

LOCATION PLAN
Scale: NTS



building designer
Email: belindakdrafting@bigpond.com
Office: 132 Scarrabelottis Road Nashua 2479
Phone: 0448 643 440

Plan No.	Title /Location
DA-00	Safety notes
DA-01	Site Plan
DA-02	Floor Plan
DA-03	Elevations & Section
DA-04	

PROPOSED FARM SHED
LOT100 DP1209712
530 LISMORE ROAD
BINNA BURRA NSW

IMPORTANT NOTE:
These Plans have been created using a combination of Deposited Plan, approved Plans, on site measurements, photographs and desk top data. Whilst all care has been taken in providing the correct measurements they can not be relied upon and all measurements should be checked on site.
All work is to be carried out in accordance with the regulations and guidelines of the relevant Australian Standards, National Construction Code of Australia (BCA) and Local Authorities.
All dimensions to be confirmed on site prior to commencement of construction and ordering of materials.

SHEET - DA/CC-00 - TITLE/LOCATION

DO NOT SCALE OFF DRAWINGS
Refer any discrepancies to the building designer prior to commencement of work. Verify all dimensions on site prior to commencement of work. Belinda Kehoe Drafting & Design accepts no responsibility for any loss or damage suffered to any person or corporation who may use or rely on these plans.

© C O P Y R I G H T
belinda kehoe drafting & design

CLIENT: TONY & LYNETTA LOVE

LOCATION: LOT100 DP1209712
530 LISMORE ROAD
BINNA BURRA NSW

DATE: 05.06.19
SCALE: NTS

REF: LOVE_01
DRAWN: bk

IMPORTANT SAFETY NOTES:

1. FALLS, SLIPS & TRIPS

a) Working at Heights DURING CONSTRUCTION

Wherever possible, components for this building should be prefabricated off-site or at ground level to minimize the risk of workers falling more than 2metres. However construction of this building will require workers to be working at heights where a fall in excess of two metres is possible and injury is likely to result from such a fall. The builder should provide a suitable barrier wherever a person is required to work in a situation where falling more than two metres is a possibility.

DURING OPERATION OR MAINTENANCE

For houses or other low-rise buildings where scaffolding is appropriate:

Cleaning and maintenance of windows, walls, roof or other components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where is type of activity is required, scaffolding, ladders or trestles should be used in accordance with relevant codes of practice, regulations or legislation.

For buildings where scaffold, ladders, trestles are not appropriate:

Cleaning and maintenance of windows, walls, roof or toher components of this building will require persons to be situated where a fall from a height in excess of two metres is possible. Where this type of activity is require, scaffolding, fall barriers or Personal Protective equipment (PPE) should be used in accordance with relevant codes of practise, regulation or legislation.

b) SLIPPERY OR UNEVEN SURFACES

Floor finishes specified:

If finishes have been specified by designer, these have been selected to minimise the risk of floors and paved areas becoming slippery when wet or when walked on with wet shoes/feet. Any changes to the specified finish should be made in consultation with the designer, if this is not practical, surfaces with an equivalent or better slip resistance should be chosen.

Floor finishes by owner:

If designer has not been involved in the selection of surface finishes, the owner is responsible for the selection of surface finishes in the pedestrian trafficable area of this building. Surfaces should be selected in accordance with AS HB 197:1999 and AS/NZ 4586:2004.

STEPS LOOSE OBJECTS AND UNEVEN SURFACES

If steps and ramps are included in this building it must be observed that they may be a hazard to workers carrying objects or otherwise occupied. Steps should be clearly marked with both visual and tactile warning during construction, maintenance, demolition and at all times when the building operates as a workplace. Building owners and occupiers should monitor the pedestrian access ways and in particular access to areas where maintenance is routinely carried out to ensure that surfaces have not moved or cracked so that they become uneven and present a trip hazard.

Spills, loose material, stray objects or any other matter that may

cause a slip or trip hazard should be cleaned or removed from access ways.

Contractors should be required to maintain a tidy work site during construction, maintenance or demolition to reduce the risk of trips and falls in the workplace. Materials for construction or maintenance should be stored in designated areas away from access ways and work areas.

