



Note: Driveway shape & profile is indicative only and may be altered at builder's discretion

Note: All surface stormwater runoff to be directed to 3 x stormwater pits (SWP - position of pits to be determined on site by plumber) and then to street and to have no effect on neighbouring properties. All to council's satisfaction.

- (P) DENOTES PROLONGATION OF OUTER FACE OF RENDERED MASONRY BLOCK WALL
(V) EASEMENT FOR DRAINAGE PF SEWAGE 3.0 WIDE
(S) EASEMENT FOR SERVICES 0.9 WIDE

Standard Notes:

1. All written dimensions take precedence over scale.
2. All roof beams, lintels and brickwork angles to truss/wall frame manufacturer's specifications and engineer's verification.
3. WC doors to comply with BCA Vol. 2 pt 3.8.3.3.
4. All wet areas to be completed in accordance with BCA vol. 2 pt 3.8.1.
5. Engineer designed - prefabricated timber roof trusses as per manufacturer's specifications (600 cts unless noted otherwise).
6. 90mm prefabricated timber wall frames as per manufacturer's specifications.
7. Builder & trades are to confirm all measurements, details & specifications prior to set-out & ordering of materials.
8. Report any errors for clarification/correction as no responsibility will be taken after construction has commenced.
9. All electrical appliance & plumbing symbols are diagrammatic only. Refer to builder's specification for details of all fixtures.
10. Size and location of downpipes to be confirmed on site by builder.
11. All work to be constructed in accordance with the Building Code of Australia and relevant trade and technical manuals.

Legend

- rock retaining wall
timber retaining wall
masonry block retaining wall
conc. sleeper retaining wall
direction of fall
FGL 17.500
Proposed FGL RL
16.65
NGL RL
dp
Downpipe Location
RW
Roof Water Line
SW
Stormwater Line
S
Sewer Line
1800mm high butted timber fence
1800mm high secondary street fencing minimum 50% transparent
Field gully pit
Single timber gate
Letterbox
Rubbish Bin Location
Clothes line location

Real Property Description

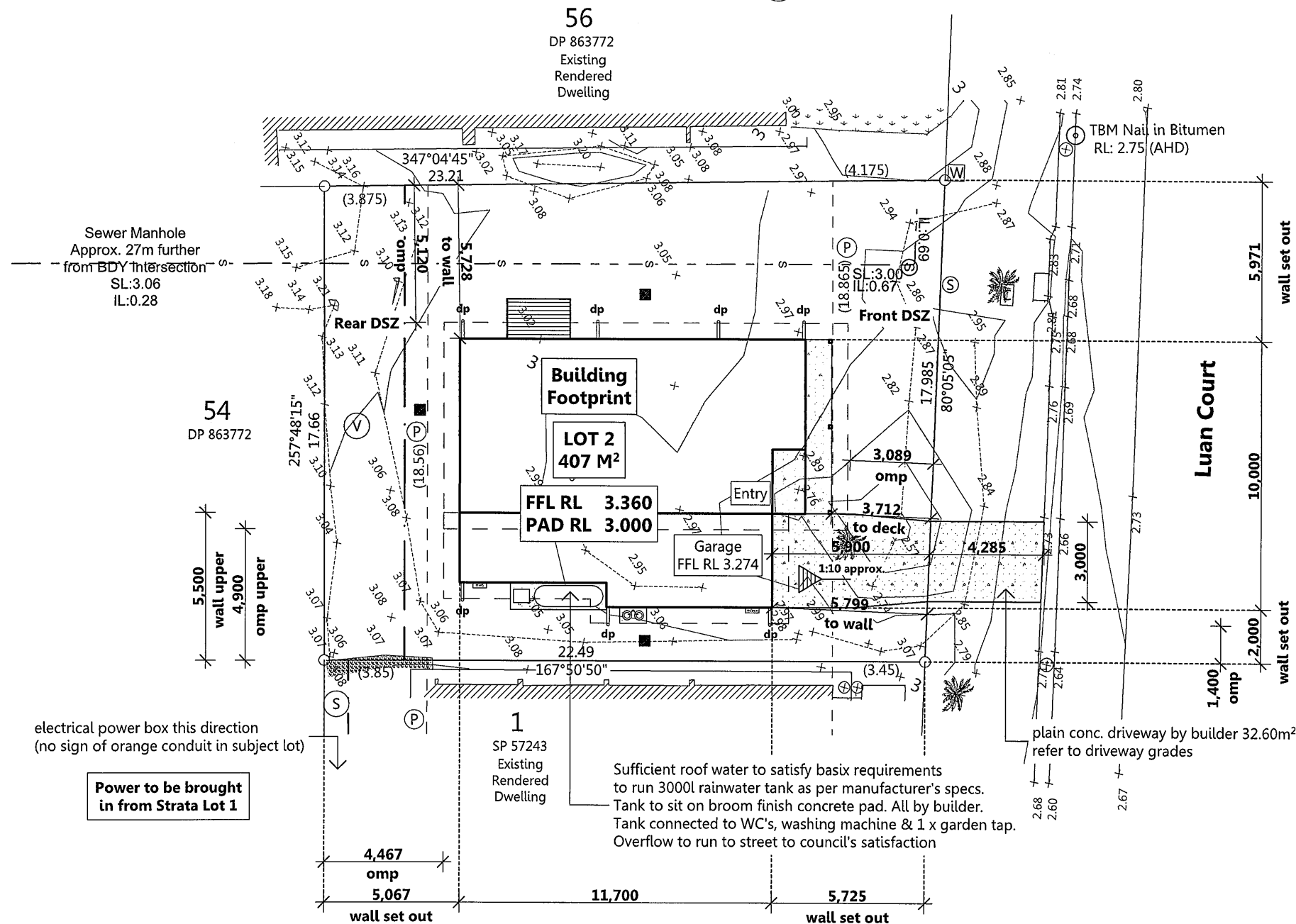
Lot Number: 2
Registered Plan Number: SP57243
Parish:
County:
Local Authority: Byron Shire Council
Site Area: 407M²
Site Coverage: 31.09%

