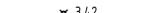


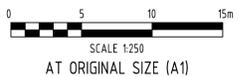
LEGEND

-  SITE BOUNDARY
-  EXISTING PROPERTY BOUNDARY
-  EXISTING EASEMENT BOUNDARY
-  EXISTING SURFACE CONTOURS
-  12.0 EXISTING SURFACE LEVEL
-  3.42 FINISHED SURFACE LEVEL
-  3.42 EXISTING NOMINAL KERB LINE
-  3.42 EXISTING EDGE OF BUILDING
-  3.42 EXISTING EDGE OF BUILDING EAVE
-  3.42 PROPOSED NOMINAL KERB LINE
-  3.42 PROPOSED ROAD CENTRE LINE
-  3.42 GRADE CHANGE
-  S EXISTING SEWER
-  W EXISTING WATER
-  C EXISTING COMMUNICATIONS
-  ABANDONED SERVICE
-  EXISTING BATTER
-  EXISTING FENCE
-  EXISTING EARTHWORKS DRAIN
-  EXISTING RETAINING WALL
-  PROPOSED RETAINING WALL
-  PROPOSED BATTER
-  LIMIT OF WORKS
-  BUILDING OUTLINE
-  PROPOSED SWALE (TURFED)
-  PROPOSED EARTHWORKS PAD
-  PROPOSED EARTHWORKS CUT
-  PROPOSED EARTHWORKS FILL
-  PROPOSED RETAINING SYSTEM REFER STRUCTURAL DRAWINGS FOR DETAILS
-  EXISTING TREE TO BE PROTECTED AND RETAINED
-  EXISTING TREE TO BE REMOVED

BASEMENT EXCAVATION

CUT TO SPOIL: NO STOCKPILE OF SOILS IS ALLOWED FOR. ALL EXCAVATION IS TO BE TAKEN OFF SITE AND DISPOSED IMMEDIATELY U.N.O.

ALL DETAILS SHOWN ARE SUBJECT TO FURTHER DETAILED DESIGN



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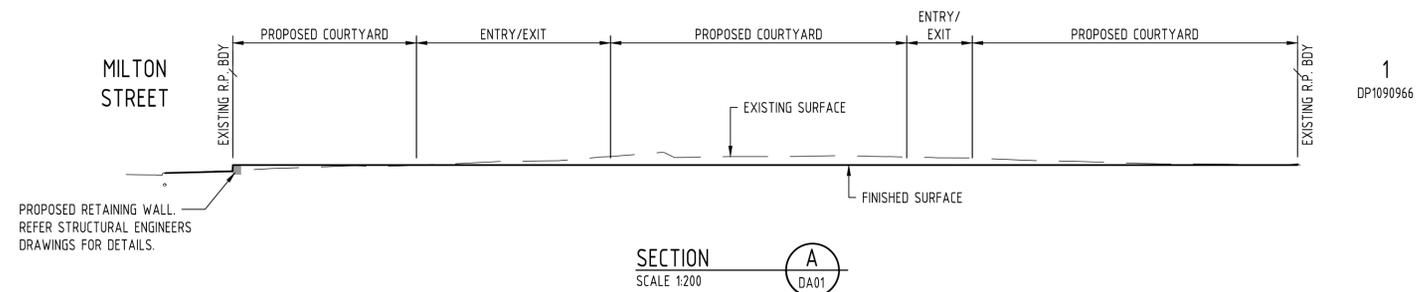
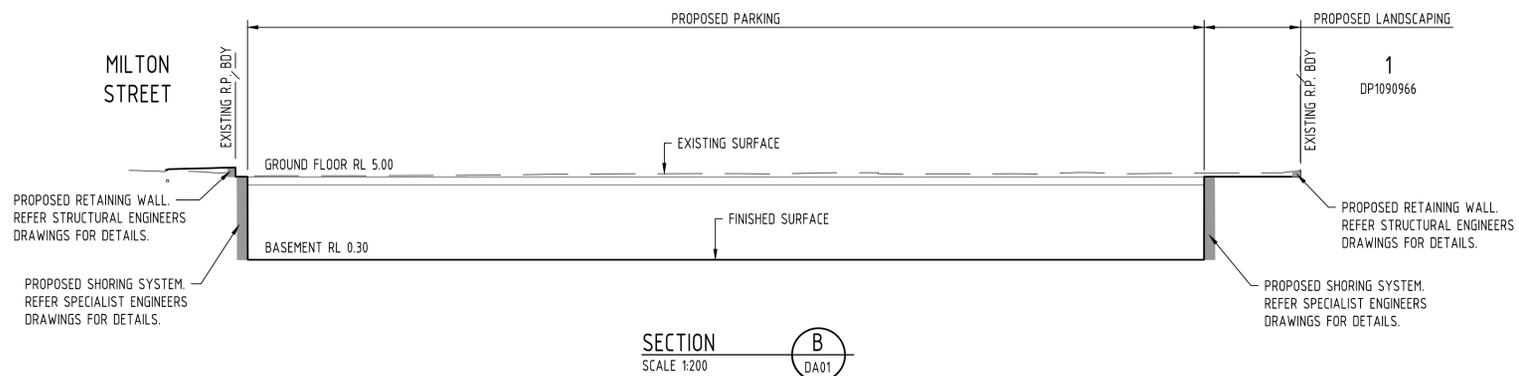
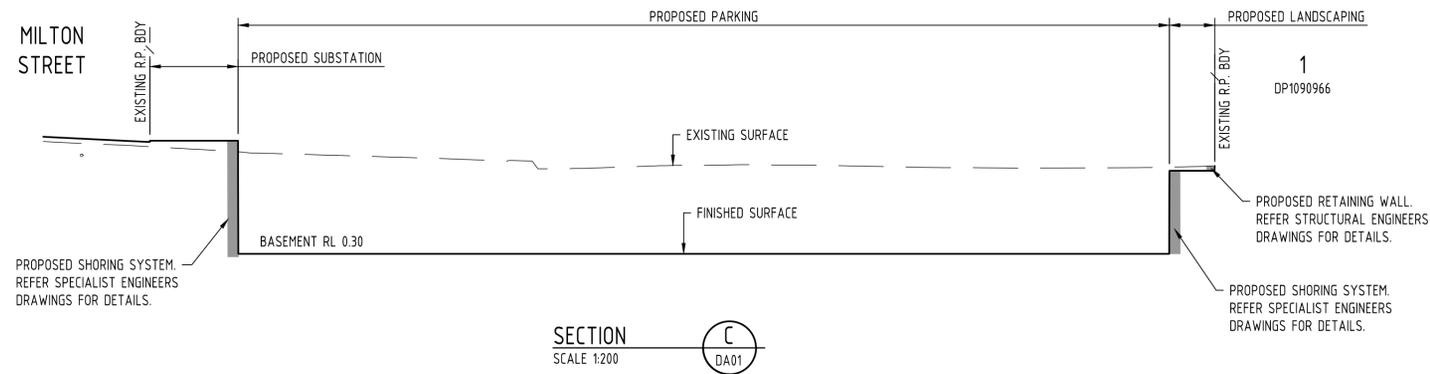
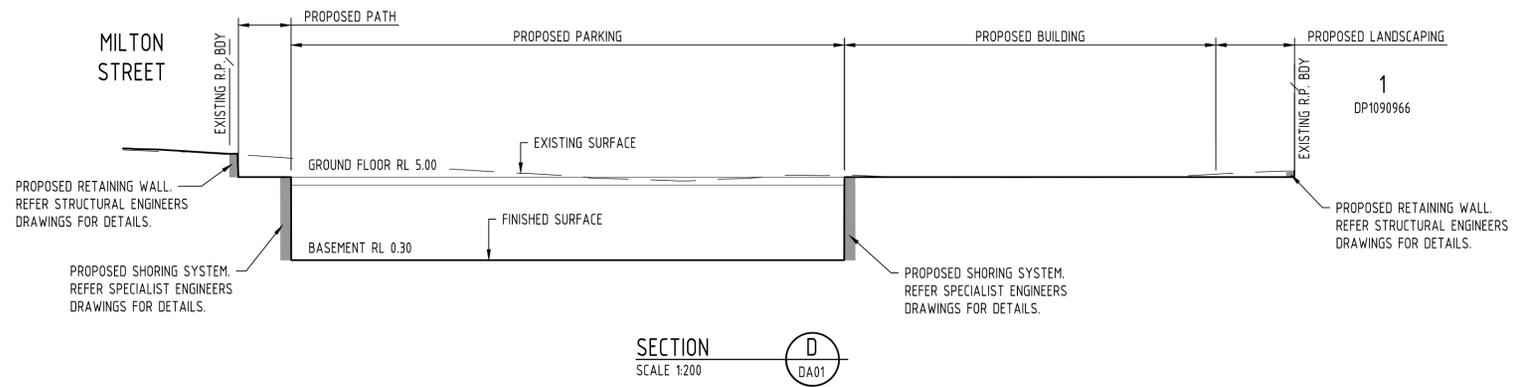
Client
VITALE PROPERTY GROUP PTY LTD
 Project Name
**29 SHIRLEY STREET
 BYRON BAY**

