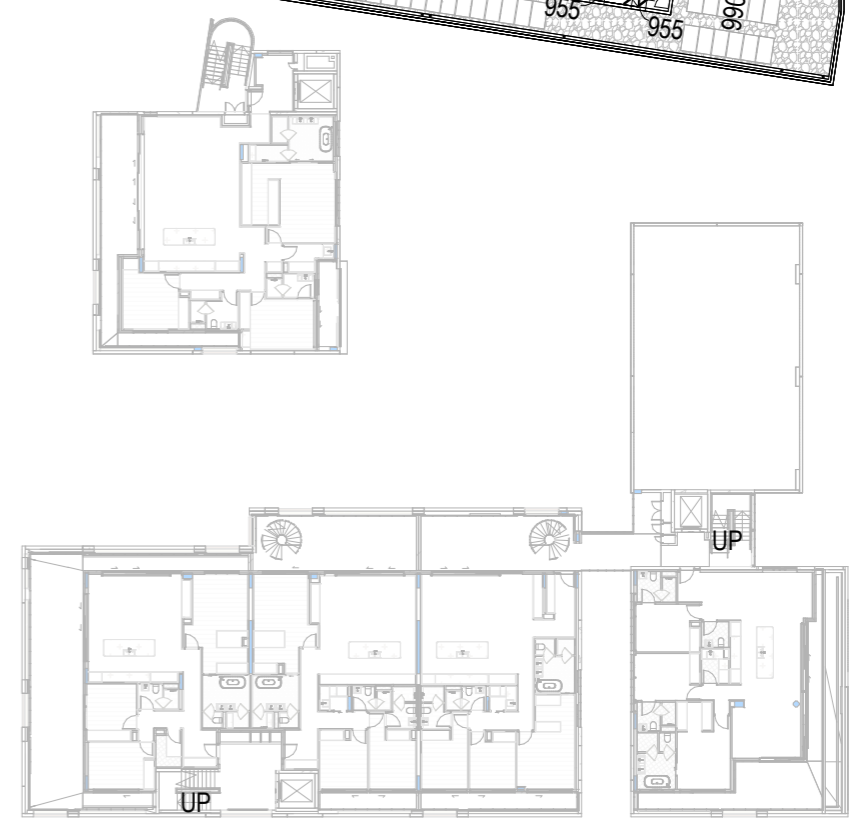
drawing no. AR-902004 revision **N**

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Refer to condition 40 of consent regarding pool fencing.



- LEGEND**
- POOL
 - POOL ZONE
 - 1200H POOL FENCE
 - 1050H BALUSTRADE



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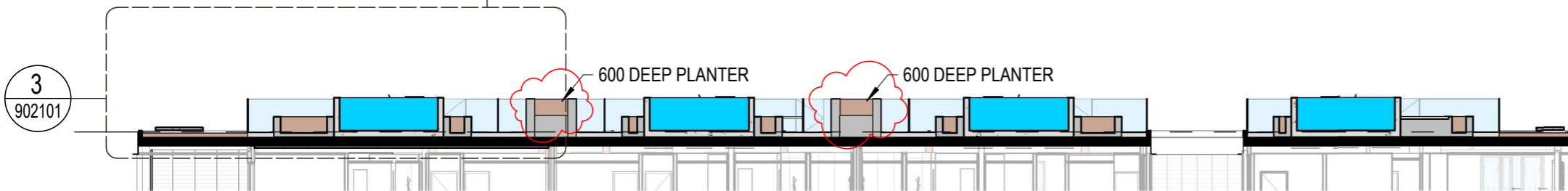
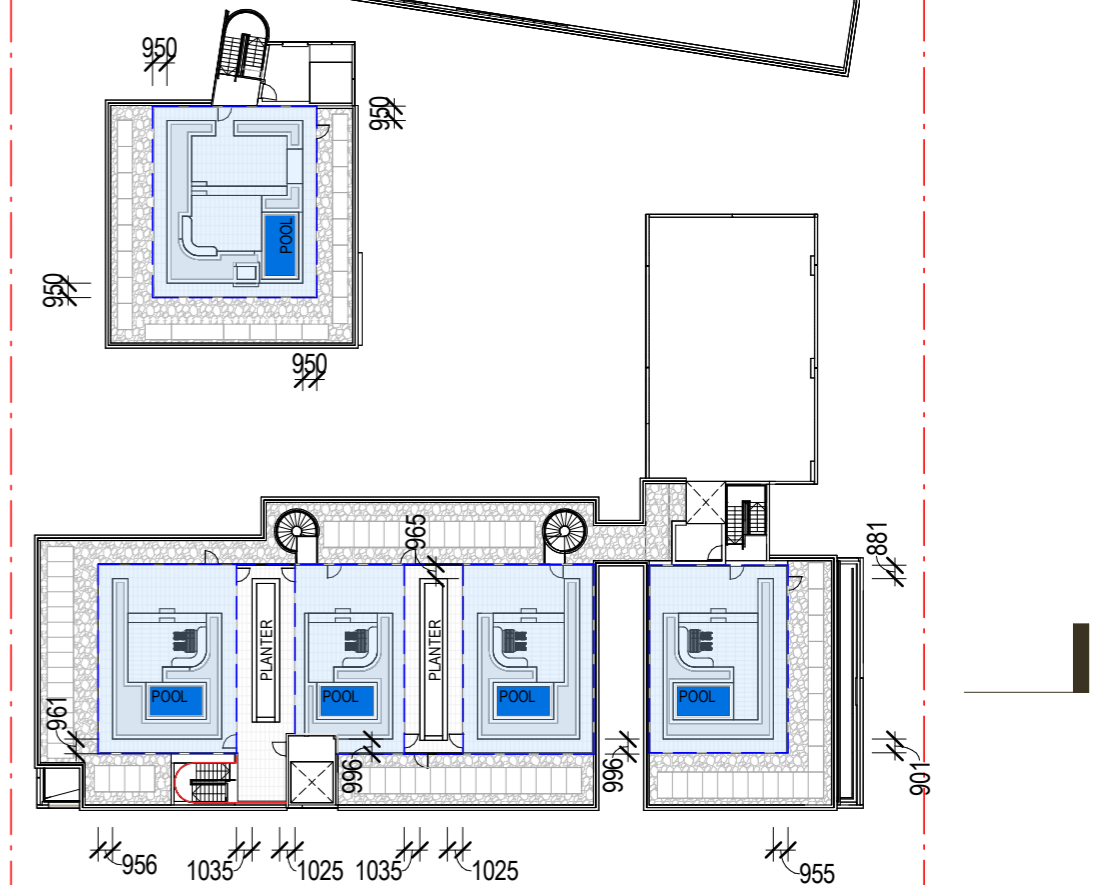
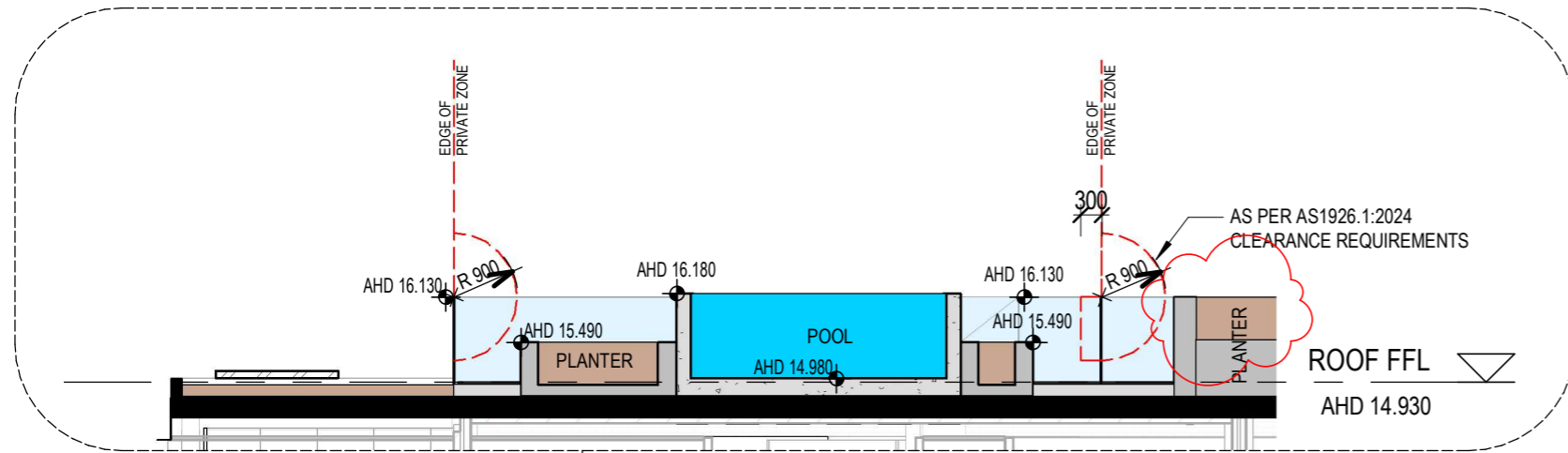
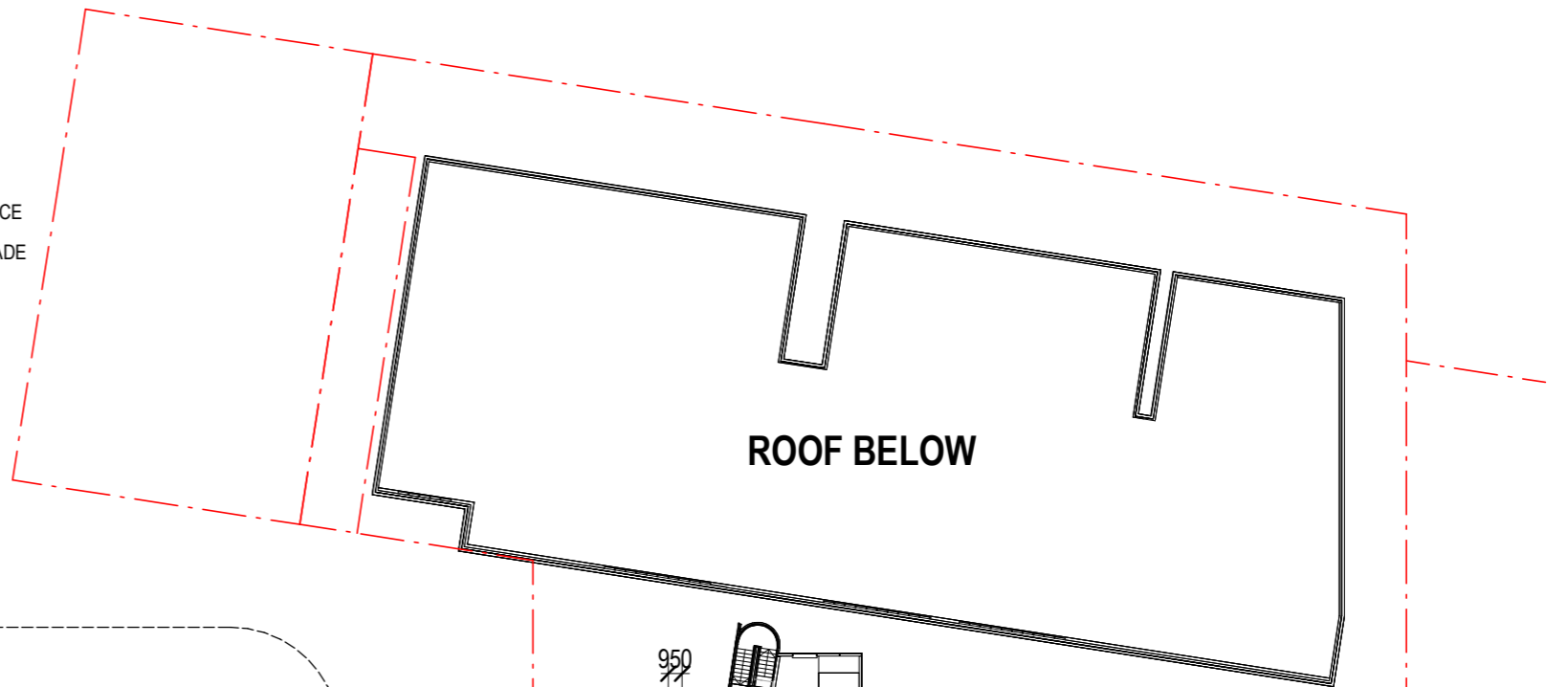
client	approved	Checker	scale
VITALE PROPERTY GROUP			As indicated @A3
prepared	Author	project no	0899SHI