2 . FALLING OBJECTS

LOOSE MATERIALS OR SMALL OBJECTS

Construction, maintenance or demolition work on or around this building is likely to involve person working above ground level or above floor levels. Where this occurs one or more of the following measures should be taken to avoid objects falling from the area where the work is being carried out onto persons below.

1. Prevent or restrict access to areas below where the work is being carried out.
2. Provide toe boards to scaffolding or work platforms.
3. Provide protective structure below the work area.
4. ensure that all persons below the work area have PPE.

BUILDING COMPONENTS

During construction, renovation or demolition of this building, parts of the structure including fabricated steelwork, heavy panels and many other components will remain standing prior to or after supporting parts are in place. Contractors should ensure that temporary bracing or other required support is in place at all times when collapse which may injure persons in the area is possible.

Mechanical lifting of materials and components during construction, maintenance or demolition presents a risk of falling objects. Contractors should ensure that appropriate lifting devices are used, loads are properly secured and that access to areas below the load is prevented or restricted.

3. TRAFFIC MANAGEMENT

For buildings on a major road, narrow road or steeply sloping road: Parking of vehicles or loading/unloading of vehicles on this roadway may cause a traffic hazard. During construction, maintenance or demolition of this building designated parking for workers and loading areas should be provided. Trained traffic management personnel should be responsible for the supervision of these areas.

For buildings where on-site loading/unloading is restricted: Construction of this building may require loading and unloading of materials on the roadway. Delivers should be well planned to avoid congestion of loading areas and trained traffic management personnel should be used to supervise loading and unloading areas.

For all buildings: busy construction and demolition sites present a risk of collision where deliveries and other traffic are moving within the site. A traffic management plan supervised by trained traffic management personnel should be adopted for the work site.

4. SERVICES

GENERAL

Rupture of services during excavation or other activity creates a variety of risks including release of hazardous material. Existing services are located on or around this site. Where known, these are identified on the plans but the exact location and extent of services may vary from that indicated. Services should be located using an appropriate service (such as Dial before you dig), appropriate excavation practice should be used and where necessary, specialist contractors should be used.

Locations with underground Power:

Underground powerlines may be located in or around the site. All underground powerlines must be disconnected or carefully located and adequate warning signs used prior to any construction, maintenance or demolition commencing.

Locations with overhead Power lines:

Overhead powerlines may be near or on this site. These pose a risk of electrocution if struck or approached by lifting devices or other plant and persons working above ground level. Where this is not practical adequate warning in the form of bright coloured tape or signage should be used or a protective barrier provided.

5. MANUAL TASKS

Components within this design with a mass in excess of 25Kg should be lifted by tow or more workers or by mechanical lifting device. Where this is not practical, suppliers or fabricators should be required to limit the component mass.

All material packaging, building and maintenance components should clearly show the total mass of packages and where practical all items should be stored on site in a way which minimises bending before lifting. Advice should be provided on safe lifting methods in all areas where lifting may occur.

Construction, maintenance and demolition of this building will require the use of portable tools and equipment. These should be fully maintained in accordance with manufacture's specifications and not used where faulty or (in the case of electrical equipment) not carrying a current electrical safety tag. All safety guards or devices should be regularly checked and PPE should be used in accordance with manufacturer's specifications.

6. HAZARDOUS SUBSTANCES

ASBESTOS

For alteration to a building constructed prior to 1990:

If this existing building was constructed prior to:

1990 - It therefore may contain asbestos

1986 - It therefore is likely to contain asbestos

either in cladding materials or in fire retardant insulation material.

In either case, the builder should check and, if necessary, take appropriate action before demolishing, cutting, sanding, drilling or otherwise disturbing the existing structure.

POWDERED MATERIAL

Many materials used in the construction of this building can cause harm if inhaled in powdered form. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear appropriate PPE including protection against inhaling while using powdered material or when sanding, drilling, cutting or otherwise disturbing or creating powdered material.

TREATED TIMBER

The design of this building may include provision for the inclusion of treated timber within the structure. Dust or fumes from this material can be harmful. Persons working on or in the building during construction, operational maintenance or demolition should ensure good ventilation and wear appropriate PPE including protection against inhalation of harmful material when sanding, drilling, cutting or using treated timber in any way that may cause harmful material to be released. Do not burn treated timber.

