



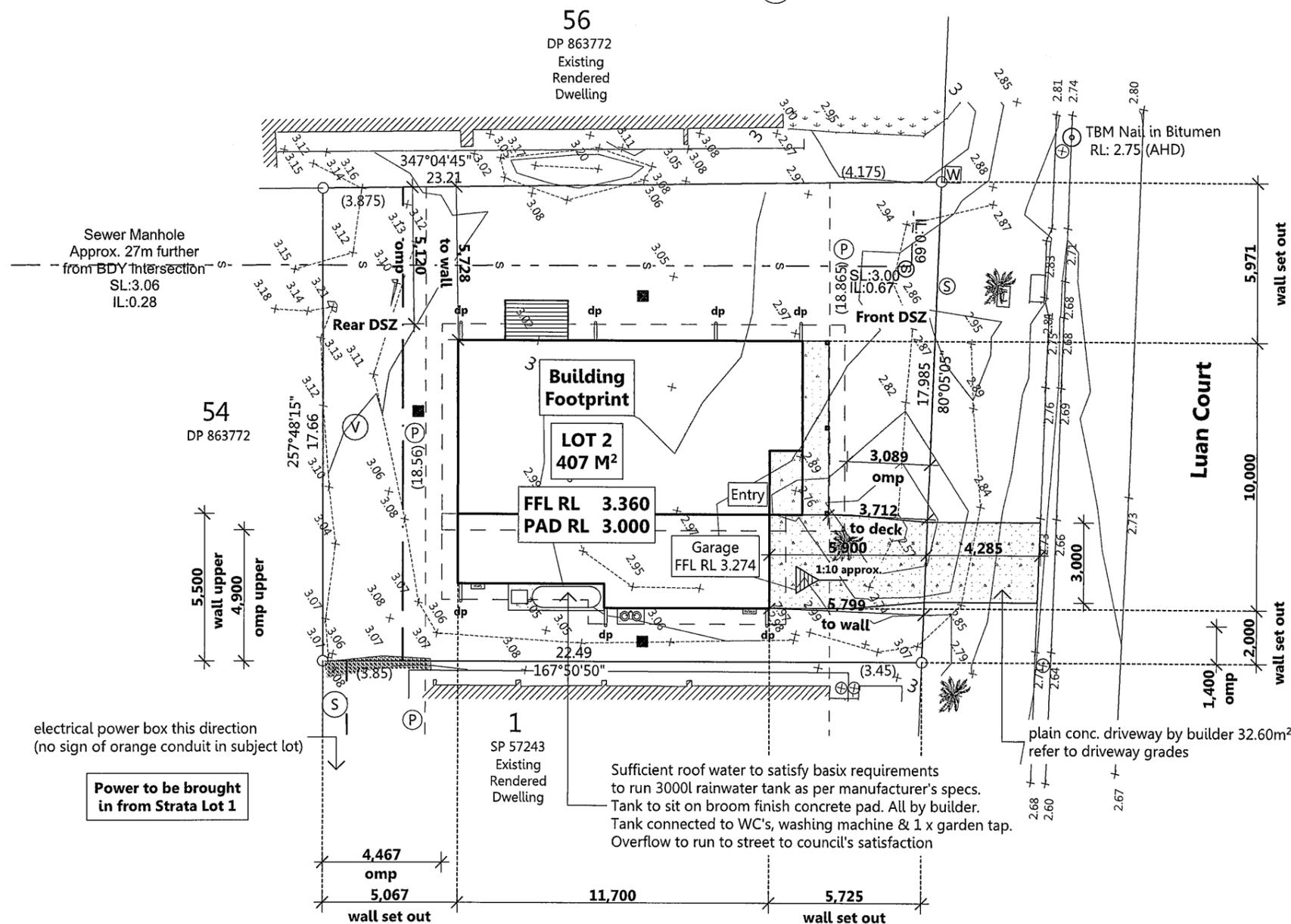
**Note: Driveway shape & profile is indicative only and may be altered at builder's discretion**

Note: All surface stormwater runoff to be directed to 3 x stormwater pits (SWP - position of pits to be determined on site by plumber) and then to street and to have no effect on neighbouring properties. All to council's satisfaction.

- (P) DENOTES PROLONGATION OF OUTER FACE OF RENDERED MASONRY BLOCK WALL
- (V) EASEMENT FOR DRAINAGE PF SEWAGE 3.0 WIDE
- (S) EASEMENT FOR SERVICES 0.9 WIDE

**Standard Notes:**

1. All written dimensions take precedence over scale.
2. All roof beams, lintels and brickwork angles to truss/wall frame manufacturer's specifications and engineer's verification.
3. WC doors to comply with BCA Vol. 2 pt 3.8.3.3.
4. All wet areas to be completed in accordance with BCA vol. 2 pt 3.8.1.
5. Engineer designed - prefabricated timber roof trusses as per manufacturer's specifications (600 cts unless noted otherwise).
6. 90mm prefabricated timber wall frames as per manufacturer's specifications.
7. Builder & trades are to confirm all measurements, details & specifications prior to set-out & ordering of materials.
8. Report any errors for clarification/correction as no responsibility will be taken after construction has commenced.
9. All electrical appliance & plumbing symbols are diagrammatic only. Refer to builder's specification for details of all fixtures.
10. Size and location of downpipes to be confirmed on site by builder.
11. All work to be constructed in accordance with the Building Code of Australia and relevant trade and technical manuals.