project	client
EADE BYRON BAY	29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481
drawing	DEFERRED MATTER ZONE - POOL FENCE DIAGRAM
drawing no.	AR-902100
revision	J

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- LEGEND**
- POOL
 - POOL ZONE
 - 1200H POOL FENCE
 - 1050H BALUSTRADE

Refer to condition 40 of consent regarding pool fencing.



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J	L&E ISSUE	SE 25/09/25

client
VITALE PROPERTY GROUP

approved Checker scale **As indicated @A3**

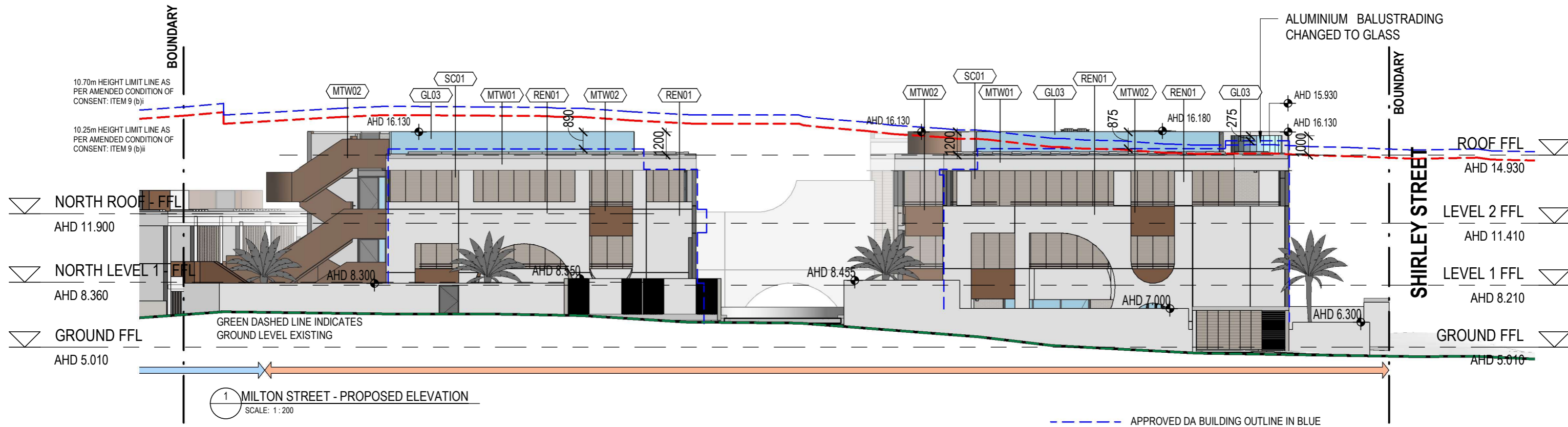
prepared Author project no **0899SHI**

project **EADE BYRON BAY**
29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

drawing **R3 ZONE - POOL FENCE DIAGRAM**

drawing no. AR-902101 revision **J**

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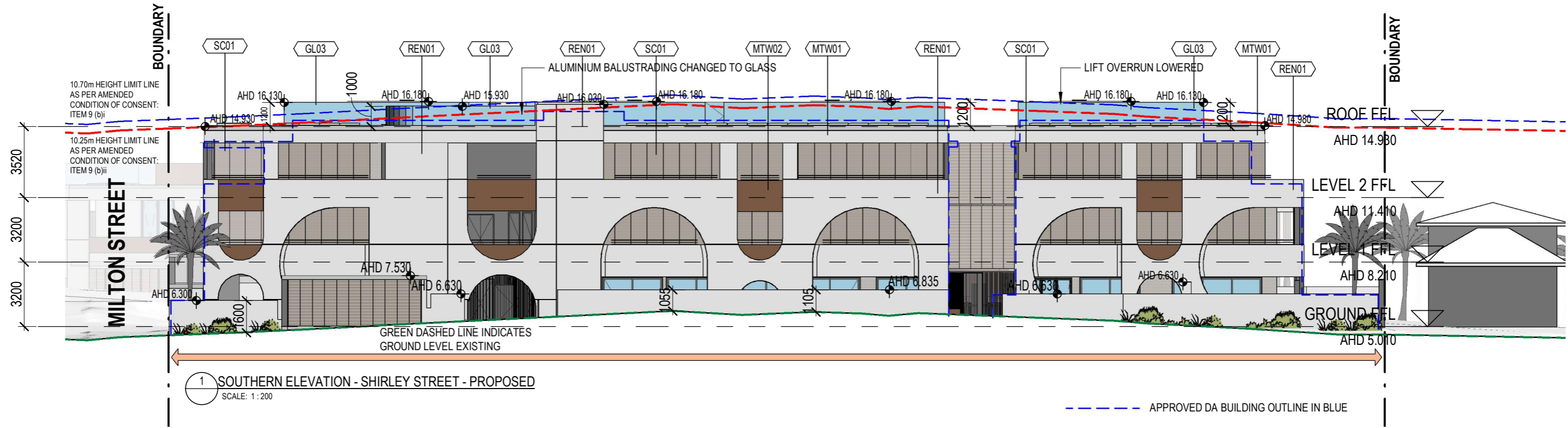
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client	VITALE PROPERTY GROUP		
approved	Checker	scale	1 : 200 @A3
prepared	Author	project no	0899SHI