VOLATILE ORGANIC COMPOUNDS

Many types of glue, solvents, spray packs, paints, varnishes and some cleaning materials and disinfectant have dangerous emissions. Areas where these are used should be kept well ventilated while the material is being used and for a period after installation. Appropriate PPE equipment including protection against inhalation of harmful material should be used when installing, removing or working near bulk insulation material.

TIMBER FLOORS

This building may contain timber floors which have an applied finish. Areas where finishes are applied should be kept well ventilated during sanding and application and for a period after installation. Appropriate PPE may also be required. The manufactured recommendations for use must be carefully considered at all times.

7. CONFINED SPACES

EXCAVATION

Construction of this building and some maintenance on the building may require excavation and installation of items within excavations. Where practical, installation should be carried out using methods which do not require workers to enter the excavation. where this is not practical, adequate support for the excavation area should be provided to prevent collapse. Warning signs and barriers to prevent accidental or unauthorised access to all excavations should be provided.

ENCLOSED SPACES

For buildings with enclosed spaces where maintenance or other access may be required:

Enclosed spaces within this building may present a risk to persons entering for construction, maintenance or any other purpose. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and PPE should be provided.

SMALL SPACES

For buildings with small spaces where maintenance or other access may be required:

Some small spaces within this building will require access by construction or maintenance workers. The design documentation calls for warning signs and barriers to unauthorised access. These should be maintained throughout the life of the building. Where workers are required to enter enclosed spaces, air testing equipment and PPE should be provided. Where workers are required to enter small spaces they should be scheduled so that access is for short periods. Manual lifting and other manual activity should be restricted in small spaces.

8. PUBLIC ACCESS

Public access to construction and demolition sites and to areas under maintenance causes risk to workers and public. Warning signs and secure barriers to unauthorised access should be provided. Where electrical installation, excavations, plant or loose materials are present they should be secured when not fully supervised.

9. OPERATIONAL USE OF BUILDING

NON RESIDENTIAL BUILDINGS

For non residential buildings where the end use has not been defined:

This building has been designed to requirements of the classifications identified on the drawings. The specific use of the buildings is not known at the time of the design and further assessments of the workplace health and safety issues should be undertaken a the time of fit-out for the end-user.

For non-residential buildings where the end-use is known:

This building has been designed to requirements of the classifications identified on the drawings. Appropriate Workplace Health and Safety issues are to be identified and implemented. Where a change of use occurs at a later date a further assessment of the Workplace Health and Safety issues should be undertaken.

10. OTHER HIGH RISK ACTIVITY

All electrical work should be carried out in accordance with Code of Practice: Managing Electrical Risks a the Workplace, AS/NZ3012 and all licensing requirements. All work using plant should be carried out in accordance with Code of Practice: Managing Risks of Plant at the workplace. All work using plant should be carried out in accordance with Code of Practice: Managing noise and preventing hearing loss at work. Due to history of serious incidents it is recommended that particular care be exercised when undertaking work involving steel construction and concrete placement. All the above applies.