**Real Property Description**  
 Lot Number: 2  
 Registered Plan Number: SP57243  
 Parish:  
 County:  
 Local Authority: Byron Shire Council  
 Site Area: 407M<sup>2</sup>  
 Site Coverage: 31.09%

**Driveway Gradient**

Grade	1:10 approx.			
Transitional	Grade	1:8	1:4	1:8
	Distance	n/a	n/a	n/a
FFL	RL	3.274		
NGL (boundary)	RL	2.700		
Height Gain		0.574 m		
Distance		5.9 m		

**Bushfire Protection Requirements**  
 Building constructed to BAL 19 bushfire requirements to all sides of the building

**Legend**

- rock retaining wall
- timber retaining wall
- masonry block retaining wall
- conc. sleeper retaining wall
- direction of fall
- Proposed FGL RL
- NGL RL
- Downpipe Location
- Roof Water Line
- Stormwater Line
- Sewer Line
- 1800mm high butted timber fence
- 1800mm high secondary street fencing minimum 50% transparent
- Field gully pit
- Single timber gate
- Letterbox
- Rubbish Bin Location
- Clothes line location

**BYRON SHIRE COUNCIL**  
 Development Application  
**APPROVED PLAN**  
 DA No. 10.2022.215.1  
 Date: 13/09/2022

**Area Calculations**

Living Lower:	95.61 sqm
Living Upper:	84.01 sqm
Garage:	21.47 sqm
Porch:	2.94 sqm
Balcony:	6.50 sqm
<b>Total:</b>	<b>210.53 sqm</b>

+6.50 sqm plain conc. only under balcony

*PK 09/05/22*

**G.J. Gardner. HOMES**

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 W: [www.gjgardner.com.au](http://www.gjgardner.com.au)  
 A: Shop 5 / 107 Minjungbal Drive Tweed Heads South NSW 2486

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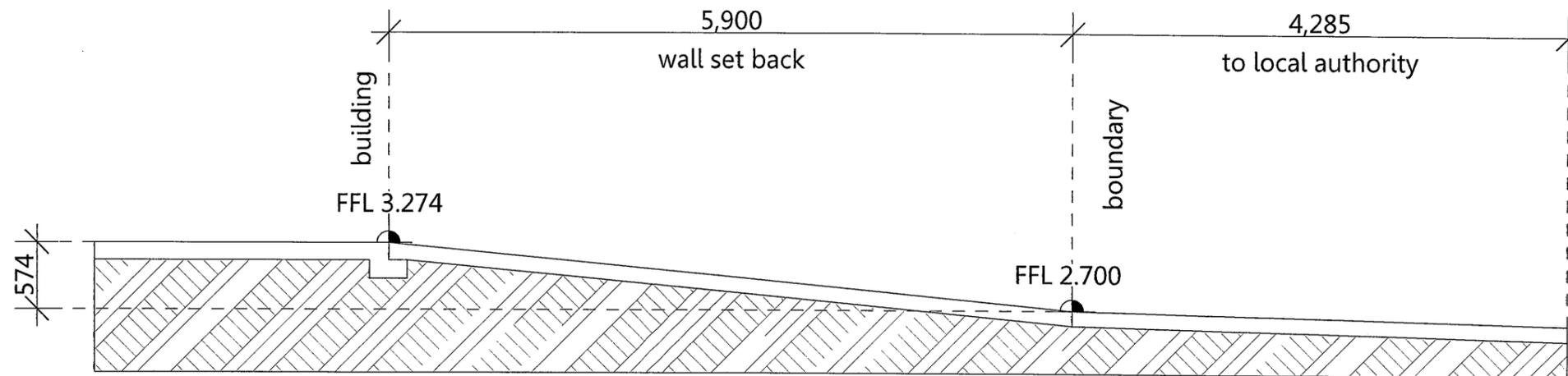
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 Owner / s .....  
 Date: 6/5/22

Client:  
**Yuki Koresawa & Takayo Otsu**  
 2, 1 Luan Court,  
 Byron Bay

Title:  
**Site Plan**  
 Design Name:  
**Modified Balwyn**

Plot Date: 3/05/2022	Drawing No: 2 of 15	Issue: C	Scale: 1:200 @ A3
Job No: 240835	Designed By: GJ		Drawn By: JD
<b>Working Drawings</b>			Checked By: MB



max 25% grade  
(actual grade 9.73%)

driveway section - scale: 1:50

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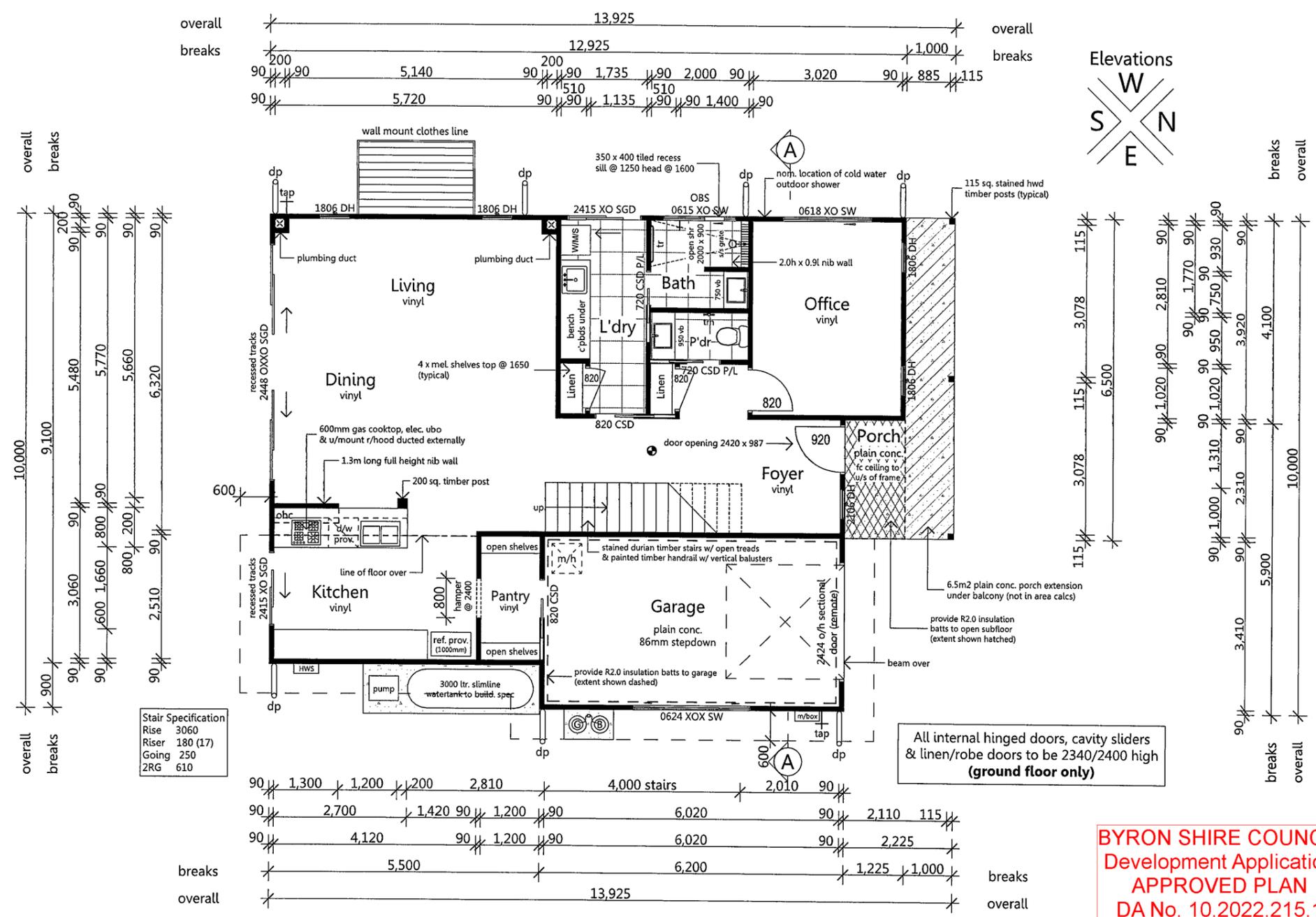
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Date: 6/5/22  
Owner / s .....  
Date: 6/5/22