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drawing
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drawing no. AR-903000
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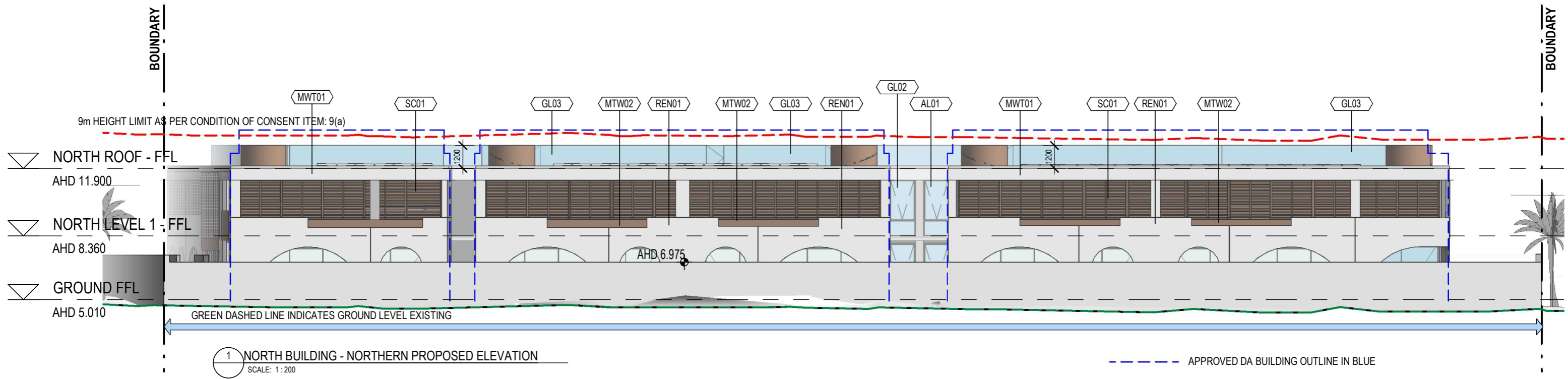
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approved	Checker	scale	1 : 200 @A3
prepared	Author	project no	0899SHI

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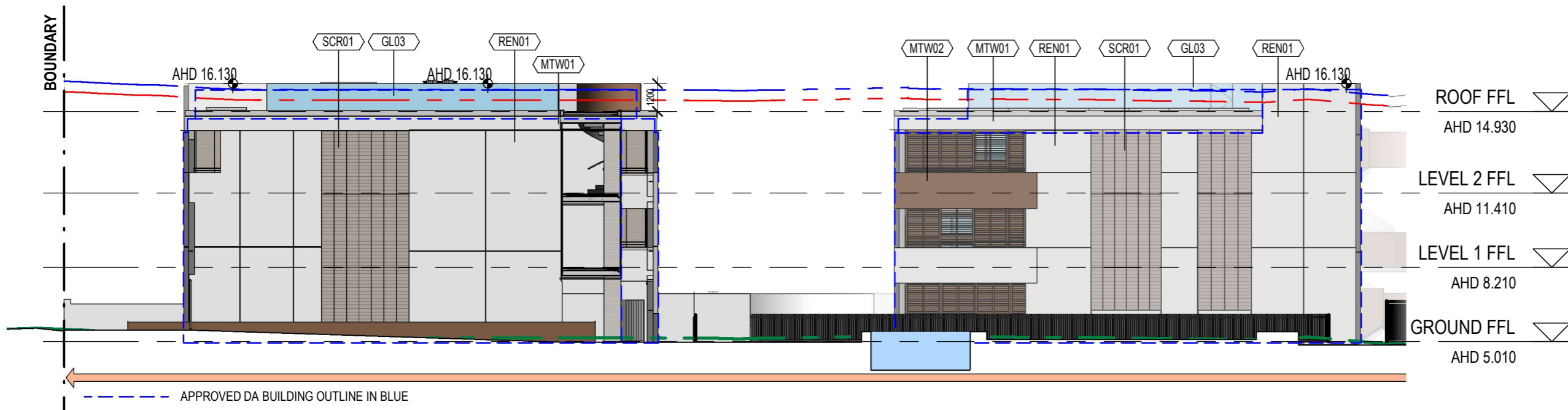
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approved	Checker	scale	1 : 200 @A3
prepared	Author	project no	0899SHI

project
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drawing
ELEVATIONS

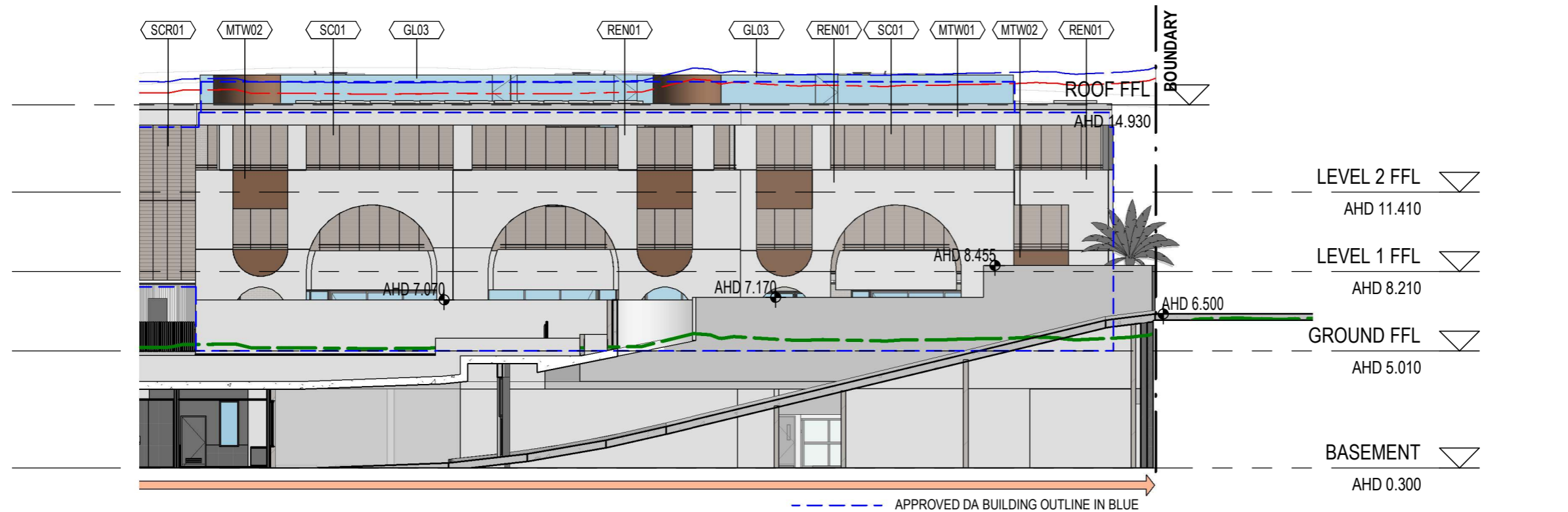
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revision I

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1 SOUTH BUILDING - EAST ELEVATION
SCALE: 1:200

MATERIAL KEY	
REN01	RENDER FINISH
GL01	PERFORMANCE GLAZING
GL02	TRANSLUCENT PRIVACY GLAZING
GL03	GLASS BALUSTRADE
MT01	BRONZE SHEET CLADDING
MTW01	ALUMINIUM PLATE PROFILE - WHITE POWDERCOAT FINISH
MTW02	ALUMINIUM BALUSTRADE - MEDIUM BRONZE POWDERCOAT FINISH
AL01	ALUMINIUM FRAMED DOORS AND WINDOWS - MEDIUM BRONZE POWDERCOAT FINISH
SC01	ALUMINIUM LOUVRE SCREEN