SHEET - DA-01 - SAFETY NOTES

CLIENT: TONY & LYNETTA LOVE

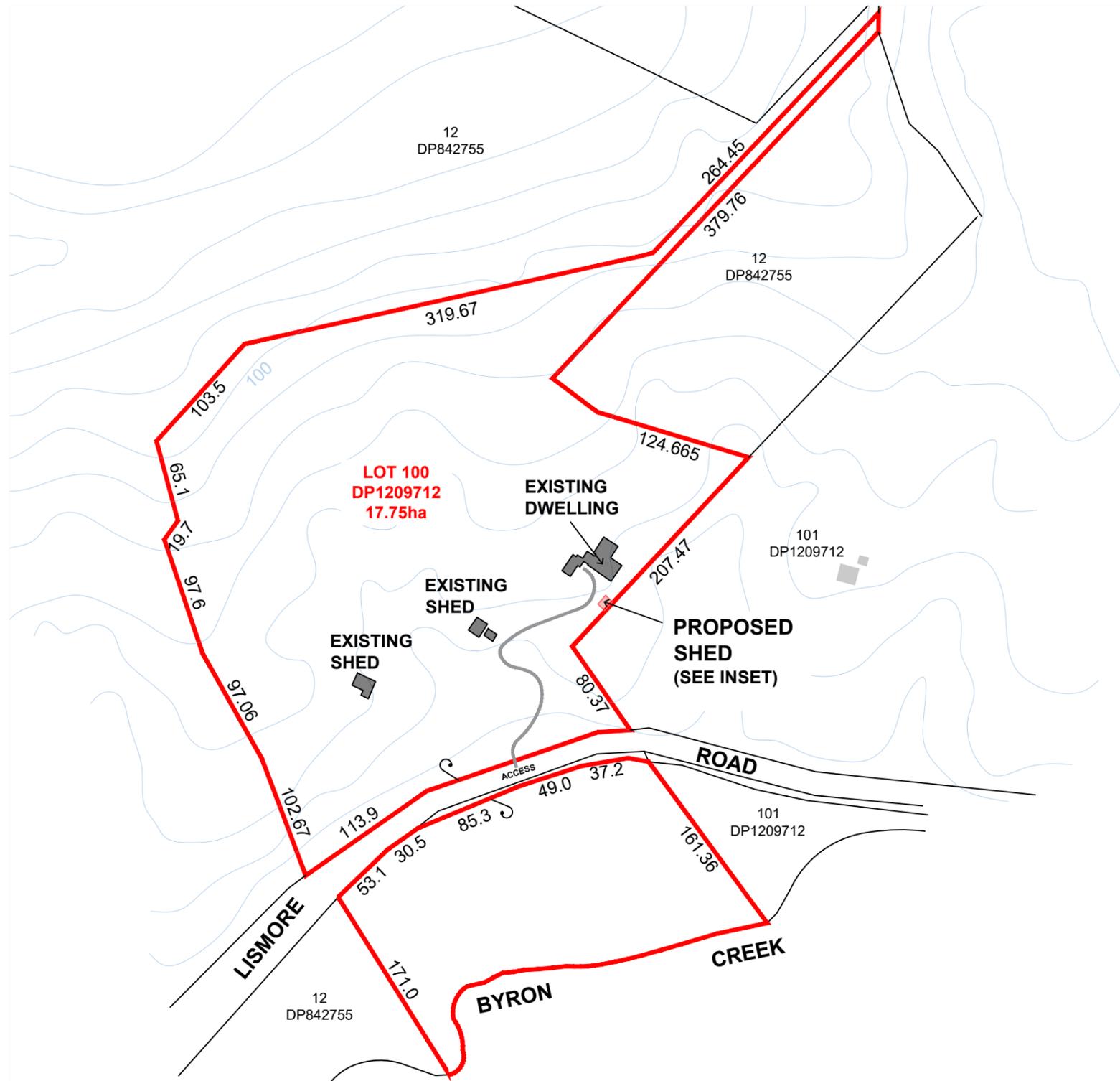
LOCATION: LOT100 DP1209712
 530 LISMORE ROAD
 BINNA BURRA NSW