Client:  
**Yuki Koresawa & Takayo Otsu**  
Lot 2, 1 Luan Court,  
Byron Bay

Title:  
**Driveway Section**  
Design Name:  
**Modified Balwyn**

Plot Date: 3/05/2022	Drawing No: 3 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835	Working Drawings		Designed By: GJ
			Drawn By: JD
			Checked By: MB

Notes:  
 1. Refer sheet 1 for standard floorplan notes  
 2. ● - Smoke detectors to be connected to mains power and having a standby power supply in accordance with AS3786-1993.  
 3. Floor coverings - all as indicated on floor plan and all by builder.



Stair Specification
Rise 3060
Riser 180 (17)
Going 250
2RG 610

**Bushfire Protection Requirements**  
 Building constructed to BAL 19 bushfire requirements to all sides of the building

**Bearers & joists**  
 • As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details  
 • Layout as per frame & truss manufacturer's or engineers design

**BYRON SHIRE COUNCIL**  
 Development Application  
**APPROVED PLAN**  
 DA No. 10.2022.215.1  
 Date: 13/09/2022

Area Calculations	
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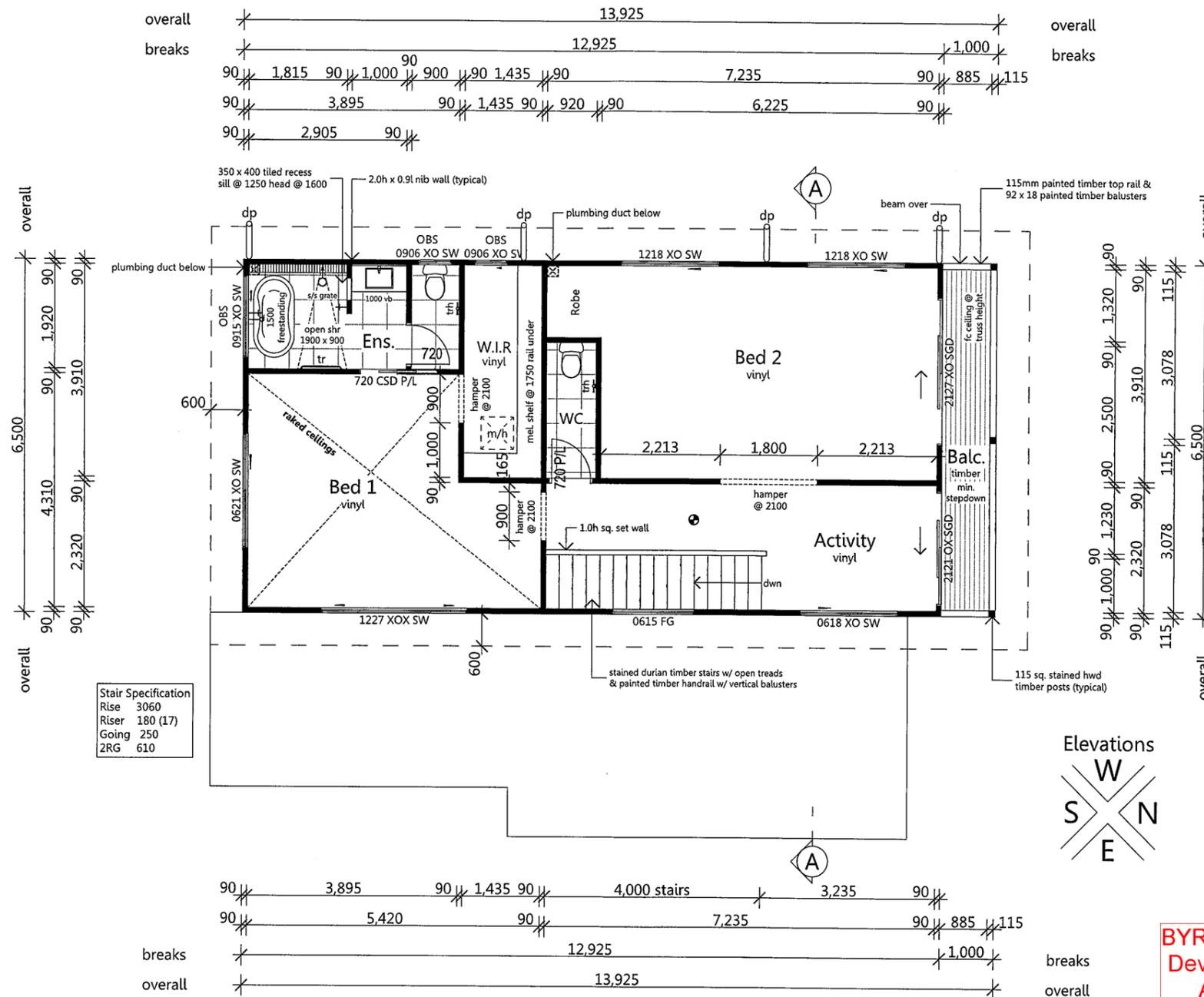
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 Owner / s ..... Date: 6/5/22