Driveway Gradient

Grade	1:10 approx.
Transitional	Grade 1:8 1:4 1:8 Distance n/a n/a n/a
FFL	RL 3.274
NGL (boundary)	RL 2.700
Height Gain	0.574 m
Distance	5.9 m

Bushfire Protection Requirements

Building constructed to BAL 19 bushfire requirements to all sides of the building



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.215.1
Date: 13/09/2022

Area Calculations

Living Lower:	95.61 sqm
Living Upper:	84.01 sqm
Garage:	21.47 sqm
Porch:	2.94 sqm
Balcony:	6.50 sqm
Total:	210.53 sqm

+6.50 sqm plain conc. only under balcony

G.J. Gardner. HOMES

T: (07) 5523 0988
W: www.gjgardner.com.au
A: Shop 5 / 107 Minjungbal Drive
Tweed Heads South NSW 2486

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Owner / s
Date: 6/5/22

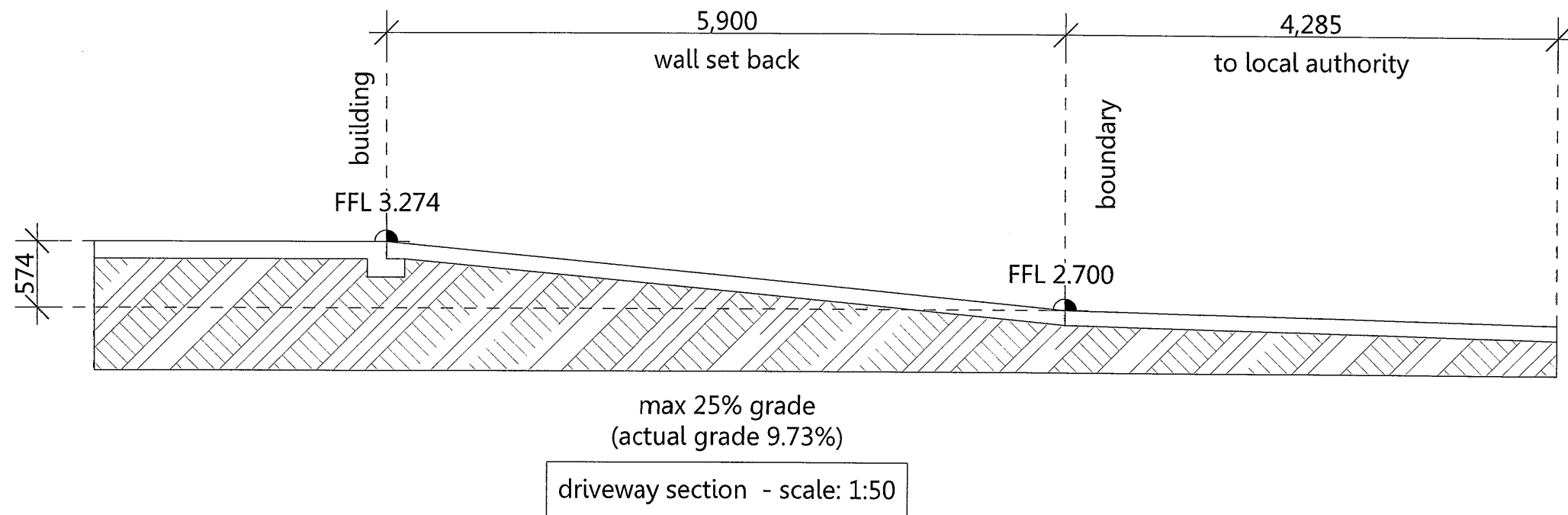
Client:
Yuki Koresawa & Takayo Otsu
2, 1 Luan Court,
Byron Bay

Title:
Site Plan

Design Name:
Modified Balwyn

Plot Date: 3/05/2022	Drawing No: 2 of 15	Issue: C	Scale: 1:200 @ A3
Job No: 240835	Designed By: GJ	Drawn By: JD	Checked By: MB

Working Drawings



BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.215.1
Date: 13/09/2022

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Total:	210.53 sqm		

PK 09/05/22

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Owner / s Date: 6/5/22
Owner / s Date: 6/5/22