DATE: 05.06.19
 SCALE: NTS

REF: LOVE_01
 DRAWN: bk

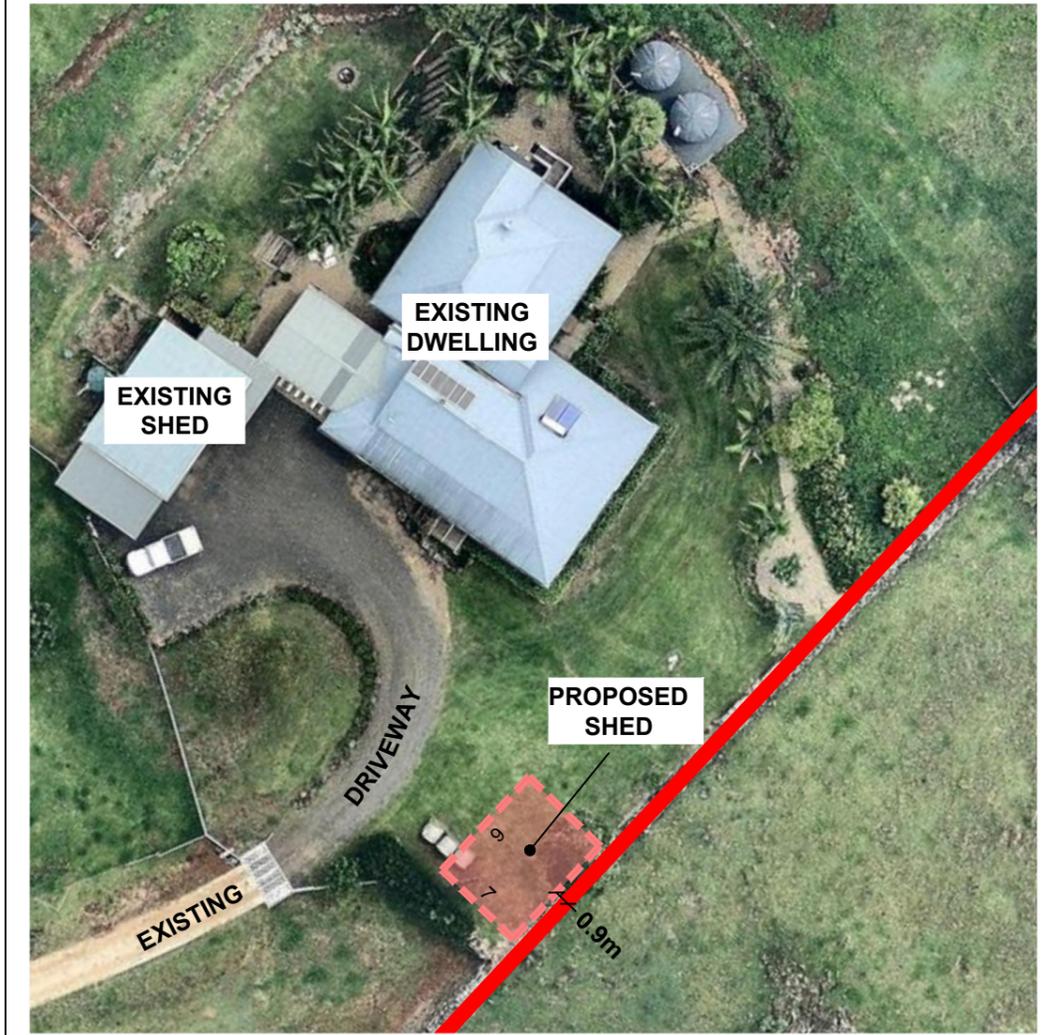
DO NOT SCALE OFF DRAWINGS

Refer any discrepancies to the building designer prior to commencement of work. Verify all dimensions on site prior to commencement of work. Belinda Kehoe Drafting & Design accepts no responsibility for any loss or damage suffered to any person or corporation who may use or rely on these plans.