Discipline CIVIL		Status APPROVAL
Designed By DE	Checked By ST	Approved By ST
Project No. 25799	Drawn By MD	Scale at A1 1:250

ISSUED FOR APPROVAL

PRELIMINARY EARTHWORKS LAYOUT PLAN

Drawing No. DA01	Revision A
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ISSUED FOR APPROVAL

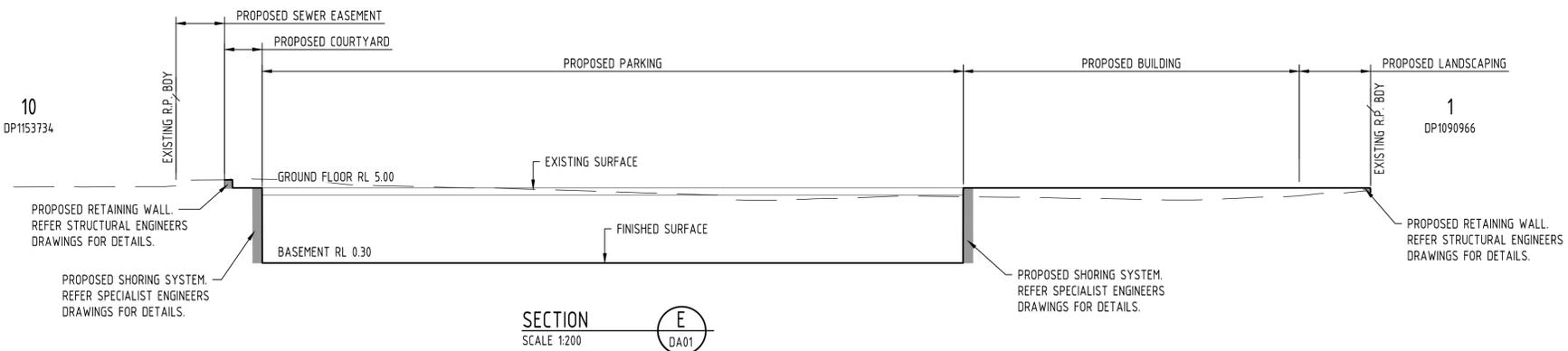
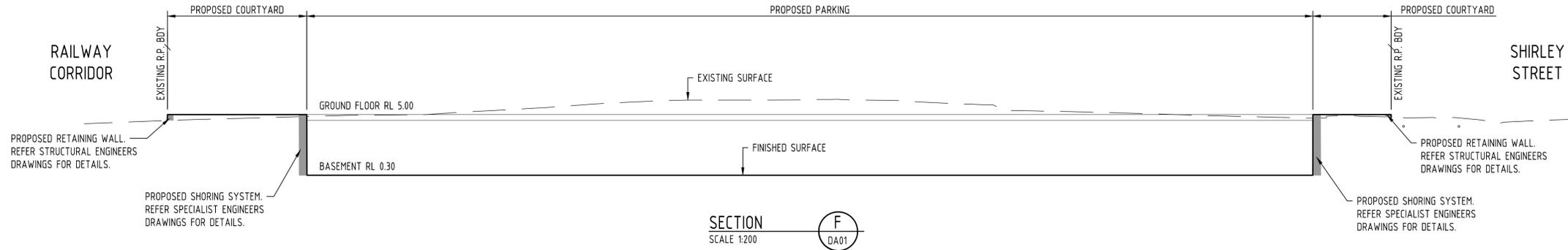
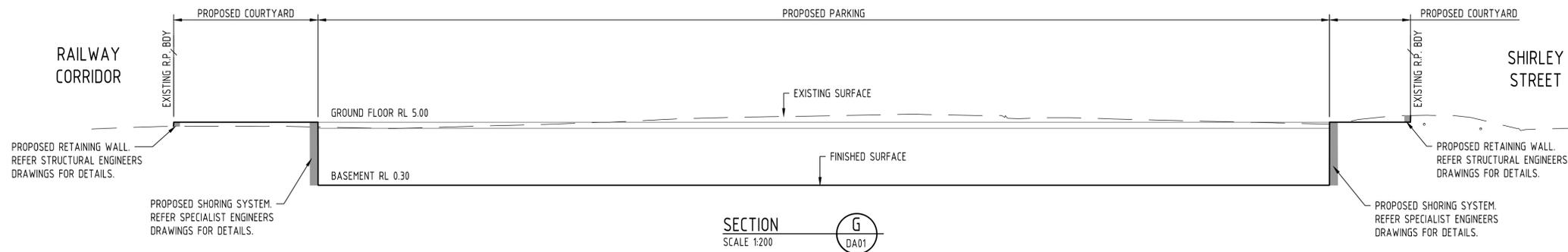
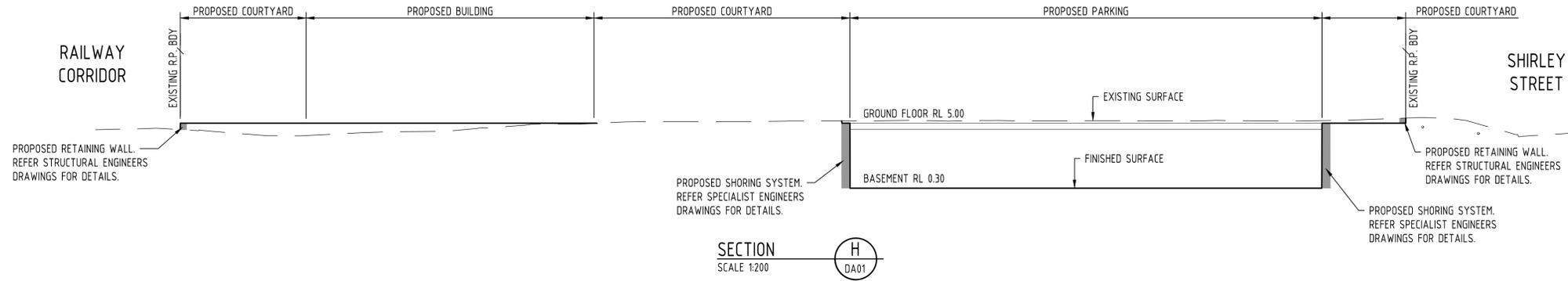
Rev	Date	Description	By	Chk
A	10.08.22	ISSUED FOR APPROVAL	MD	ST



Client: VITALE PROPERTY GROUP PTY LTD
Project Name: 29 SHIRLEY STREET BYRON BAY

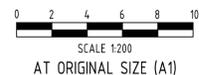
Discipline: CIVIL		Status: APPROVAL
Designed By: DE	Checked By: ST	Approved By: ST
Project No: 25799	Drawn By: MD	Scale at A1: 1:200

Title: PRELIMINARY EARTHWORKS SITE SECTIONS SHEET 1 OF 2	
Drawing No: DA02	Revision: A



ISSUED FOR APPROVAL

Rev	Date	Description	By	Chk
A	10.08.22	ISSUED FOR APPROVAL	MD	ST



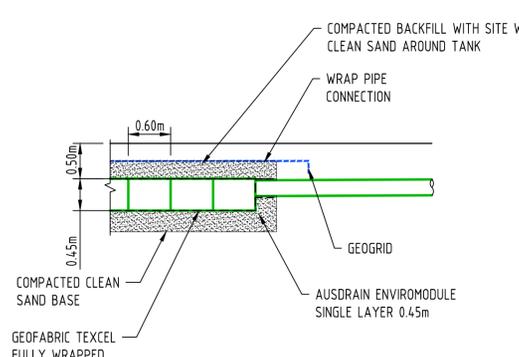
Client
VITALE PROPERTY GROUP PTY LTD
Project Name
29 SHIRLEY STREET
BYRON BAY

Discipline CIVIL	Status APPROVAL
Designed By DE	Checked By ST
Project No. 25799	Drawn By MD
Scale at A1 1:200	