Client:
**Yuki Koresawa &
Takayo Otsu**
Lot 2, 1 Luan Court,
Byron Bay

Title:
Driveway Section
Design Name:
Modified Balwyn

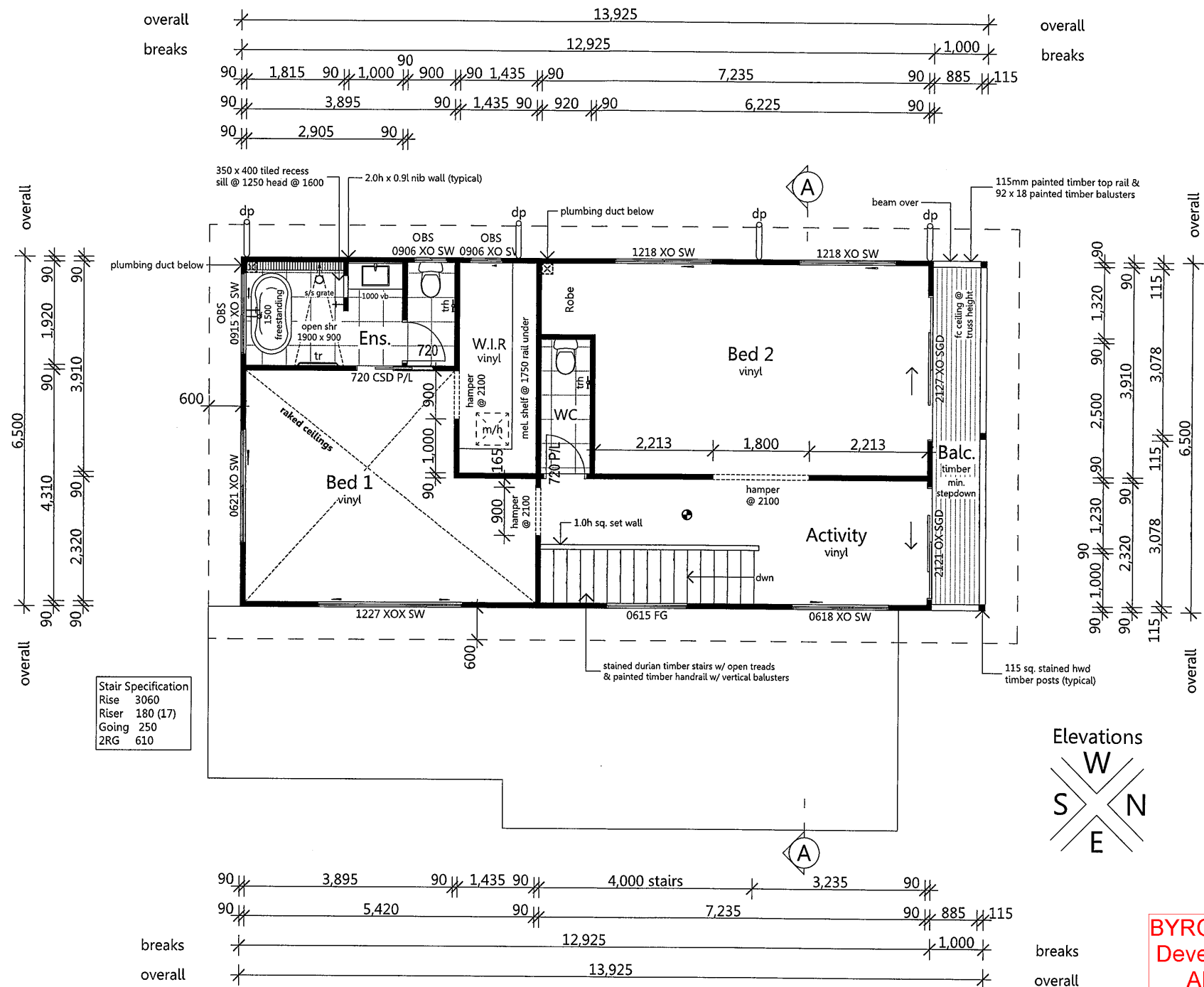
Plot Date: 3/05/2022	Drawing No:	Issue:	Scale: 1:100 @ A3
Job N°: 240835	3 of 15	C	Designed By: GJ
Working Drawings			Drawn By: JD
			Checked By: MB



Area Calculations	
Living Lower:	95.61 sqm
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Balcony:	6.50 sqm
Total:	210.53 sqm

Plot Date: 3/05/2022	Drawing No:	Issue:	Scale: 1:100 @ A:
Job N°: 240835	4 of 15	C	Designed By: GJ
<h1 style="text-align: center;">Working Drawings</h1>			Drawn By: JD
			Checked By: MB

Notes:
1. Refer sheet 1 for standard floorplan notes
2. ● - Smoke detectors to be connected to mains power and having a standby power supply in accordance with AS3786-1993.
3. Floor coverings - all as indicated on floor plan and all by builder.



Bushfire Protection Requirements
Building constructed to BAL 19 bushfire requirements to all sides of the building

Bearers & joists
• As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details
• Layout as per frame & truss manufacturer's or engineers design

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Garage:	21.47 sqm
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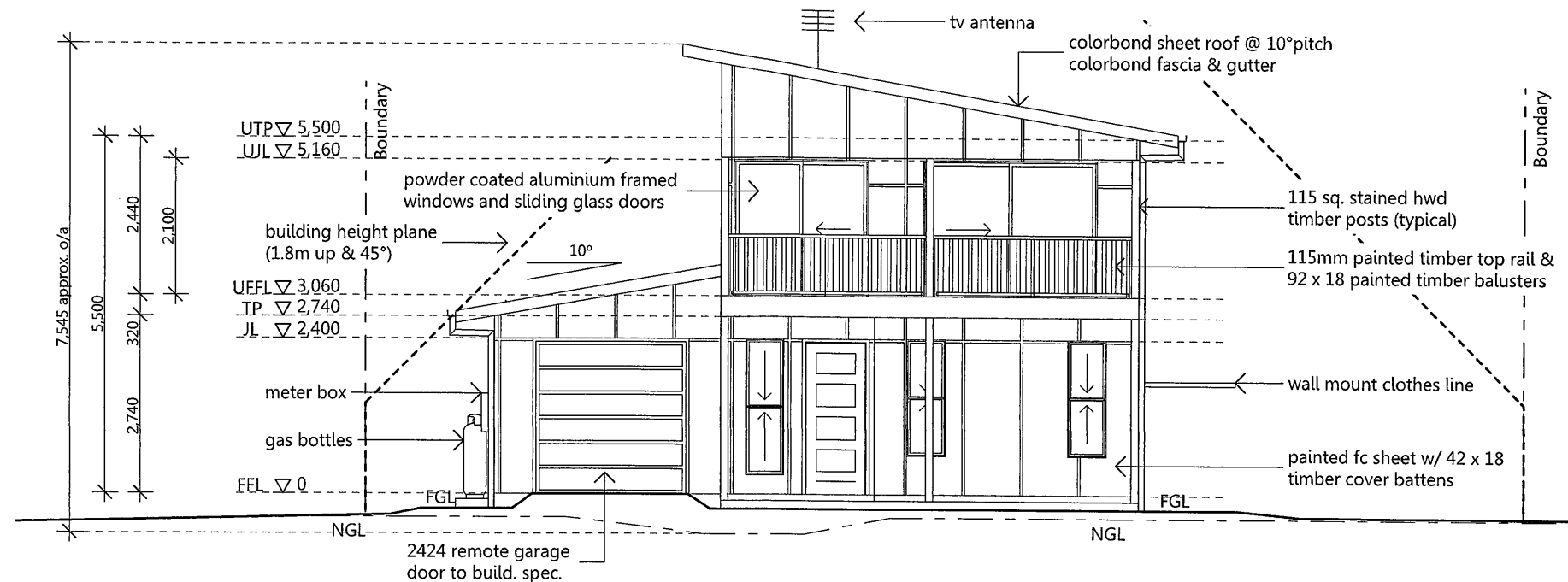
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Client:
Yuki Koresawa & Takayo Otsu
Lot 2, 1 Luan Court,
Byron Bay