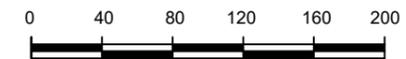


S I T E P L A N

INSET



SCALE: 1: 500 @ A3



1cm = 40m
1:4000



1cm = 5m
1:500

IMPORTANT NOTE:
CONTRACTORS ARE TO VERIFY ALL UNDERGROUND AND WALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS



REV	DATE	AMENDMENT
A		
B		
C		
D		

© C O P Y R I G H T
belinda kehoe drafting & design

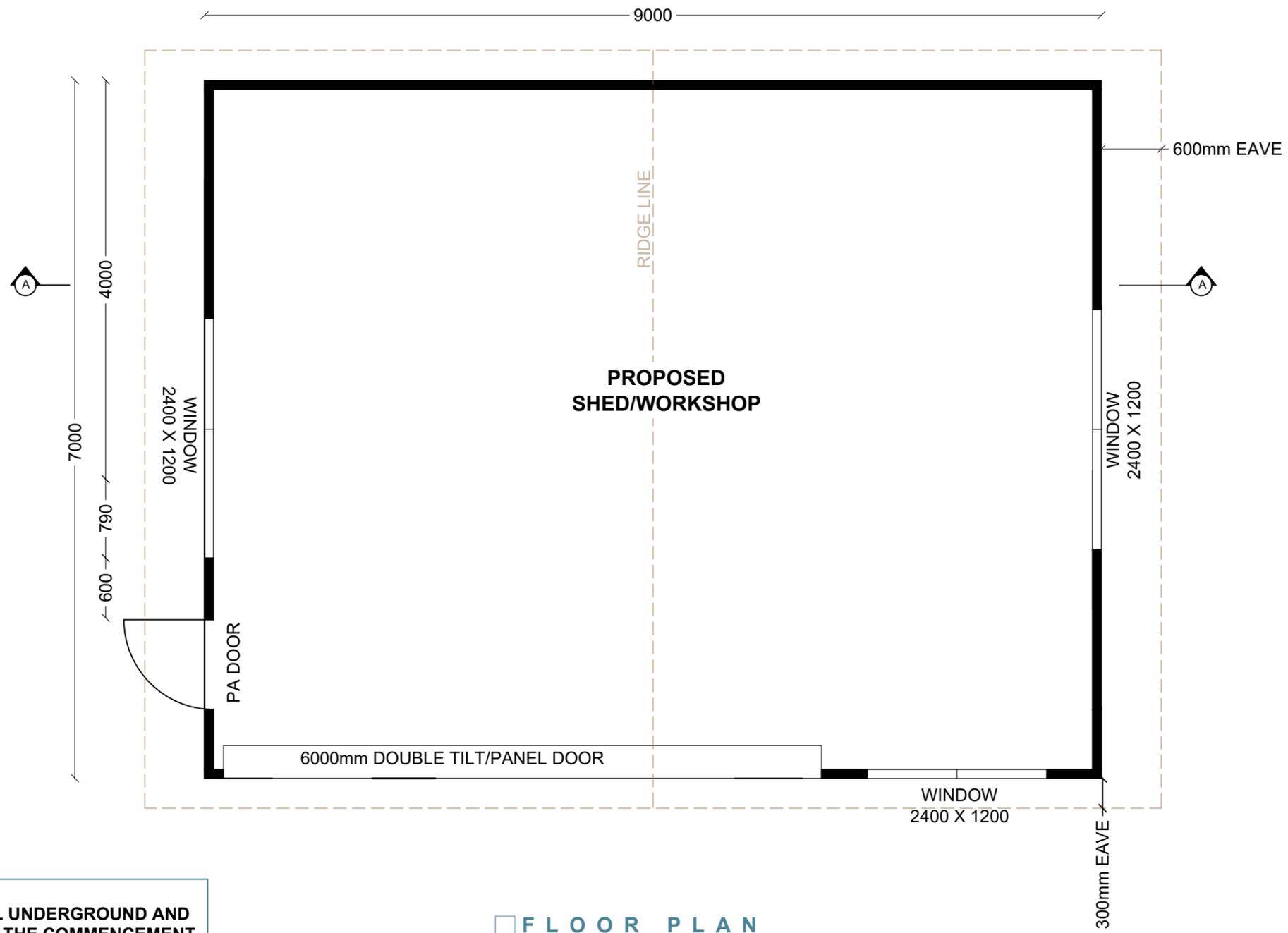
DO NOT SCALE OFF DRAWINGS
Refer any discrepancies to the building designer prior to commencement of work. Verify all dimensions on site prior to commencement of work. Belinda Kehoe Drafting & Design accepts no responsibility for any loss or damage suffered to any person or corporation who may use or rely on these plans.