Title PRELIMINARY EARTHWORKS SITE SECTIONS SHEET 2 OF 2	Revision A
Drawing No. DA03	

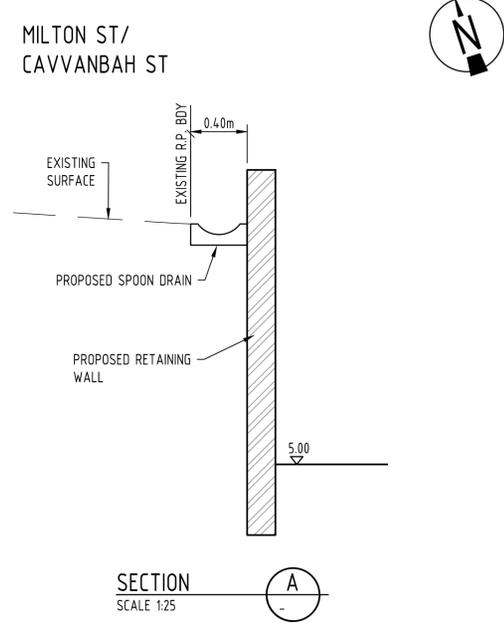
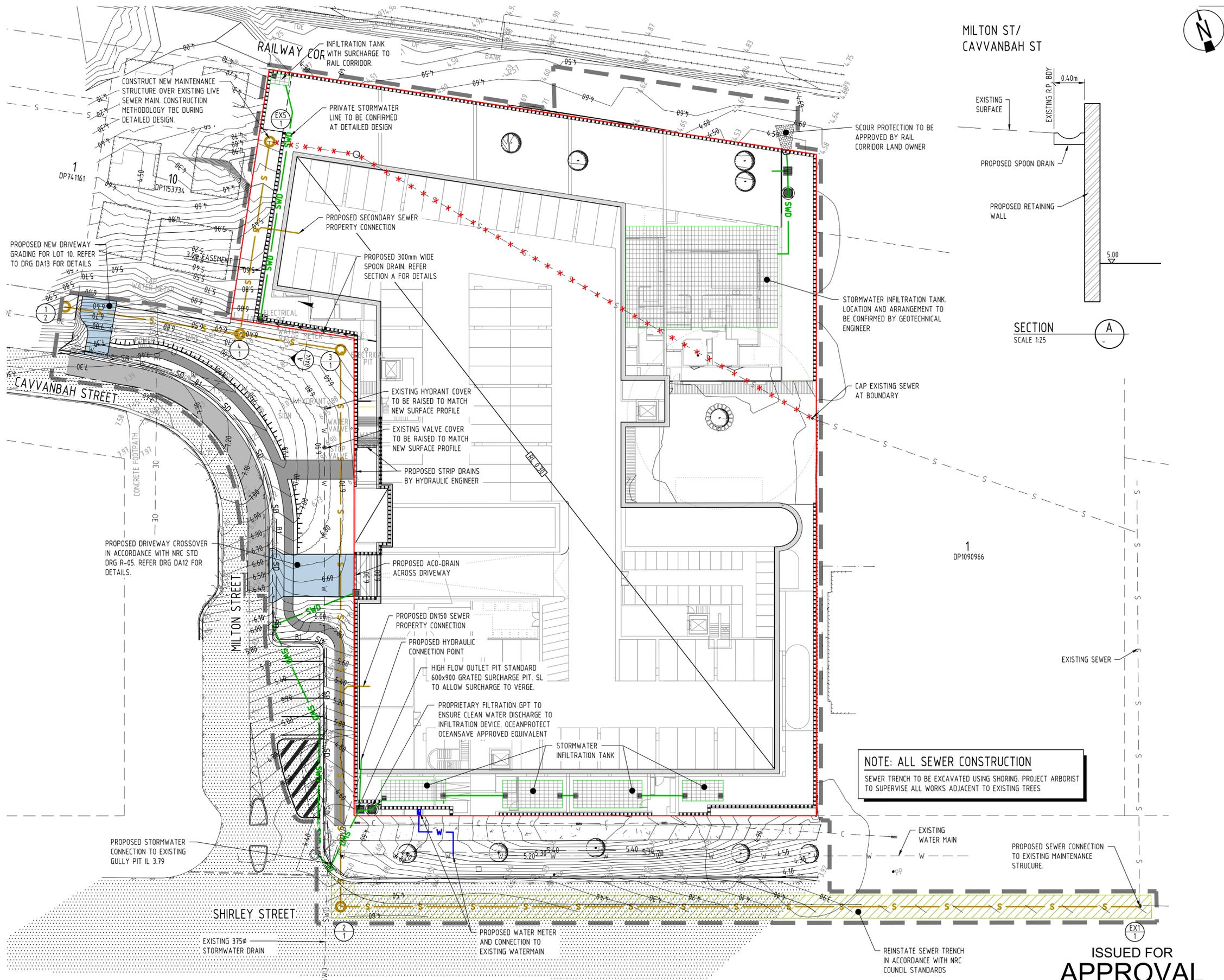
LEGEND

- FINISHED SURFACE CONTOURS
- SITE BOUNDARY
- EXISTING PROPERTY BOUNDARY
- EXISTING NOMINAL KERB LINE
- EXISTING EDGE OF BUILDING
- EXISTING SEWER
- EXISTING WATER
- EXISTING OVERHEAD ELECTRICITY
- ABANDONED SERVICE
- EXISTING BATTER
- EXISTING FENCE
- EXISTING EARTHWORKS DRAIN
- LIMIT OF WORKS
- PROPOSED TURF SWALE TYPE AND SIZE VARIES
- PROPOSED STORMWATER DRAINAGE
- PROPOSED SUBSOIL DRAINAGE
- PROPOSED SEWER
- PROPOSED WATER MAIN
- PROPOSED 'TYPE B1' KERB AND CHANNEL IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG R-03.
- PROPOSED ROAD CENTRE LINE
- SEWER STRUCTURE LABEL
- PROPOSED STORMWATER INLET PIT
- PROPOSED STORMWATER MANHOLE
- EXISTING ROAD
- PROPOSED ROAD PAVEMENT
- PROPOSED FOOTPATH IN ACCORDANCE WITH NRC STD DRG R-05.
- PROPOSED DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG R-05.
- PROPOSED ROAD PAVEMENT REINSTATEMENT
- PROPOSED RETAINING WALL
- PROPOSED EASEMENTS



TYPICAL AUSDRAIN INFILTRATION MODULE SECTION
SCALE 1:50

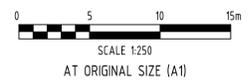
ALL DETAILS SHOWN ARE SUBJECT TO FURTHER DETAILED DESIGN



NOTE: ALL SEWER CONSTRUCTION
SEWER TRENCH TO BE EXCAVATED USING SHORING. PROJECT ARBORIST TO SUPERVISE ALL WORKS ADJACENT TO EXISTING TREES

ISSUED FOR APPROVAL

Rev	Date	Description	By	Chk
A	10.08.22	ISSUED FOR APPROVAL	MD	ST
03	01.07.22	ISSUED FOR INFORMATION	MD	ST
02	28.06.22	ISSUED FOR INFORMATION	MD	ST
01	27.06.22	ISSUED FOR INFORMATION	MD	ST



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Client
VITALE PROPERTY GROUP PTY LTD
Project Name
29 SHIRLEY STREET BYRON BAY