2 WEST BUILDING - NORTH ELEVATION
SCALE: 1:200

KEY	
	10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)i
	10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)ii
	9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
	GROUND LEVEL (EXISTING)
	DM - DEFERRED MATTER AMENDMENT #18 ZONE
	R3 - MEDIUM DENSITY RESIDENTIAL

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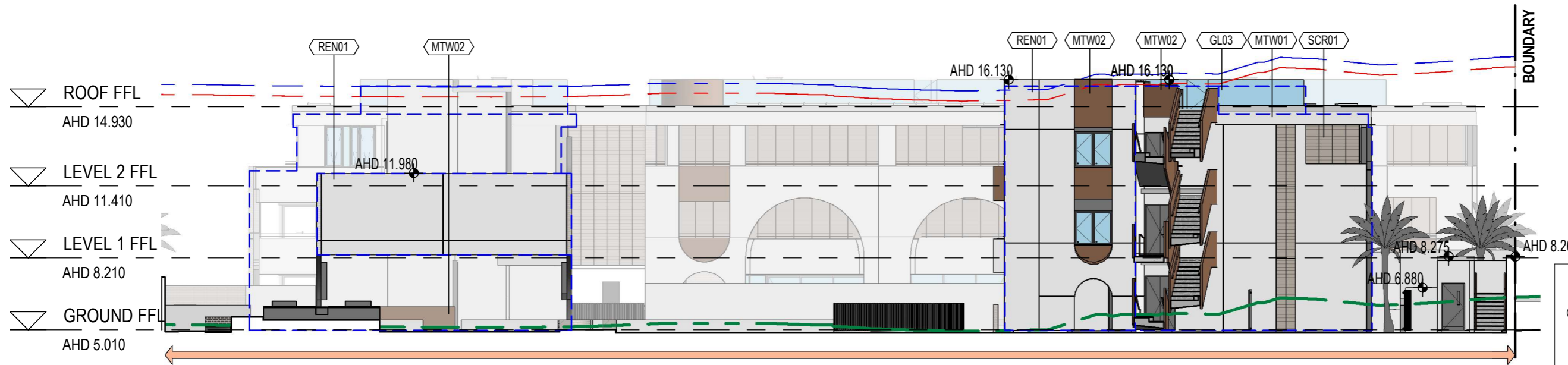
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E	L&E ISSUE	SE 18/09/25
F	L&E ISSUE	SE 25/09/25

client	VITALE PROPERTY GROUP
approved	Checker scale As indicated @A3
prepared	Author project no 0899SHI

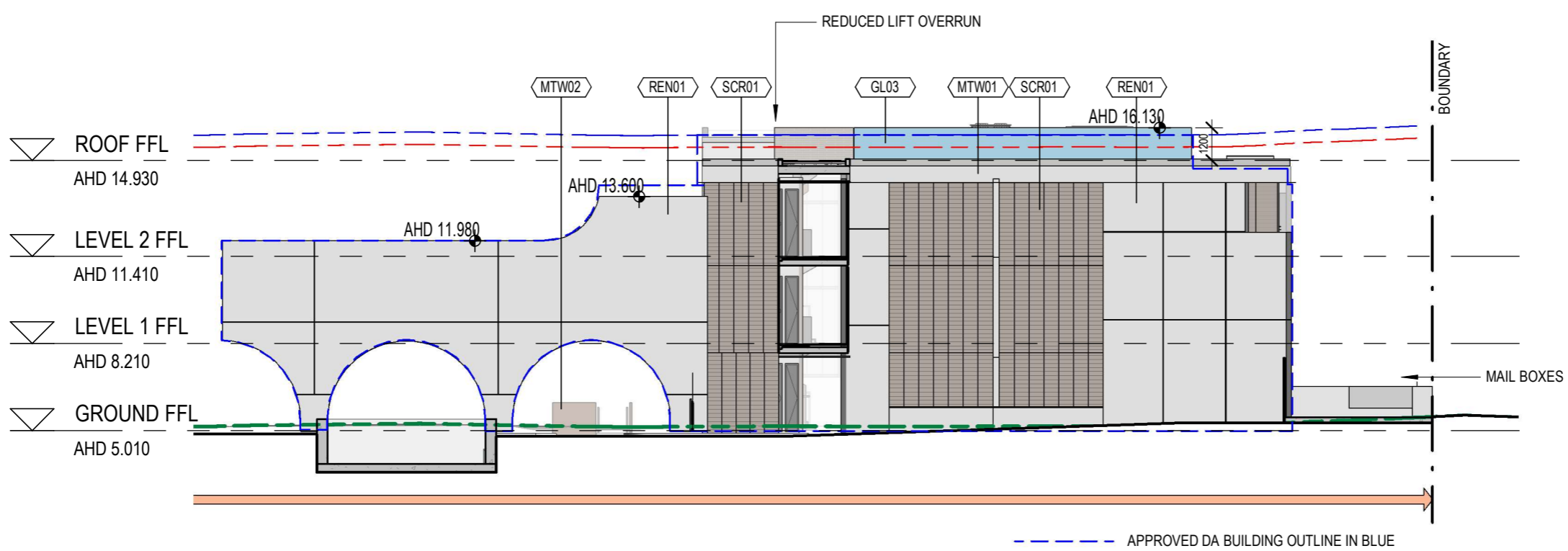
project
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drawing
ELEVATIONS
drawing no. AR-903003
revision F
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1 EAST BUILDING - NORTH ELEVATION
SCALE: 1 : 200

MATERIAL KEY

REN01	RENDER FINISH
GL01	PERFORMANCE GLAZING
GL02	TRANSLUCENT PRIVACY GLAZING
GL03	GLASS BALUSTRADE
MT01	BRONZE SHEET CLADDING
MTW01	ALUMINIUM PLATE PROFILE - WHITE POWDERCOAT FINISH
MTW02	ALUMINIUM BALUSTRADE - MEDIUM BRONZE POWDERCOAT FINISH
AL01	ALUMINIUM FRAMED DOORS AND WINDOWS - MEDIUM BRONZE POWDERCOAT FINISH
SCR01	ALUMINIUM LOUVRE SCREEN



2 EAST BUILDING - WEST ELEVATION
SCALE: 1 : 200

KEY

Blue dashed line	10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)i
Red dashed line	10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)ii
Orange dashed line	9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
Green dashed line	GROUND LEVEL (EXISTING)
Blue shaded area	DM - DEFERRED MATTER AMENDMENT #18 ZONE
Orange shaded area	R3 - MEDIUM DENSITY RESIDENTIAL