Client:  
**Yuki Koresawa & Takayo Otsu**  
 Lot 2, 1 Luan Court,  
 Byron Bay

Title:  
**Floor Plan - Lower**  
 Design Name:  
**Modified Balwyn**

Plot Date: 3/05/2022	Drawing No: 4 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835		Designed By: GJ	Drawn By: JD
<b>Working Drawings</b>		Checked By: MB	

Notes:  
 1. Refer sheet 1 for standard floorplan notes  
 2. ● - Smoke detectors to be connected to mains power and having a standby power supply in accordance with AS3786-1993.  
 3. Floor coverings - all as indicated on floor plan and all by builder.



Stair Specification  
 Rise 3060  
 Riser 180 (17)  
 Going 250  
 2RG 610



**Bushfire Protection Requirements**  
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**Bearers & joists**  
 • As specified by engineer designed & fixed in accordance with manufacturer's specifications & tie down details  
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**BYRON SHIRE COUNCIL**  
 Development Application  
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 DA No. 10.2022.215.1  
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<b>Total:</b>	<b>210.53 sqm</b>

+6.50 sqm plain conc. only under balcony

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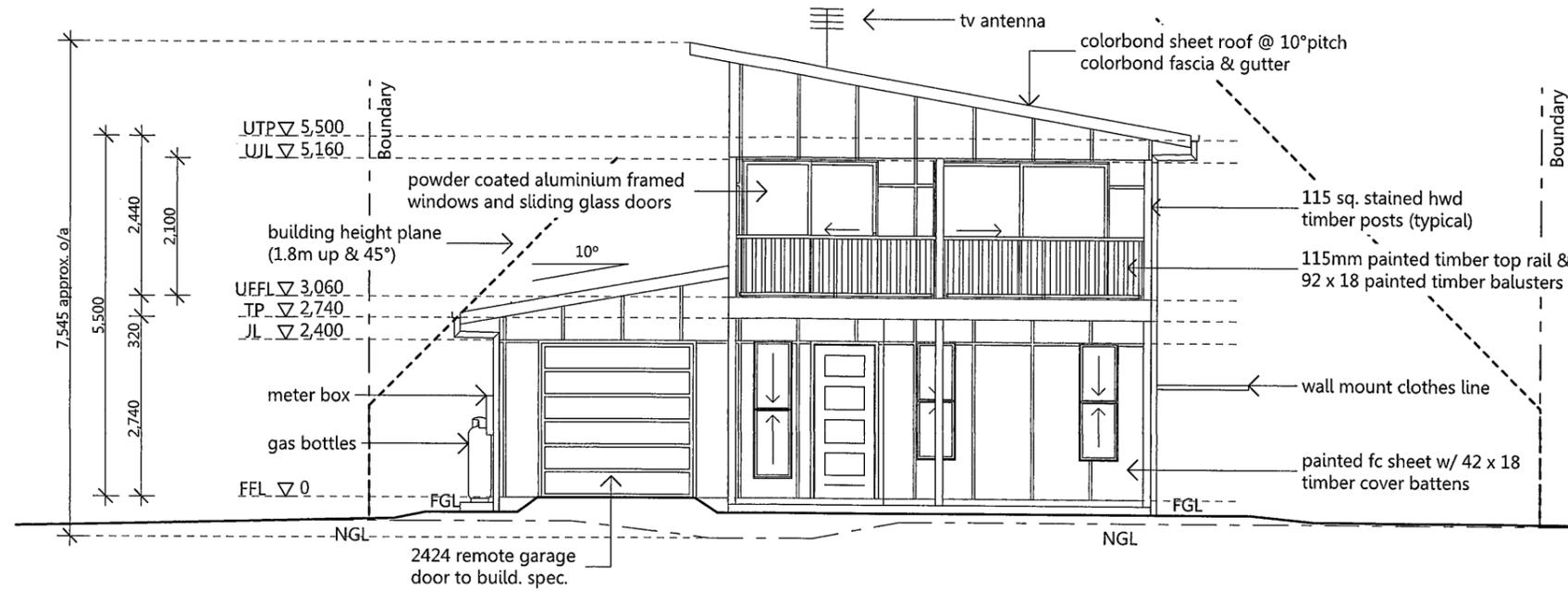
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 Owner / s: Y.K. Date: 6/5/22  
 Owner / s: T.O. Date: 6/5/22