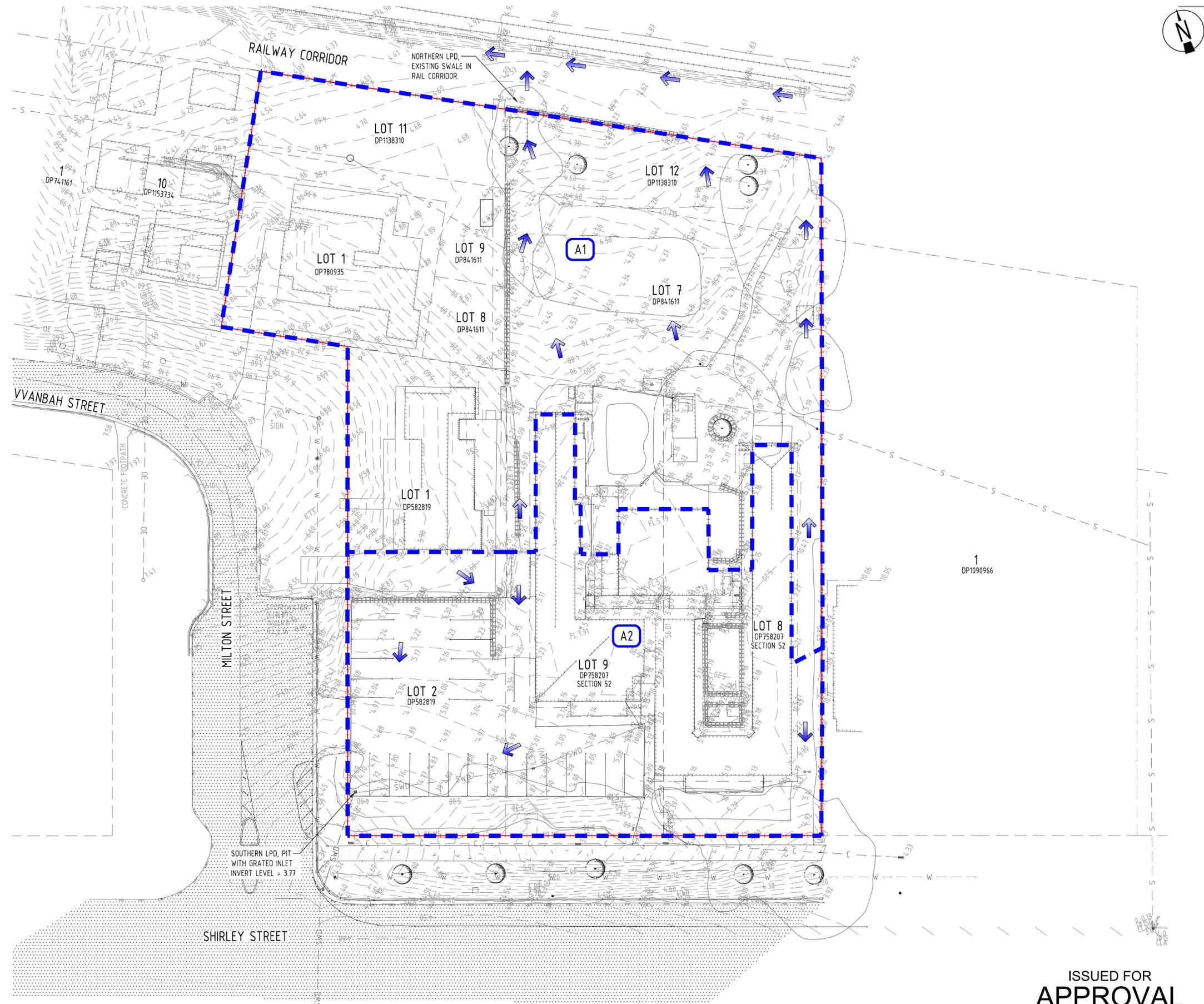
Discipline
CIVIL
Status
APPROVAL
Designed By
DE
Checked By
ST
Project No.
25799
Drawn By
MD
Approved By
ST
Scale at A1
1:250

Title
PRELIMINARY ENGINEERING SERVICES LAYOUT PLAN
Drawing No.
DA04
Revision
A

LEGEND

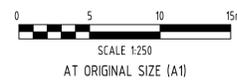
- 12.0 FINISHED SURFACE CONTOURS
- LIMIT OF WORKS
- SITE BOUNDARY
- EXISTING RETAINING WALL
- EXISTING PROPERTY BOUNDARY
- EXISTING EASEMENT BOUNDARY
- EXISTING NOMINAL KERB LINE
- PROPOSED NOMINAL KERB LINE
- SWD EXISTING STORMWATER
- dSWD EXISTING STORMWATER (RECORDS)
- SWD PROPOSED STORMWATER DRAINAGE
- RWD PROPOSED ROOFWATER DRAINAGE
- CATCHMENT BOUNDARY
- CATCHMENT LABEL
- OVERLAND FLOW PATH

CATCHMENT TABLE (PRE DEVELOPMENT)		
CATCHMENT NAME	AREA (ha)	FRACTION IMPERVIOUS
A1	0.294	0.50
A2	0.300	0.65



ISSUED FOR APPROVAL

Rev	Date	Description	By	Chk
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Client VITALE PROPERTY GROUP PTY LTD
Project Name 29 SHIRLEY STREET BYRON BAY

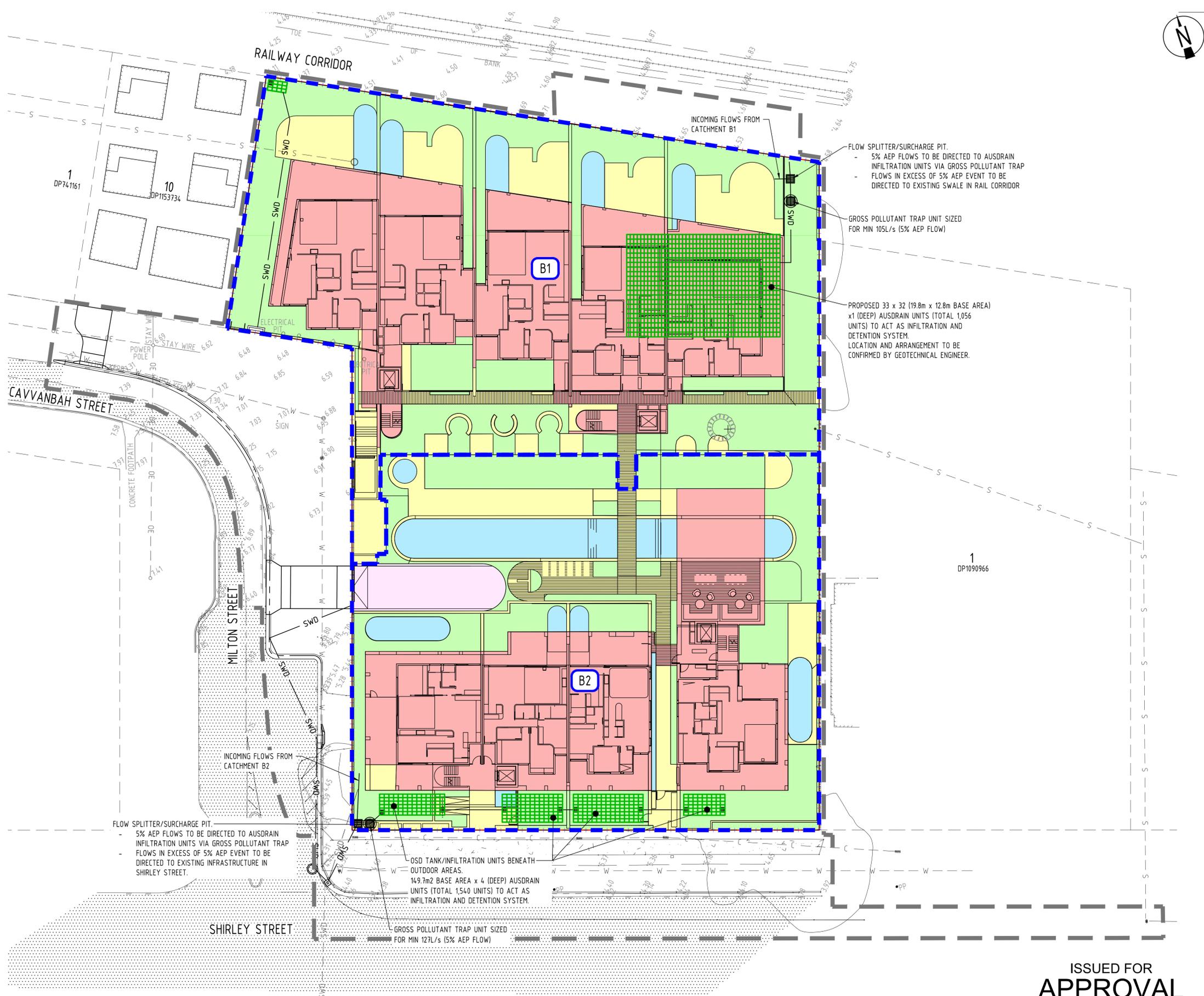
Discipline CIVIL	Status APPROVAL
Designed By DE	Checked By ST
Project No. 25799	Drawn By YS
Approved By ST	
Scale at A1 1:250	

Title PRE DEVELOPMENT STORMWATER DRAINAGE CATCHMENT PLAN
Drawing No. DA05
Revision A