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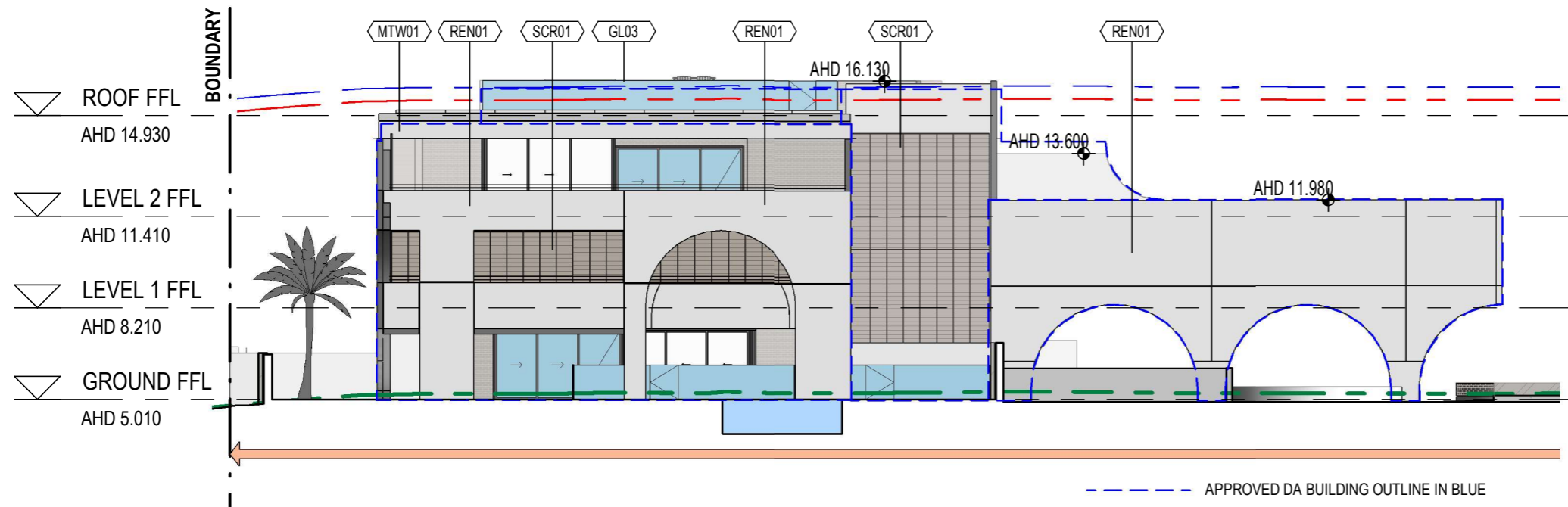
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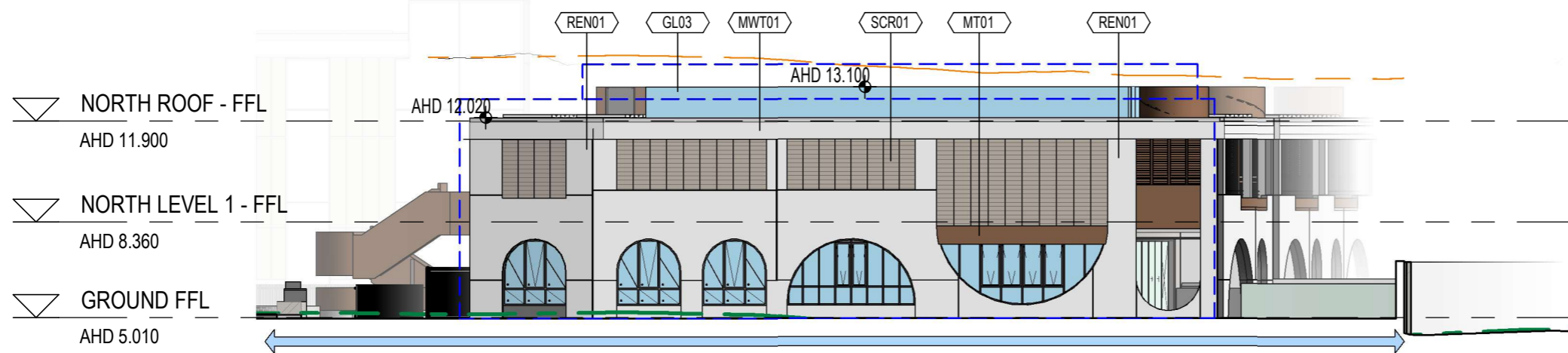
client	VITALE PROPERTY GROUP
approved	Checker scale As indicated @A3
prepared	Author project no 0899SHI

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drawing
ELEVATIONS
drawing no. AR-903004
revision F

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1 EAST BUILDING - EAST ELEVATION
SCALE: 1 : 200



2 NORTH BUILDING - EAST ELEVATION
SCALE: 1 : 200

MATERIAL KEY

REN01	RENDER FINISH
GL01	PERFORMANCE GLAZING
GL02	TRANSLUCENT PRIVACY GLAZING
GL03	GLASS BALUSTRADE
MT01	BRONZE SHEET CLADDING
MTW01	ALUMINIUM PLATE PROFILE - WHITE POWDERCOAT FINISH
MTW02	ALUMINIUM BALUSTRADE - MEDIUM BRONZE POWDERCOAT FINISH
AL01	ALUMINIUM FRAMED DOORS AND WINDOWS - MEDIUM BRONZE POWDERCOAT FINISH
SC01	ALUMINIUM LOUVRE SCREEN

KEY

	10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)i
	10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)ii
	9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
	GROUND LEVEL (EXISTING)
	DM - DEFERRED MATTER AMENDMENT #18 ZONE
	R3 - MEDIUM DENSITY RESIDENTIAL

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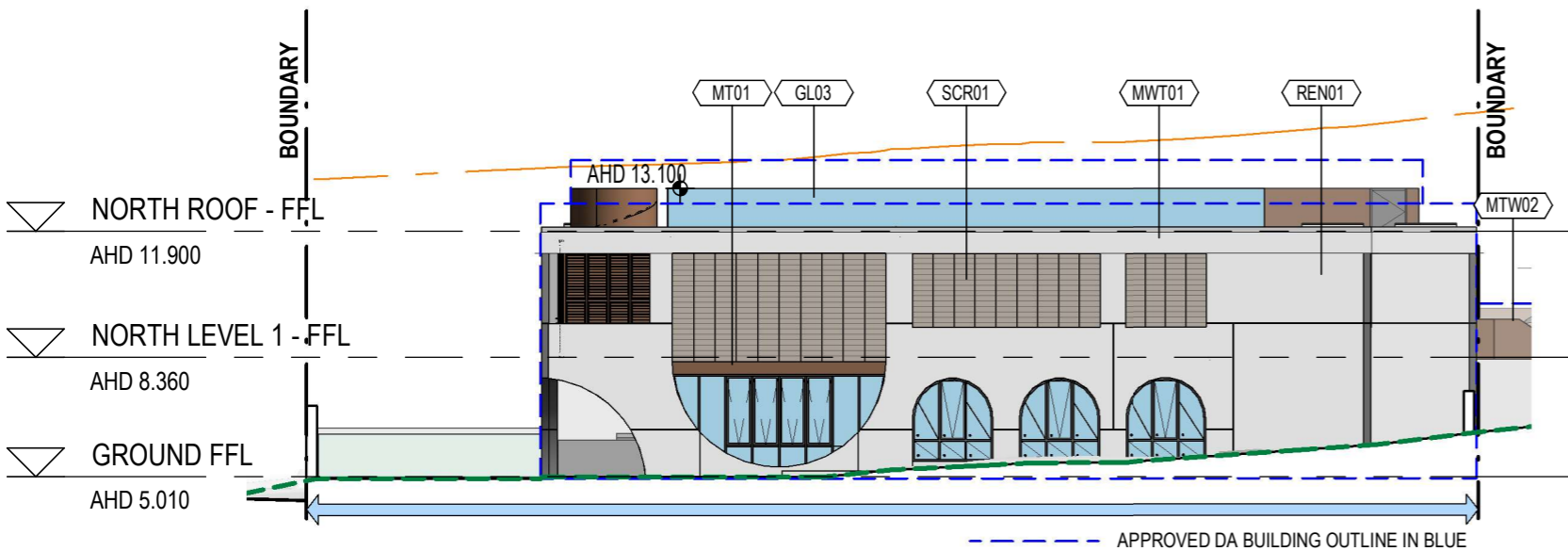
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client	VITALE PROPERTY GROUP
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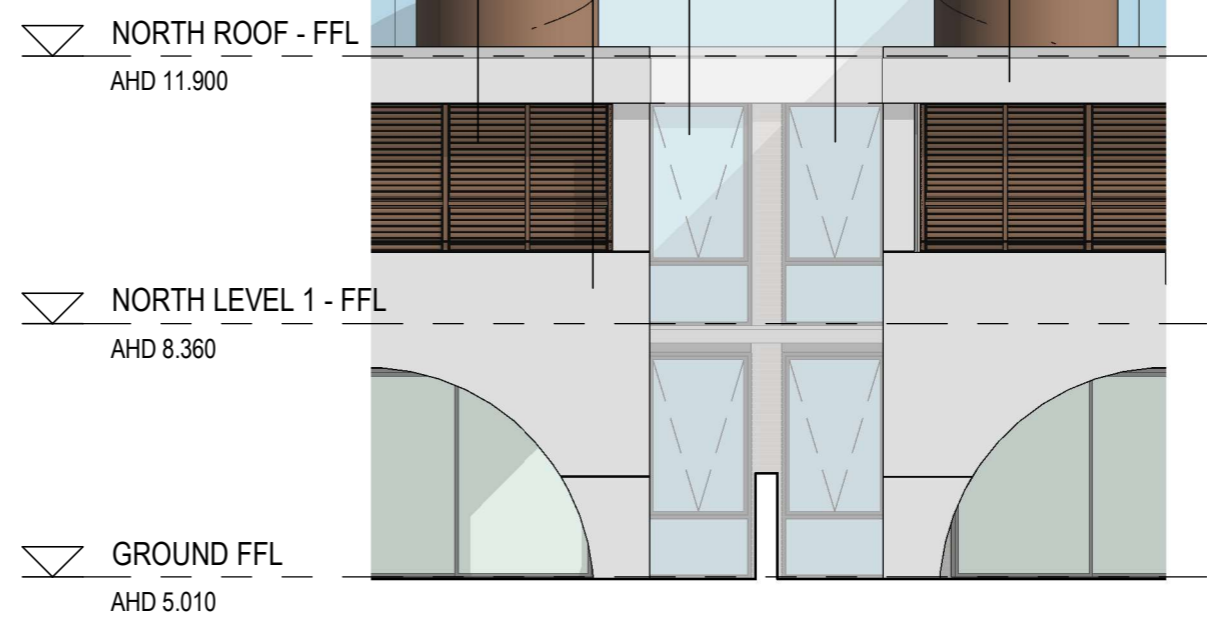
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drawing
ELEVATIONS
drawing no. AR-903005
revision F
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1 NORTH - SOUTH ELEVATION
SCALE: 1 : 200