CLIENT: TONY & LYNETTA LOVE

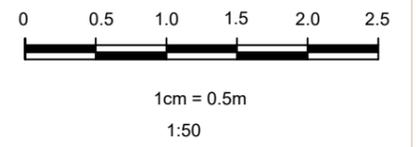
LOCATION: LOT 100 DP1209712
530 LISMORE ROAD
BINNA BURRA NSW

DATE: 05.06.19
SCALE: AS ABOVE

REF: LOVE_01
DRAWN: bk



FLOOR PLAN



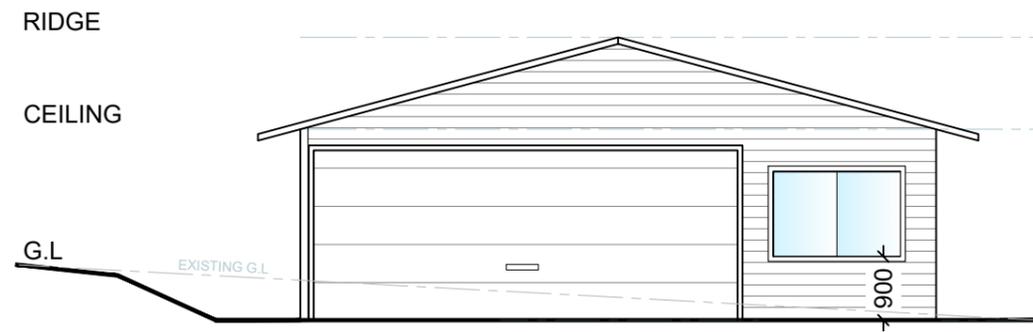
IMPORTANT:
 CONTRACTORS ARE TO VERIFY ALL UNDERGROUND AND
 WALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT
 OF ANY WORKS

REV	DATE	AMENDMENT
A		
B		
C		
D		

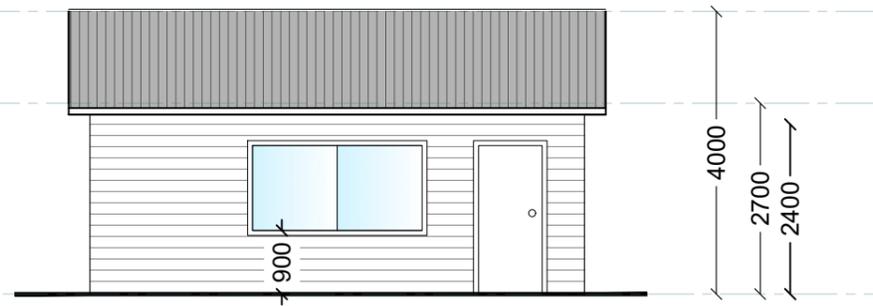
© C O P Y R I G H T
 belinda kehoe drafting & design

DO NOT SCALE OFF DRAWINGS
 Refer any discrepancies to the building
 designer prior to commencement of work.
 Verify all dimensions on site prior to
 commencement of work. Belinda Kehoe
 Drafting & Design accepts no
 responsibility for any loss or damage
 suffered to any person or corporation
 who may use or rely on these plans.

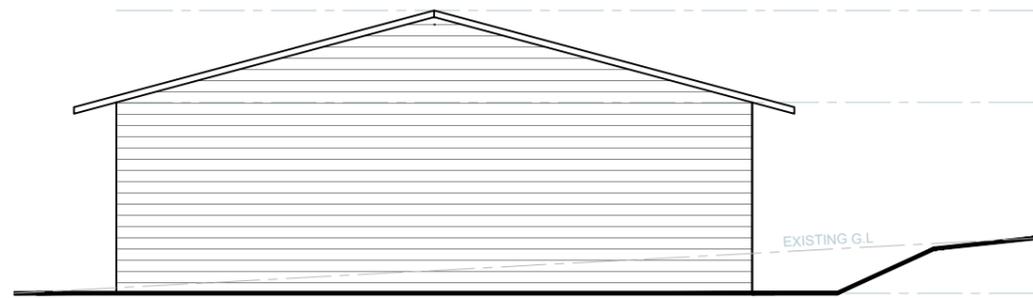
CLIENT: TONY & LYNETTA LOVE
LOCATION: LOT100 DP1209712
 530 LISMORE ROAD
 BINNA BURRA NSW
DATE: 05.06.19
SCALE: 1 : 50 @ A3
REF: LOVE_01
DRAWN: bk