LEGEND

-  12.0 FINISHED SURFACE CONTOURS
-  LIMIT OF WORKS
-  SITE BOUNDARY
-  EXISTING PROPERTY BOUNDARY
-  EXISTING EASEMENT BOUNDARY
-  EXISTING NOMINAL KERB LINE
-  PROPOSED NOMINAL KERB LINE
-  EXISTING STORMWATER
-  EXISTING STORMWATER (RECORDS)
-  PROPOSED STORMWATER DRAINAGE
-  PROPOSED ROOFWATER DRAINAGE
-  CATCHMENT BOUNDARY
-  CATCHMENT LABEL
-  OVERLAND FLOW PATH
-  INTERNAL DRAINAGE BY HYDRAULIC ENGINEER 1% AEP FLOWS TO BE COLLECTED IN PIPE SYSTEM AND CONVEYED TO OSD TANK/INFILTRATION TANK

Catchment ID	Land Type	% Impervious	Area (ha)	% of Total Site Area
B1	Landscape	0	0.099	16.7%
	Roof Area	100	0.146	24.6%
	Hardstand	100	0.050	8.4%
	Pool	100	0.011	1.9%
B2	Landscape	0	0.082	13.8%
	Roof Area	100	0.118	19.9%
	Hardstand	100	0.048	8.1%
	Driveway	100	0.012	2.0%
Pool	100	0.028	4.7%	
TOTAL		70	0.594	100.0



WATER QUALITY NOTES (BEST PRACTICE)

- ALL PROPOSED INLET PITS TO BE FITTED WITH OCEANGUARDS WITH 200 MICRON MESH BAGS (OG-200) FORMALLY 'STORMWATER360 SERIES 200 ENVIROPODS'.
- ALL DOWNPIPES ARE TO BE FITTED WITH 'FIRST FLUSH' DIVERTERS WHICH WILL DIVERT THE FIRST 20L OF ROOF RUNOFF TO LANDSCAPED AREAS.
- THE INFILTRATION TANK WILL SERVE THE DUAL PURPOSE OF PROVIDING THE REQUIRED ON-SITE DETENTION PLUS ACTING IN THE 'BEST PRACTICE' STORMWATER QUALITY TREATMENT TRAIN.

ALL DETAILS SHOWN ARE SUBJECT TO FURTHER DETAILED DESIGN

ISSUED FOR APPROVAL

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A	10.08.22	ISSUED FOR APPROVAL	MD	ST													
Rev	Date	Description	By	Chk													

MANHOLE/END NAME
MANHOLE TYPE
LID TYPE
JUNCTION LINE
DROP TYPE
DEPTH TO HC
HOUSE CONNECTION INVERT LEVEL
HC TYPE
HC LOT No
CH. FROM D/S MH

LEGEND:

- A (MANHOLE TYPE) NOMINAL 1100Ø MH CAST INSITU
- B (MANHOLE TYPE) NOMINAL 1500Ø MH CAST INSITU
- B (LID TYPE) NON-TRAFFICABLE Ø600 LID CLASS 'B'
- D TRAFFICABLE Ø600 LID CLASS 'D'
- D2 TRAFFICABLE 600mm X 900mm LID CLASS 'D'
- A (DROP TYPE) DROP THROUGH MAINTENANCE STRUCTURE
- EX EXISTING MAINTENANCE STRUCTURE / LID

NOTE:

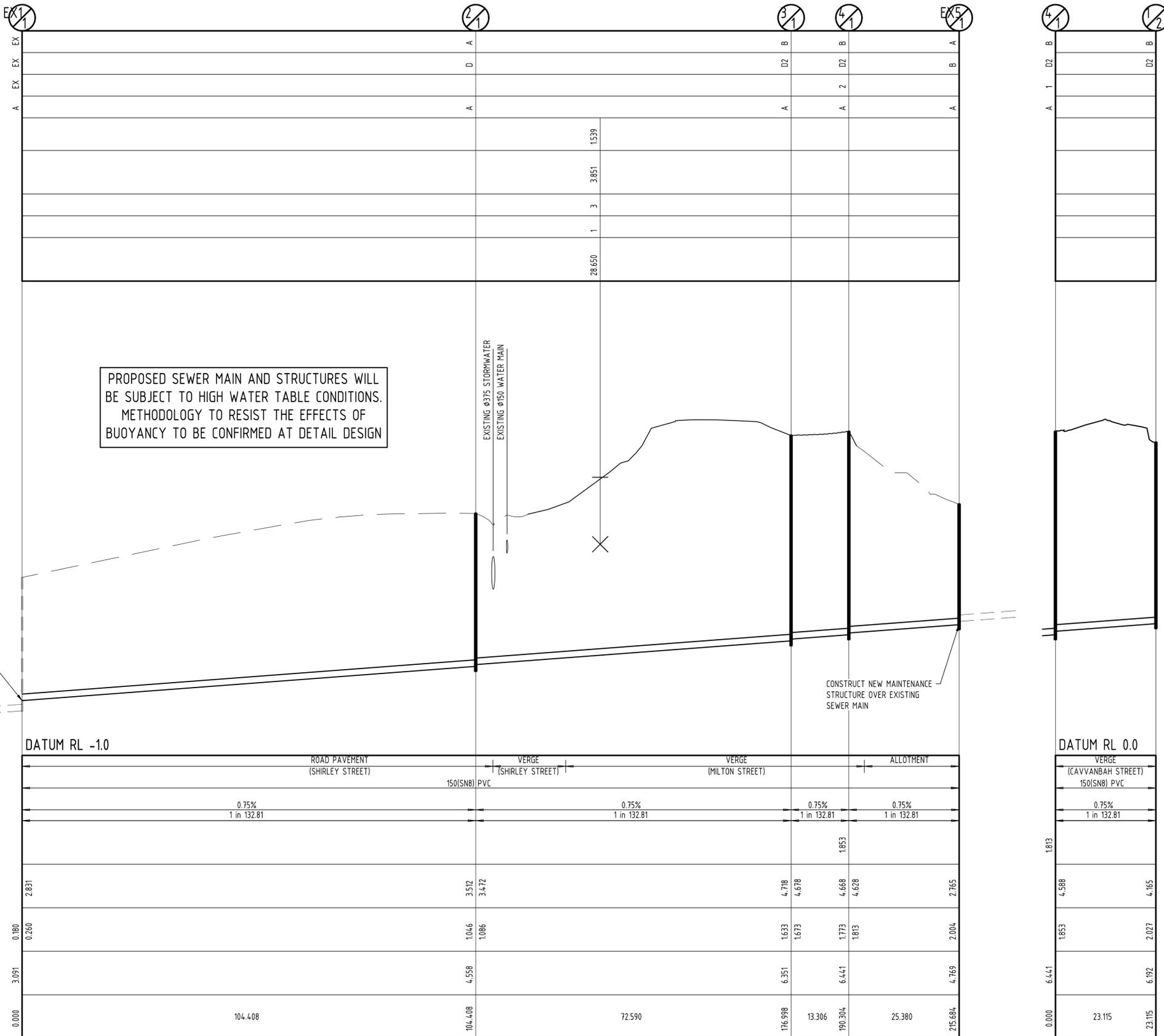
PIPES TO BE SUPPORTED WITH MIN TYPE 4 IN ACCORDANCE WITH WSA STANDARD SPECIFICATIONS. TBC DURING DETAILED DESIGN

LCC TO BREAK INTO EXISTING SEWER MAINTENANCE STRUCTURE, CONNECT NEW Ø150 SEWER LINE, REBENCH AS REQUIRED AND MAKE GOOD.