2 NORTH ELEVATION - WEST ELEVATION
SCALE: 1 : 200



3 NORTH BUILDING - NORTH ELEVATION, DETAIL VIEW
SCALE: 1 : 100

--- APPROVED DA BUILDING OUTLINE IN BLUE

MATERIAL KEY

- (REN01) RENDER FINISH
- (GL01) PERFORMANCE GLAZING
- (GL02) TRANSLUCENT PRIVACY GLAZING
- (GL03) GLASS BALUSTRADE
- (MT01) BRONZE SHEET CLADDING
- (MTW01) ALUMINIUM PLATE PROFILE - WHITE POWDERCOAT FINISH
- (MTW02) ALUMINIUM BALUSTRADE - MEDIUM BRONZE POWDERCOAT FINISH
- (AL01) ALUMINIUM FRAMED DOORS AND WINDOWS - MEDIUM BRONZE POWDERCOAT FINISH
- (SC01) ALUMINIUM LOUVRE SCREEN

KEY

- 10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)i
- 10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)ii
- 9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
- GROUND LEVEL (EXISTING)
- DM - DEFERRED MATTER AMENDMENT #18 ZONE
- R3 - MEDIUM DENSITY RESIDENTIAL

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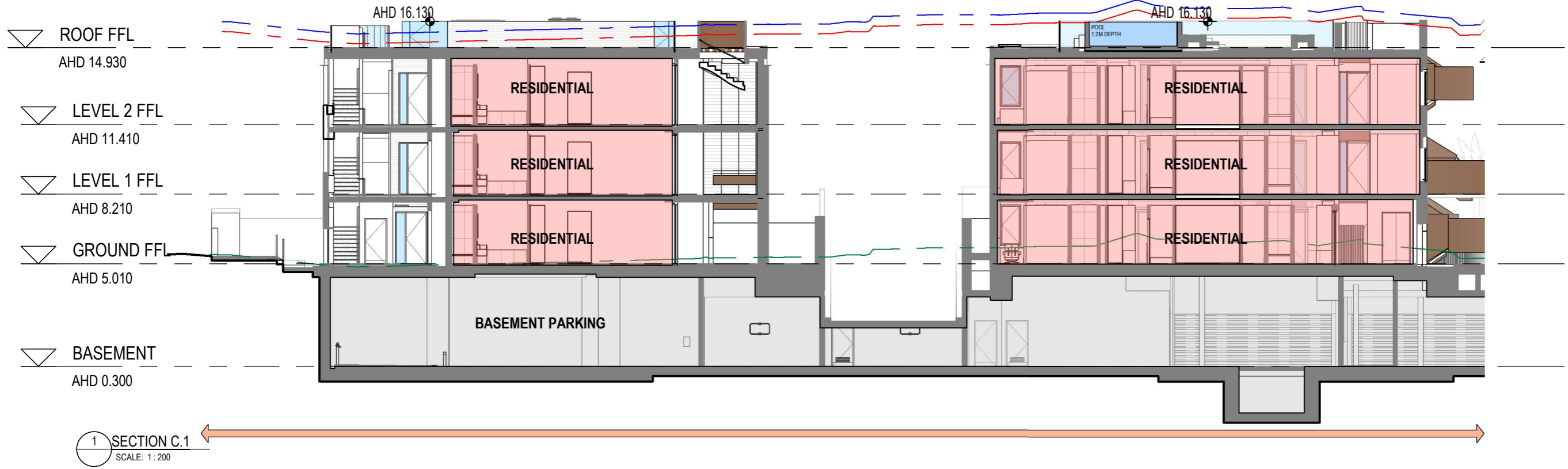
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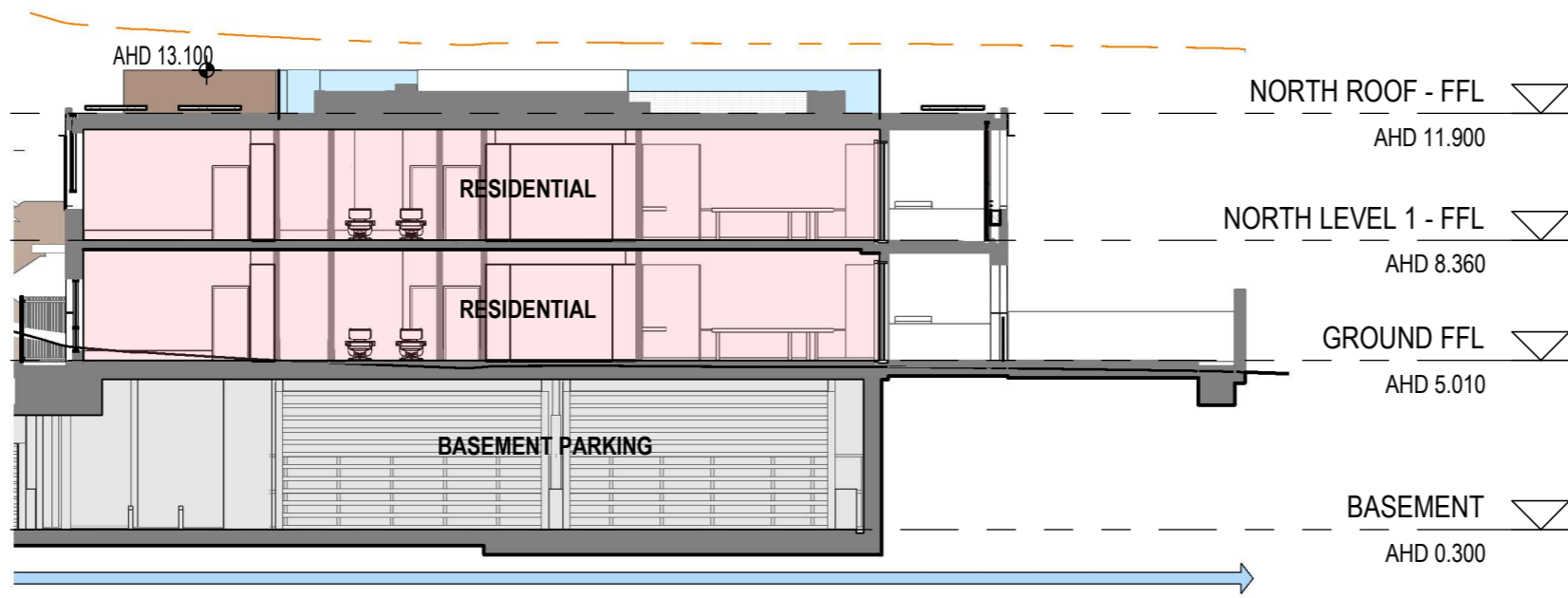
client	VITALE PROPERTY GROUP
approved	Checker scale As indicated @A3
prepared	Author project no 0899SHI

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drawing
drawing no. AR-903006
revision F

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1 SECTION C.1
SCALE: 1:200



KEY

- 10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9
- - - 10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9
- - - 9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
- - - GROUND LEVEL (EXISTING)
- DM - DEFERRED MATTER AMENDMENT #18 ZONE
- R3 - MEDIUM DENSITY RESIDENTIAL