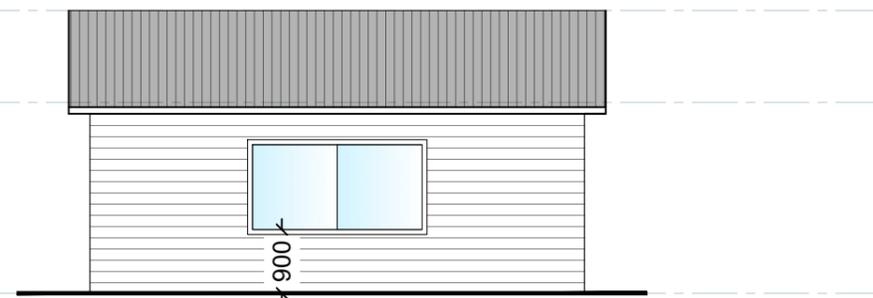
WEST ELEVATION



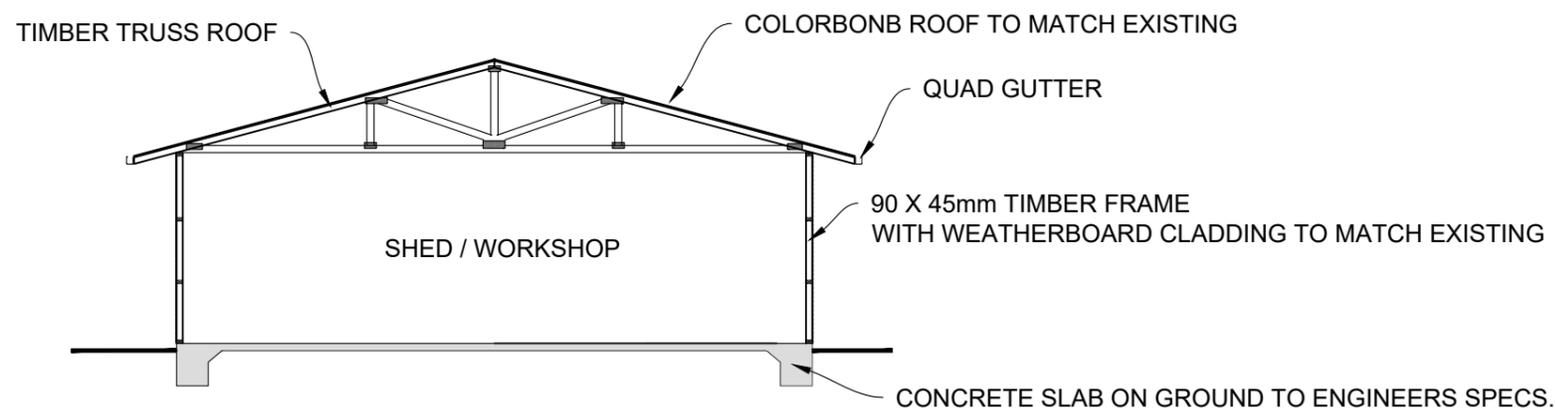
NORTH ELEVATION



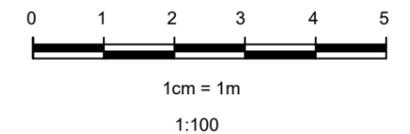
EAST ELEVATION



SOUTH ELEVATION



SECTION A - A



NOTE: EXISTING GROUND LINE IS APPROXIMATE ONLY.

IMPORTANT NOTE:
CONTRACTORS ARE TO VERIFY ALL UNDERGROUND AND WALL SERVICES ON SITE PRIOR TO THE COMMENCEMENT OF ANY WORKS

REV	DATE	AMENDMENT
A		
B		
C		
D		

© C O P Y R I G H T
belinda kehoe drafting & design

DO NOT SCALE OFF DRAWINGS
Refer any discrepancies to the building designer prior to commencement of work. Verify all dimensions on site prior to commencement of work. Belinda Kehoe Drafting & Design accepts no responsibility for any loss or damage suffered to any person or corporation who may use or rely on these plans.

CLIENT: TONY & LYNETTA LOVE

LOCATION: LOT100 DP1209712
530 LISMORE ROAD
BINNA BURRA NSW

DATE: 05.06.19
SCALE: 1 : 100 @ A3
REF: LOVE_01
DRAWN: bk