Title:
Floor Plan - Upper
Design Name:
Modified Balwyn

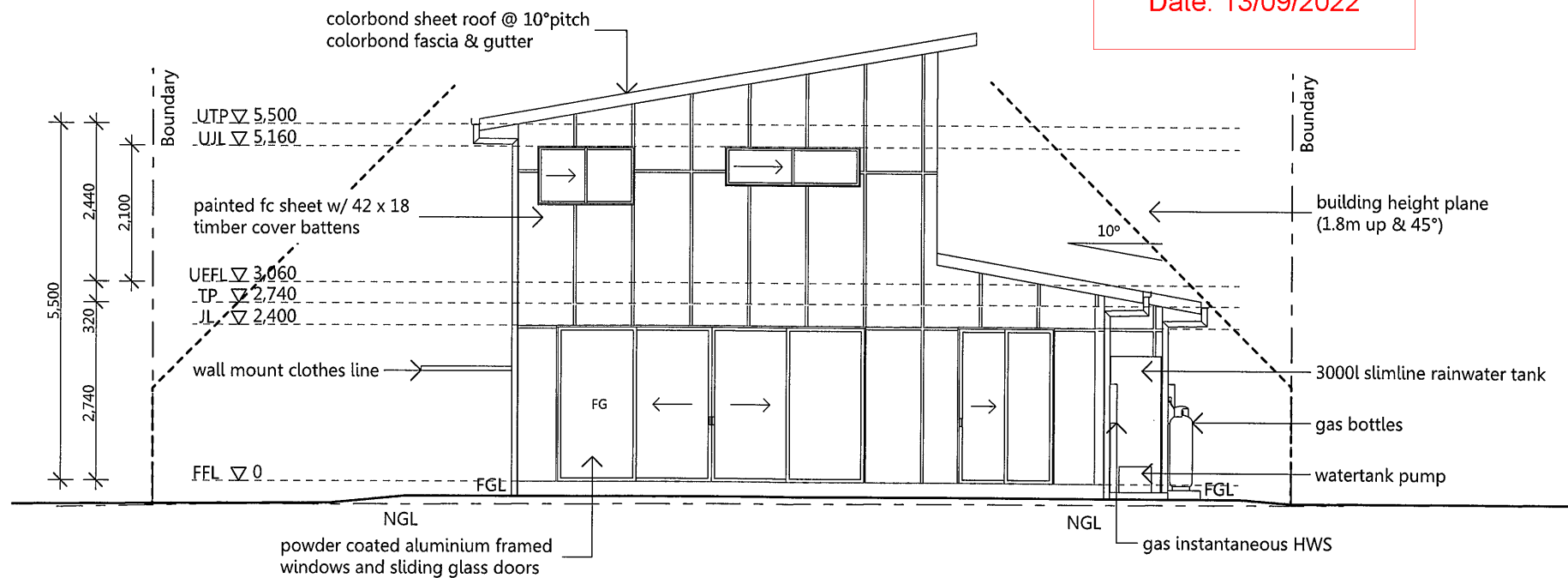
Plot Date: 3/05/2022	Drawing No:	Issue:	Scale: 1:100 @ A3
Job Nº: 240835	5 of 15	C	Designed By: GJ
Working Drawings			Drawn By: JD

Note: 42 x 42 architraves to external windows



North Elevation

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.215.1
Date: 13/09/2022



South Elevation

Bushfire Protection Requirements

Building constructed to BAL 19 bushfire requirements to all sides of the building

Note:

- These plans are to be read in conjunction with builders detailed specifications & all engineering documentation.
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

Area Calculations

Living Lower:	95.61 sqm
Living Upper:	84.01 sqm
Garage:	21.47 sqm
Porch:	2.94 sqm
Balcony:	6.50 sqm
Total:	210.53 sqm