2 SECTION C.2
SCALE: 1:200

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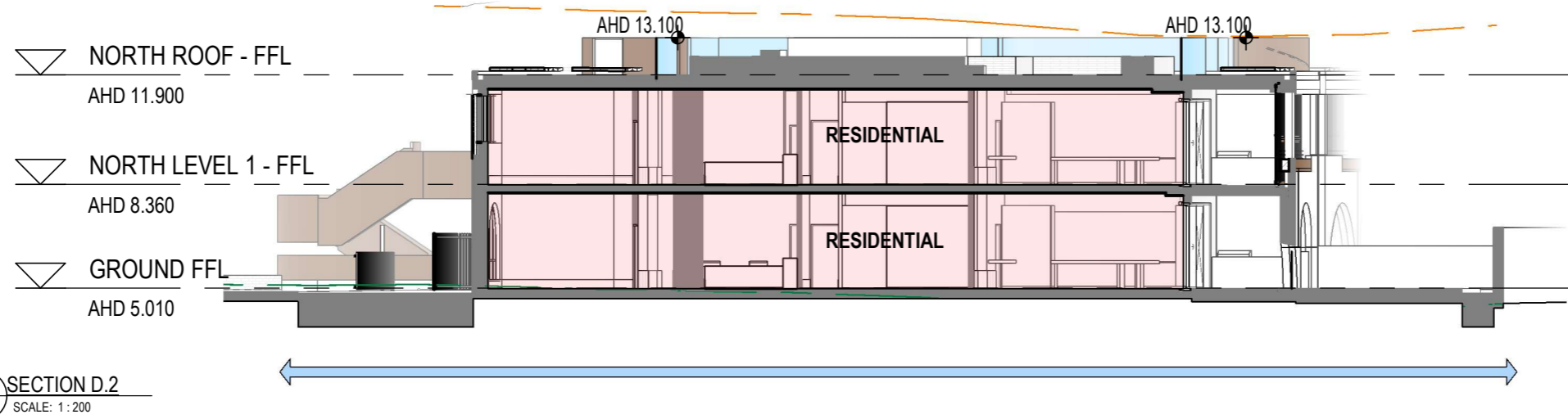
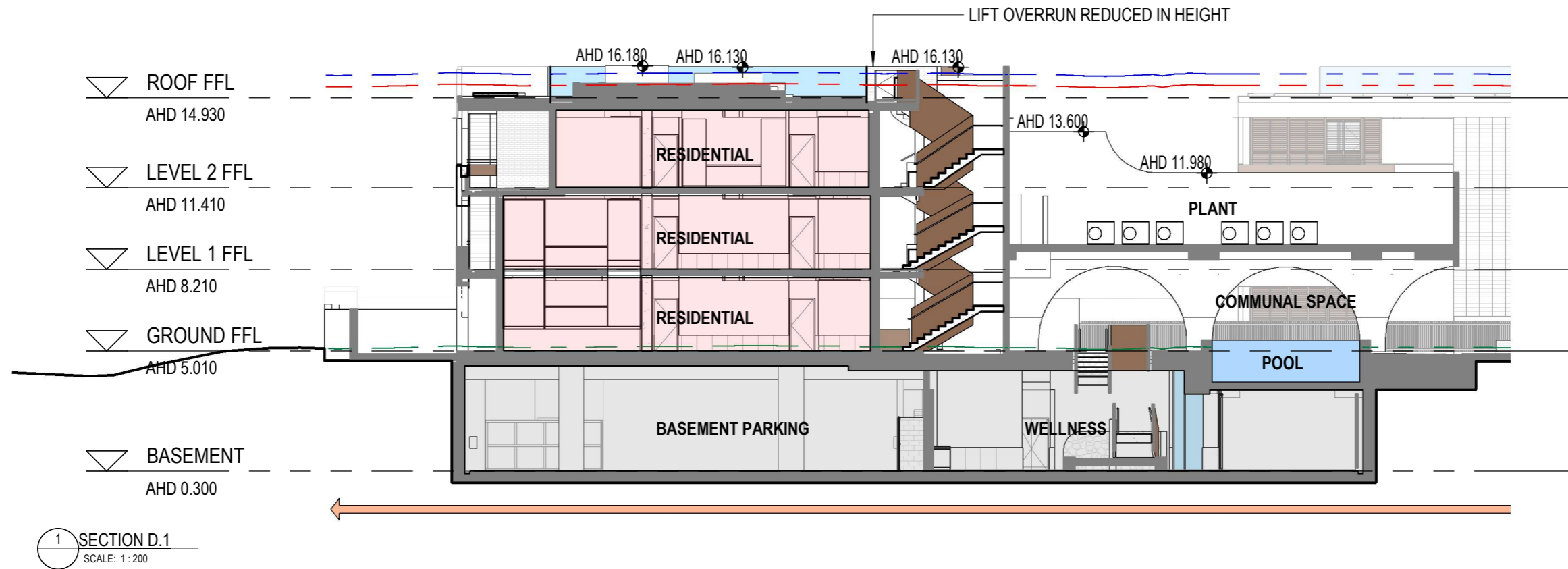
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prepared	Author	project no	0899SHI

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drawing
drawing no. AR-904001
revision F
25/09/2025 8:42:09 AM

SECTIONS



KEY	
—	10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9
- - -	10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9
- - -	9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
- - -	GROUND LEVEL (EXISTING)
	DM - DEFERRED MATTER AMENDMENT #18 ZONE
	R3 - MEDIUM DENSITY RESIDENTIAL

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Rev No.:	Revision Name:	Date:
B	L&E ISSUE	SE 1/09/25
C	L&E ISSUE	SE 9/09/25
D	L&E ISSUE	SE 15/09/25
E	L&E ISSUE	SE 18/09/25
F	L&E ISSUE	SE 25/09/25

client	VITALE PROPERTY GROUP		
approved	Checker	scale	As indicated @A3
prepared	Author	project no	0899SHI