PROPOSED SEWER MAIN AND STRUCTURES WILL BE SUBJECT TO HIGH WATER TABLE CONDITIONS. METHODOLOGY TO RESIST THE EFFECTS OF BUOYANCY TO BE CONFIRMED AT DETAIL DESIGN

LOCATION/EMBEDMENT
DIAMETER/CLASS
GRADE
JUNCTION INVERT LEVEL
DEPTH TO INVERT
INVERT LEVEL OF SEWER
DESIGN SURFACE LEVEL
RUNNING CHAINAGE

LINE



DATUM RL -1.0

DATUM RL 0.0

LINE	ROAD PAVEMENT (SHIRLEY STREET)	VERGE (SHIRLEY STREET)	VERGE (MILTON STREET)	ALLOTMENT (CAVVANBAH STREET)
150(SNB) PVC				
GRADE	0.75% 1 in 132.81	0.75% 1 in 132.81	0.75% 1 in 132.81	0.75% 1 in 132.81
JUNCTION INVERT LEVEL				
DEPTH TO INVERT	2.831	3.512 3.472	4.718 4.678	2.765
INVERT LEVEL OF SEWER	0.180 0.260	1.046 1.086	1.633 1.673	2.004
DESIGN SURFACE LEVEL	3.091	4.558	6.351 6.441	4.769
RUNNING CHAINAGE	104.408	104.408	176.998 13.306	215.694

ALL DETAILS SHOWN ARE SUBJECT TO FURTHER DETAILED DESIGN

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02	28.06.22	ISSUED FOR INFORMATION	MD	ST
01	27.06.22	ISSUED FOR INFORMATION	MD	ST

Client	VITALE PROPERTY GROUP PTY LTD
Project Name	29 SHIRLEY STREET BYRON BAY

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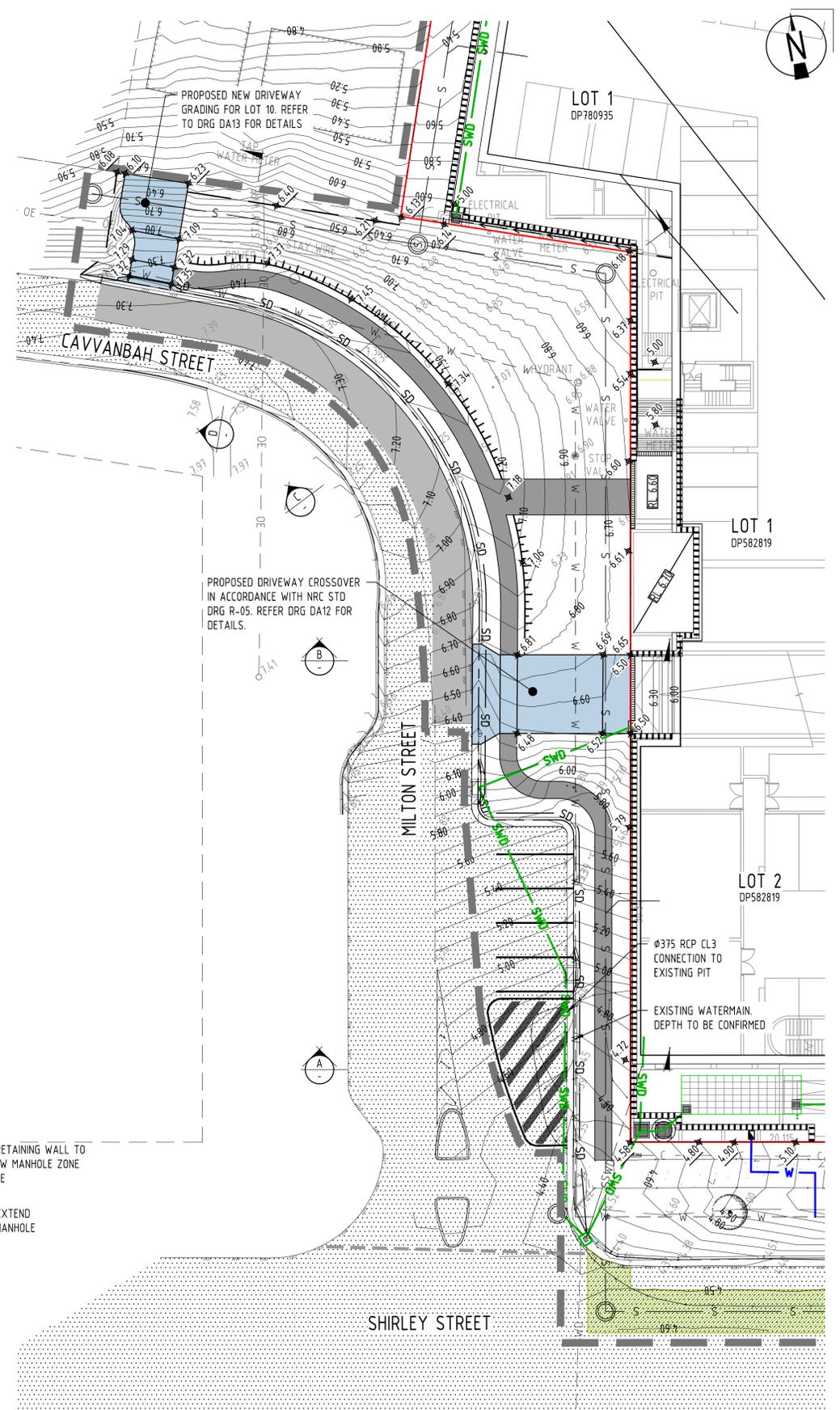
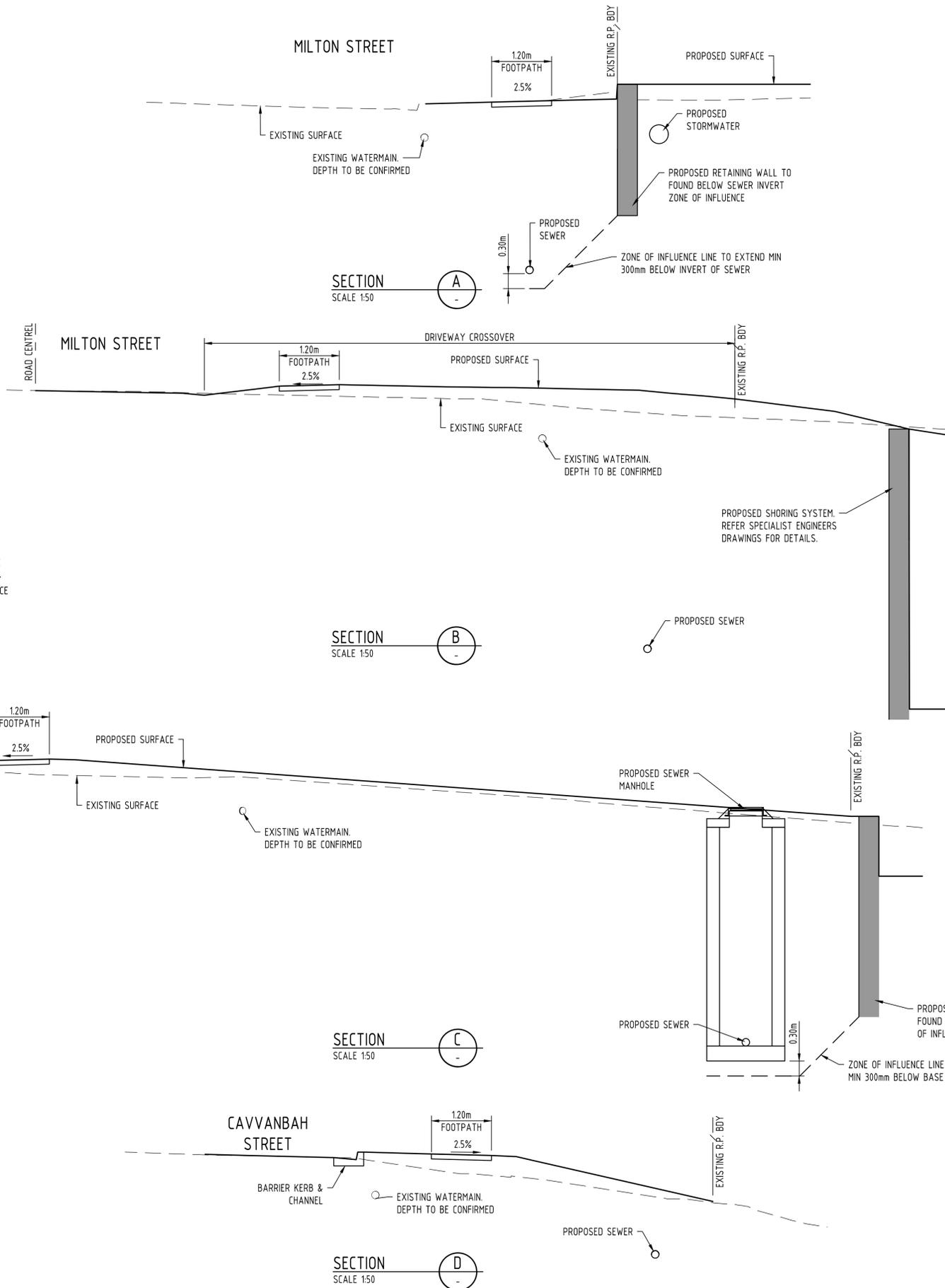
Discipline	CIVIL
Designed By	DE
Checked By	ST
Project No.	25799
Drawn By	YS