+6.50 sqm plain conc. only under balcony

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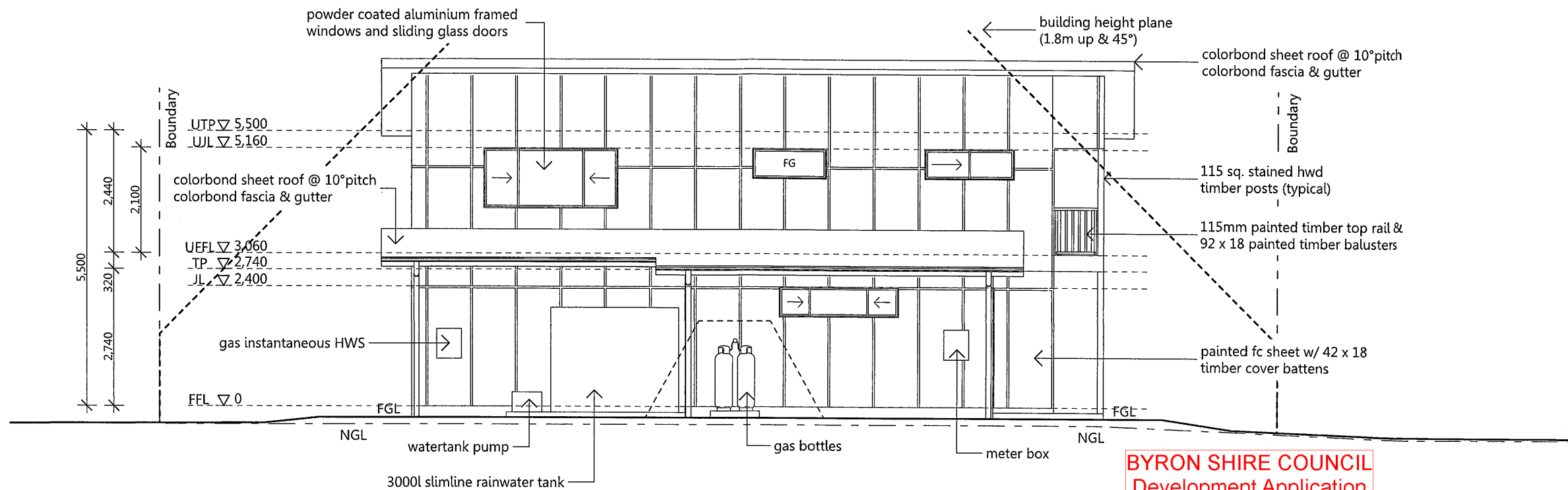
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Owner / s Date: 6/5/22
Owner / s Date: 6/5/22

Client:
Yuki Koresawa & Takayo Otsu
Lot 2, 1 Luan Court,
Byron Bay

Title:
Elevations 1 of 2
Design Name:
Modified Balwyn

Plot Date: 3/05/2022	Drawing No: 6 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835	Designed By: GJ		Drawn By: JD
Working Drawings		Checked By: MB	

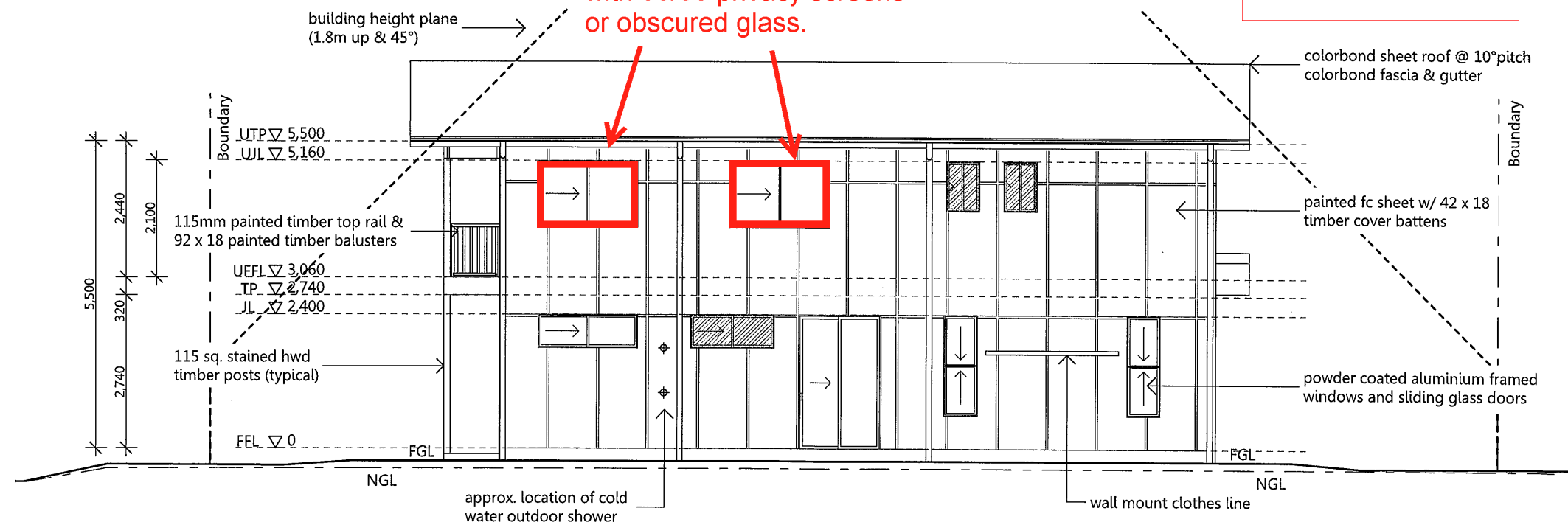
Note: 42 x 42 architraves to external windows



East Elevation

Windows to be treated
with 50/50 privacy screens
or obscured glass.