Client:  
**Yuki Koresawa & Takayo Otsu**  
 Lot 2, 1 Luan Court,  
 Byron Bay

Title:  
**Floor Plan - Upper**  
 Design Name:  
**Modified Balwyn**

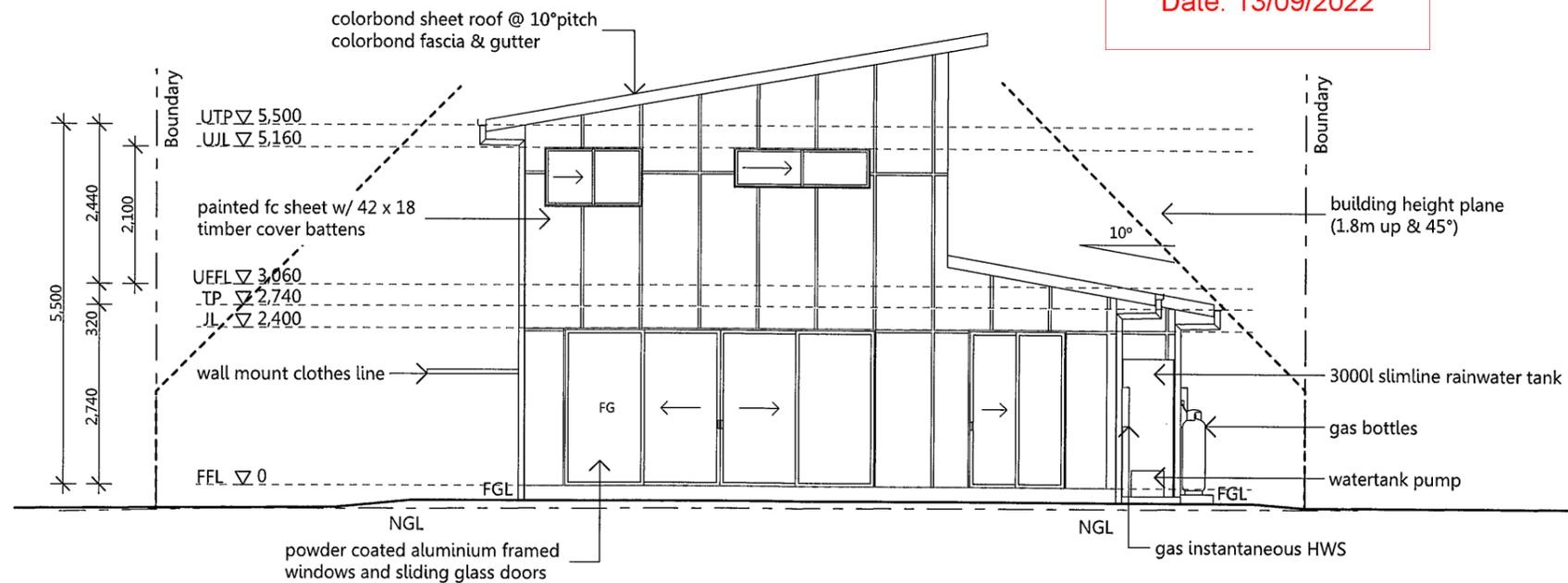
Plot Date: 3/05/2022	Drawing No: 5 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835	Designed By: GJ		Drawn By: JD
<b>Working Drawings</b>			Checked By: MB

Note: 42 x 42 architraves to external windows



**North Elevation**

**BYRON SHIRE COUNCIL**  
 Development Application  
**APPROVED PLAN**  
 DA No. 10.2022.215.1  
 Date: 13/09/2022



**South Elevation**

**Bushfire Protection Requirements**  
 Building constructed to BAL 19 bushfire requirements to all sides of the building

**Note:**  
 • These plans are to be read in conjunction with builders detailed specifications & all engineering documentation.  
 • Articulation joints as per engineering details  
 • All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

Area Calculations	
Living Lower:	95.61 sqm
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Porch:	2.94 sqm
Balcony:	6.50 sqm
<b>Total:</b>	<b>210.53 sqm</b>

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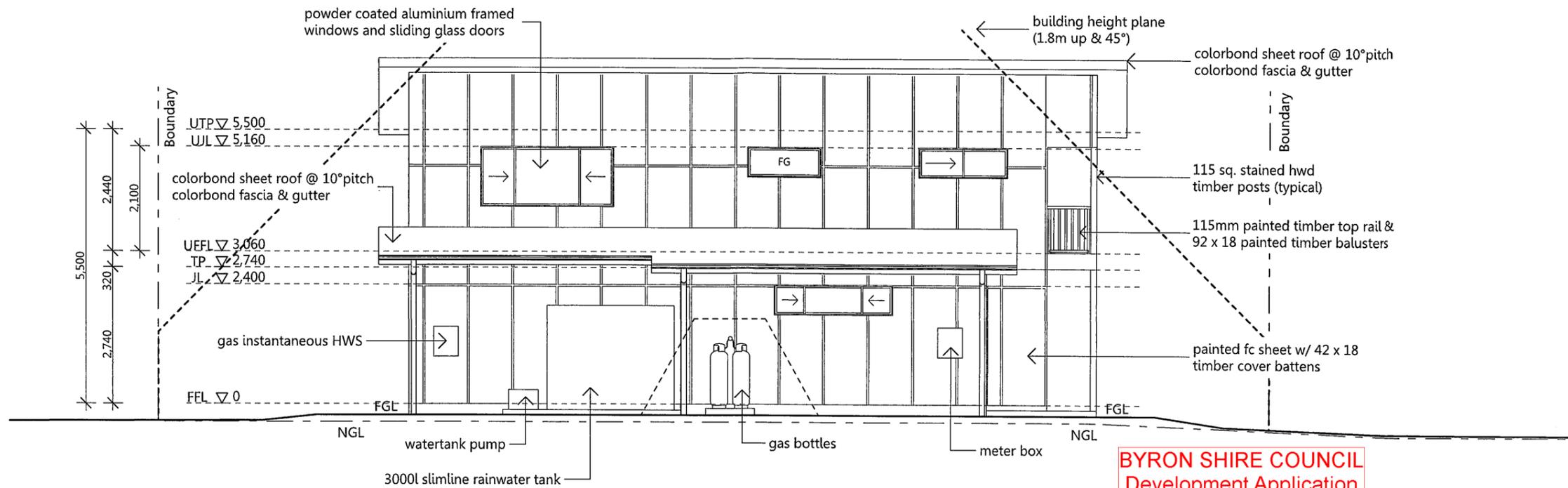
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 Owner / s ..... Date: 6/5/22

Client:  
**Yuki Koresawa & Takayo Otsu**  
 Lot 2, 1 Luan Court,  
 Byron Bay

Title:  
 Elevations 1 of 2  
 Design Name:  
 Modified Balwyn

Plot Date: 3/05/2022	Drawing No: 6 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835	Working Drawings		Designed By: GJ
			Drawn By: JD
			Checked By: MB