Status	APPROVAL
Approved By	ST
Scale at A1	AS SHOWN

Title	SEWER RETICULATION LONGITUDINAL SECTION AND DETAILS
Drawing No.	DA09
Revision	A

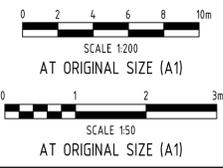
LEGEND

	FINISHED SURFACE CONTOURS
	SITE BOUNDARY
	EXISTING PROPERTY BOUNDARY
	EXISTING EASEMENT BOUNDARY
	EXISTING NOMINAL KERB LINE
	EXISTING EDGE OF BITUMEN
	EXISTING ROAD CENTERLINE
	EXISTING SEWER
	EXISTING WATER
	EXISTING OVERHEAD ELECTRICITY
	EXISTING BATTER
	EXISTING FENCE
	PROPOSED BATTER
	LIMIT OF WORKS
	BUILDING OUTLINE
	PROPOSED ROAD SAWCUT LINE
	PROPOSED STORMWATER DRAINAGE
	PROPOSED SEWER
	PROPOSED WATER MAIN
	PROPOSED SUBSOIL DRAINAGE
	PROPOSED RETAINING WALL
	PROPOSED ROAD CENTRE LINE
	EXISTING ROAD
	PROPOSED ROAD PAVEMENT
	PROPOSED 1.2m WIDE FOOTPATH IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG R-07.
	PROPOSED DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVER COUNCIL STD DRG. R-05.



ISSUED FOR APPROVAL

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01	27.06.22	ISSUED FOR INFORMATION	MD	ST



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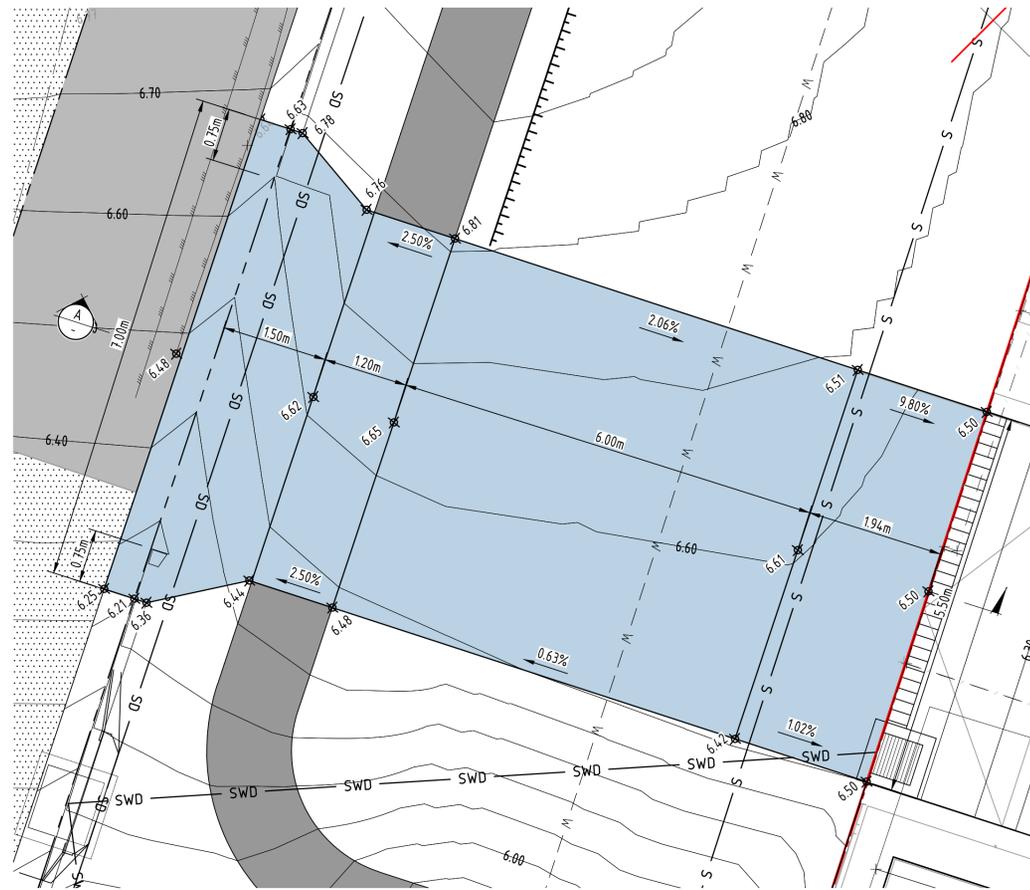
Client VITALE PROPERTY GROUP PTY LTD	Discipline CIVIL	Status APPROVAL	Title PRELIMINARY ROAD WIDENING LAYOUT PLAN AND SECTIONS MILTON STREET
Project Name 29 SHIRLEY STREET BYRON BAY	Designed By DE	Checked By ST	Approved By ST
	Project No. 25799	Drawn By MD	Scale at A1 AS SHOWN
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			Revision A

LEGEND

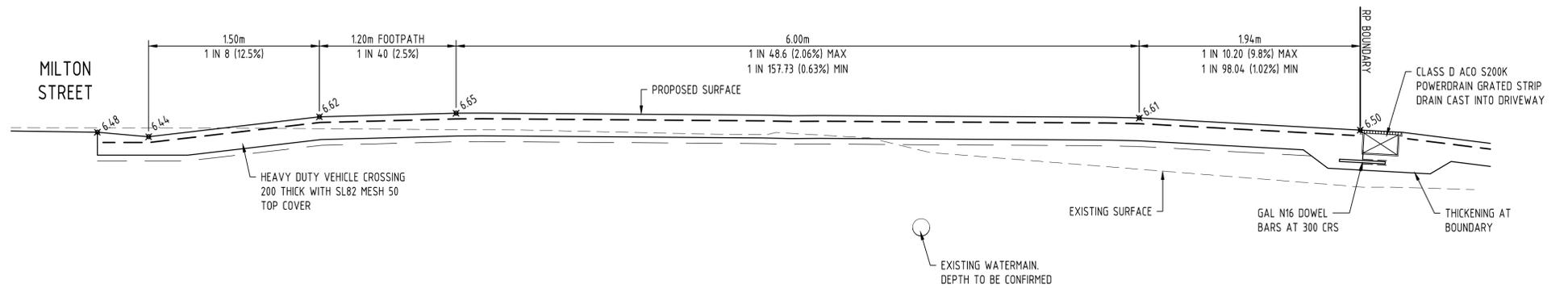
- SITE BOUNDARY
- EXISTING PROPERTY BOUNDARY
- EXISTING EASEMENT BOUNDARY
- 5.0 FINISHED SURFACE CONTOURS
- 6.42 EXISTING SURFACE LEVEL
- 6.42 FINISHED SURFACE LEVEL
- EXISTING NOMINAL KERB LINE / EDGE OF ROAD
- EXISTING EDGE OF BITUMEN
- EXISTING WATER
- EXISTING SEWER
- EXISTING OVERHEAD ELECTRICITY
- EXISTING FENCE
- PROPOSED STORMWATER DRAINAGE
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED SUBSOIL DRAINAGE
- PROPOSED DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG. R-05
- PROPOSED FOOTPATH IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG. R-07

NOTES

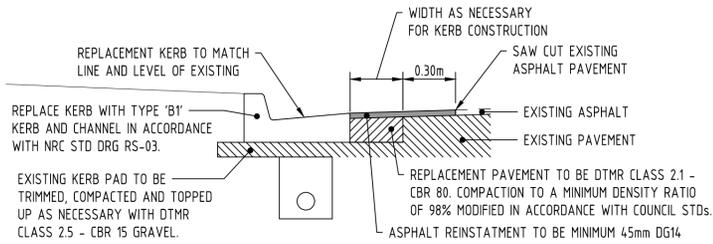
1. ALL ROADWORKS AND DRAINAGE CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL DEVELOPMENT GUIDELINES, DRAWINGS AND SPECIFICATIONS.
2. TRENCH BACKFILL UNDER PAVEMENT TO BE COMPACTED TO 100% STANDARD DRY DENSITY (AS1289 5.1.1) IN LAYERS NOT EXCEEDING 150mm OF CBR 15 MATERIAL OR APPROVED EQUIVALENT.
3. ALL FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH NRC DRAWINGS.