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
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Date: 13/09/2022



West Elevation

Bushfire Protection Requirements

Building constructed to BAL 19 bushfire requirements to all sides of the building

Note:

- These plans are to be read in conjunction with builders detailed specifications & all engineering documentation.
- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

Area Calculations

Living Lower:	95.61 sqm
Living Upper:	84.01 sqm
Garage:	21.47 sqm
Porch:	2.94 sqm
Balcony:	6.50 sqm
Total:	210.53 sqm

+6.50 sqm plain conc. only under balcony

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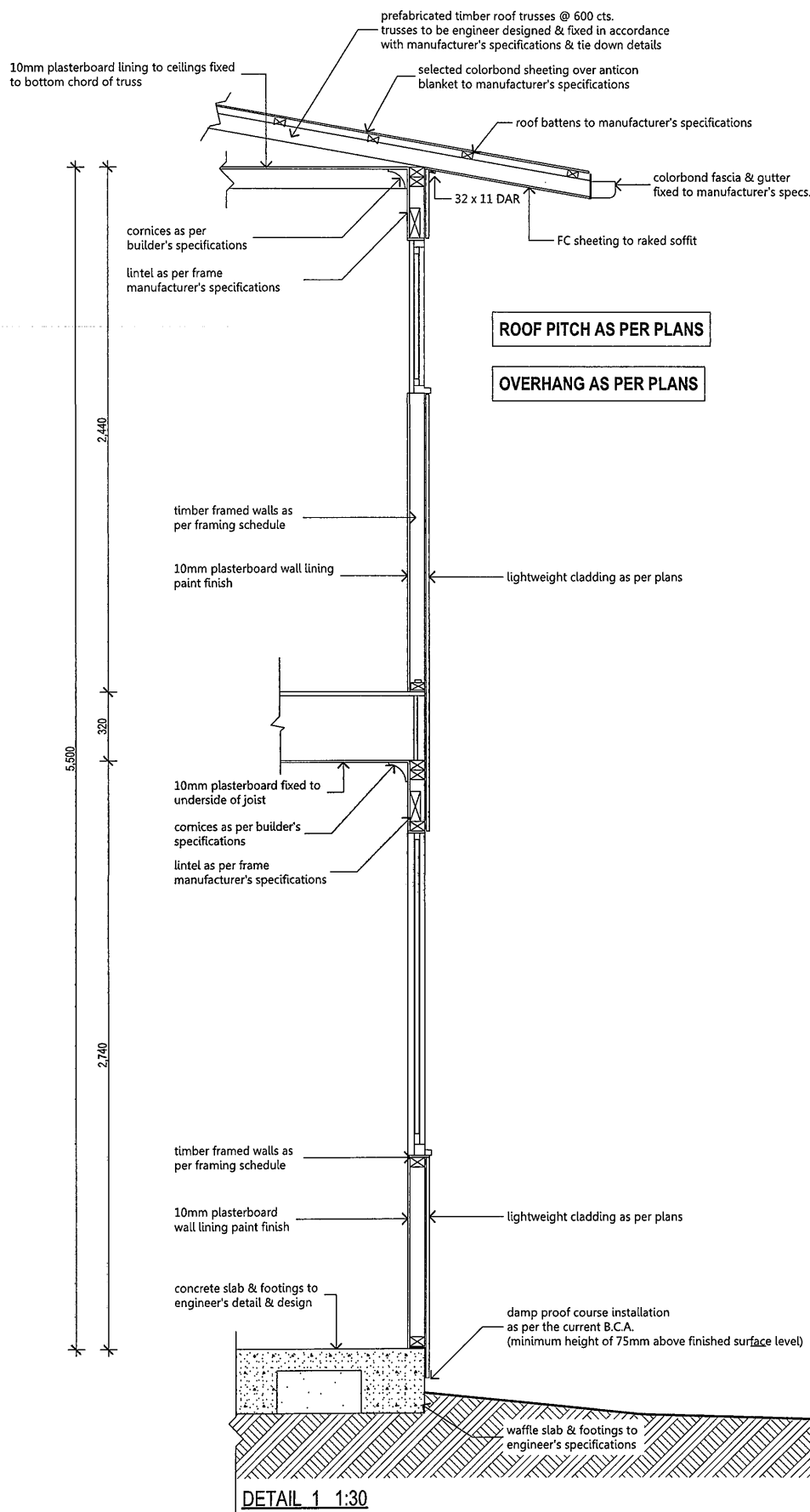
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Owner / s Date: 6/15/22
Owner / s Date: 6/15/22

Client:
Yuki Koresawa & Takayo Otsu
Lot 2, 1 Luan Court,
Byron Bay

Title:
Elevations 2 of 2
Design Name:
Modified Balwyn

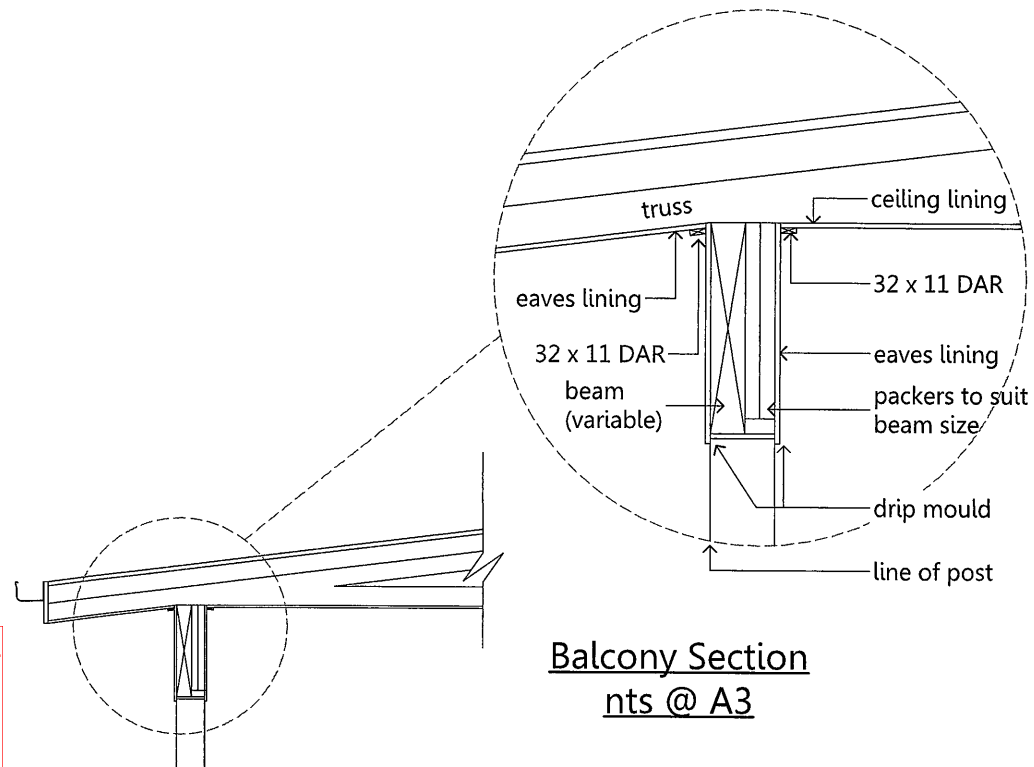
Plot Date: 3/05/2022	Drawing No: 7 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835		Designed By: GJ	Drawn By: JD
		Checked By: MB	