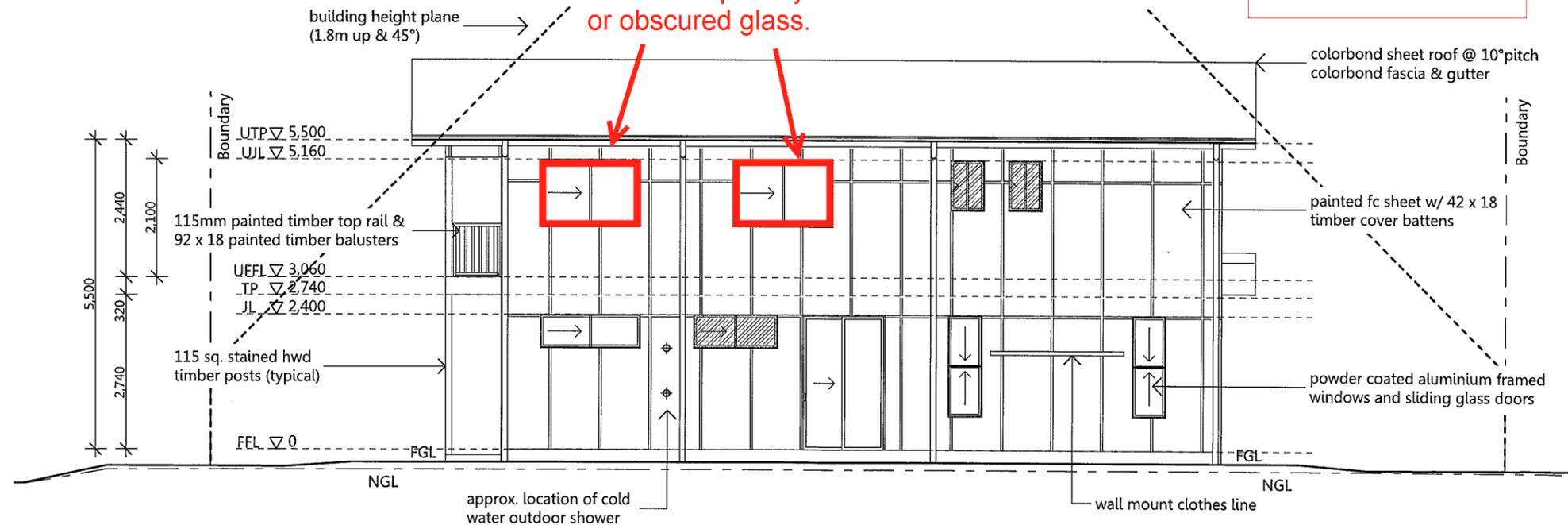
Note: 42 x 42 architraves to external windows



**East Elevation**

Windows to be treated with 50/50 privacy screens or obscured glass.

BYRON SHIRE COUNCIL  
Development Application  
APPROVED PLAN  
DA No. 10.2022.215.1  
Date: 13/09/2022



**West Elevation**

**Bushfire Protection Requirements**  
Building constructed to BAL 19 bushfire requirements to all sides of the building

**Note:**

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- Articulation joints as per engineering details
- All opening windows with fall height of 2m or greater to be restricted to max. 125mm opening

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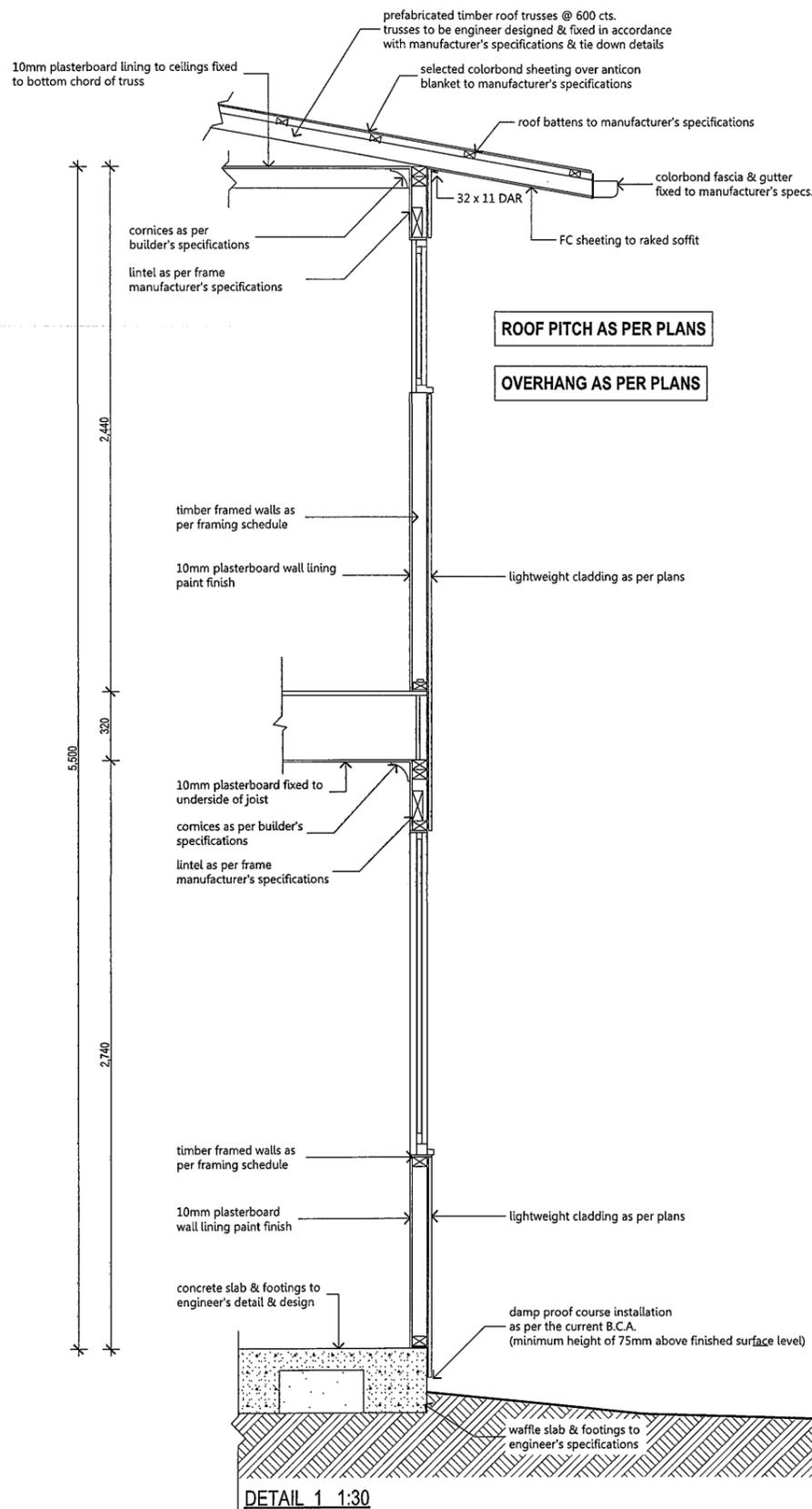
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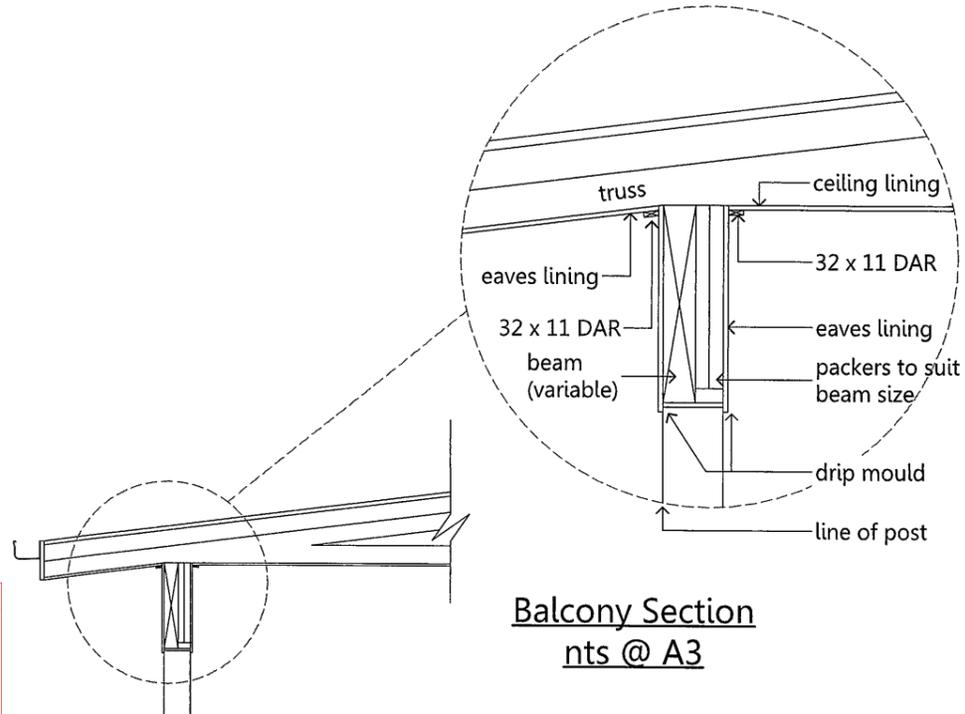
Title:  
**Elevations 2 of 2**  
Design Name:  
**Modified Balwyn**