project

EADE BYRON BAY

29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

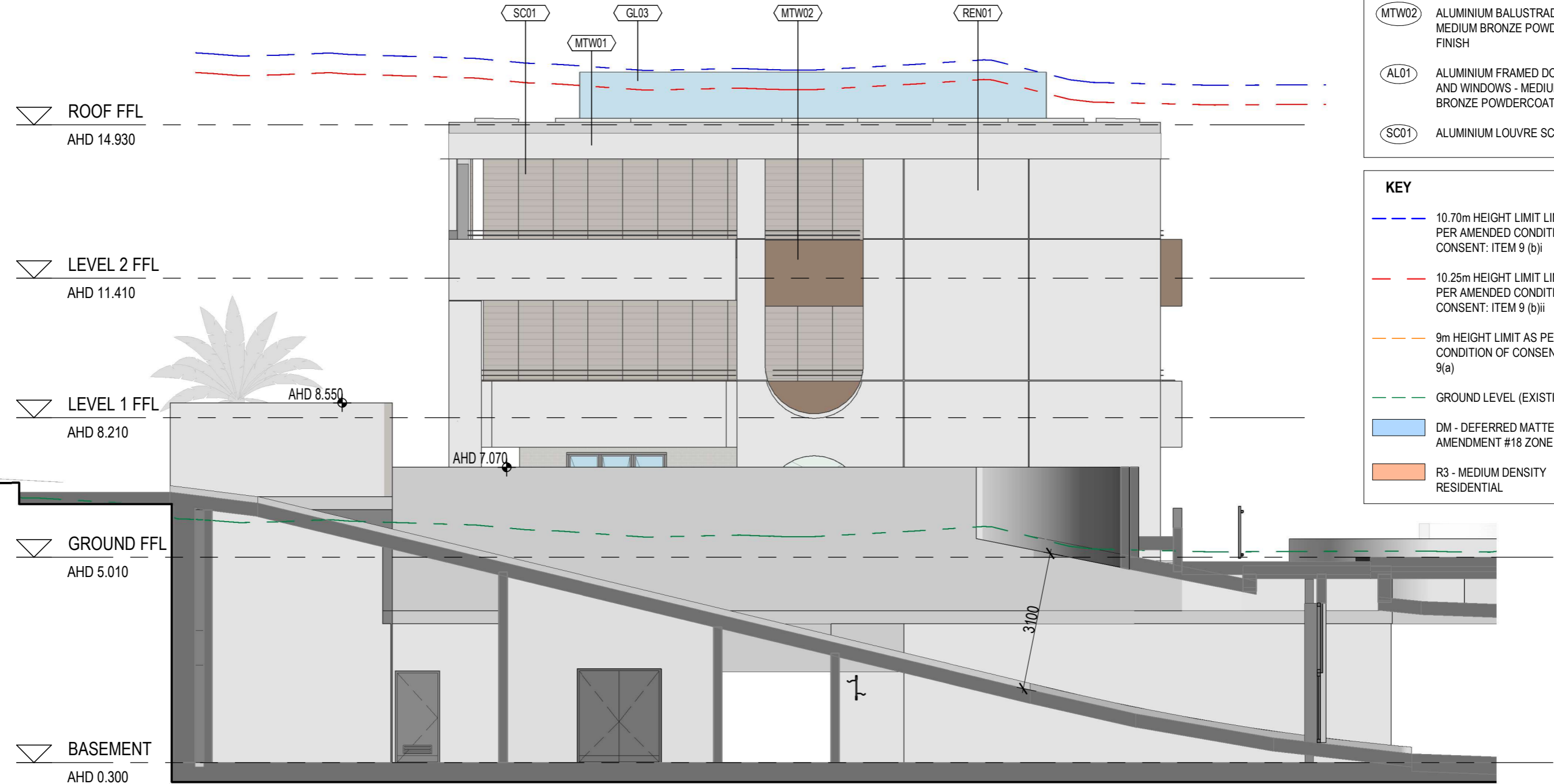
drawing

SECTIONS

drawing no. AR-904002

revision F

25/09/2025 8:43:02 AM



MATERIAL KEY

- REN01 RENDER FINISH
- GL01 PERFORMANCE GLAZING
- GL02 TRANSLUCENT PRIVACY GLAZING
- GL03 GLASS BALUSTRADE
- MT01 BRONZE SHEET CLADDING
- MTW01 ALUMINIUM PLATE PROFILE - WHITE POWDERCOAT FINISH
- MTW02 ALUMINIUM BALUSTRADE - MEDIUM BRONZE POWDERCOAT FINISH
- AL01 ALUMINIUM FRAMED DOORS AND WINDOWS - MEDIUM BRONZE POWDERCOAT FINISH
- SC01 ALUMINIUM LOUVRE SCREEN

KEY

- 10.70m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)i
- 10.25m HEIGHT LIMIT LINE AS PER AMENDED CONDITION OF CONSENT: ITEM 9 (b)ii
- 9m HEIGHT LIMIT AS PER CONDITION OF CONSENT ITEM: 9(a)
- GROUND LEVEL (EXISTING)
- DM - DEFERRED MATTER AMENDMENT #18 ZONE
- R3 - MEDIUM DENSITY RESIDENTIAL

1 CARPARK RAMP SECTION
SCALE: 1:100

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D	L&E ISSUE	SE 15/09/25
E	L&E ISSUE	SE 18/09/25
F	L&E ISSUE	SE 25/09/25

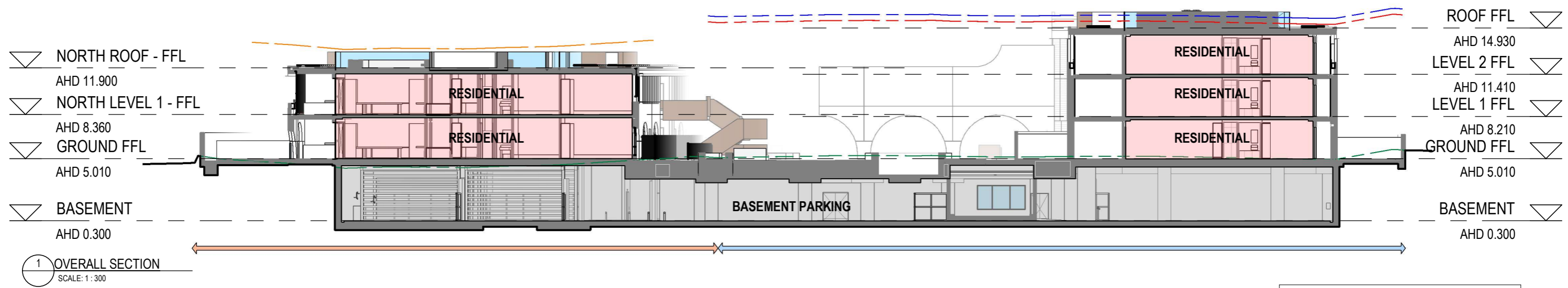
client	VITALE PROPERTY GROUP		
approved	Checker	scale	1 : 100 @A3
prepared	Author	project no	0899SHI

project
EADE BYRON BAY
29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

drawing
drawing no. AR-904003

SECTIONS
revision F

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Rev No.:	Revision Name:	Date:
B	L&E ISSUE	SE 1/09/25
C	L&E ISSUE	SE 9/09/25
D	L&E ISSUE	SE 15/09/25
E	L&E ISSUE	SE 18/09/25
F	L&E ISSUE	SE 25/09/25

client
VITALE PROPERTY GROUP

approved Checker scale As indicated @A3

prepared Author project no 0899SHI

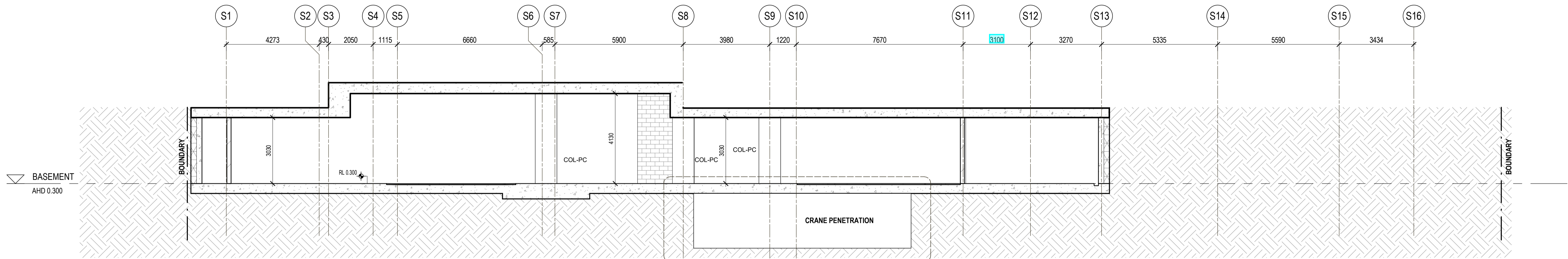
project
EADE BYRON BAY
29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

drawing
SECTIONS

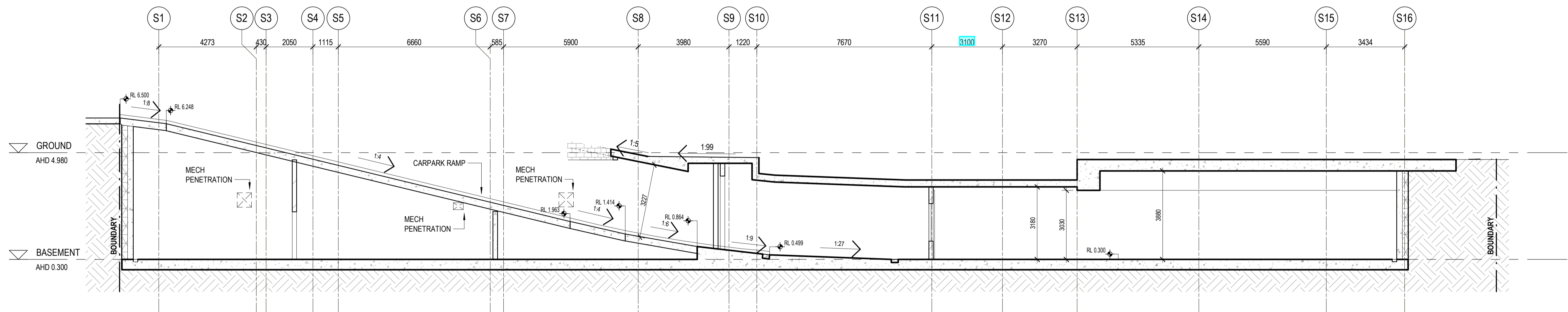
drawing no. AR-904004 revision F

25/09/2025 8:46:15 AM

Regulated Design Record			
Project Address: 29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481			
Project Title: EADE BYRON BAY			
Consent No: DA No. 10.2022.371.2		Body Corporate No: N/A	
Drawing Title: OVERALL SECTIONS		Drawing No: EADE-DAH-DRW-AR-400001	
Rev No.	Date	Description	DP Full Name
1	10/10/25	CC2 ISSUE	DAH ARCHITECTURE
			Reg. No. Checker



1 BUILDING SECTION - 03
 SCALE: 1:100



2 BUILDING SECTION - 04
 SCALE: 1:100

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Rev No.	Revision Name:	Date:
A	FOR INFORMATION	SE 19/06/25
B	CC2 DRAFT ISSUE	SE 06/08/25
C	FOR INFORMATION	SE 15/09/25
1	CC2 ISSUE	PW 10/10/25

client
**V - M - A
 B U I L D**

CONSTRUCTION

project
EADE BYRON BAY
 29 SHIRLEY STREET & 2-4 MILTON STREET, BYRON BAY NSW 2481

OVERALL SECTIONS

approved scale 1:100 @A1
 prepared Author project no 0899SHI

drawing no. revision
EADE DAH-DRW-AR-400001 1