Working Drawings

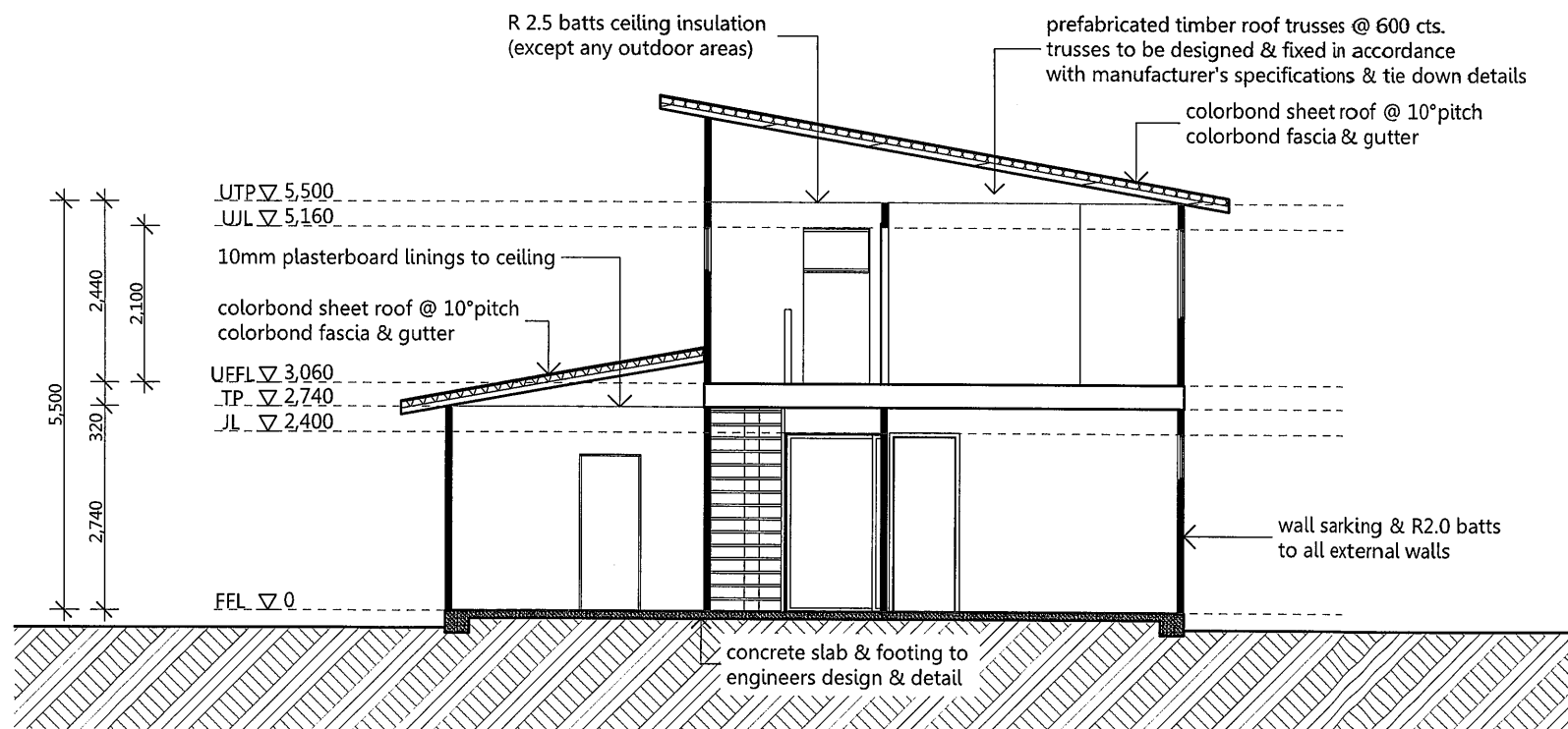


DETAIL 1 1:30

BYRON SHIRE COUNCIL
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Date: 13/09/2022