Plot Date: 3/05/2022	Drawing No: 7 of 15	Issue: C	Scale: 1:100 @ A3
Job No: 240835	Designed By: GJ		Drawn By: JD
<b>Working Drawings</b>		Checked By: MB	

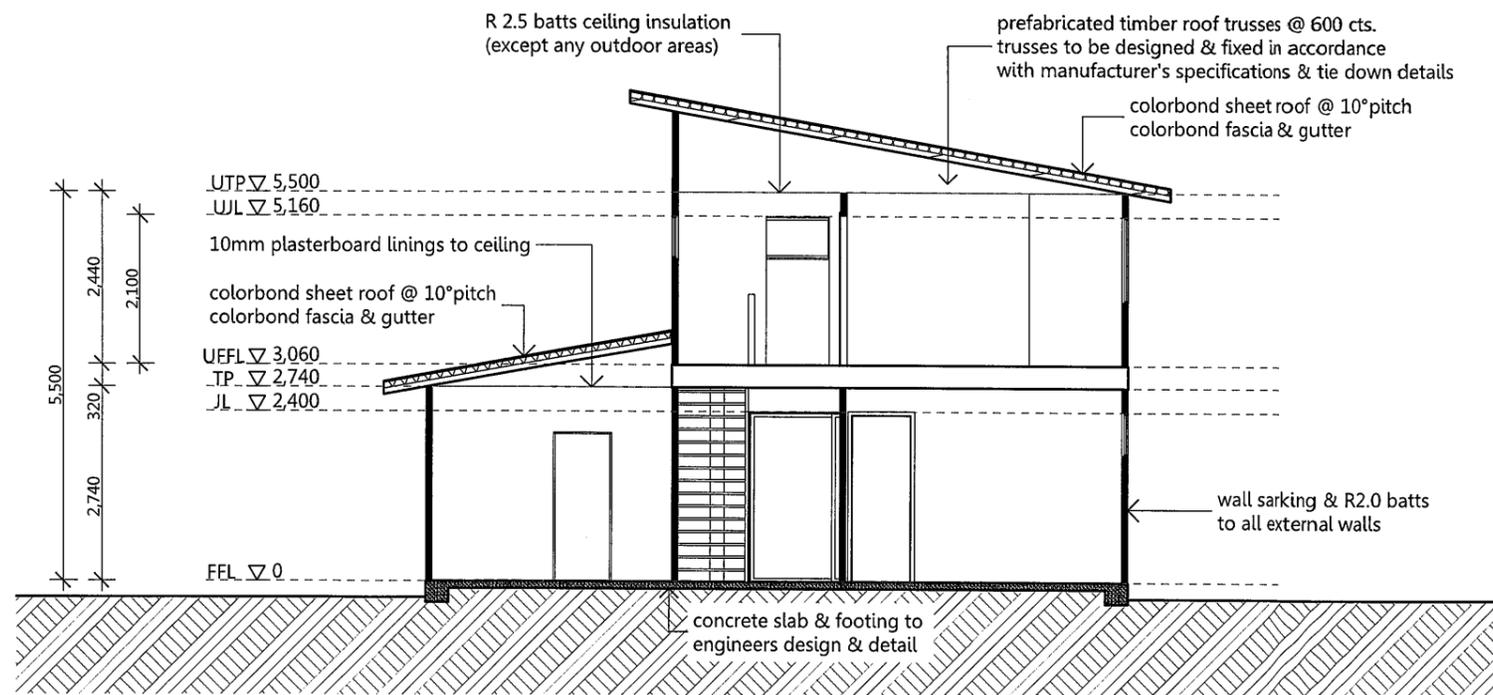


DETAIL 1 1:30

**BYRON SHIRE COUNCIL**  
**Development Application**  
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**DA No. 10.2022.215.1**  
**Date: 13/09/2022**