MILTON STREET DRIVEWAY - LAYOUT PLAN
SCALE 1:50



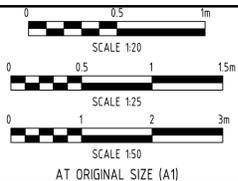
SECTION A
SCALE 1:25



TYPICAL KERB REPLACEMENT DETAIL
SCALE 1:20

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A	10.08.22	ISSUED FOR APPROVAL	MD	ST
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BRISBANE / DARWIN / GOLD COAST / MELBOURNE / PERTH /
SUNSHINE COAST / SYDNEY / TOOWOOMBA

Client: VITALE PROPERTY GROUP PTY LTD
Project Name: 29 SHIRLEY STREET BYRON BAY

Discipline: CIVIL	Status: APPROVAL
Designed By: DE	Checked By: ST
Project No: 25799	Drawn By: MD
Approved By: ST	
Scale at A1: AS SHOWN	

Title: PRELIMINARY DRIVEWAY CROSSOVER DETAILS MILTON STREET

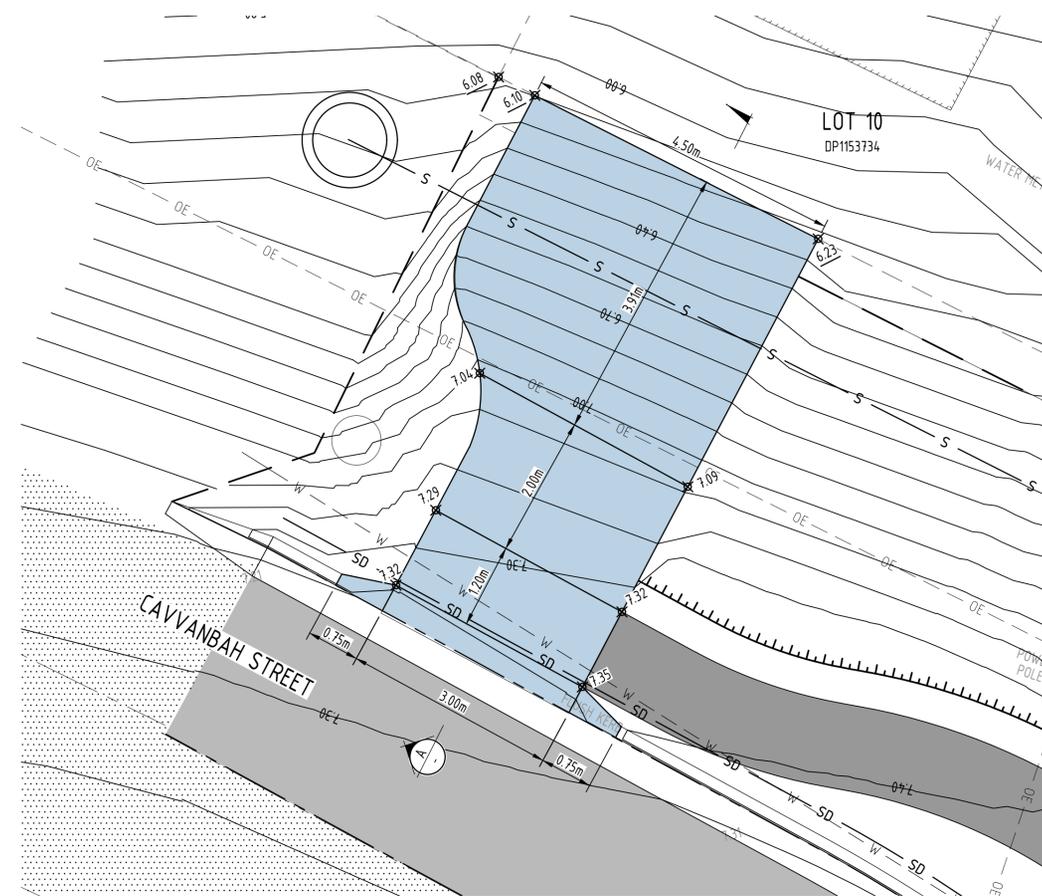
Drawing No: DA12	Revision: A
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LEGEND

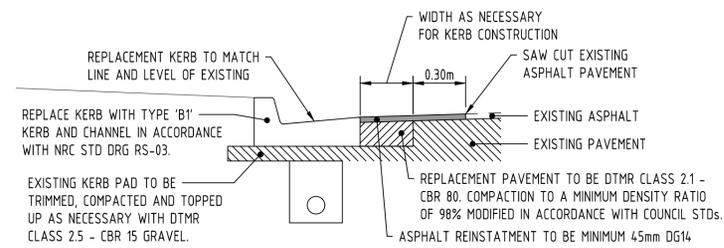
- SITE BOUNDARY
- EXISTING PROPERTY BOUNDARY
- EXISTING EASEMENT BOUNDARY
- 5.0 FINISHED SURFACE CONTOURS
- 6.42 EXISTING SURFACE LEVEL
- 6.42 FINISHED SURFACE LEVEL
- EXISTING NOMINAL KERB LINE / EDGE OF ROAD
- EXISTING EDGE OF BITUMEN
- EXISTING WATER
- EXISTING SEWER
- EXISTING OVERHEAD ELECTRICITY
- EXISTING FENCE
- PROPOSED STORMWATER DRAINAGE
- PROPOSED SEWER
- PROPOSED WATER
- PROPOSED SUBSOIL DRAINAGE
- PROPOSED DRIVEWAY CROSSOVER IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG. R-05
- PROPOSED FOOTPATH IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL STD DRG. R-07
- PROPOSED ROAD PAVEMENT

NOTES

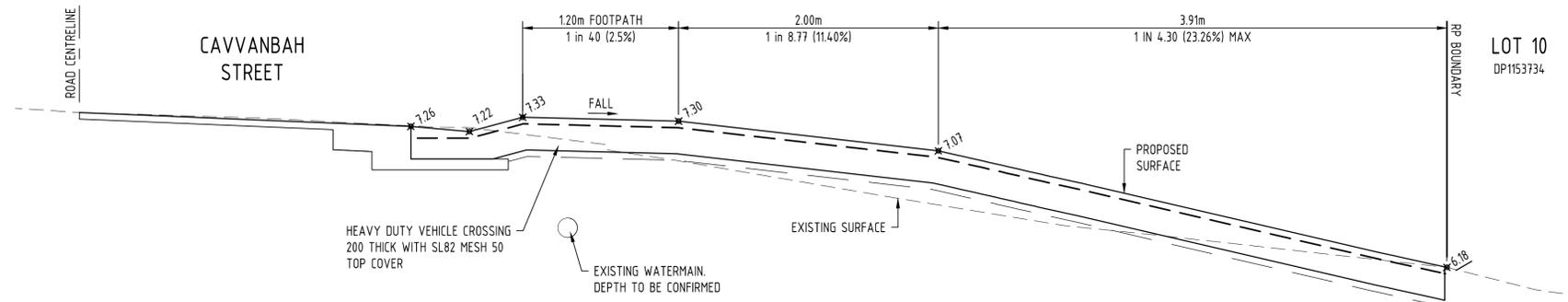
1. ALL ROADWORKS AND DRAINAGE CONSTRUCTION AND TESTING TO BE IN ACCORDANCE WITH NORTHERN RIVERS COUNCIL DEVELOPMENT GUIDELINES, DRAWINGS AND SPECIFICATIONS.
2. TRENCH BACKFILL UNDER PAVEMENT TO BE COMPACTED TO 100% STANDARD DRY DENSITY (AS1289 5.1.1) IN LAYERS NOT EXCEEDING 150mm OF CBR 15 MATERIAL OR APPROVED EQUIVALENT.
3. ALL FOOTPATHS TO BE CONSTRUCTED IN ACCORDANCE WITH NRC DRAWINGS.



CAVVANBAH STREET DRIVEWAY - LAYOUT PLAN
SCALE 1:50



TYPICAL KERB REPLACEMENT DETAIL
SCALE 1:20

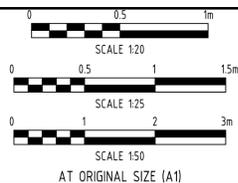


SECTION
SCALE 1:25



ISSUED FOR APPROVAL

Rev	Date	Description	By	Chk
A	10.08.22	ISSUED FOR APPROVAL	MD	ST



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Title PRELIMINARY DRIVEWAY CROSSOVER DETAILS CAVVANBAH STREET	
Drawing No. DA13	Revision A