Balcony Section
nts @ A3



Section A 1:100 @A3

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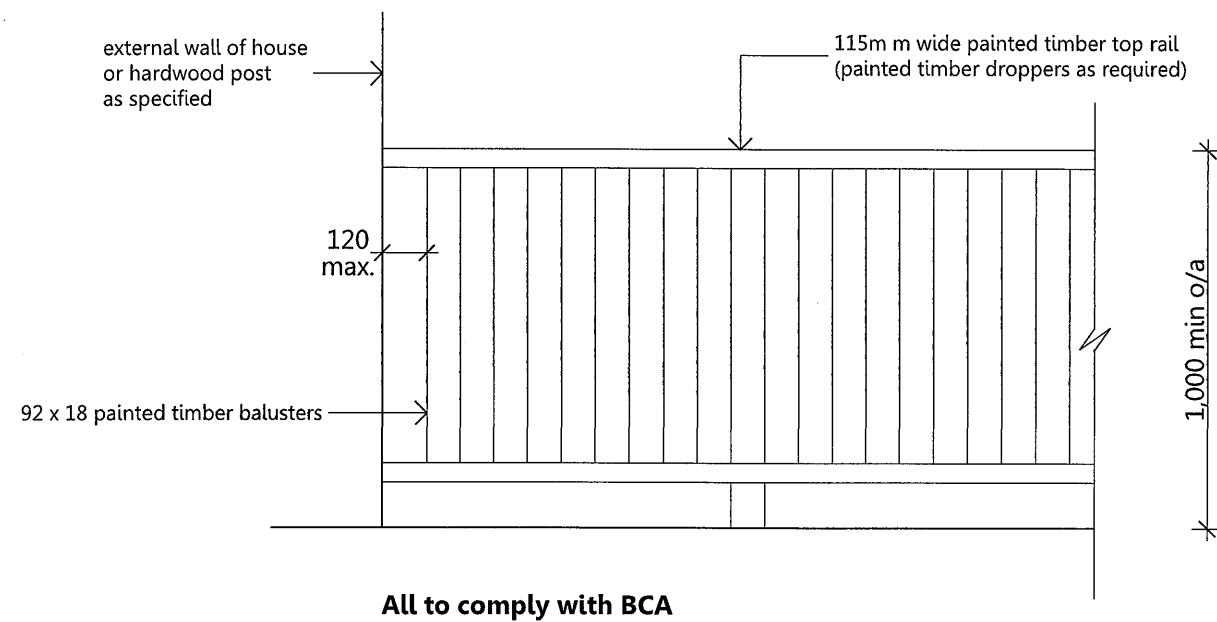
Client:
Yuki Koresawa & Takayo Otsu
Lot 2, 1 Luan Court,
Byron Bay

Title:
Sections / Details 1 of 2
Design Name:
Modified Balwyn

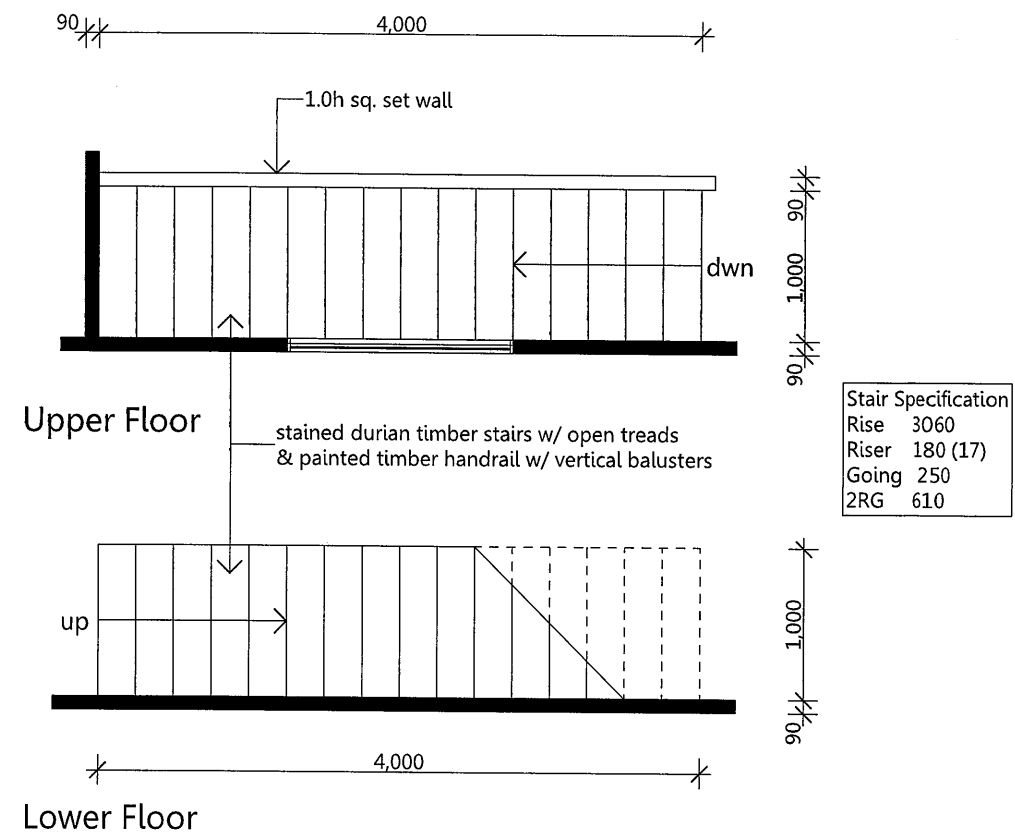
Plot Date: 3/05/2022	Drawing No: 8 of 15	Issue: C	Scale: as per dwg.
Job No: 240835	Designed By: GJ		Drawn By: JD
Working Drawings		Checked By: MB	

BYRON SHIRE COUNCIL
Development Application
APPROVED PLAN
DA No. 10.2022.215.1
Date: 13/09/2022

Note: 1000mm wide (between frames) stained durian
timber stairs. Open treads. 250 goings typical.
All to stair manufacturer's specs and T.B.C. on site
Painted timber handrail & vertical balustrade to one side.



External Balustrading Detail
1:20 @ A3



Stair Detail
1:50 @A3

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Client:
**Yuki Koresawa &
Takayo Otsu**
Lot 2, 1 Luan Court,
Byron Bay

Title:
Sections / Details 2 of 2
Design Name:
Modified Balwyn

Plot Date: 3/05/2022	Drawing No:	Issue:	Scale: as per dwg.
Job N ^o : 240835	9 of 15	C	Designed By: GJ
Working Drawings			Drawn By: JD
			Checked By: MB