**Balcony Section**  
**nts @ A3**



**Section A 1:100 @A3**

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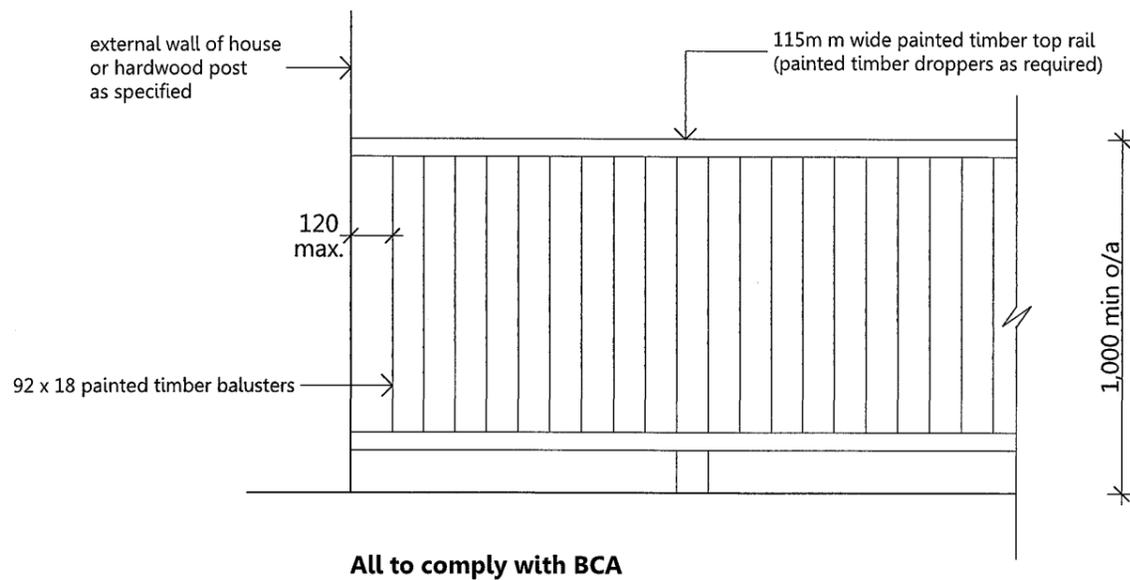
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Title:  
**Sections / Details 1 of 2**  
Design Name:  
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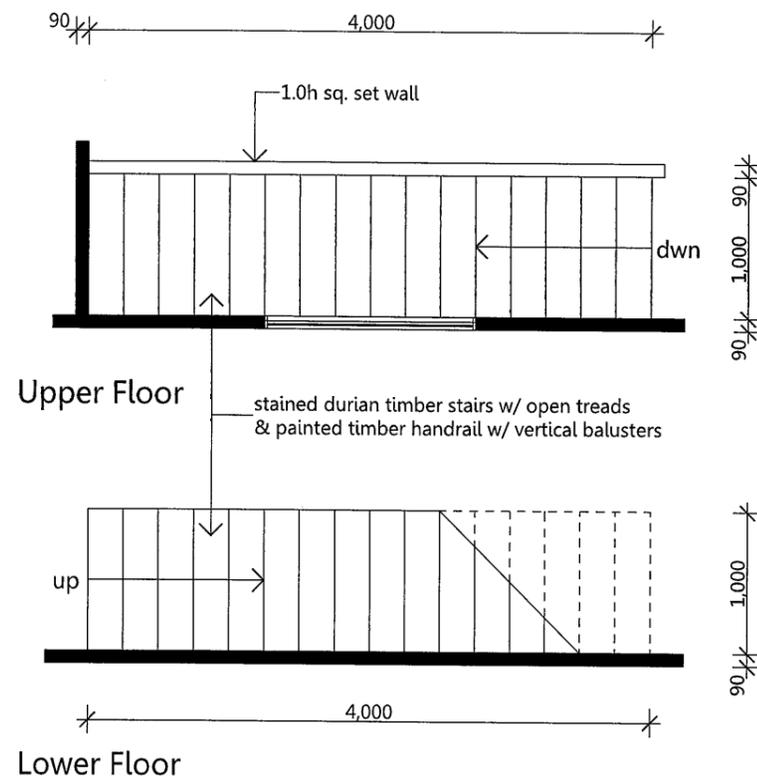
Plot Date: 3/05/2022	Drawing No: 8 of 15	Issue: C	Scale: as per dwg.
Job No: 240835	Designed By: GJ		Drawn By: JD
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Note: 1000mm wide (between frames) stained durian timber stairs. Open treads. 250 goings typical. All to stair manufacturer's specs and T.B.C. on site. Painted timber handrail & vertical balustrade to one side.



**External Balustrading Detail**  
**1:20 @ A3**



**Stair Detail**  
**1:50 @A3**

**Stair Specification**  
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 Riser 180 (17)  
 Going 250  
 2RG 610

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 Lot 2, 1 Luan Court,  
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Title:  
**Sections / Details 2 of 2**  
 Design Name:  
**Modified Balwyn**

Plot Date: 3/05/2022	Drawing No: 9 of 15	Issue: C	Scale: as per dwg.
Job No: 240835	Designed By: GJ		Drawn By: JD
<b>Working Drawings</b>			Checked By: MB